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CALL FOR INFORMATION BEFORE YOU BUY
602-263-1100
1-800-STAKE IT
DESIGN SERVICES COMPANY

COLWELL SHELOR LANDSCAPE ARCHITECTURE
 4450 N. 12TH STREET
 SUITE 104
 PHOENIX, AZ 85014
 T: 602.633.2195

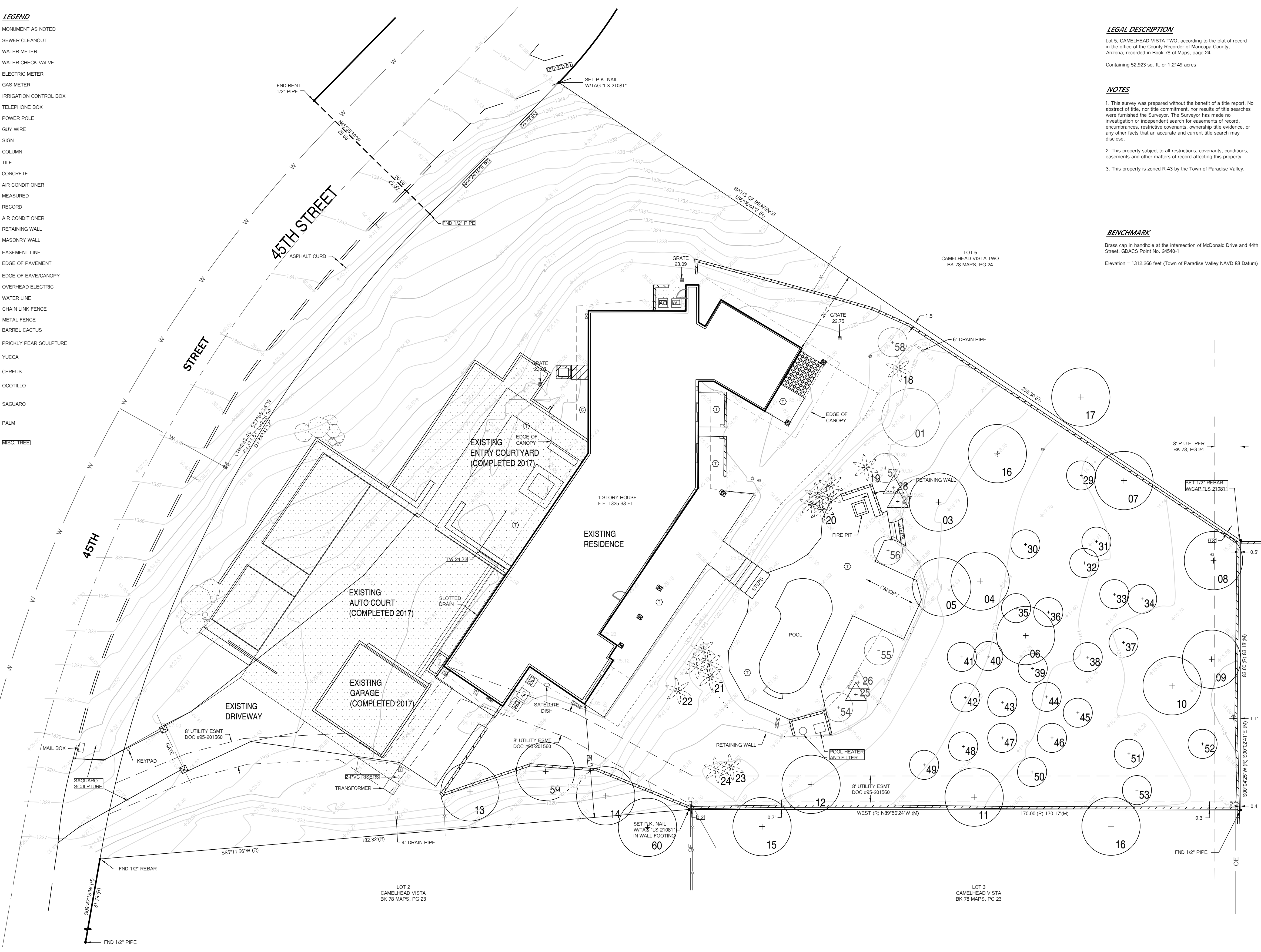


THOMPSON RESIDENCE
 6031 N 45TH ST
 PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	EXISTING SITE

SHEET No.
L0.1

- LEGEND**
- MONUMENT AS NOTED
 - SEWER CLEANOUT
 - WATER METER
 - WATER CHECK VALVE
 - ELECTRIC METER
 - GAS METER
 - IRRIGATION CONTROL BOX
 - TELEPHONE BOX
 - POWER POLE
 - GUY WIRE
 - SIGN
 - COLUMN
 - TILE
 - CONCRETE
 - AC AIR CONDITIONER
 - (M) MEASURED
 - (R) RECORD
 - AC AIR CONDITIONER
 - - - - - RETAINING WALL
 - ▨ MASONRY WALL
 - - - - - EASEMENT LINE
 - - - - - EDGE OF PAVEMENT
 - - - - - EDGE OF EAVE/CANOPY
 - - - - - OVERHEAD ELECTRIC
 - - - - - WATER LINE
 - - - - - CHAIN LINK FENCE
 - - - - - METAL FENCE
 - - - - - BARREL CACTUS
 - - - - - PRICKLY PEAR SCALPTURE
 - - - - - YUCCA
 - - - - - CEREBUS
 - - - - - OCOTILLO
 - - - - - SAGUARO
 - - - - - PALM
 - ▭ MISCELLANEOUS



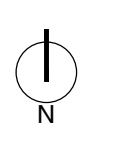
LEGAL DESCRIPTION
 Lot 5, CAMELHEAD VISTA TWO, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 78 of Maps, page 24.
 Containing 52,923 sq. ft. or 1.2149 acres.

NOTES

- This survey was prepared without the benefit of a title report. No abstract of title, nor title commitment, nor results of title searches were furnished the Surveyor. The Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- This property subject to all restrictions, covenants, conditions, easements and other matters of record affecting this property.
- This property is zoned R-43 by the Town of Paradise Valley.

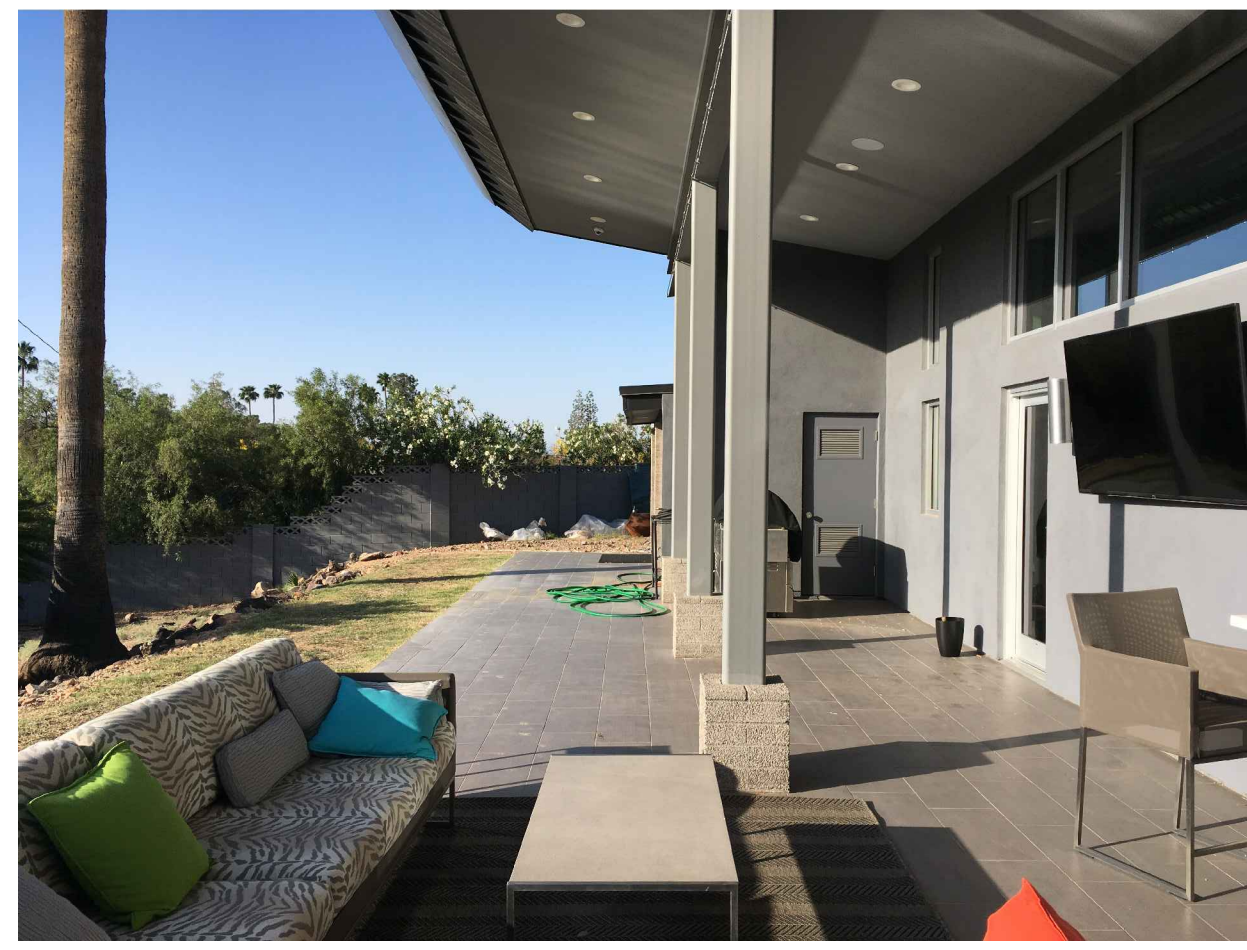
BENCHMARK
 Brass cap in handhole at the intersection of McDonald Drive and 44th Street. GDACS Point No. 24540-1
 Elevation = 1312.266 feet (Town of Paradise Valley NAVD 88 Datum)

0 4 8 16 32
 SCALE IN FEET 1/16"=1'-0"



1/16"=1'-0"

EXISTING SITE 01



NTS VIEW SOUTH ALONG PATIO 01
EXISTING SITE



NTS POOL - SOUTH VIEW 02
EXISTING SITE



NTS POOL - EAST VIEW 03
EXISTING SITE



NTS POOL - NORTH VIEW 04
EXISTING SITE



NTS NORTH YARD 05
EXISTING SITE



NTS VIEW NORTH TO MASTER BDRM 06
EXISTING SITE



NTS VIEW SOUTH OFF MASTER BDRM PATIO 07
EXISTING SITE



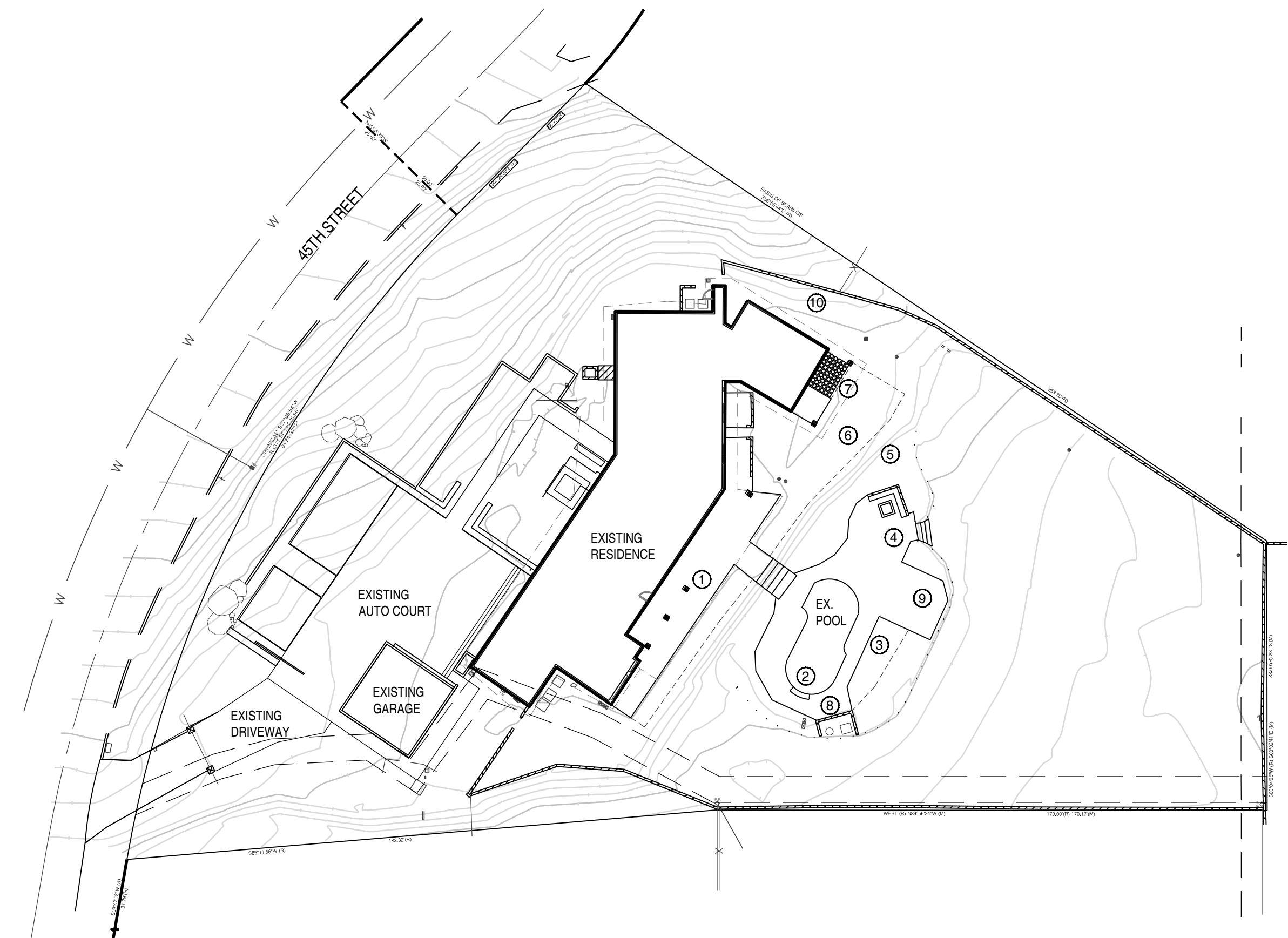
NTS POOL EQUIPMENT 08
EXISTING SITE



NTS GAZEBO 09
EXISTING SITE



NTS SIDE YARD NORTH 10
EXISTING SITE



NTS KEY MAP A

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EXISTING LANDSCAPE ARCHITECTURE

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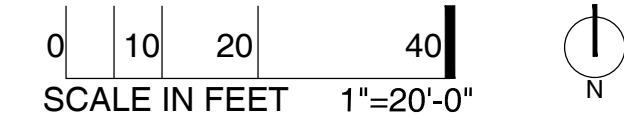


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PARADISE VALLEY, AZ 85253

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JOB	17023
DRAWING	EXISTING SITE PHOTOS

SHEET No.

L0.2



1"=20'-0"

INVENTORY/SALVAGE PLAN 01

LANDSCAPE INVENTORY LIST

#	BOTANICAL NAME	COMMON NAME	CONDITION	PIP, SALVAGE, OR DEMO
01	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
02	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
03	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
04	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
05	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
06	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
07	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
08	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
09	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
10	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
11	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
12	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
13	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
14	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	DEMO=UNABLE TO SALVAGE ON SLOPE
15	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
16	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
17	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
18	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
19	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
20	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
21	CYCAS REVOLUTA	SAGO PALM (CLUSTER)	GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
22	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
23	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
24	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
25	PACHYCREUS SCHOTTI	SENITA	FAIR	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
26	ALOE MACULATA	SOAP ALOE	POOR	DEMO=DECLINING
27	HESPERALOE PARVIFLORA	YELLOW HESPERALOE	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
28	FOQUIERIA SPLENDENS	OCOTILLO	GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
29	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
30	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
31	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
32	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
33	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
34	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
35	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
36	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
37	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
38	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
39	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
40	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
41	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
42	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
43	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
44	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
45	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
46	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
47	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
48	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
49	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
50	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
51	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
52	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
53	LARREA TRIDENTATA	CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
54	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	GOOD	DEMO=NON-NATIVE
55	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	GOOD	DEMO=NON-NATIVE
56	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	GOOD	DEMO=NON-NATIVE
57	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	GOOD	DEMO=NON-NATIVE
58	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	GOOD	DEMO=NON-NATIVE
59	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	DEMO=UNABLE TO SALVAGE ON SLOPE
60	CERCIDIUM MICROPHYLLA	FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY

INVENTORY/SALVAGE NOTES:

1. A TEMPORARY NURSERY LOCATION SHALL BE ESTABLISHED ON SITE FOR SALVAGE MATERIAL. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION TO SALVAGED MATERIAL IN NURSERY
2. THE CONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO SALVAGE OPERATION.
3. BOXING PROCEDURE PER SPECIFICATIONS.
4. UPON REMOVAL OF THE SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL SUBMIT A LIST IDENTIFYING THE TAG NUMBER OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE LANDSCAPE ARCHITECT.
5. FINAL LOCATION OF ALL SAVAGE TREES IS SUBJECT TO LANDSCAPE DESIGNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SALVAGE TREE DESIGNATIONS/LOCATIONS MAY BE ADJUSTED BASED ON SALVAGE MATERIAL CONDITION AFTER SALVAGE PROCESS IS COMPLETE.
6. PROTECTED MATERIAL SALVAGED FROM SITE THAT DOES NOT SURVIVE THE SALVAGE PROCESS, OR DIES WITHIN THE FIRST TWO YEARS AFTER TRANSPLANT, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR IN LIKE KIND, SIZE AND QUANTITY.
7. SALVAGE ALL BOULDERS & STOCKPILE. LANDSCAPE ARCHITECT WILL RELOCATE IN-FIELD.

- (4) SALVAGE ACCENTS
- (0) SALVAGE TREES
- (5) NO SALVAGE/DESTROY CACTI/TREES
- (14) TO REMAIN/PROTECT-IN-PLACE CACTI/TREES

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 SUITE 104
 PHOENIX, AZ 85014
 T: 602.633.2195

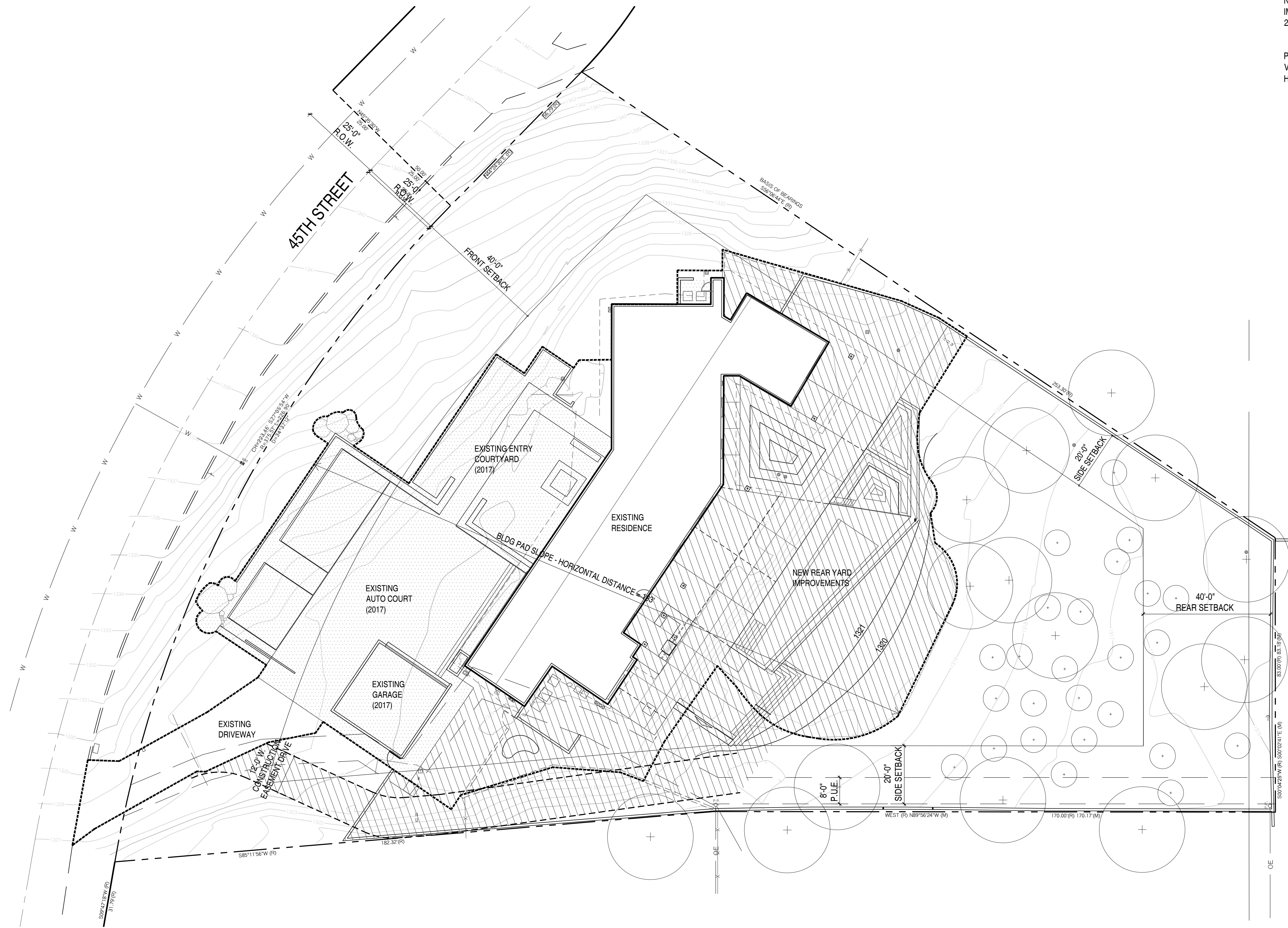


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 6031 N 45TH ST
 PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	INVENTORY/ SALVAGE PLAN

SHEET No.

L0.3



DRAINAGE & GRADING NARRATIVE

SITE WILL CONTINUE TO DRAIN TOWARDS THE SOUTHEAST OF THE LOT.

EXISTING IMPERVIOUS SURFACE: 9,503 S.F.
 PROPOSED IMPERVIOUS SURFACE: 9,022 S.F.

THE PROPOSED REAR IMPROVEMENTS WILL DECREASE THE AMOUNT OF IMPERVIOUS SURFACE BY 481 S.F. NO EXTRA RETENTION AREAS ARE NEEDED.

THE EXISTING POOL PAD WILL BE RE-GRADED TO A NATURAL LOOKING SLOPE AND REVEGETATED.

DISTURBED AREA CALCULATIONS

AREA OF LOT: 1.22 ACRES / 53,047 S.F.
 AREA UNDER ROOF: 5,986 S.F.
 FLOOR AREA RATIO: 11.3%
 BUILDING SLOPE: 11/193 = 6%
 MAX. ALLOWABLE DISTURBED AREA: 60% = 31,828 S.F.

----- EXISTING DISTURBED AREA BOUNDARY =
 25,703 - 5,307 (HOUSE) - 679 (GARAGE) - 3,447 (PAVER DRIVEWAY) = 16,270 S.F.

[Pattern] FRONT YARD IMPROVEMENTS COMPLETED IN 2017

[Pattern] PROPOSED DISTURBED AREA WITH REAR YARD IMPROVEMENTS

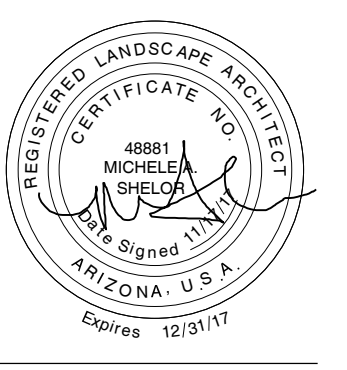
NEW DISTURBED AREA WITH EXISTING CONDITIONS & PROPOSED REAR YARD IMPROVEMENTS=
 28,605 - 5,307 (HOUSE) - 679 (GARAGE) - 3,447 (PAVER DRIVEWAY) = 19,172 S.F.

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5%MAX.): N/A
 VOLUME OF CUT/VOLUME OF FILL: CUT - 0 CU.FT. / FILL + 7614 CU.FT.
 HILLSIDE ASSURANCE @ \$25/CUBIC YARD OF CUT + FILL \$190,350

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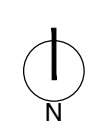
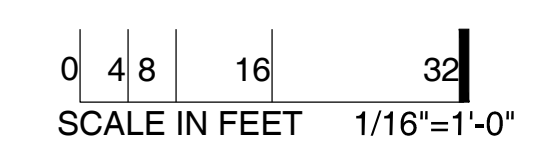
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 PHOENIX, AZ 85014
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 PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
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DRAWING	HILLSIDE DISTURBANCE PLAN

SHEET No.



1/16"=1'-0"

HILLSIDE DISTURBANCE AREA PLAN 01

L1.0



0 4 8 16 32
SCALE IN FEET 1"=32'-0"



1/16"=1'-0"

SITE PLAN w/ AERIAL 01

REVISIONS	
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CALL FOR MEASUREMENTS
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DUSTY WILSON/CITY

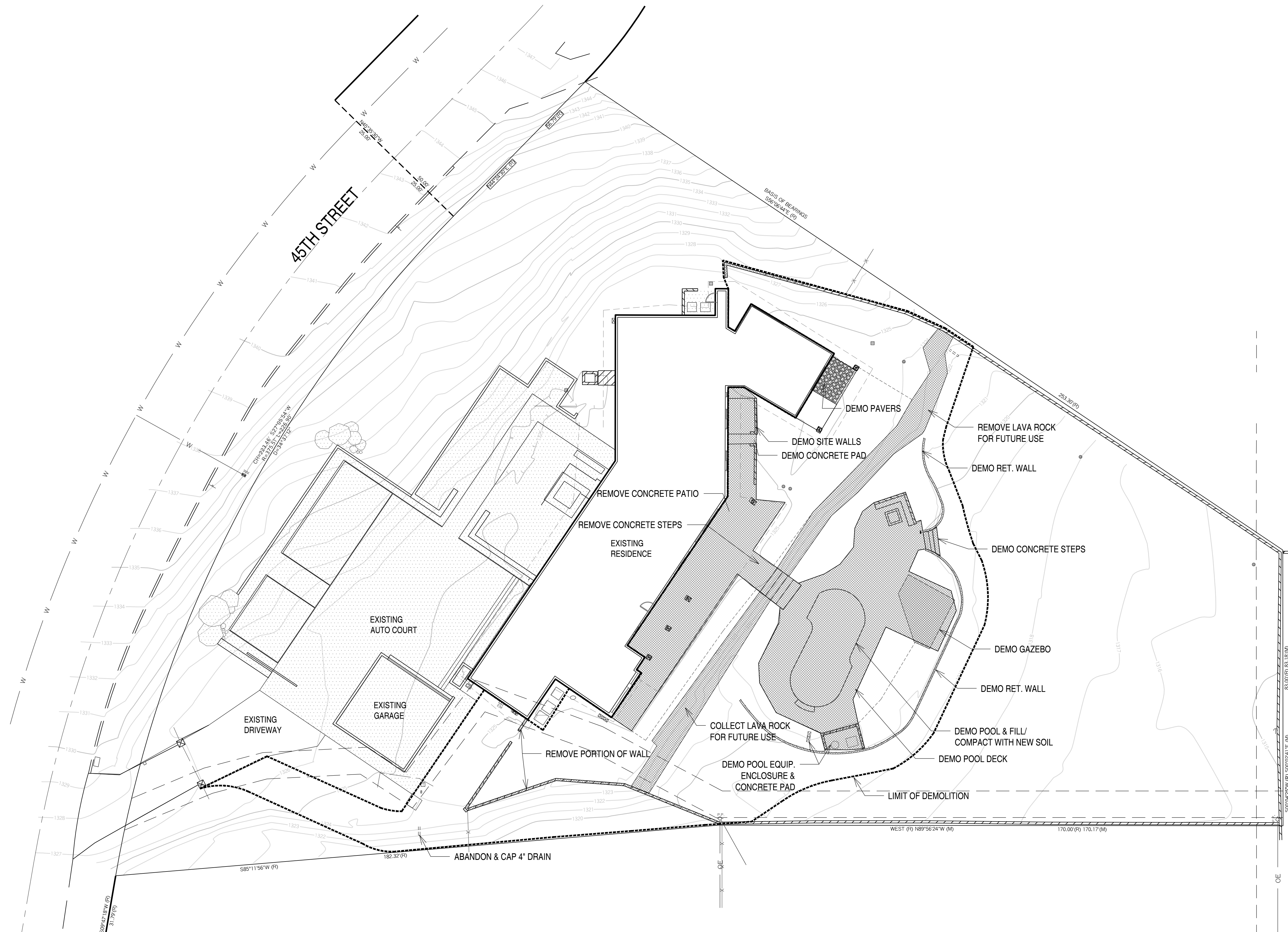
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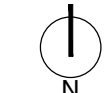
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PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	PROPOSED SITE PLAN w/ AERIAL
SHEET No.	

L1.1



0 4 8 16 32
SCALE IN FEET 1/16"=1'-0"



1/16"=1'-0"

DEMOLITION PLAN 01

REVISIONS	
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PHOENIX, ARIZONA

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JOB	17023
DRAWING	DEMOLITION PLAN

SHEET No.

L1.2

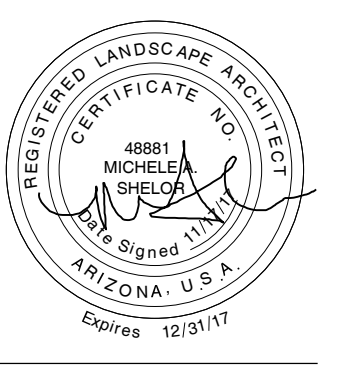
SITE PLAN DATA:
 NUMBER OF RETAINING WALLS: 3
 TOTAL LENGTH OF ALL RETAINING WALLS: 129'
 MAX. HT. OF RETAINING WALLS: 3.5'
 MAX. CONT. LENGTH OF RETAINING WALLS: 97' (NEEDS TO BE LESS THAN 100')
 MAX. LENGTH OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY: 97'
 DRIVEWAY: N/A - EXISTING DRIVE - NOT PART OF THIS SUBMITTAL
 POOL FENCE DETAIL: REFER TO DETAIL 5/L3.1
 ADEQUATE WATER PRESSURE TO MEET FIRE SAFETY STANDARDS: YES
 FIRE HYDRANT INSTALLATION REQ'D: NO
 WASH EASEMENT REQ'D: NO
 RESTORATION OF CUT AND FILL SLOPES: SEED MIX - REFER TO LANDSCAPE PLANS.
 HALF STREET OR RIGHT-OF-WAY IMPROVEMENTS REQ'D: NO

- KEYNOTES**
- PROPERTY LINE.
 - EXISTING UTILITIES.
 - EXISTING CACTI & TREES, PROTECT-IN-PLACE, TYP.
 - LIMIT OF DISTURBANCE.
 - EXISTING SITE WALL.
 - ROOF OVERHANG.
 - NEW 7'H PICKET VIEW FENCE. REFER TO DETAIL 5/L3.1
 - NEW 4'H CMU SCREEN WALL. REFER TO DETAIL 3/L3.0
 - HANDRAIL. REFER TO DETAIL 5/L3.0.
 - 7'H CAST-IN-PLACE CONCRETE FIREPLACE w/ 18"H CONCRETE HEARTH. COLOR: DAVIS CONCRETE - OUTBACK #677 (LRV 37%). REFER TO DETAIL 7&8/L3.0.
 - 7'H X 12"W RISE CAST-IN-PLACE CONCRETE STEPS. REFER TO DETAIL 6/L3.0. SEEDED ROUND PEBBLES. COLOR: DAVIS CONCRETE - OUTBACK #677 (LRV 37%)
 - DRY CONVERSATION PIT. REFER TO DETAIL 6/L3.0.
 - CIP CONCRETE PATIO w/ SEEDED ROUND PEBBLES. COLOR: DAVIS CONCRETE - OUTBACK #677 (LRV 38%). REFER TO DETAIL 1/L3.0.
 - SAW-CUT JOINT. REFER TO DETAIL 1/L3.0.
 - COLD-CUT JOINT. REFER TO DETAIL 2/L3.0.
 - NEGATIVE EDGE POOL & SPA w/ PEBBLETEC POOL FINISH. COLOR: PEBBLESHEEN - PRISM BLUE.
 - 3.5'H EXPOSED RET. WALL/SURCHARGE TANK. REFER TO DETAIL 1/L3.1
 - BANCO SEATING @ CONVERSATION PIT.
 - BERMED PLANTER w/ SALVAGED LAVA ROCK TOPDRESSING.
 - AT-GRADE PLANTER w/ SALVAGED LAVA ROCK TOPDRESSING.
 - BBQ. REFER TO DETAIL 2-4/L3.1.
 - FIRE PIT. REFER TO DETAIL 4/L3.0.
 - SALVAGED LAVA ROCK ON SLOPED RETENTION. REFER TO DETAIL 5/L3.0.
 - AT-GRADE PLANTER w/ 2" D.G. TOPDRESSING. COLOR TO MATCH EXISTING SOIL ON-SITE.
 - PROPOSED POOL EQUIPMENT LOCATION.
 - PROPOSED IRRIGATION CONTROLLER LOCATION.
 - NEW ACCESS GATE. REFER TO DETAIL 6/L3.1.
 - RETENTION AREA FOR POOL BACK WASH.
 - ABANDONED & CAPPED PIPE. REFER TO DEMO PLAN L1.2.

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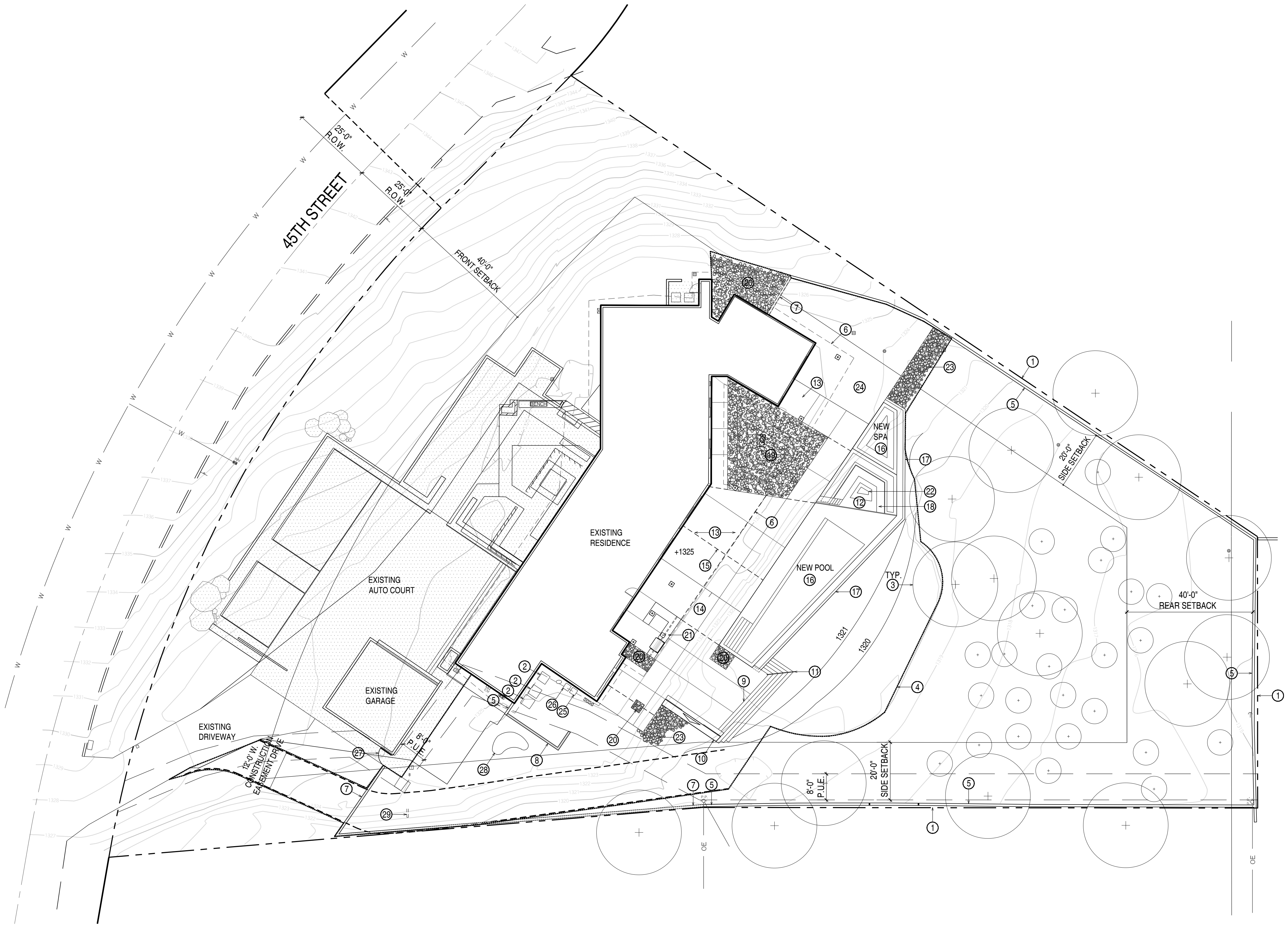


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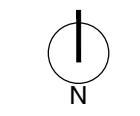
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DRAWING	HARDSCAPE PLAN

SHEET No.

L1.3

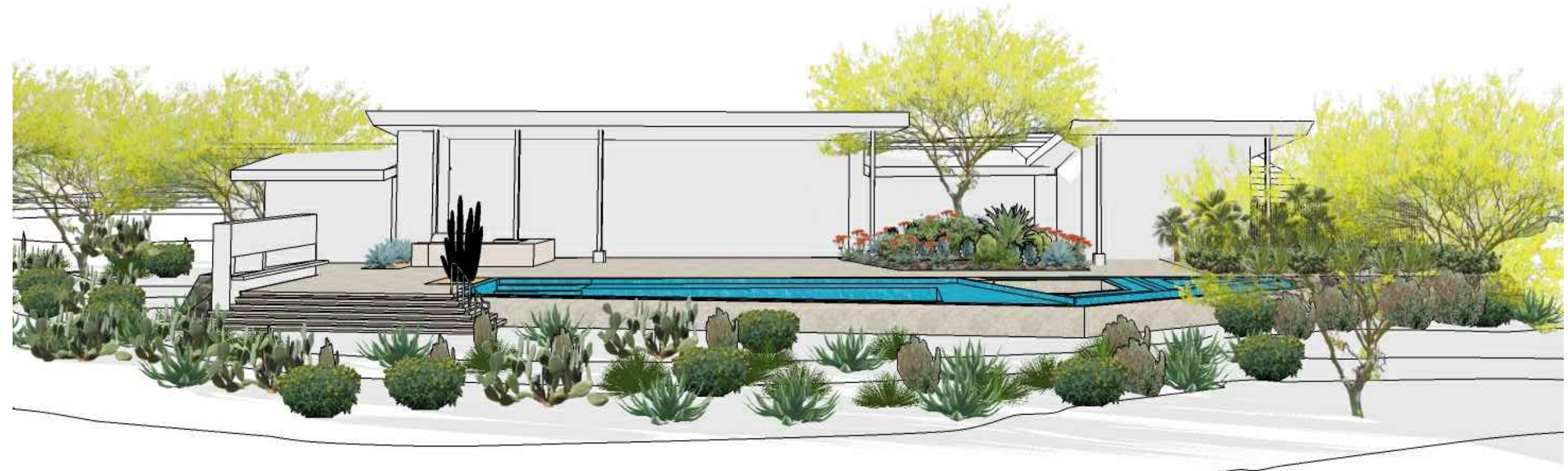


0 8 16 32
 SCALE IN FEET 1/16"=1'-0"



1/16"=1'-0"

SITE PLAN 01



NTS OVERALL MODEL 01



NTS NORTH SIDE VIEW MODEL 02



NTS SOUTH SIDE VIEW MODEL 03



NTS FIREPLACE MODEL 04



NTS VIEW OF STAIRS MODEL 05

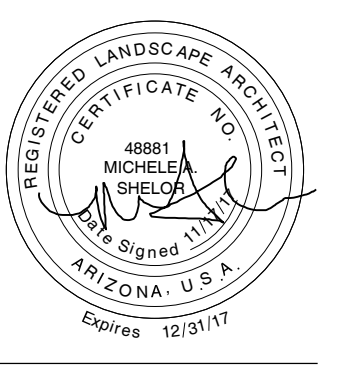


NTS VIEW OF SPA / POOL MODEL 06

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 T: 602.633.2195



THOMPSON RESIDENCE
 6031 N 45TH ST
 PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	MODEL VIEWS

SHEET No.

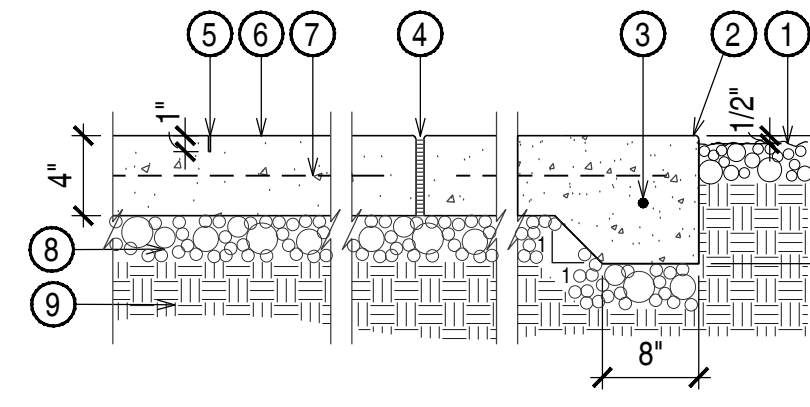
L2.0

KEYNOTES:

- TOP OF FINISH GRADE @ LANDSCAPED AREA/D.G.
- 1/8" MAX. ROUNDED EDGE, SLIGHTLY EASED.
- 8" THICKENED EDGE AT ALL CONCRETE AREAS ADJACENT TO PLANTERS w/ #4 CONT.
- 1/2" EXPANSION JOINTS WITH TRAFFIC SEALANT TO MATCH CONCRETE. DUST w/ SILICA SAND. JOINT SHALL BE RECESSED 1/2" w/ SQUARE EDGES.
- 1/8" SAW CUT JOINT, 1" DEPTH.
- CONCRETE PAVING - INTEGRALLY COLORED: DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- SEEDED W.W.F. 6x6 - W1.4 x W1.4.
- AGGREGATE BASE PER SOILS REPORT.
- COMPACTED SUBGRADE OR UNDISTURBED SOIL.

NOTES:

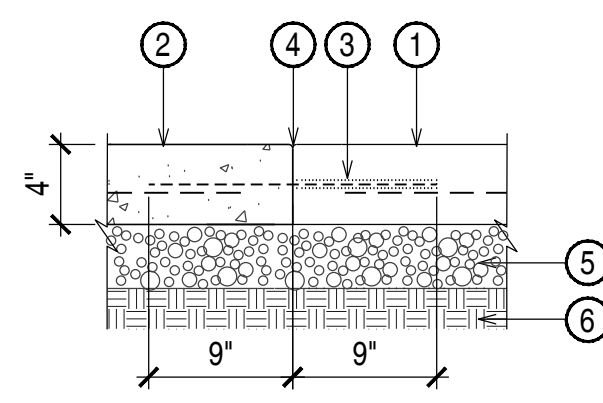
- REFER TO LAYOUT PLAN FOR JOINT LOCATIONS.



1"=1'00" CONCRETE PAVING TYP. CONDITION 01

KEYNOTES:

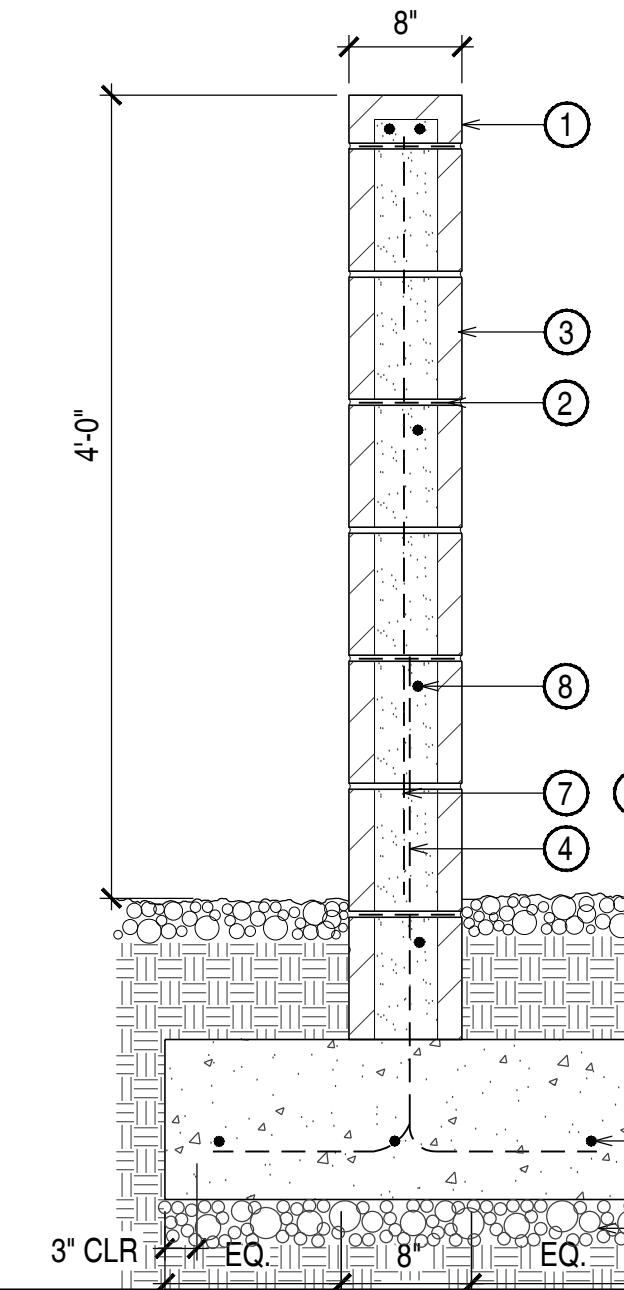
- CONCRETE SLAB A. REFER TO DETAIL 1/THIS SHEET.
- CONCRETE SLAB B. REFER TO DETAIL 1/ THIS SHEET.
- #3 SMOOTH STEEL DOWEL @ 24" O.C. GREASE ONE END.
- REFER TO DETAIL 1/THIS SHEET FOR EXPANSION JOINT CONDITION.
- AGGREGATE BASE.
- COMPACTED SUBGRADE PER GEOTECH OR UNDISTURBED SOIL.



1"=1'00" COLD JOINT 02

KEYNOTES:

- BOND BEAM w/ (2) #4 BAR CONT., CAP BLOCK.
- HORIZONTAL REINFORCING @ 16" O.C.
- 8" x 8" x 16" CMU WALL & GROUT. GREY BLOCK TO MATCH EXISTING.
- #4 BAR @ 32" O.C. LAP 30x BAR DIA. TIE SPLICES ALTERNATE ANGLES. GROUT CELLS SOLID.
- F.G. @ PLANTING AREA.
- #4 BAR CONT.
- #4s @ 32" O.C.
- #4 CONT. @ 16" O.C.
- CONCRETE FOOTING.
- AGGREGATE BASE PER GEOTECH.
- UNDISTURBED SOIL OR 95% COMPACTED SUBGRADE.

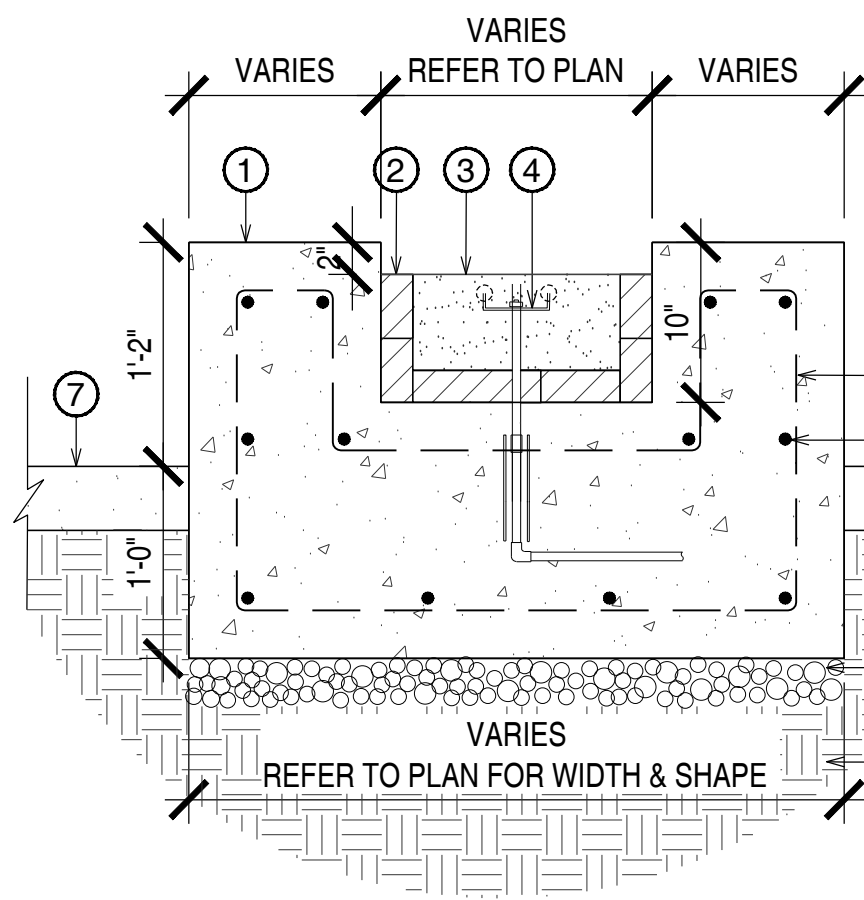


1"=1'00" CMU SCREEN WALL 03

KEYNOTES:

- CONCRETE FIREPIT WITH GROUND CONCRETE FINISH. DAVIS COLORS, OUTBACK #677.
- FIREBRICK. WRAP SIDES AND BOTTOM OF FIREPIT.
- MULTI-COLOR LAVA ROCK.
- GAS PIPING.
- #4S @ 24" O.C.
- #4S CONT.
- FINISH GRADE @ ADJACENT CONCRETE SLAB.
- AGGREGATE BASE PER GEOTECH.
- COMPACTED SUBGRADE OR UNDISTURBED SOIL PER GEOTECH.

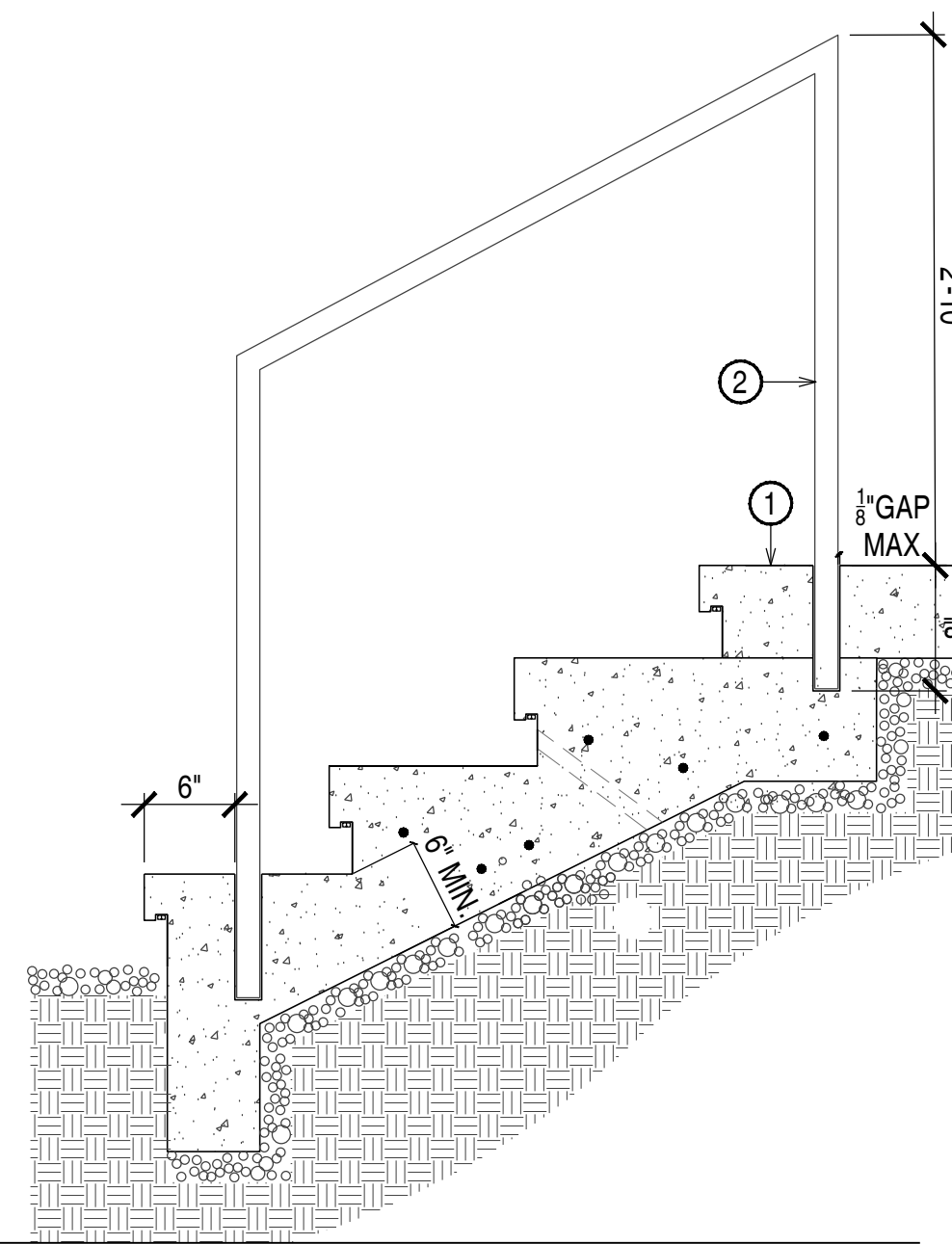
NOTE: PROVIDE STARTER KEY & SHUT OFF VALVE UNDER SEPARATE CONTRACT.



1"=1'00" FIREPIT 04

KEYNOTES:

- CAST-IN-PLACE CONCRETE STEPS - INTEGRALLY COLORED. 4000 PSI HIGH STRENGTH CONC. MIX. DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- 1.5" Ø GALVANIZED METAL HANDRAIL. COREDRILL INTO CONCRETE SLAB & EPOXY INTO SLIP.

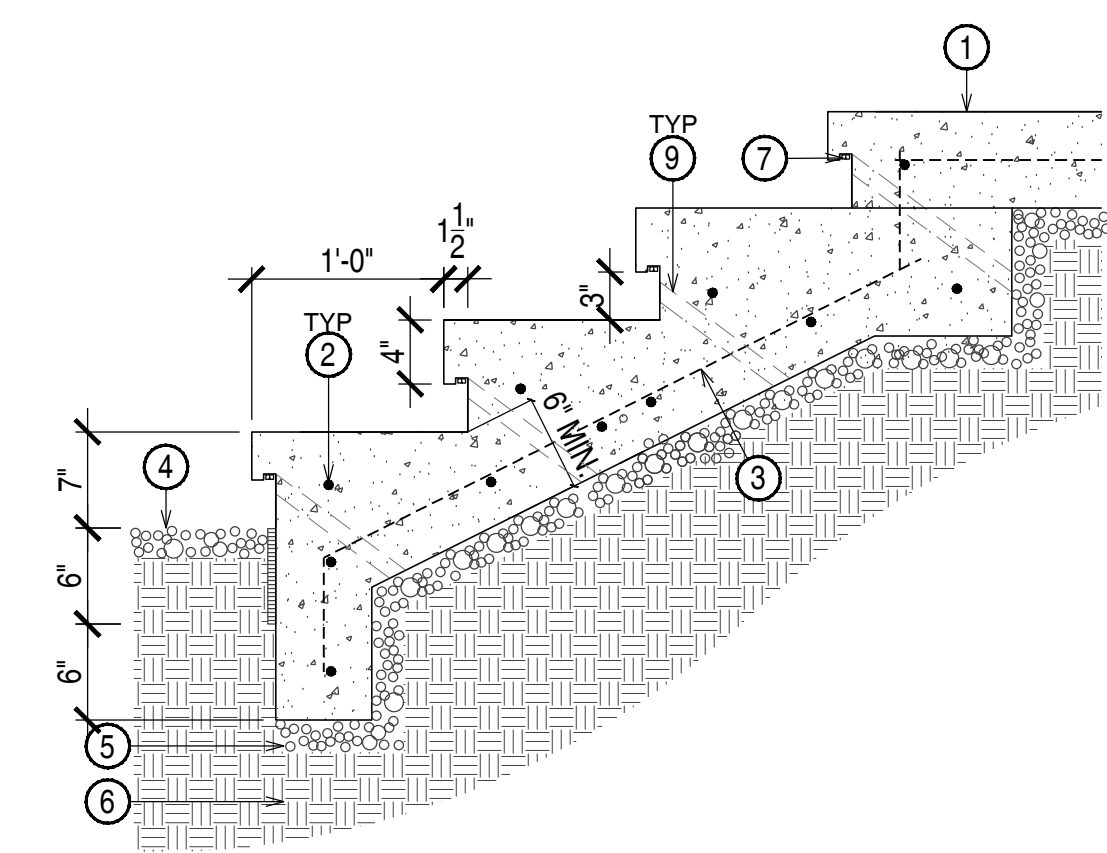


1 1/2"=1'00" HANDRAIL @ CONC STEPS 05

KEYNOTES:

- CAST-IN-PLACE CONCRETE BLEACHER SEATING - INTEGRALLY COLORED. 4000 PSI HIGH STRENGTH CONC. MIX. DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- #4 NOSING BAR, TYP.
- #4s @ 12" O.C. EACH WAY, 2 LAYERS.
- FINISH GRADE @ D.G.
- AGGREGATE BASE PER GEOTECH.
- COMPACTED SUBGRADE OR UNDISTURBED SOIL
- 3/4" WIDE x 3/8" DEEP RECESSED NOTCH FOR STRIP LIGHTING. EMBED MOUNTING CLIP AND FASTENER IN NOTCH. GRIND OUT MINIMAL SPACE BEHIND NOTCH @ CONNECTORS TO FULLY CONCEAL CONNECTION. REFER TO ELEC.
- 1" DIA. PVC SLEEVE FOR ELEC. WIRE AS NEEDED.

PER GEOTECH.

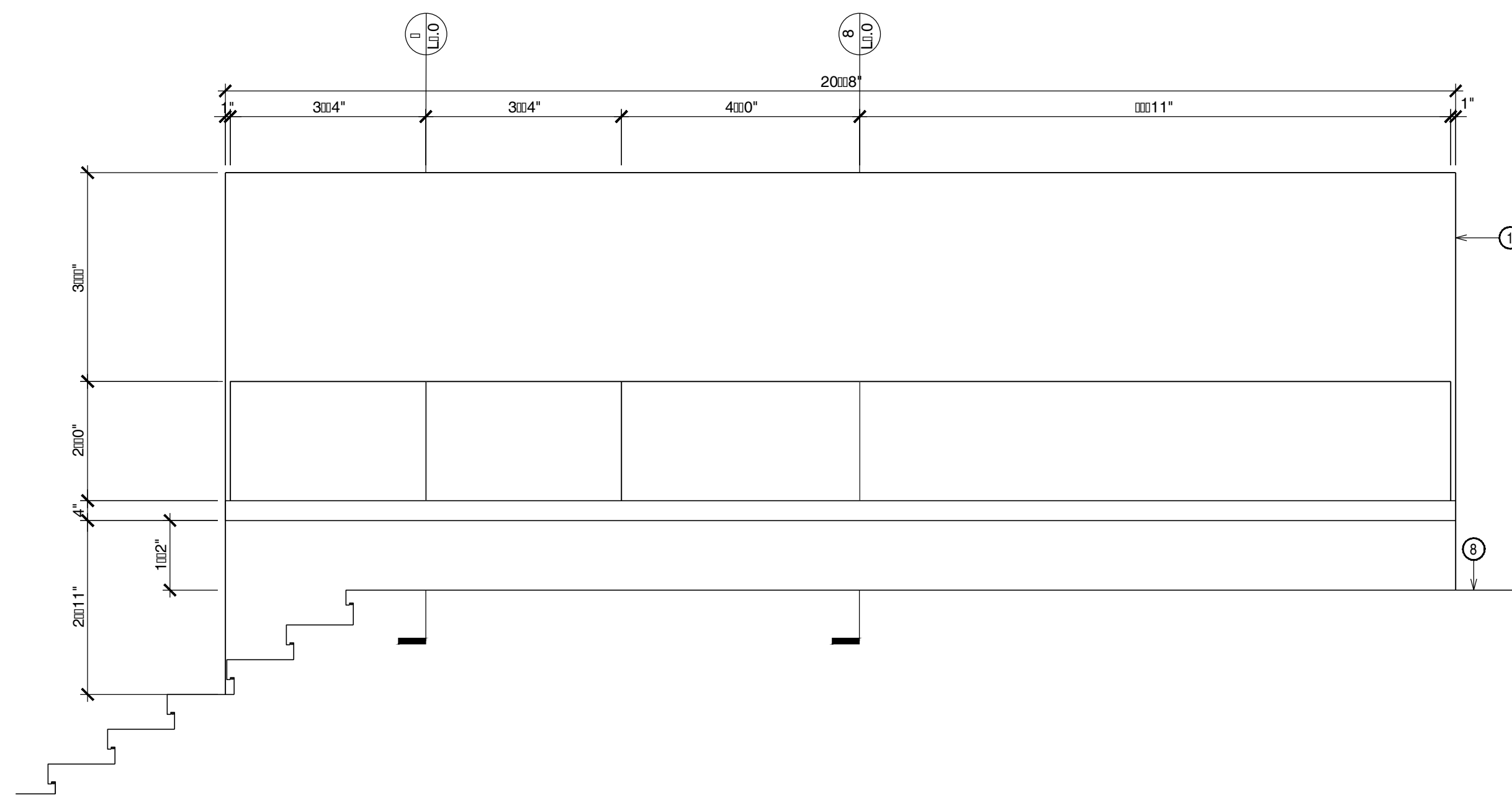


1"=1'00" CONCRETE STEPS @ FIREPLACE 06

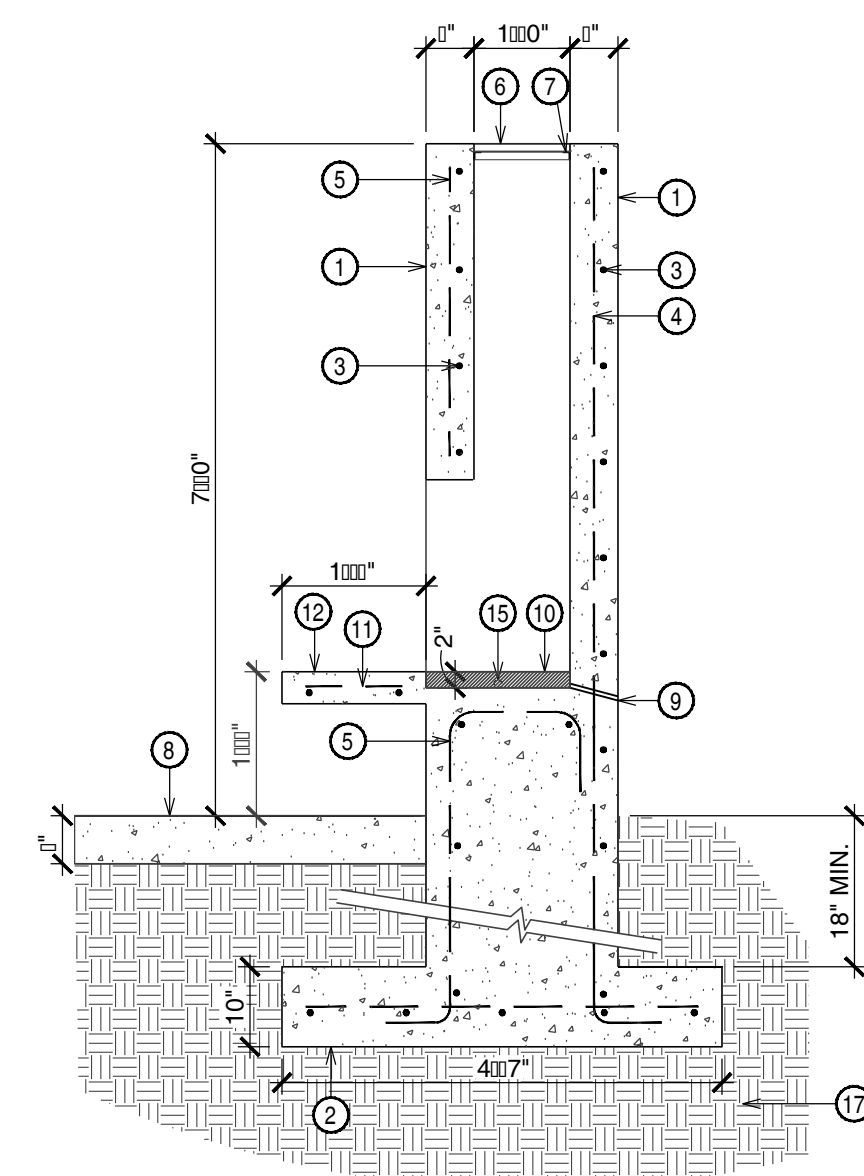
KEYNOTES:

- CIP CONCRETE FIREPLACE GRAY CONCRETE w/ VENETIAN PLASTER FINISH, CRISP EDGES.
- 10" THICK FOOTING w/ #5 BARS @ 16" O.C. EACH WAY EXTEND FOOTING 6" PAST BENCH, 8" BEYOND WALL.
- #4 CONTINUOUS @ 16" O.C. HORIZONTAL.
- #5 @ 16" O.C. VERT. @ CENTER OF WALL.
- #5 BENT REBAR @ 16" O.C.
- SPARK ARRESTOR SCREEN. NON RUSTING.
- 1" x 1" GALVANIZED STEEL ANGLE.
- F.G. @ ADJACENT CONCRETE.
- 2" Ø WEEPHOLE (2). SLEEVE IN STEEL BOX LOCATION, ANGLE TO DRAIN WATER.
- STEEL GRATE.
- #4 @ 18" O.C. EACH WAY.
- SEMI-FLOATING PRECAST BENCH.
- LINEAR GAS FIRE ELEMENT AND PIPING.
- TAPE LIGHT. LIGHT SHINES DIRECTLY STRAIGHT
- 15" ADJUSTABLE ROUND IN-GROUND MR16 LOW VOLTAGE UPLIGHT - VORTECH EXTERIOR IVGA30-ST-SB-IVG30-HLC, QTY=2
- ADJACENT CONCRETE STEPS. REFER TO DETAIL 2/L5.0
- 95% COMPACTED SOIL

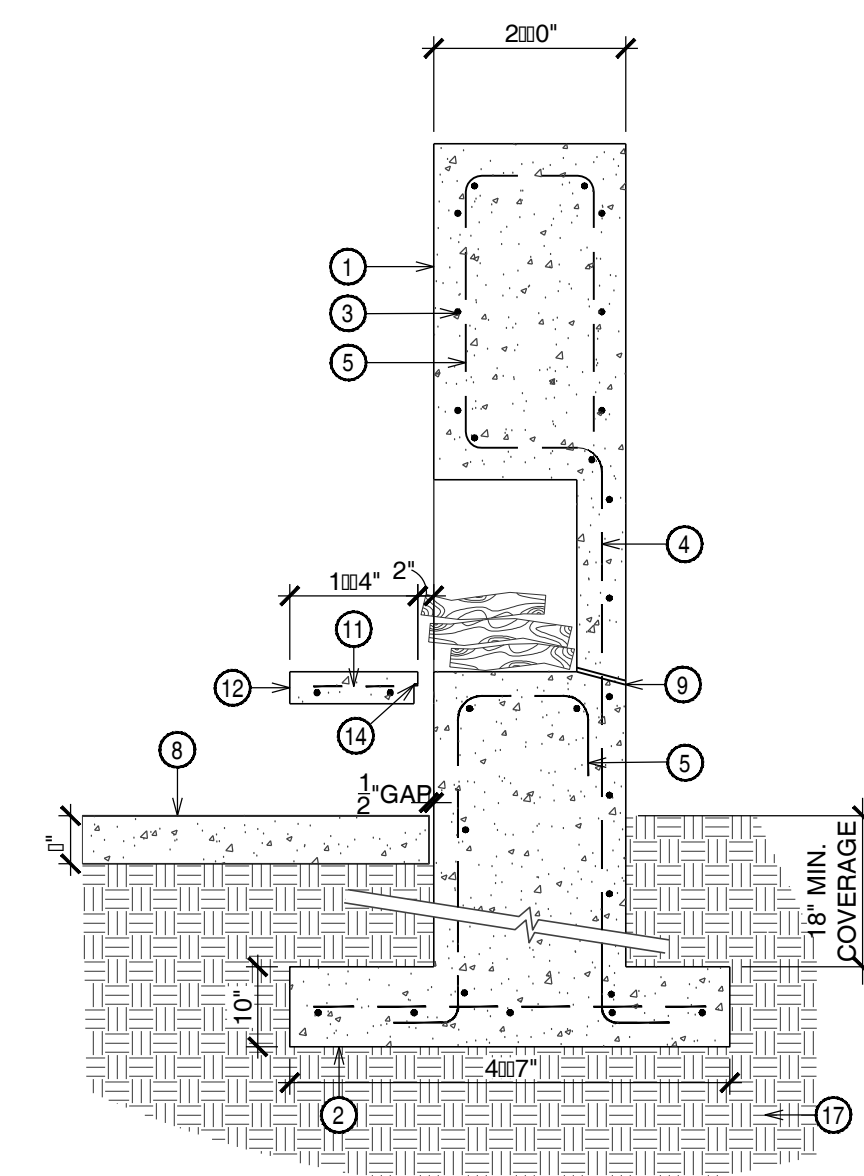
NOTE: CONTRACTOR SHALL PROVIDE ENGINEERING



1 1/2"=1'00" CIP FIREPLACE WALL 07



1 1/2"=1'00" FIREBOX WALL 08



1 1/2"=1'00" FIREPLACE LOG STORAGE 08

REVISIONS	
No.	DATE
1	
2	
3	
4	

CALL FOR PRICING 24/7
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1-800-STAKE IT
(FOR THE WHOLE COUNTRY)

COLWELL SHELLOR LANDSCAPE ARCHITECTURE
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 SUITE 104
 PHOENIX, AZ 85014
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THOMPSON RESIDENCE
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 PARADISE VALLEY, AZ 85253

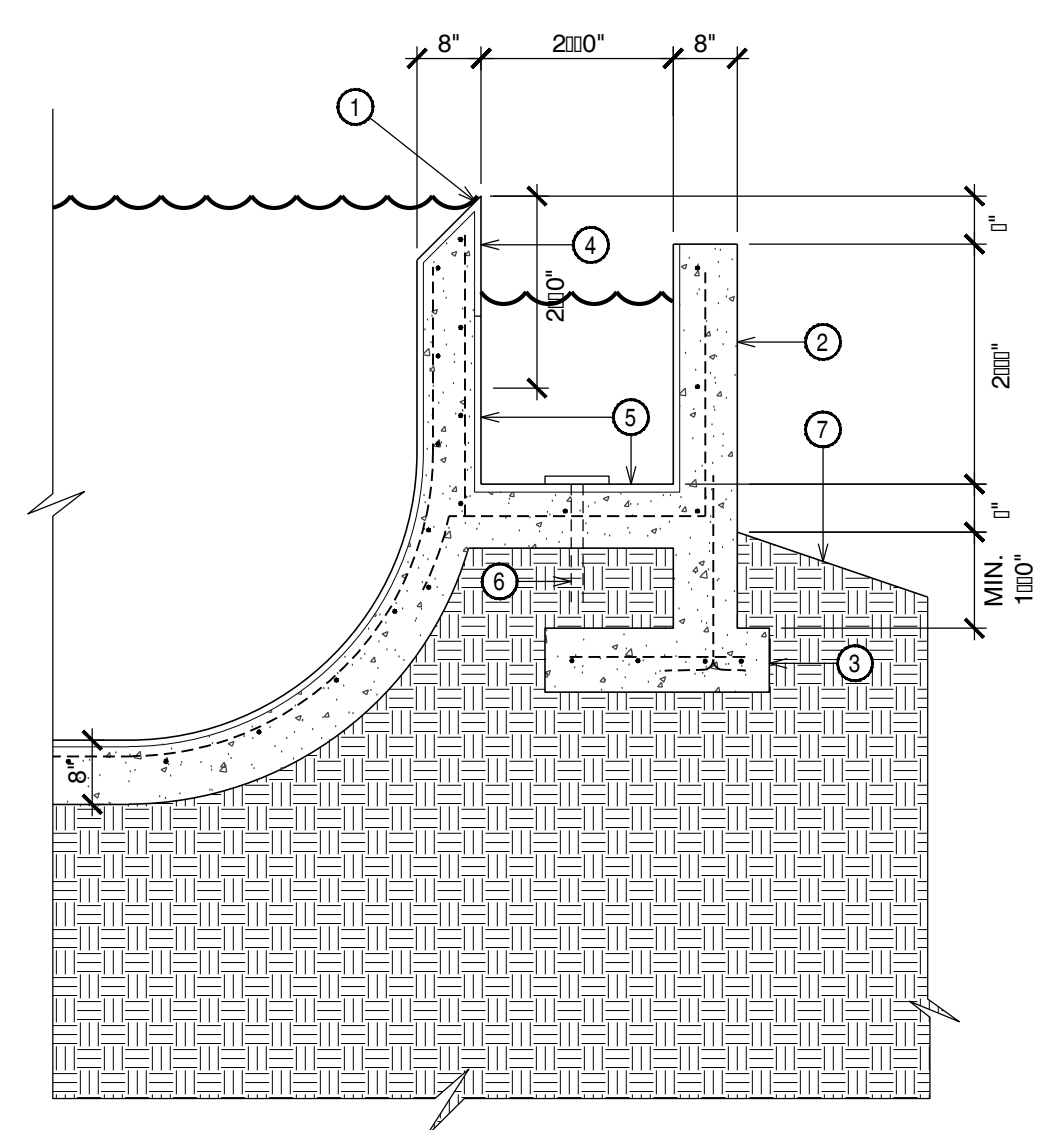
FOR	HILLSIDE REVIEW
DATE	11.17.2017
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JOB	17023
DRAWING	HARDSCAPE DETAILS

SHEET No.

L3.0

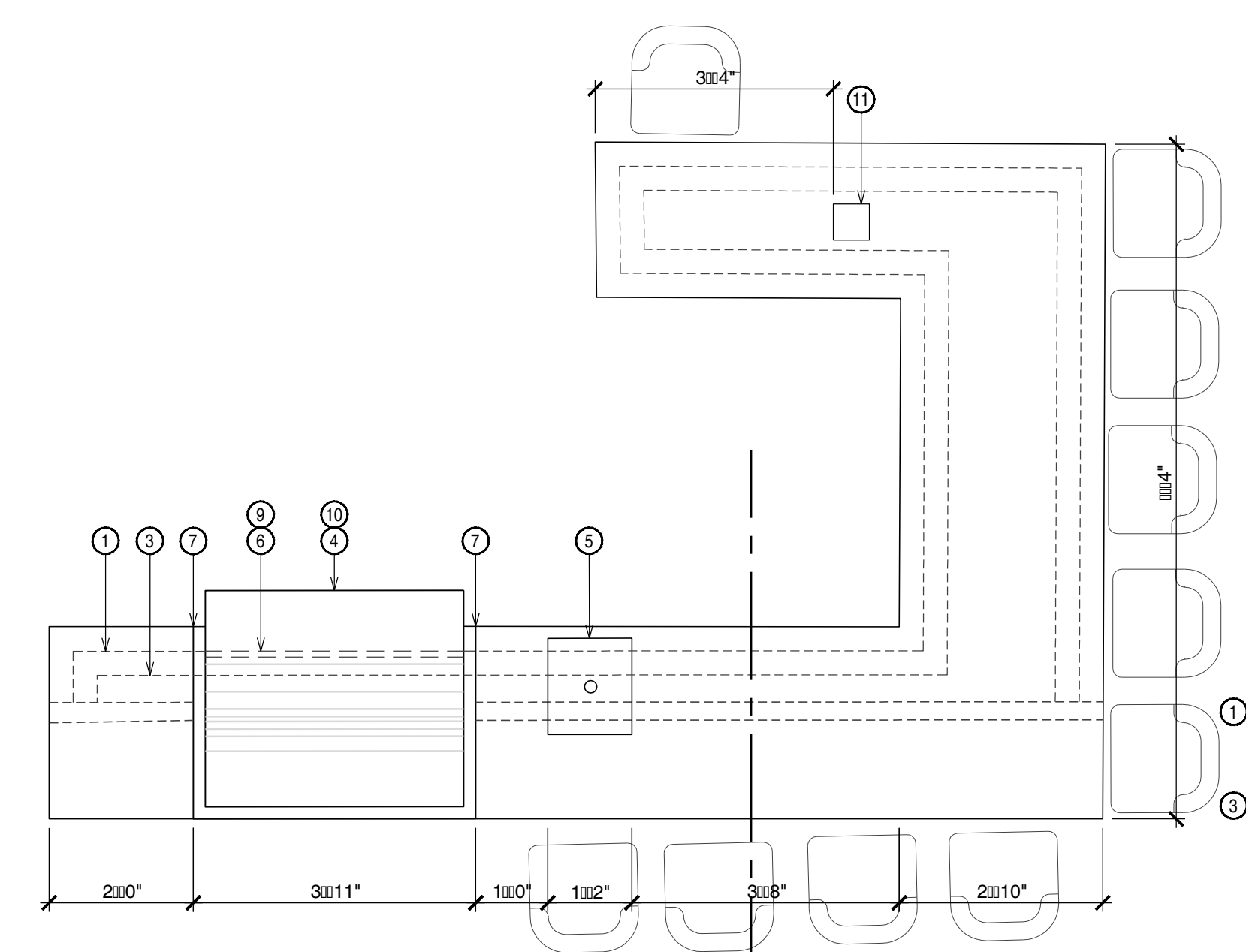
REVISIONS	
No.	DATE
1	
2	
3	
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CALL FOR FORMING 2011
 BEFORE POURING
602-263-1100
1-800-STAKE IT
(FOR THE MASONRY COMPANY)

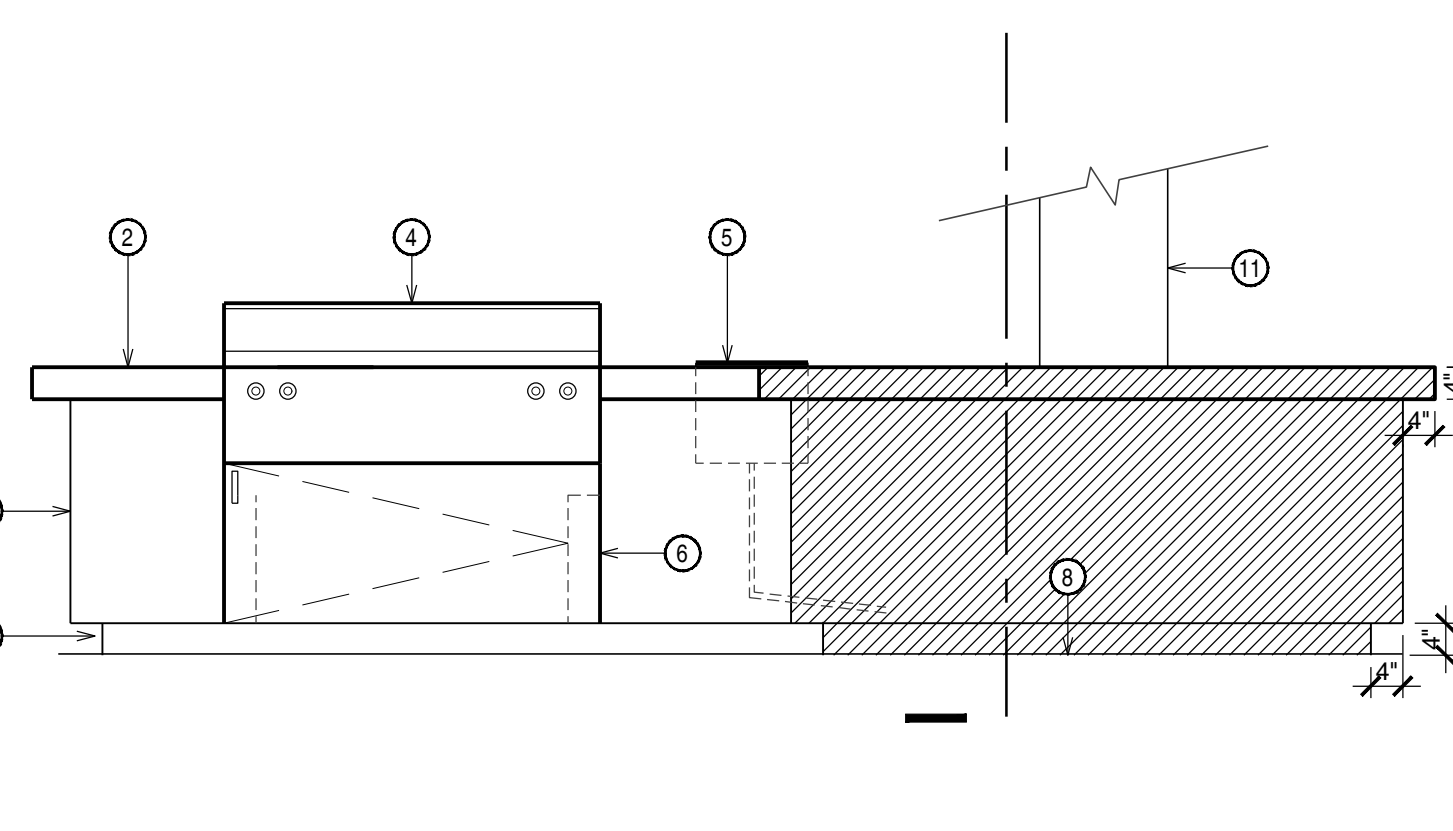


- KEYNOTES:**
1. NEGATIVE EDGE AT POOL. SURFACE TRIM TO MATCH PEBBLE TEC.
 2. 3'H SURCHARGE TANK/RETAINING WALL.
 3. CONCRETE FOOTING.
 4. TILE.
 5. THOROSEAL INTERIOR.
 6. DRAIN TO RETURN PUMP.
 7. FINISH GRADE @ SLOPE

1/12"=1'10"0" **3'H RETAINING/SURCHARGE TANK** 01
DETAIL

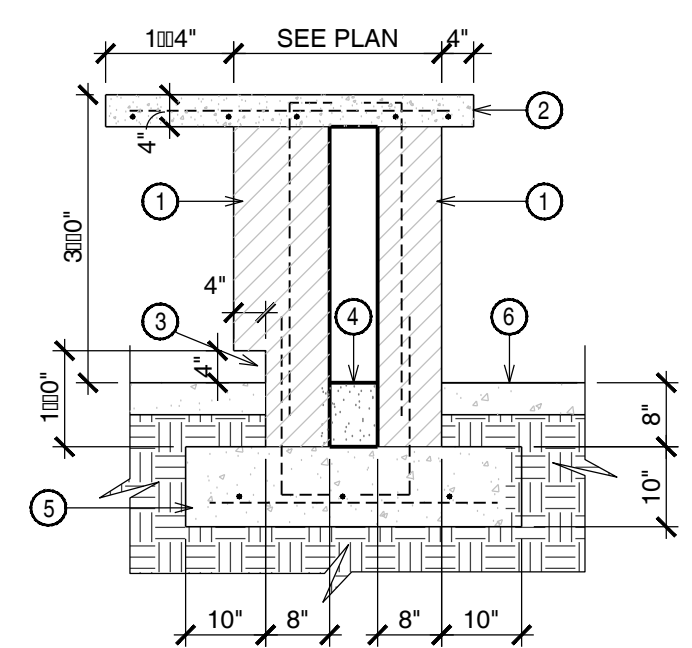


1/12"=1'10"0" **BBQ - PLAN VIEW** 02
DETAIL



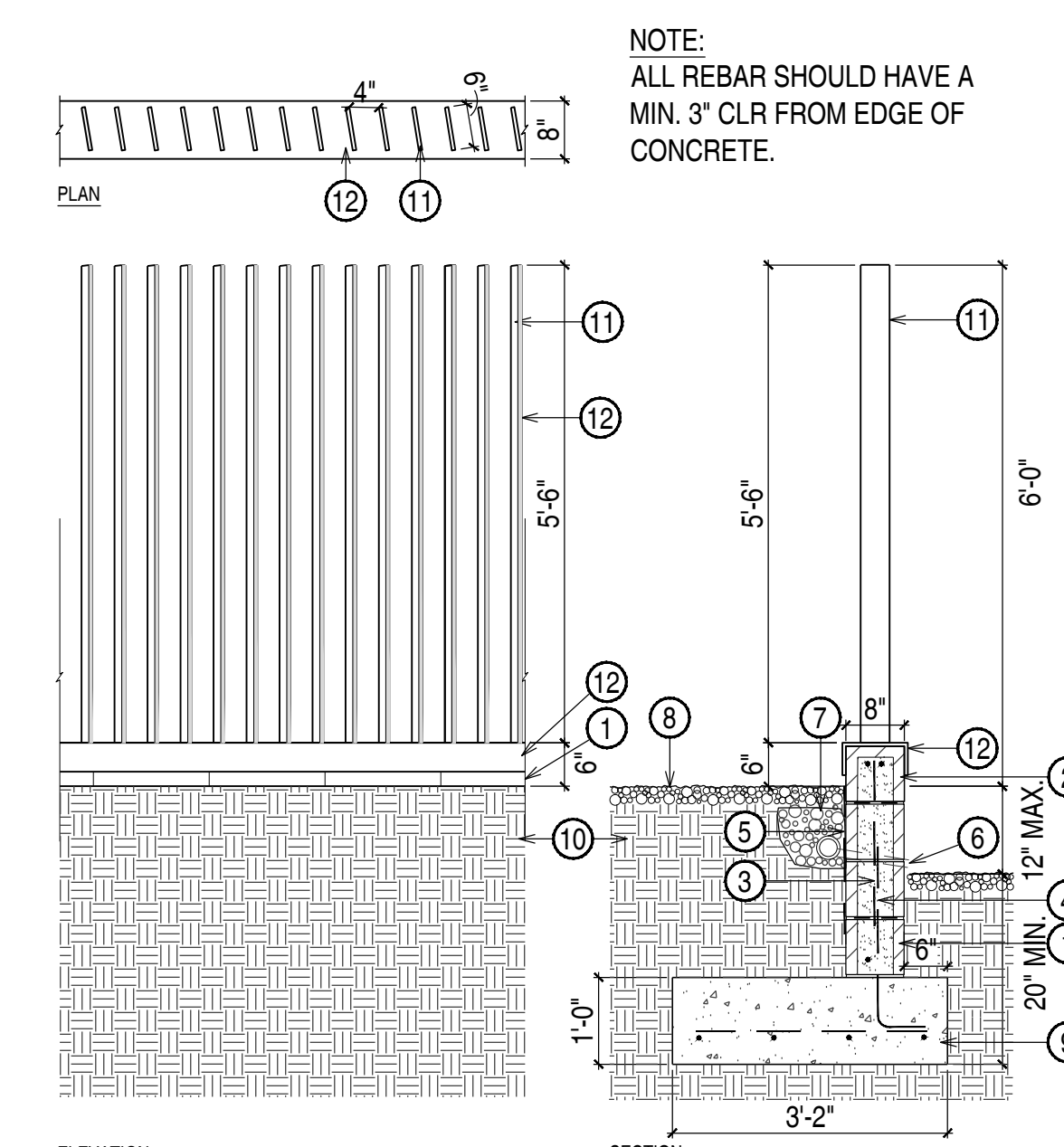
- KEYNOTES:**
1. CMU BASE.
 2. 4" CANTILEVERED INTEGRAL COLOR CONCRETE COUNTER ALL AROUND, 3000 PSI. DAVIS COLOR: OUTBACK #677.
 3. 4" TOE SPACE BELOW, ALL AROUND.
 4. DCS BARBEQUE GRILL, 43" x 36"
 5. 16" X 14" SINK WITH DRAIN LINE TO GARDEN.
 6. ACCESS DOOR SET INTO MASONRY, BUILD TO FIT.
 7. SCORE LINE.
 8. CONCRETE DECK.
 9. ACCESS DOOR BELOW.
 10. GRILL PROJECTS BEYOND OUTSIDE FACE OF COUNTER.
 11. EXISTING ROOF COLUMN. COUNTER AND BASE TO BE BUILT AROUND.

1/12"=1'10"0" **BBQ - FRONT ELEVATION** 03
DETAIL



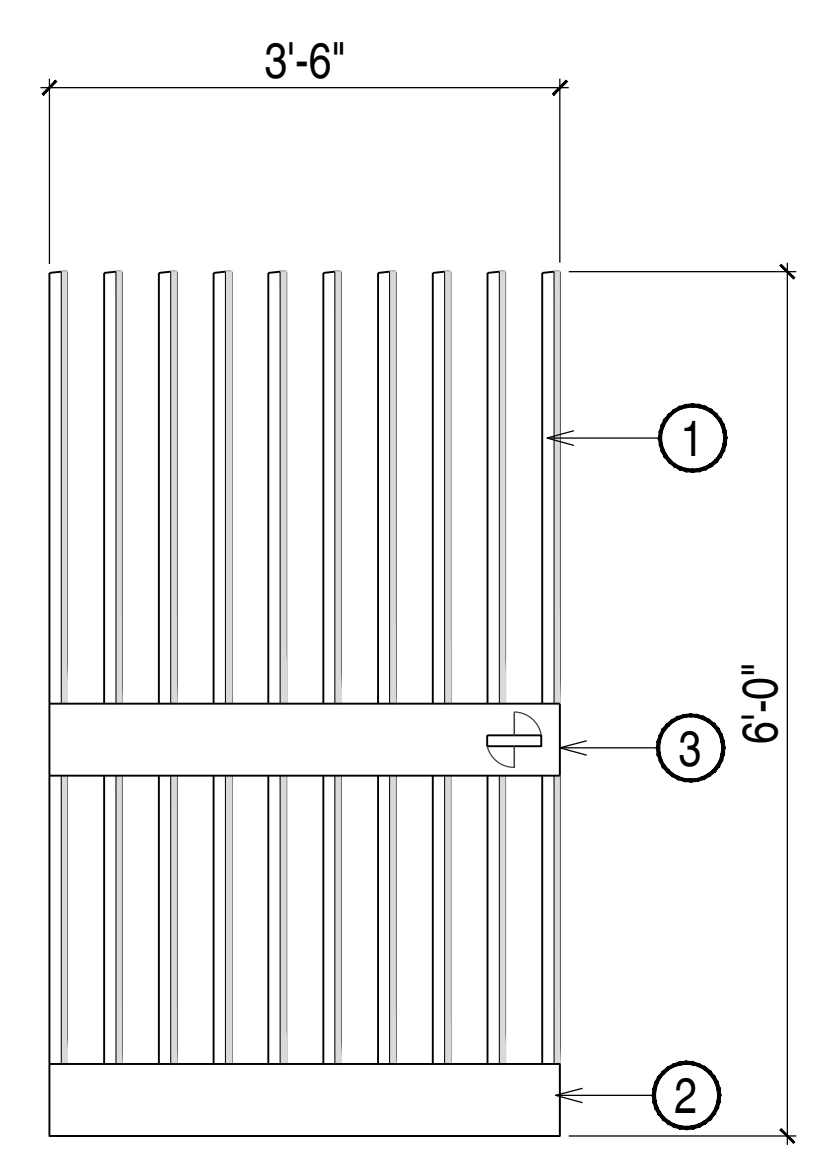
- KEYNOTES:**
1. REINFORCED CMU.
 2. 4" CANTILEVERED INTEGRAL COLOR CONCRETE COUNTER ALL AROUND, 3000 PSI. DAVIS COLOR: OUTBACK #677.
 3. 4" TOE SPACE BELOW, ALL AROUND.
 4. GROUT SOLID.
 5. CONCRETE FOOTING, (3) #4 CONTINUOUS.
 6. FINISH GRADE @ ADJACENT CONCRETE PAVING. REFER TO 1/L5.0.

1/12"=1'10"0" **BBQ - SECTION** 04
DETAIL



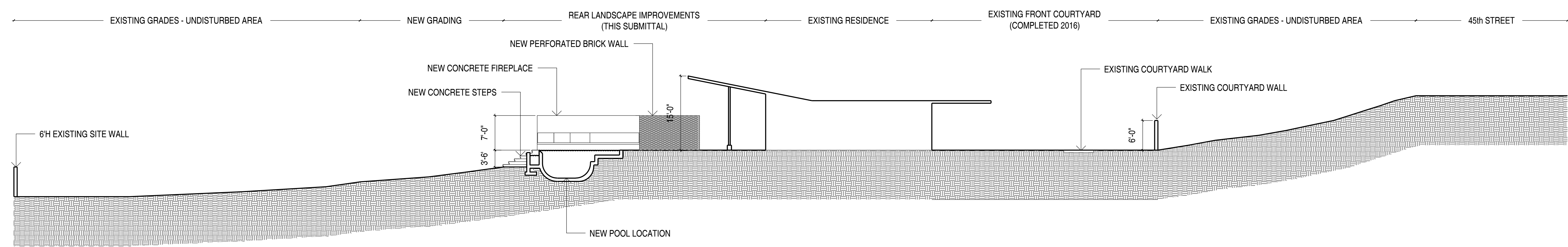
- NOTE:**
 ALL REBAR SHOULD HAVE A MIN. 3" CLR FROM EDGE OF CONCRETE.
- KEYNOTES:**
1. 8" x 8" x 16" CMU RETAINING WALL. GREY BLOCK w/ SANDBLAST FINISH TO MATCH EXISTING. GROUT PER EXISTING.
 2. BOND BEAM w/ (2) #4 BAR CONT. CAP BLOCK.
 3. #4 VERTS @ 48" O.C., GROUT SOLID.
 4. #4 HORIZ. @ 40" O.C.
 5. WATERPROOFING ALONG ENTIRE LENGTH OF WALL. END 2' BELOW F.G.
 6. 4" PERFORATED DRAIN TO DAYLIGHT. 2" WEEPS @ 6'-0" O.C.. DRAIN TO SOIL WHERE POSSIBLE AS OPPOSED TO CONCRETE.
 7. 12" x 12" x HEIGHT GRAVEL DRAIN WRAPPED w/ FILTER FABRIC. GRAVEL DRAIN TO GO UP TO 12" BELOW FINISH GRADE.
 8. F.G. @ D.G. / PLANTING AREA.
 9. (4) #4'S IN CONCRETE FOOTING, 2,500 PSI CONC.
 10. COMPACTED SUBGRADE 95% OR UNDISTURBED SOIL UNLESS NOTED OTHERWISE.
 11. 6" W x 1/2" TH. x 4" H STEEL PANEL. WELDED TO STEEL U-CHANNEL PLATE.
 12. 8" W x 1/2" TH. x 4" H STEEL U-CHANNEL PLATE.

3/14"=1'10"0" **PICKET VIEW FENCE** 05
DETAIL



- KEYNOTES:**
1. 6" W x 1/2" TH. x 4" H GALVANIZED STEEL PANEL. WELDED TO STEEL U-CHANNEL PLATE.
 2. 8" W x 1/2" TH. x 4" H GALVANIZED STEEL U-CHANNEL PLATE.
 3. GALVANIZED STEEL PLATE w/ PULL & LOCK

3/14"=1'10"0" **ACCESS GATE** 06
DETAIL



3/12"=1'10"0" **SECTION THROUGH SITE** 07
DETAIL

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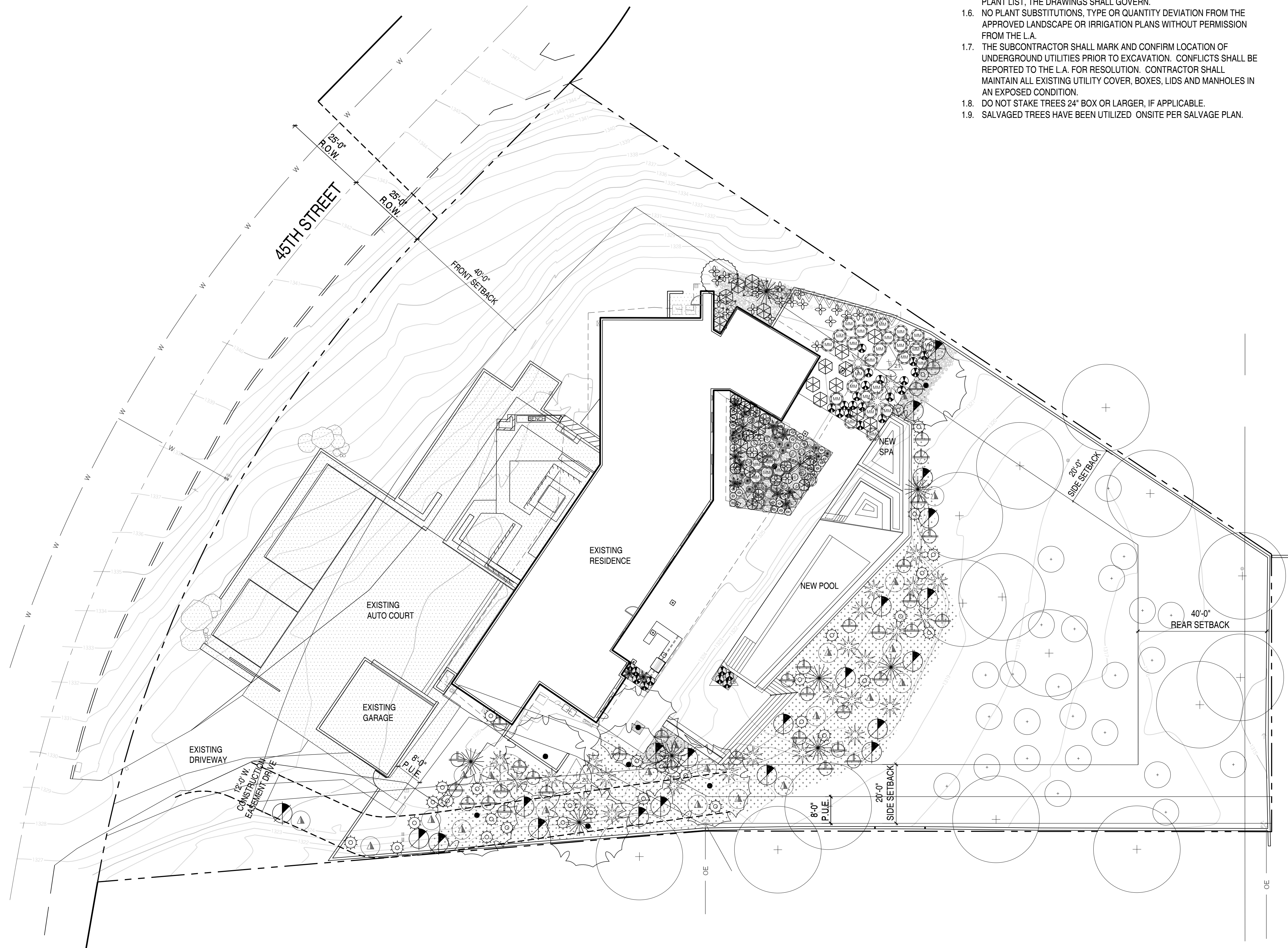


THOMPSON RESIDENCE
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SHEET No.

L3.1



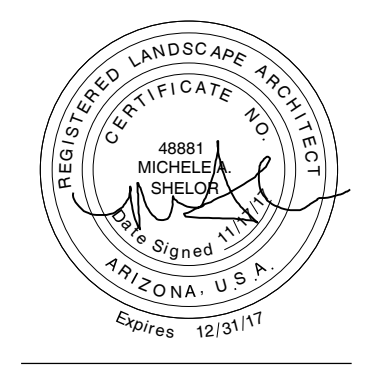
- PLANTING GENERAL NOTES:**
- 1.1. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 - 1.2. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
 - 1.3. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
 - 1.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
 - 1.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE L.A. PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
 - 1.6. NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE L.A.
 - 1.7. THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE L.A. FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.
 - 1.8. DO NOT STAKE TREES 24" BOX OR LARGER, IF APPLICABLE.
 - 1.9. SALVAGED TREES HAVE BEEN UTILIZED ONSITE PER SALVAGE PLAN.

SYM	BOTANICAL NAME COMMON NAME	SIZE	QTY	NOTES (H X W X CAL.)
TREES				
(Symbol)	EXISTING TREE	-	-	PROTECT-IN-PLACE
(Symbol)	BAUHINIA LUNARIODES WHITE ORCHID TREE	36" BOX	1	MULTI-TRUNK
(Symbol)	CERCIDIUM MICROPHYLLUM FOOTHILLS PALO VERDE	54" BOX 48" BOX	1 7	MULTI-TRUNK DESERT SALVAGED
SHRUBS				
(Symbol)	ENCELIA FARINOSA BRITTLEBUSH	1 GAL	32	CAN FULL
(Symbol)	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	35	CAN FULL
(Symbol)	LARREA TRIDENTATA CREOSOTE	5 GAL	21	CAN FULL
(Symbol)	MUHLENBERGIA DUBIA PINE MUHLY	1 GAL	13	CAN FULL
ACCENTS				
(Symbol)	SALVAGE CACTI	-	3	REFER TO SALVAGE PLAN
(Symbol)	AGAVE ATTENUATA 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	11	CAN FULL
(Symbol)	AGAVE PARRYII PARRY'S AGAVE	5 GAL	7	CAN FULL
(Symbol)	AGAVE WEBERI 'ARIZONA STAR' VARIEGATED WEBER AGAVE	5 GAL	2	CAN FULL
(Symbol)	ALOE BARBADENSIS 'YELLOW' YELLOW ALOE	5 GAL	20	CAN FULL
(Symbol)	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL	30	CAN FULL
(Symbol)	ALOE DAWEI DAWE'S ALOE	5 GAL	10	CAN FULL
(Symbol)	CYCAS REVOLUTA SAGO PALM	24 GAL	19	CAN FULL
(Symbol)	DASYLIRION WHEELERI DESERT SPOON	15 GAL	27	CAN FULL
(Symbol)	EUPHORBIA MILII CROWN OF THRONES	15 GAL	6	CAN FULL
(Symbol)	EUPHORBIA RESINIFERA MOROCCAN MOUND	24 GAL	38	CAN FULL
(Symbol)	FOUQUIERA SPLENDENS OCOTILLO	24" BOX	8	7 WHIP MIN
(Symbol)	MANFREDIA MACULOSA TEXAS TUBEROSE	15 GAL	16	CAN FULL
(Symbol)	OPUNTIA ENGELMANNII ENGELMANN'S PRICKLY PEAR	15 GAL	21	5 PAD MIN.
(Symbol)	OPUNTIA MICRODASYS BUNNY EARS PRICKLY PEAR	15 GAL	15	5 PAD MIN.
(Symbol)	YUCCA PALLIDA PALE LEAF YUCCA	5 GAL	28	CAN FULL
VINES				
(Symbol)	PARTHENOCISSUS SP. HACIENDA CREEPER	5 GAL	11	CAN FULL
INERT MATERIALS				
(Symbol)	DESERT PAVEMENT TOP DRESSING @ 2" DEPTH. COLOR: SALVAGED & STOCKPILED FROM SITE			
(Symbol)	SALVAGED LAVA ROCK TOPDRESSING			
(Symbol)	HYDROSEED MIX. SONORAN DESERT NATIVE WILDFLOWER MIX. 1#/2000 SQ. FT. WILDSEED / 602.276.3536			

REVISIONS	
No.	DATE

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DESIGN LANDSCAPE ARCHITECTURE

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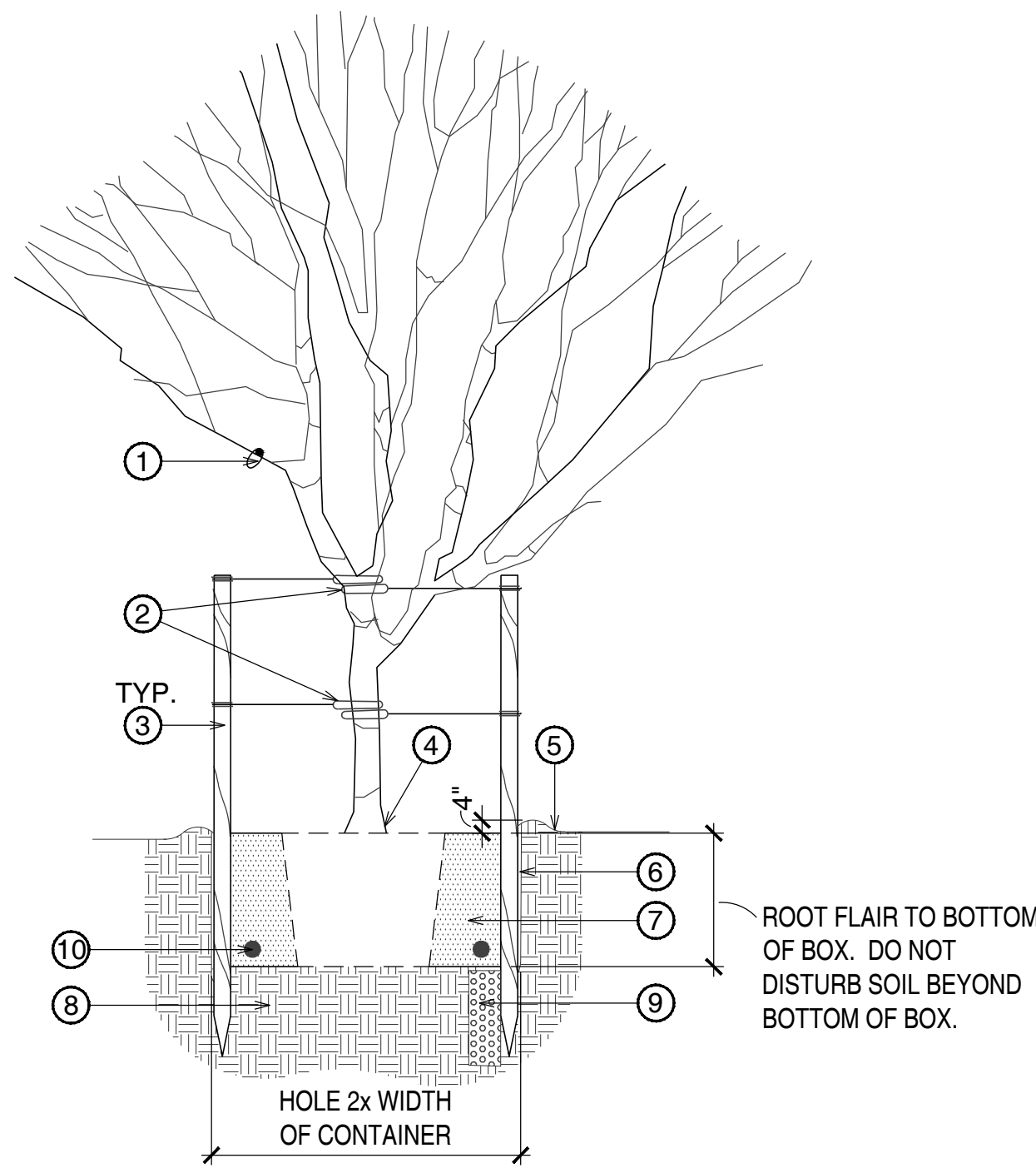
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0 4 8 16 32
SCALE IN FEET 1/16"=1'-0"

1"=16'-0"

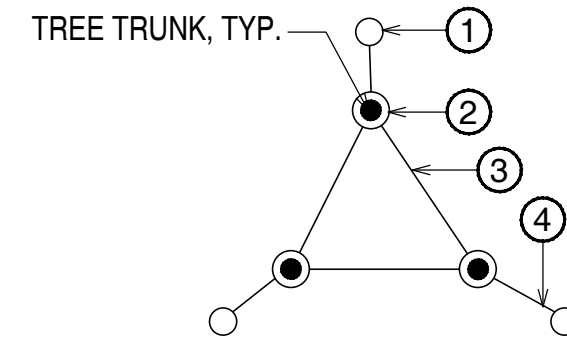
LANDSCAPE PLAN 01

L4.0



KEYNOTES

1. ALL TREE IDENTIFICATION, TRADEMARK, SALVAGE TAGS TO REMAIN ON TREE.
2. 2 STRAND TWISTED 10 GA. GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE.
3. 2 MIN.-12' LODGE POLE STAKES DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
4. ROOT FLARE SHALL BE ABOVE FINISH GRADE.
5. FINISH GRADE OF DECOMPOSED GRANITE, KEEP AWAY FROM TRUNK.
6. SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
7. BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS
8. UNDISTURBED SOIL.
9. 8" WIDE X 5' DEEP AUGER DUG WELL w/ 1-2" DIA. CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.
10. PLANT TABLET, TYP.



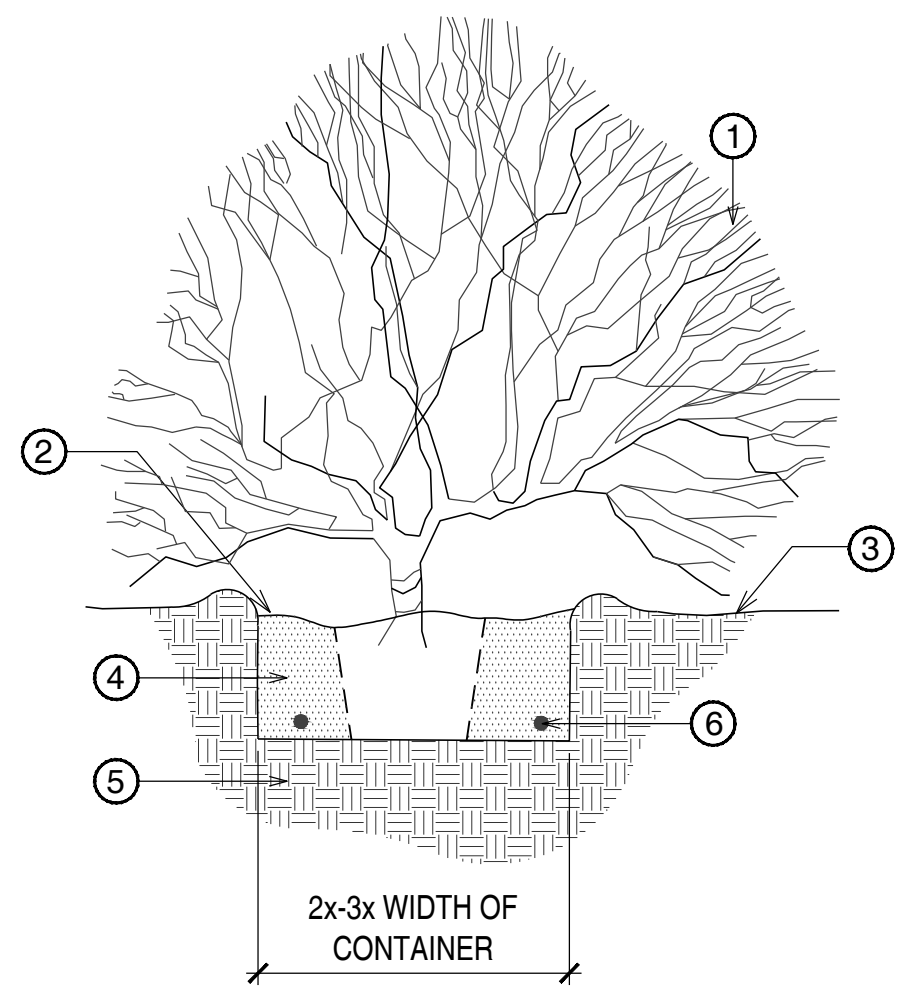
MULTI-TRUNK STAKING PROCEDURE

1. INSTALL LODGEPOLES, (3) PER TREE AS NEEDED - (2) MIN.
2. ATTACH RUBBER HOSE TO ALL TRUNKS. 1/2" Ø RUBBER HOSE, 2x TRUNK CALIPER.
3. SECURE INTERIOR 10 GA. WIRE TO RUBBER HOSES.
4. SECURE 10 GA. WIRE FROM RUBBER HOSES TO LODGEPOLES.

NOTES:

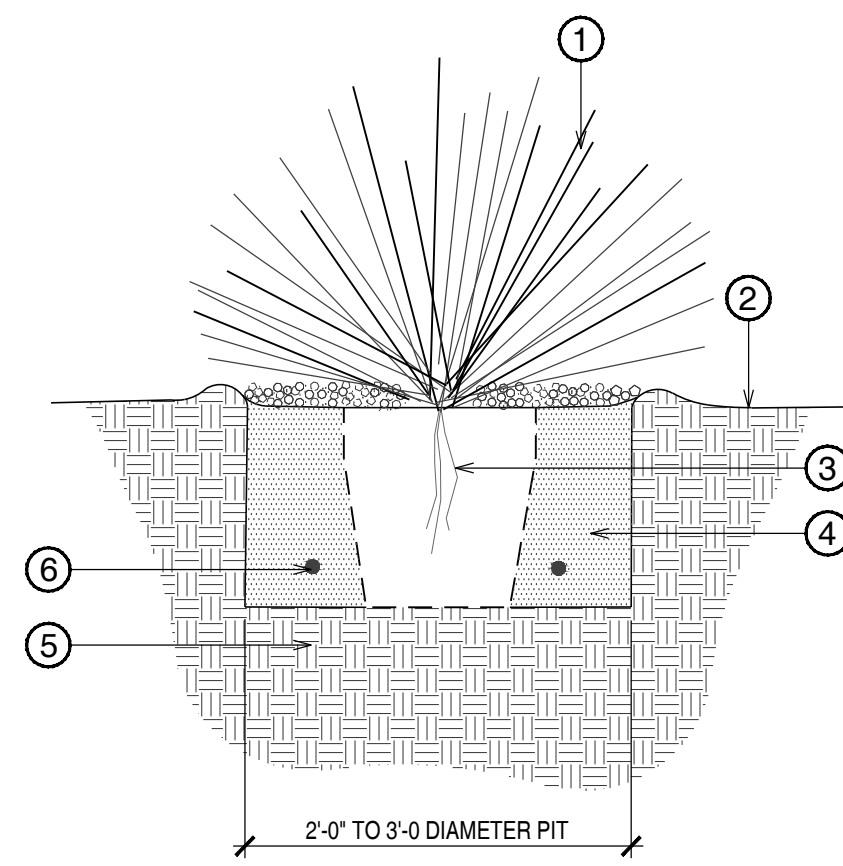
- ROOTBALL AND TOP OF WELL TO BE FLUSH WITH FINISH GRADE.
- PAINT CUTS OVER 1" DIAMETER
- POSITION STAKES TO AVOID RUBBING ROOTBALL, BRANCHES & PIERCING (AS PER SPECIFICATIONS)
- PLACE TREE TIES FOR MAXIMUM SUPPORT WITH TOP TIE ABOVE SCAFFOLD BRANCHES AND SECOND TIE MIDWAY TO THE GROUND LEVEL.
- ALLOW FOR SOME TRUNK MOVEMENT.

NTS **TREE PLANTING 01**



KEYNOTES

1. SHRUB.
2. TOP OF ROOTBALL AND WELL TO BE 2" BELOW SAUCER.
3. FINISH GRADE OF DECOMPOSED GRANITE, KEEP OFF BASE OF PLANT.
4. BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS.
5. UNDISTURBED SOIL.
6. PLANT TABLET, TYP.



KEYNOTES

1. ACCENT PLANT.
2. FINISH GRADE OF DECOMPOSED GRANITE, KEEP OFF BASE OF PLANT.
3. ROOT ZONE
4. BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS.
5. UNDISTURBED SOIL.
6. PLANT TABLET, TYP.

NOTES:

- ROOT PRUNE ALL DAMAGED ROOTS.
- INSPECTION & APPROVAL OF ALL ACCENTS REQUIRED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- USE DRY SITE SOIL IN PIT - NO MULCH.
- DO NOT WATER FOR 3 WEEKS.
- AT SITE, DUST ENTIRE ROOT STRUCTURE WITH WETTABLE DUSTING SULPHUR (1.5# MINIMUM).
- RETAIN ORIGINAL ORIENTATION TO SUN WHEN PLANTING.

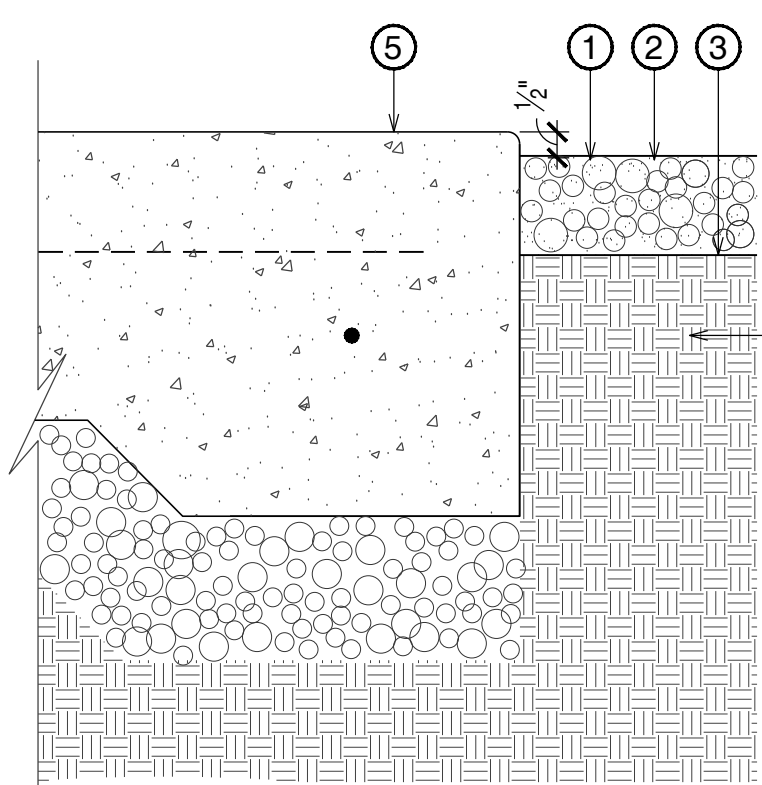
NTS **SHRUB PLANTING 02**

KEYNOTES

1. DECOMPOSED GRANITE IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED. SIZE, COLOR AND DEPTH SHALL BE AS NOTED ON PLANT LEGEND.
2. FINISHED GRADE OF PLANTING AREA.
3. FINISHED GRADE @ SOIL.
4. SUBGRADE/PLANTING SOIL, COMPACT 85% MAX.
5. CONCRETE PAVING/WALK.

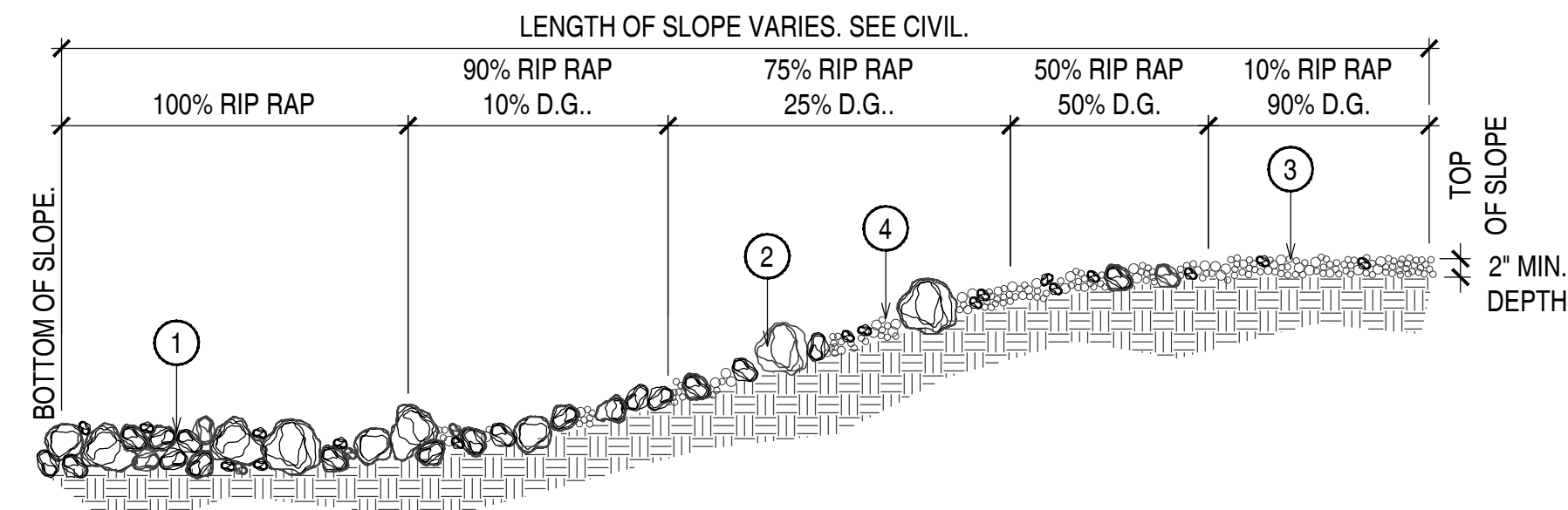
NOTES:

1. SIZE, COLOR AND OF DECOMPOSED GRANITE NOTED ON PLANT LEGEND. PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF DECOMPOSED GRANITE & MULCH AFTER INSTALLATION.



3"=1'-0" **DECOMPOSED GRANITE 04**

1"=1'-0" **ACCENT PLANTING 03**



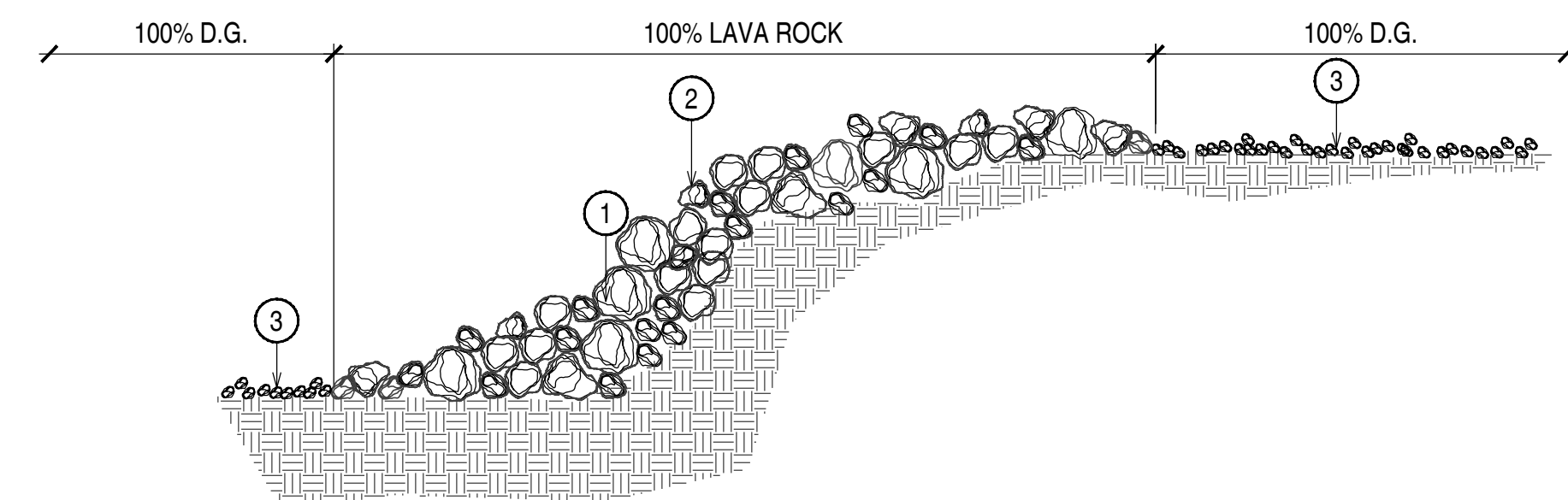
KEYNOTES:

1. DEPTH OF RIPRAP AT INLET/OUTLET & FINISH GRADE.
2. 6" RIPRAP. COLOR OF ALL GRANITE RIP RAP SHALL MATCH DECOMPOSED GRANITE COLOR SPECIFIED IN PLANT LEGEND. CONTRACTOR SHALL SUBMIT RIPRAP SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
3. FINISH GRADE.
4. COVER w/ SOIL FROM SITE. NOT SHOWN HERE FOR CLARITY.

NOTES:

1. REFER TO LANDSCAPE PLANS FOR COLOR & SIZE OF D.G.
2. ORGANIC PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE PRIOR TO INSTALLATION.
3. COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING.
4. ALL RIP RAP SHALL BE 1/2" BELOW TOP OF ADJACENT WALK.

1"=1'-0" **DESERT PAVEMENT 05**



KEYNOTES:

1. 4"-12" LAVA ROCK. RESUED FROM SITE.
2. FINISH GRADE.
3. D.G. PLANTING AREA.

NOTES:

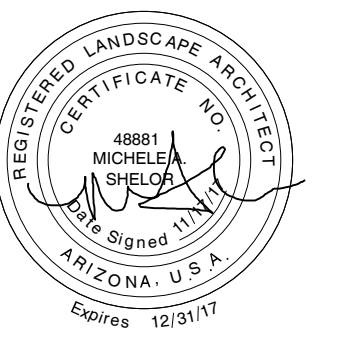
1. REFER TO LANDSCAPE PLANS FOR COLOR & SIZE OF D.G.
2. ORGANIC PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE PRIOR TO INSTALLATION.
3. COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING.
4. ALL LAVA ROCK & D.G. SHALL BE 1/2" BELOW TOP OF ADJACENT WALK.

1"=1'-0" **LAVA ROCK SLOPE 05**

REVISIONS	
No.	DATE
1	
2	
3	
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THOMPSON RESIDENCE
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FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	
LANDSCAPE DETAILS	

SHEET No.

L5.0

LIGHTING LEGEND

SYMBOL	DESCRIPTION	QTY
	DIRECTIONAL UPLIGHT	
	UP-LIGHT	
	STRIP LIGHTING	
	UNIQUE, STELLAR = STEL-12-L1 CAST BRASS, GLARE CONTROL LENS KIT, PVC MOUNTING STAKE, 25' WIRE LEAD, FLEX SERIES 1 WATT LED (shall be used as a landscape lighting fixture only) COLOR: WARM WHITE, 100 LUMENS, 3000K	31
	BRILLIANCE LED STRIP LIGHTING = BRI-SL3-2700 65 FLEXIBLE STRIP LIGHTING COLOR: WARM WHITE, 45 LUMENS PER FT. 2700K	208 l.f.

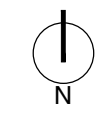
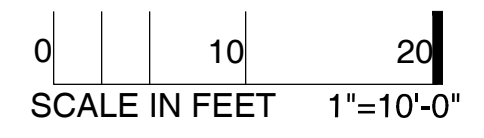
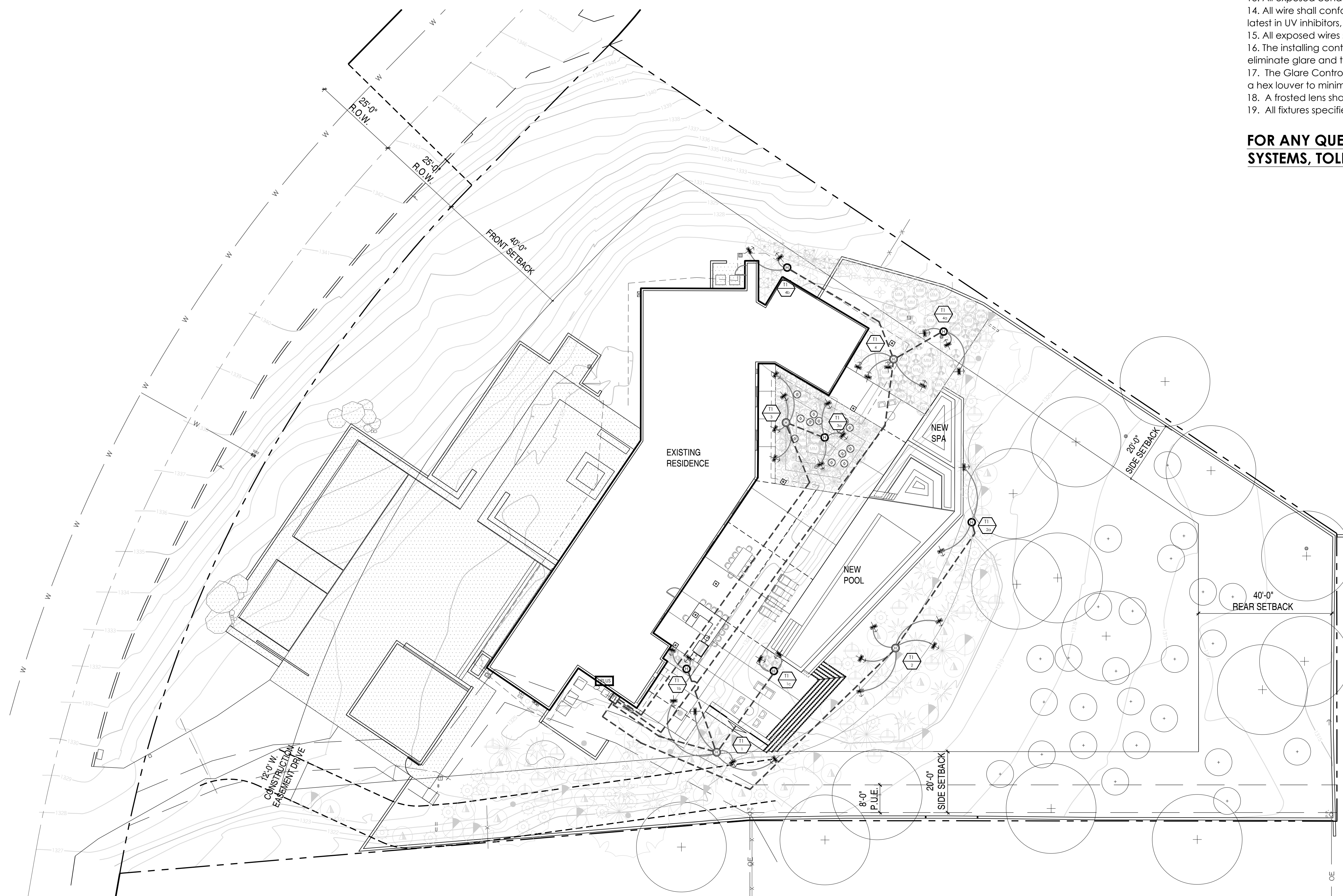
TRANSFORMERS & HUBS

	UNIQUE, INTELLI-MATIC TRANSFORMER, 500IFSF SINGLE CORE, MULTI TAP, 12 VOLT TRANSFORMER, STAINLESS STEEL HOUSING WITH LIGHT LOGIC (LPCU-A)	1
	UNIQUE LIGHT LOGIC PROGRAMMING MODULE (LPLUS)	1
	UNIQUE, INTELLI-HUB	4
	UNIQUE, SATELLITE HUB	8
	UNIQUE, THW UV BROWN WIRE (SEE TRANSFORMER LOAD CALCS FOR SIZE AND QTY)	
	TRANSFORMER NO.	
	HUB NO.	

LIGHTING GENERAL NOTES:

- This plan is intended for landscape lighting purposes only. All lighting fixtures and transformers shall be installed per manufacturer's specifications. It is the contractor's responsibility to maintain compliance with the National Electric Code (current edition) and all local building safety codes and ordinances.
- Fixtures are shown in approximate location. The contractor shall field verify the actual placement of each fixture upon completion of landscape installation.
- All pathlights to be installed at a minimum of 18" from any sidewalk or structure.
- All hubs shall be labeled and installed primarily in planter areas 2" above finished grade; or in a readily accessible area that does not obstruct pathways, drainage swales or common areas.
- All "Home Run" wire shall be labeled and installed at a minimum depth of 6". All fixture lead wires shall be installed at a minimum depth of 6".
- In order to minimize future disturbance, all wire runs shall be installed parallel and adjacent to hard surfaces such as sidewalks, driveways and walls.
- The installing contractor shall be responsible for installing sleeves under the hardscape surfaces, using a minimum 1-inch PVC pipe.
- Contractor shall not cut the wire leads from the fixtures. Leave excess wire at the fixture when and a minimum of 2' at each hub.
- All underground splices shall be installed in approved in-ground hubs with water-tight connections.
- All exterior 120-Volt electrical outlets shall be GFI protected as per National Electrical Code.
- All transformers plugged into an outdoor receptacle shall have an "in use" cover. Contractor shall install **Taymac** type covers at all outlets.
- All plug-in transformers shall have a "Drip Loop" in the power cord.
- All exposed conduits shall be painted to match surroundings.
- All wire shall conform to ASTM B-49 and B-115 standards: 99% pure PVC plastic mixed with the latest in UV inhibitors, 99.5% pure copper.
- All exposed wires shall be protected and painted.
- The installing contractor shall be responsible for adjusting the fixtures at night to help eliminate glare and to ensure optimum lighting effect.
- The Glare Control kit shall consist of a rotational shroud, frosted, linear and spread lens and a hex louver to minimize glare up to a 45 degree angle.
- A frosted lens shall be used in any down light that is placed under 12' in height.
- All fixtures specified have led lamps that emit max. 3000 kelvin color temperature.

FOR ANY QUESTIONS, PLEASE CONTACT UNIQUE LIGHTING SYSTEMS, TOLL FREE @ 1-800-955-4831



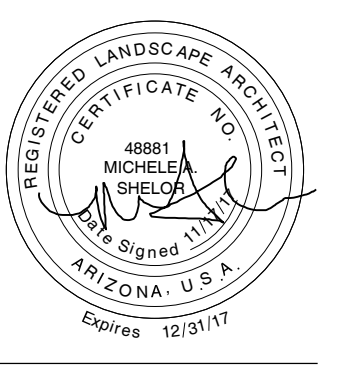
1"=10'-0"

LIGHTING PLAN 01

REVISIONS	
No.	DATE
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PARADISE VALLEY, AZ 85253

FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	LIGHTING PLAN

SHEET No.

L6.0

UNIQUE LIGHTING SYSTEMS®

Up Light
Stake Mounted Up Light
Odyssey™ Series



STELLAR: 12V & 24V Brass Up Light

PROJECT: _____

TYPE: _____

CATALOG NUMBER: _____

LAMP(S): _____

NOTES: _____

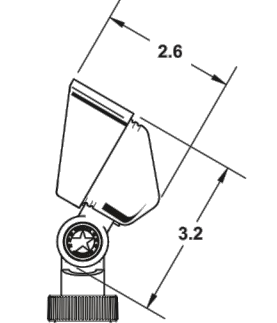
FIXTURE ORDERING INFORMATION

Example: STEL-12-L1 (Stellar, 12 Volt, 1 Watt, 3000K LED T3, 25' Wire Lead, Weathered Brass)

MODEL NAME	VOLTAGE	WATTAGE	WIRE LENGTH	FINISH	OPTIONS
STEL	12-24 Volt	L1= LED, 1W, 3000K L2= LED, 2W, 3000K 20w-20W halogen NL=No Lamp	Leave blank for standard 25' length * 0= 3' wire lead * 50= 50' wire lead	leave blank for standard WB finish P= Standard powder coat finishes. List your desired color in the order comments area.	* 6P= Six Pack

NOTE: Pre-lamped LED fixtures are NOT available with 24V lamps. LED fixtures are available ONLY with a 25' wire lead. For additional painted finishes or six pack options contact our factory.

DIMENSIONS:



Powder Coated Finishes	Standard Finish
Tuscon Tan TT	Weathered Brass WB
White WH	
Black BK	
Versle Green VG	
Titanium Knight TK	

FLEX™ Unique Lighting System® fixtures are available with LED strips. Please specify the strip code when ordering. * Only available with the NL wattage option. Unique Lighting System® reserves the right to modify the design and/or construction of the fixture shown without further notification.

SPECIFICATIONS

Our Commitment
Unique Lighting Systems' highest commitment is to set the standard for manufacturing innovative and quality products. This commitment is evident through our detailed inspection processes and extensive field testing. From the initial design process of each product, to the final assembly of each custom-made individual part, our manufacturing process accomplishes the highest level of performance and durability carried through to final delivery to the end user. Durable construction and beautiful styling make Unique™ fixtures the ideal solution for any residential or commercial application. Unique Lighting™ already holds numerous product patents and we are constantly developing innovative ideas to help expand the lighting industry.

Body
Precision machined from solid brass casting. Body design provides enclosed, water resistant wiring to protect wires. Features an integral knuckle for maximum mechanical strength.

Gasket
High temperature silicone gasket for water-tight seal.

Knuckle
Machined brass knuckle with a solid brass adjustable thumb screw. Vertical tilt of 270° and horizontal rotation of 360° for easy aiming. The Orbital Lock Nut™ allows for locking the horizontal rotation without adjusting the stake.

Shroud
Precision machined and comes with a factory sealed shock resistant tempered glass lens to prevent water intrusion. Includes external injection molded hex boomer. Accepts up to one additional lens.

Lens
Comes with a complete set of optical designer lenses including: spread lens, frosted.

Lamp
For use with 20W max. Astro-Brite lamp. **FLEX™** Series LED lamps are available in 1W and 2W T3. LED lamps are available in 3000K color temperatures.

Electrical Requirements
A remote 12V or 24V transformer required, may be ordered separately from Unique Lighting System®. Voltage range for 12V halogen lamps is 10.8V to 12V. Voltage range for 24V halogen lamps is 21.6V to 24V. Voltage range for **FLEX™** Series LED T3 lamps is 10V-18V.

Lamp Connection
Specification grade, beryllium copper lamp holder. GUS.3 base.

Wiring
Exclusive UF-Intell-Flex wire with anti-moisture migration connections.

Mounting Stake
Standard mounting stake is injection molded PVC with a 1/2" NPS pre-welded female fitting.

Finish
Exclusive Weathered Brass finish is standard. Unique™ Lighting's weathered brass finish is a "living finish" and will naturally patina and change over time. Polyester powder coat finishes are also available (see chart above).

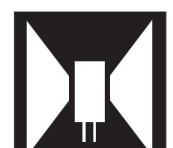
Warranty
The Odyssey Family of products from Unique Lighting System® carries a limited lifetime warranty against manufacturer's defects. Manufactured to ISO 9001:2008 Quality Systems Standard.

UL 2108-2004 R12.07
CSA C22.2.0-0-96 (R2006)

Unique Lighting System® 5825 Jasmine Street Riverside, CA 92504 T 800-955-4831 F 800-955-9852

UNIQUE LIGHTING SYSTEMS®

Lamps
T3 LED Lamp



FLEX™ Series T3 LED Lamp

PROJECT: _____

TYPE: _____

CATALOG NUMBER: _____

LAMP(S): _____

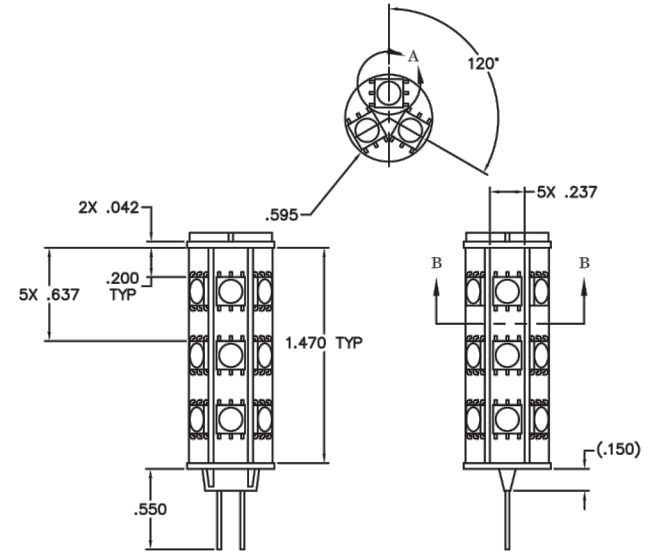
NOTES: _____

LAMP ORDERING INFORMATION

Example: LED-2W-T330K-12

LED	Wattage	Lamp Type	Color Temp.	Voltage
	1W = 1 watt 2W = 2 watt	T3	30K = 3000K 50K = 5000K	12 = 12 volt

DIMENSIONS:



* Only available in 2 watt. Unique Lighting System® reserves the right to modify the design and/or construction of the fixture shown without further notification.

SPECIFICATIONS

Our Commitment
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Materials
Each led package is mounted to an aluminum backed board to continuously dissipate heat and assure the LEDs operate at a safe and optimal temperature ensuring a long life.

LED Package
Unique Lighting utilizes high-efficiency white CREE LED chip packages. The long life, 40,000 hour chips are manufactured by U.S. based CREE. CREE is a proven manufacturer with years of lighting experience. The maximum junction temperature of the LED is 150°C.

Rated Life
The FLEX™ Series T3 LEDs are rated for 20,000 hours. This is about seven years at eight hours per day. LEDs do not burn out like traditional lamps, they just continue to get dimmer. After 20,000 hours the LED will continue to illuminate, but at a diminished level.

Energy Savings
LED lamps provide energy saving up to 85% over traditional lamp sources. The Light Emitting Diode consumes substantially less wattage while providing similar light output as a halogen lamp.

CCT-Color Correlated Temperature
Unique Lighting LED lamps are available in various color temperatures. White 3000K is closer to halogen, and 5000K closer to mercury vapor lamps. The tolerance on CCT is +/-150K.

CRI - Color Rendering Index
CRI is a measurement of "how true and vibrant colors look". Reds look red, greens look green. The CRI of our LED lamps is between 82.1 and 84.2. A typical fluorescent lamp with poor CRI is about 70. Above 80 is considered very good.

Voltage Range
Input Voltage 10V-18V

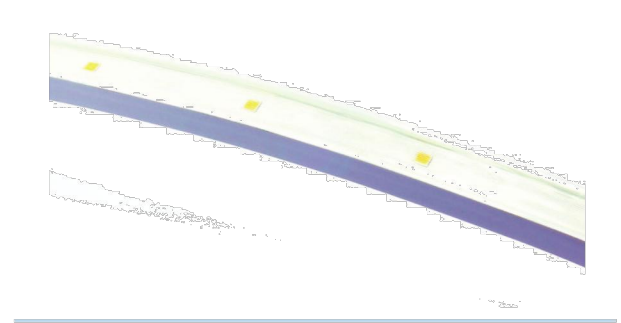
Warranty
Two year warranty

Unique Lighting System® 5825 Jasmine Street Riverside, CA 92504 T 800-955-4831 F 800-955-9852

STRIP LIGHT

DESCRIPTION:

The Brilliance LED AC Flex Strip Light is rated for outdoor use and can be directly connected to an existing 8-16 VAC landscape lighting system. Great accent lighting for stairs, railings and overhangs. The LEDs on this Strip Light are encased in non-yellowing material that installs easily.



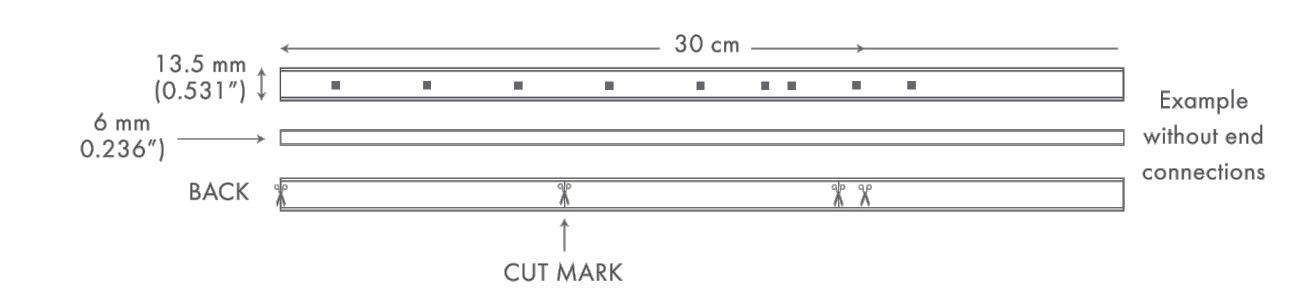
PART NUMBER: BRI SL3 XXXX 6.5

2700	5000	KELVIN TEMP./COLOR
red		
green		
blue		

Wattage	1.8 per meter
Lumens	45 per ft
Kelvin Temperature	2700 5000
Color	red, green, blue
Operating Range	8-16 VAC
CRI	80
IP	65
Lamp Life (hours)	35,000
Warranty (years)	3

NO COLOR OPTION. STANDARD: WARM WHITE

NOT for installation within 10 ft of swimming pool per NEC Article 411-2

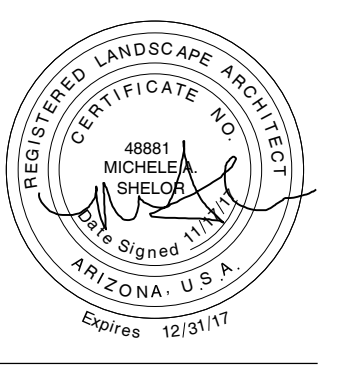


BRILLIANCE LED

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JOB	17023
DRAWING	LIGHTING CUT SHEETS

SHEET No.

L6.1