

DEMOLITION NOTES PER TOWN OF PARADISE VALLEY

- NOTIFY ALL SERVING UTILITIES FOR SHUT-OFF, AND IF REQUESTED BY THE BUILDING OFFICIAL, PROVIDE PROOF TO THE TOWN THAT THIS HAS BEEN DONE PRIOR TO STARTING THE WORK. THIS MAY INCLUDE THE WATER COMPANY, THE ELECTRIC COMPANY (APS - ARIZONA PUBLIC SERVICE OR SRP - SALT RIVER PROJECT) AND THE GAS COMPANY (SUG - SOUTHWEST GAS).
- CLEAN AND CLEAR THE LOT OF ALL DEBRIS, TRASH, WEEDS OR ANY FIRE HAZARDS AFTER THE BUILDINGS ARE GONE FROM THE PROPERTY. AFTER COMPLETION OF CLEAN-UP, A COMPLIANCE INSPECTION AND APPROVAL IS REQUIRED.
- A SECURITY FENCE, SET BACK AT LEAST 10 FEET FROM THE FRONT PROPERTY LINE, IS REQUIRED AROUND UNSAFE STRUCTURES. IT IS POSSIBLE THAT A BUILDING MAY BECOME UNSAFE OR UNSUITABLE DURING THE DEMOLITION PROCESS SO A SECURITY FENCE IS REQUIRED. IF THE DEMOLITION TAKES MORE THAN TWO DAYS, A FENCE IS ALSO REQUIRED AROUND ANY WELL, CELLAR, PIT OR EXCAVATION OVER 2 FEET DEEP.



BUILDING DATA

PROJECT ADDRESS:
 5218 E. ARROYO ROAD
 PARADISE, AZ 85253

OWNER:
 SUBAN & MARK MULZET
 6431 E JACKRABBIT RD.
 PARADISE, AZ 85253

APN:
 169-29-036A

LEGAL DESCRIPTION:
 LOT 36, PARADISE VALLEY ESTATES

SCOPE OF WORK:
 ADD FLAGPOLE, NO CHANGE IN DISTURBED AREA

ZONING: (PER TOWN OF PARADISE VALLEY)
 R-43

BUILDING AREA	EXISTING	REMODEL	GARAGE CONVERTED TO LIVABLE	TOTAL	FAR
LIVABLE - MAIN	347 SF.		162 SF.	509 SF.	
MAIN LEVEL REMODEL A, B, C		991 SF.		991 SF.	
LIVABLE - UPPER	195 SF.	126 SF.	0 SF.	321 SF.	
TOTAL REMODEL & NEW LIVABLE		2293 SF.	162 SF.	2455 SF.	
NEW TOTAL LIVABLE				5458 SF.	5458 SF.
PERCENT REMODEL TO LIVABLE (2455 SF. / 5458 SF.)				44.8%	

	EXISTING	ENCLOSED CONVERTED TO GARAGE	REMODEL	SUBTRACTED	
UPPER MECH EXISTING	36 SF.	0 SF.	0 SF.	0 SF.	36 SF.
GARAGE / STORAGE / MECH MAIN	1058 SF.	110 SF.	0 SF.	-162 SF.	1006 SF.
COVERED PATIO / PORCH MAIN	148 SF.	0 SF.	0 SF.	0 SF.	148 SF.
COVERED PATIO UPPER	499 SF.	0 SF.	0 SF.	0 SF.	499 SF.
EXISTING GUEST HOUSE	876 SF.				876 SF.
EXISTING FABRIC CANOPY	589 SF.				589 SF.
TOTAL FAR:					953 SF.

NET LOT AREA: 45599 SF. (SURVEY)

FLOOR AREA RATIO (FAR) ALLOWED: 12,384.1 SF. / 45,599 SF. = 26%

TOTAL FAR PROVIDED: 953 SF. / 45,599 SF. = 18.4%

- Town of Paradise Valley, CODES IN EFFECT:
- 2015 INTERNATIONAL BUILDING CODE
 - 2015 INTERNATIONAL RESIDENTIAL CODE
 - 2015 INTERNATIONAL CODE COUNCIL ELECTRICAL
 - 2015 INTERNATIONAL MECHANICAL CODE
 - 2015 INTERNATIONAL PLUMBING CODE
 - 2015 INTERNATIONAL PROP. MAINTENANCE CODE
 - 2015 INTERNATIONAL FUEL GAS CODE
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2014 NATIONAL ELECTRICAL CODE
 - 2015 INTERNATIONAL FIRE CODE

NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. FROM STUCCO, PAINT, ROOFING FOAM, OR OTHER DAMAGE BY COVERING WITH PLASTIC OR AS REQUIRED. PROVIDE A 5" HIGH CHAIN LINK FENCE WITHIN BUILDING ENVELOPE (N.A.O.S. WHEN APPLICABLE). KEEP MATERIALS AND WORKMEN WITHIN THE FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S/SUBCONTRACTOR'S EXPENSE.

UPON COMPLETION OF DEMOLITION 4 PRIOR TO START OF CONSTRUCTION, CONTRACTOR TO REVIEW EXISTING CONDITIONS W/ ARCHITECT & STRUCTURAL ENGINEER.

AFTER DEMOLITION CONTRACTOR TO REMOVE ALL DEBRIS FROM ALL SEWER LINES BEFORE SEALING AT ROUGH-IN.

SITE PLAN NOTES:

WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATTERN SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE PROPERTY.

GUARDRAILS TO BE 36" MINIMUM IN HEIGHT.

OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.

INSTALL HANDRAILS AT ALL STAIRS HAVING MORE THAN FOUR (4) RISERS, UNLESS SHOWN OTHERWISE. HANDRAILS TO BE NOT LESS THAN 34 INCHES, NOR MORE THAN 38 INCHES ABOVE NOSING OF TREADS.

NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. FROM STUCCO, PAINT, ROOFING FOAM, OR OTHER DAMAGE BY COVERING WITH PLASTIC OR AS REQUIRED. PROVIDE A 5" HIGH CHAIN LINK FENCE WITHIN BUILDING ENVELOPE (N.A.O.S. WHEN APPLICABLE). KEEP MATERIALS AND WORKMEN WITHIN THE FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S/SUBCONTRACTOR'S EXPENSE.

VERIFY PROPERTY AND BUILDING LINES AND FINISH FLOOR ELEVATIONS PRIOR TO CONSTRUCTION. CONFIRM THAT ALL UTILITIES (SEWER, ELECTRIC, WATER) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL PLUMBING DRAINS.

DRAWINGS ARE NOT TO BE SCALED. BUILD FROM DIMENSIONS INDICATED. VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY CONFLICTS.

HOUSE ADDRESS MARKING: A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER, SO THAT IT IS REASONABLY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.

AREAS DISTURBED DURING CONSTRUCTION OF DRAINAGE FACILITIES OR UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL STATE.

ALL AREAS BETWEEN THE CONSTRUCTION FENCE AND ANY BUILDING OR SITE WALLS SHOULD BE RELANDSCAPED TO BECOME INDISTINGUISHABLE FROM ADJACENT UNDISTURBED NATURAL DESERT AREA.

ANY CACTUS DUG UP ON THE SITE MUST BE REPLACED WITH THE SAME ORIENTATION. MARK THE COMPASS HEADING ON THE CACTUS PRIOR TO REMOVAL.

FINISH GRADE SHALL BE A MINIMUM OF 6 INCHES BELOW WOOD FRAMING AT BUILDING EXTERIOR. SLOPE FINISH GRADE FOR AN ADDITIONAL 6 INCHES AWAY FROM BUILDING FOR A 10'-0" HORIZONTAL DISTANCE.

EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSIONS IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECT FOR A RESOLUTION.

ALL WATER FEATURES WILL REQUIRE SEPARATE PERMIT.

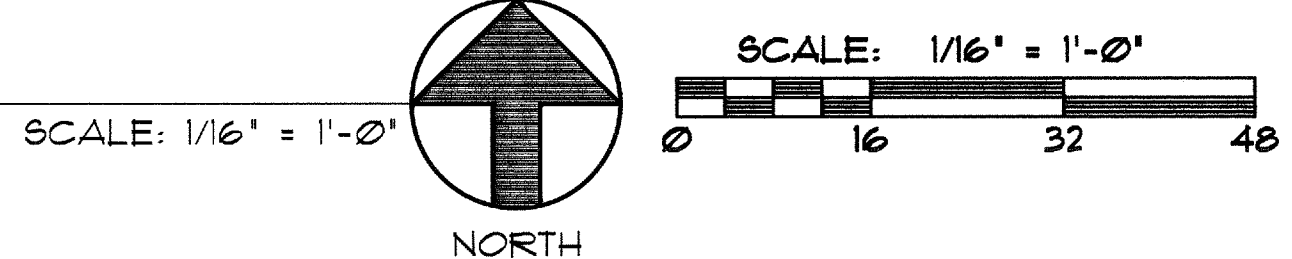
- SITE PLAN KEYNOTES:**
- EXIST. RESIDENCE
 - EXISTING GUEST HOUSE
 - EXISTING WALL
 - ELEC. METER 600 AMP. SES. PROVIDE PERMANENT CERTIFICATE IN PANEL
 - EXIST. GAS METER
 - EXIST. WATER METER, VERIFY
 - EXIST. MASONRY SITE WALL, STUCCO
 - EXIST. DRIVEWAY WITH EXPOSED AGGREGATE CONCRETE MATCH EXISTING COLOR AND TEXTURE. COLOR SIMILAR TO DAIN EQUILBERS P6888 "BROCK MOUNTAIN" 15x21
 - EXIST. PATIO
 - EXIST. MECHANICAL
 - EXIST. SITE GATE
 - EXIST. CONCRETE STEPS
 - NOT USED
 - NOT USED
 - LAWN
 - EXISTING TREES TO REMAIN, PROTECT DURING CONSTRUCTION
 - EXIST. ELECTRICAL SUBPANEL TO BE REPLACED SEE ELEC. PLANS, PROVIDE PERMANENT CERTIFICATE IN PANEL
 - ELEC. SUBPANEL
 - NEW FLAGPOLE - APPROX. 24'-0" H. COORDINATE HEIGHT WITH HILLSIDE HEIGHT RESTRICTION, SEE ELEVATION SHEET 452. UNDER SEPARATE PERMIT.
 - MASONRY SITE WALL, STUCCO BOTH SIDES, MATCH EXISTING STUCCO COLOR AND TEXTURE
 - CAR CAROUSEL, RECESSED IN DRIVEWAY, UNDER SEPARATE PERMIT. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PER MANUF. MATCH EXISTING DRIVEWAY EXPOSED AGGREGATE CONCRETE
 - EXISTING METAL GUARDRAIL / VIEW FENCE
 - METAL GUARDRAIL, MATCH EXISTING STYLE AND COLOR
 - DOGS RUN AREA WITH VIEW FENCE ENCLOSURE. COORDINATE FENCE WITH EXISTING SITE WALL. PROVIDE DECONFORMED GRANITE TO MATCH EXIST.
 - VIEWABLE SITE WALL, FROM PROPERTY CORNER
 - LINE OF DISTURBED AREA

INDICATES WALL VISIBLE FROM PROPERTY LINE. VIEWABLE EXIST. SITE WALL = 20'-11" LINEAR FEET. DEMO/REMOVE SITE WALL = 11'-2" LINEAR FEET. VIEWABLE NEW SITE WALL = 10'-0" LINEAR FEET. VIEWABLE TOTAL SITE WALL (EXISTING & NEW) = 22'-5" LINEAR FEET

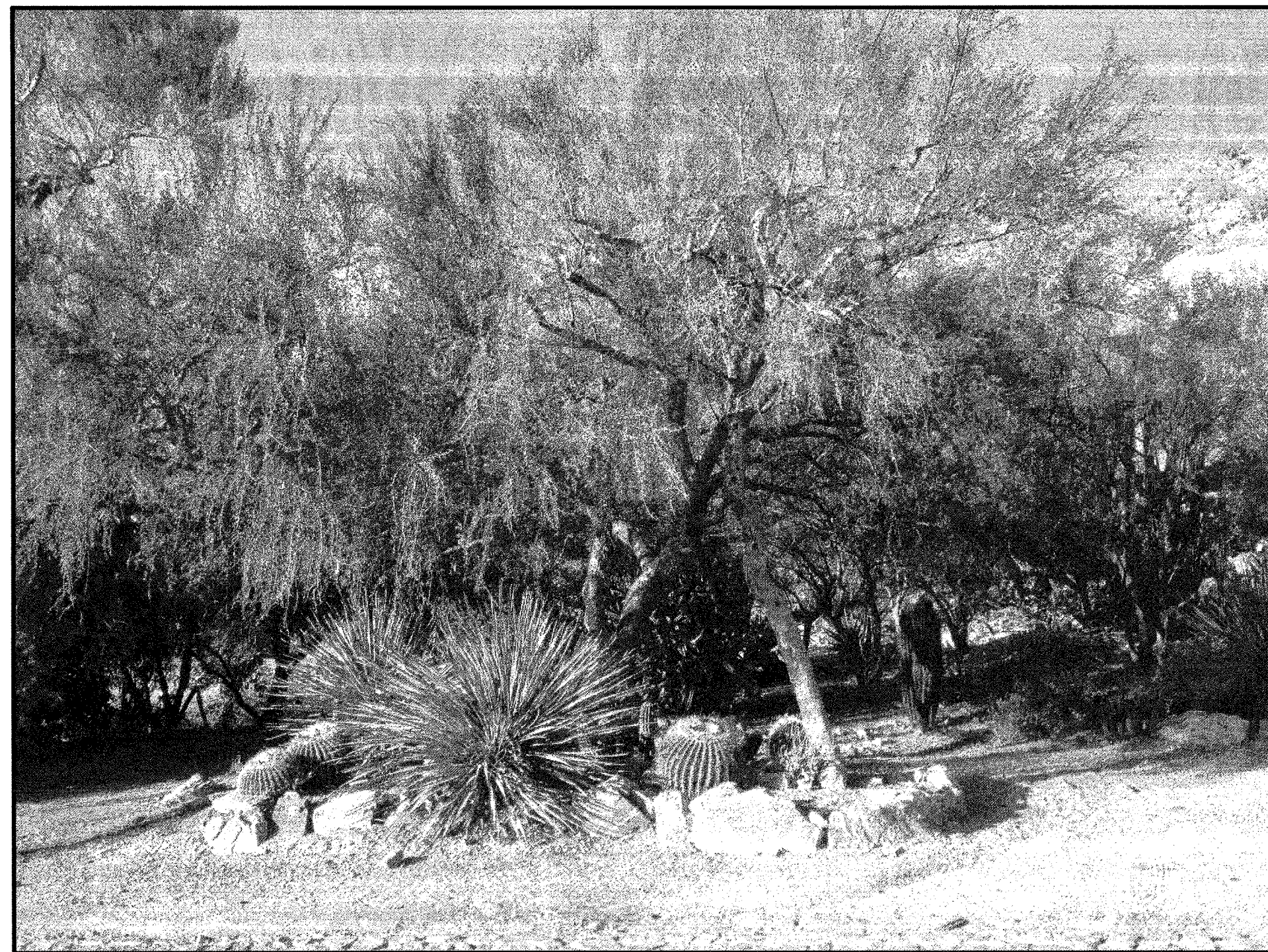
INDICATES WALL VISIBLE FROM PROPERTY LINE. VIEWABLE EXIST. SITE WALL = 19'-0" LINEAR FEET. DEMO/REMOVE SITE WALL = 10'-3" LINEAR FEET. VIEWABLE NEW SITE WALL = 8'-11" LINEAR FEET. VIEWABLE TOTAL SITE WALL (EXISTING & NEW) = 19'-4" LINEAR FEET

TOTAL NEW SITE WALL LINEAR FEET: 19'-11" (CN) AND METAL VIEW FENCE: UNDER SEPARATE PERMIT

SITE PLAN



MAIN LEVEL FINISH FLOOR (DINING, KITCHEN) FFE = 1481'-0"
 LOWER LEVEL FIN. FLOOR (FOYER, LIVING) LFFE = 1479'-8 5/8"
 UPPER LEVEL FIN. FLOOR (1. BEDROOM) UFFE = 1491'-4 1/2"



PIC 1



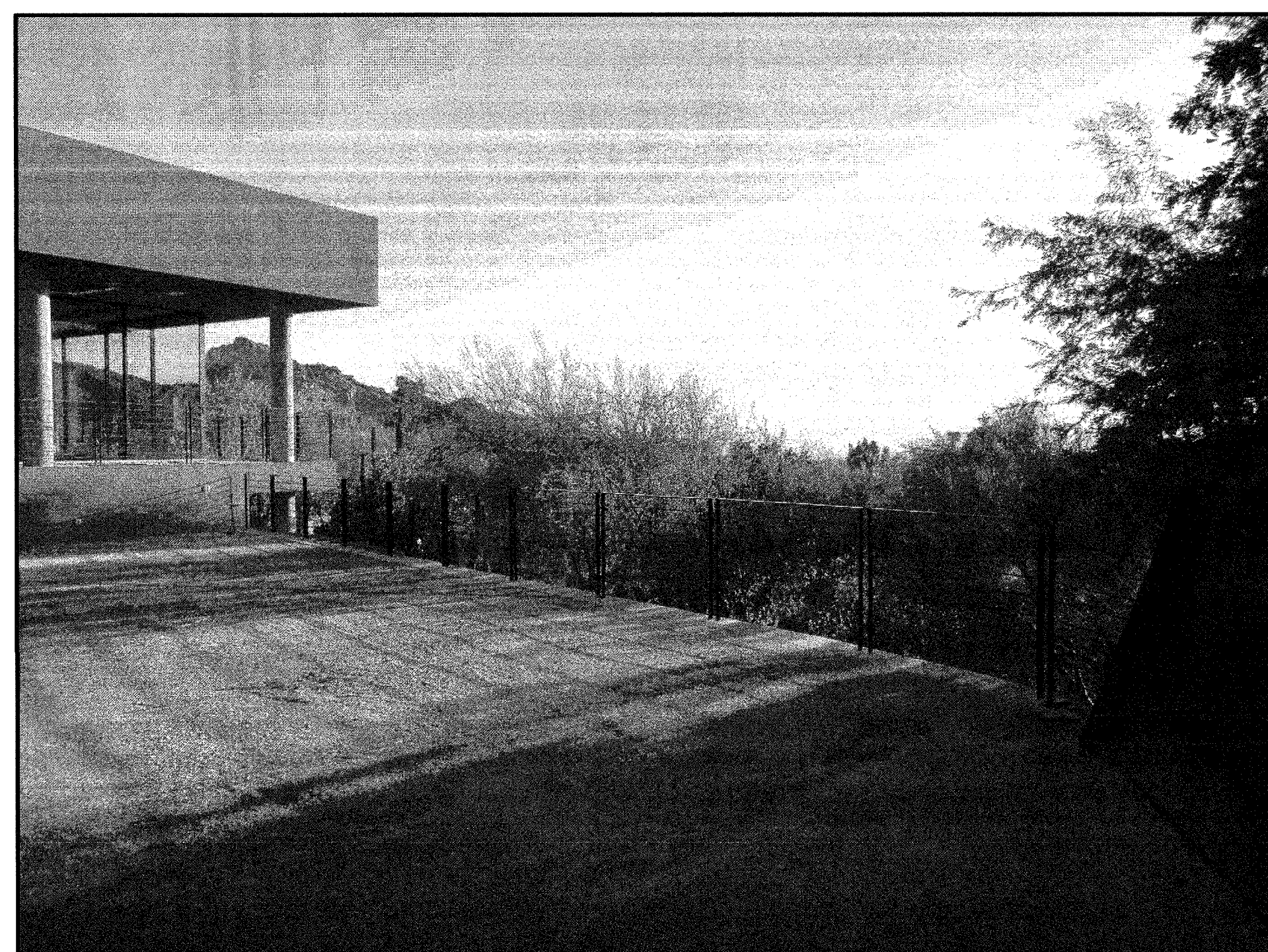
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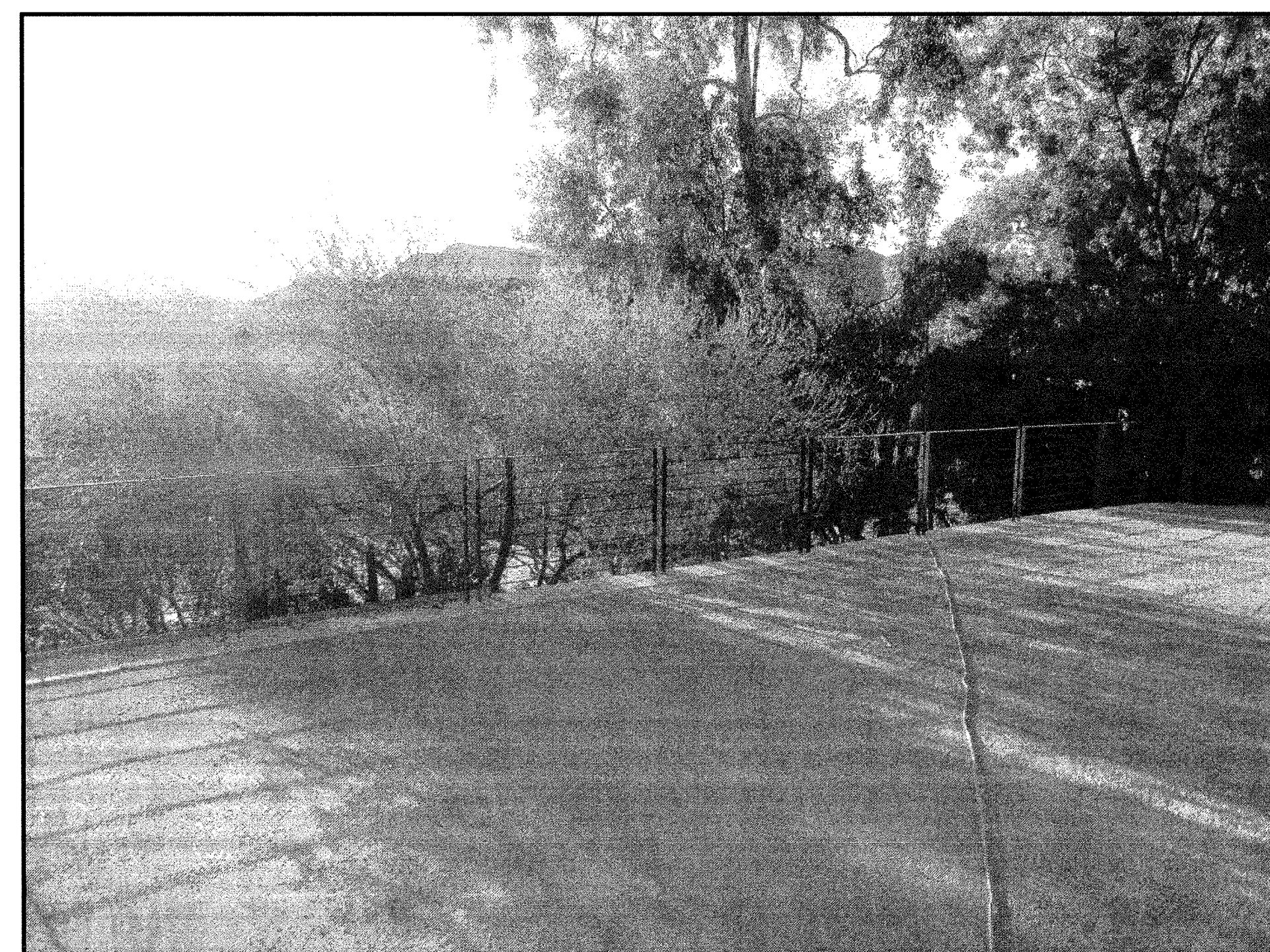
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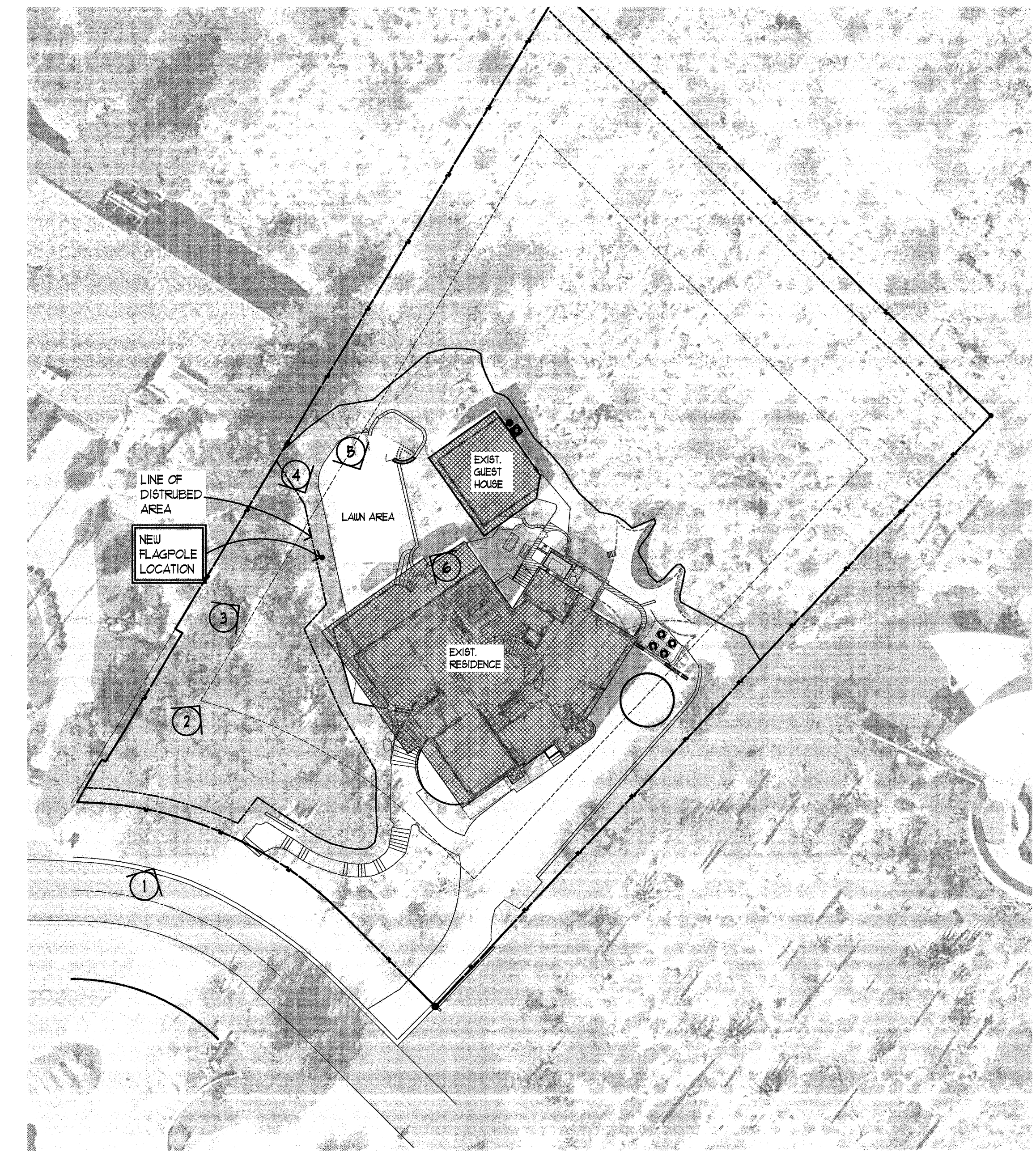
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PIC 5

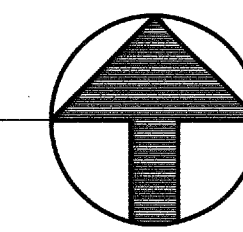


PIC 6



SITE PLAN - PICTURES KEY

SCALE: NTS



NORTH

MULZET RESIDENCE
5218 E. ARROYO ROAD
PARADISE VALLEY, AZ
85253



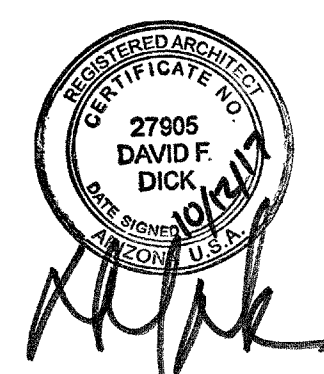
EXPIRES: 3/31/2018
DAVID DICK, ARCHITECT
7400 E. McDONALD DR., SUITE 022
SCOTTSDALE, ARIZONA
(480) 948-8888 OFFICE
(480) 948-8888 FAX

SITE PLAN PICTURES

DATE: 10.11.2017
SCALE: AS NOTED
REVISION:

A CUSTOM REMODEL FOR:
MULZET RESIDENCE
5218 E. ARROYO ROAD
PARADISE VALLEY, AZ 85253

SHEET NUMBER
A1.2



DAVID DICK, ARCHITECT
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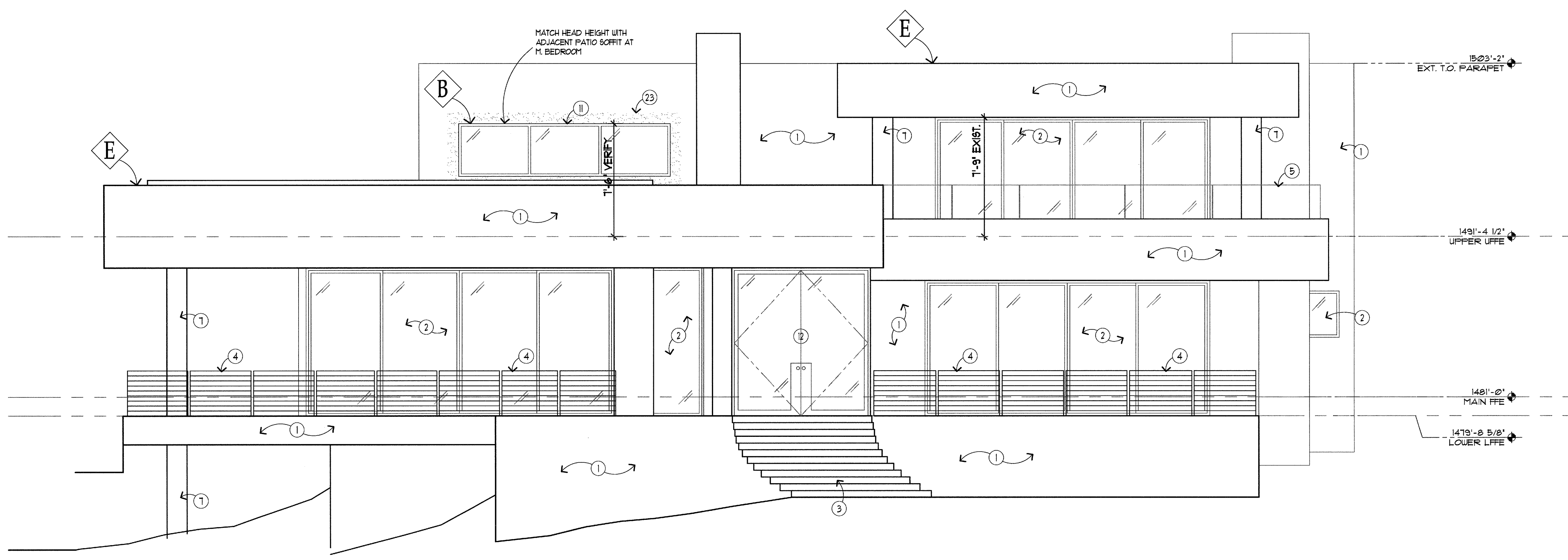
EXPIRES: 3/31/2018

ELEVATIONS

DATE: 10.11.2017
 SCALE: AS NOTED
 REVISION:

A CUSTOM REMODEL FOR:
MULZET RESIDENCE
 5218 E. ARROYO ROAD
 PARADISE VALLEY, AZ 85253

SHEET NUMBER
A5
 HILLSIDE
 FLAGPOLE

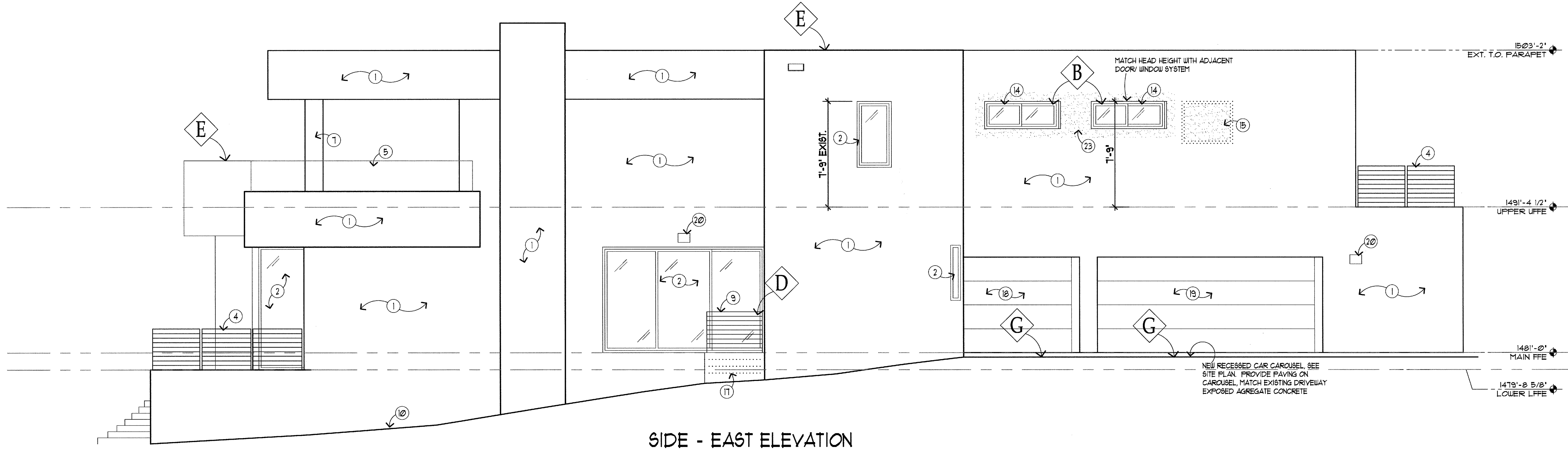


FRONT - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES:

1. EXISTING TO REMAIN
2. EXISTING DOOR/WINDOW TO REMAIN
3. EXISTING STAIRS TO REMAIN
4. EXISTING METAL GUARD RAIL
5. EXISTING GLASS GUARD RAIL
6. NOT USED
7. EXISTING COLUMN
8. NOT USED
9. NEW METAL GUARD RAIL MATCH EXISTING
10. EXISTING FLANTER
11. NEW CLEAR STORY
12. NEW FRONT DOOR
13. NOT USED
14. NEW DOOR / WINDOW TO MATCH EXISTING
15. REMOVE SHOULDER WINDOW, INFILL EXISTING OPENING, RE-TOOTH AS REQUIRED FOR ALIGNMENT OF ADJACENT FINISHES, MATCH EXISTING
16. REMOVE EXISTING SLIDING GLASS DOOR / WINDOW, INFILL EXISTING OPENING, RE-TOOTH AS REQUIRED FOR ALIGNMENT OF ADJACENT FINISHES, MATCH EXISTING
17. REMOVE EXISTING STAIRS, PATCH AND REPAIR AS REQUIRED
18. EXISTING GARAGE DOOR TO REMAIN
19. EXISTING GARAGE DOOR TO BE RELOCATED
20. EXISTING LIGHT FIXTURES
21. REMOVE EXISTING LIGHT FIXTURE, SALVAGE, RELOCATE AS REQUIRED AT MODIFIED/ NEW OPENING
22. RELOCATE EXISTING LIGHT FIXTURE TO HERE
23. NEW STUCCO SYSTEM ON NEW OPENING TO MATCH EXIST. STUCCO COLOR AND TEXTURE, ALIGN ADJACENT FINISHES



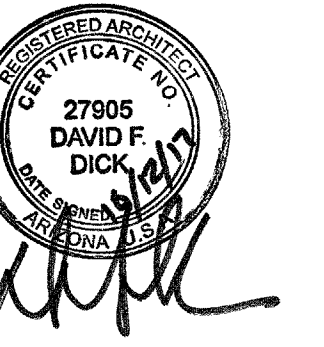
SIDE - EAST ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL	COLOR
A STUCCO PAINT COLOR - WALLS (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DE6215 'WOODEN FEG' LRV 31
B NEW DOOR & WINDOW TRIM (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DEA181 'BLACK' LRV 4
C EXISTING GARAGE DOORS	DUNN EDWARDS DE6215 'WOODEN FEG' LRV 31
D NEW METAL GUARD RAIL (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DEA181 'BLACK' LRV 4
E EXISTING FOAM ROOF TOP COAT - GRANULES MIX	
F FLAGPOLE - MEDIUM BRONZE	DUNN EDWARDS DE6175 'BURLAP' LRV 18
G DRIVEWAY: EXPOSED AGGREGATE	DUNN EDWARDS DE6388 'SMOKEY MOUNTAIN' LRV 31

NOTE: FOR REFERENCE ONLY

MAIN LEVEL FINISH FLOOR (DINING, KITCHEN) FFE = 1481'-0"
 LOWER LEVEL FIN. FLOOR (FOYER, LIVING) LFE = 1479'-8 5/8"
 UPPER LEVEL FIN. FLOOR (M. BEDROOM) UFE = 1491'-4 1/2"



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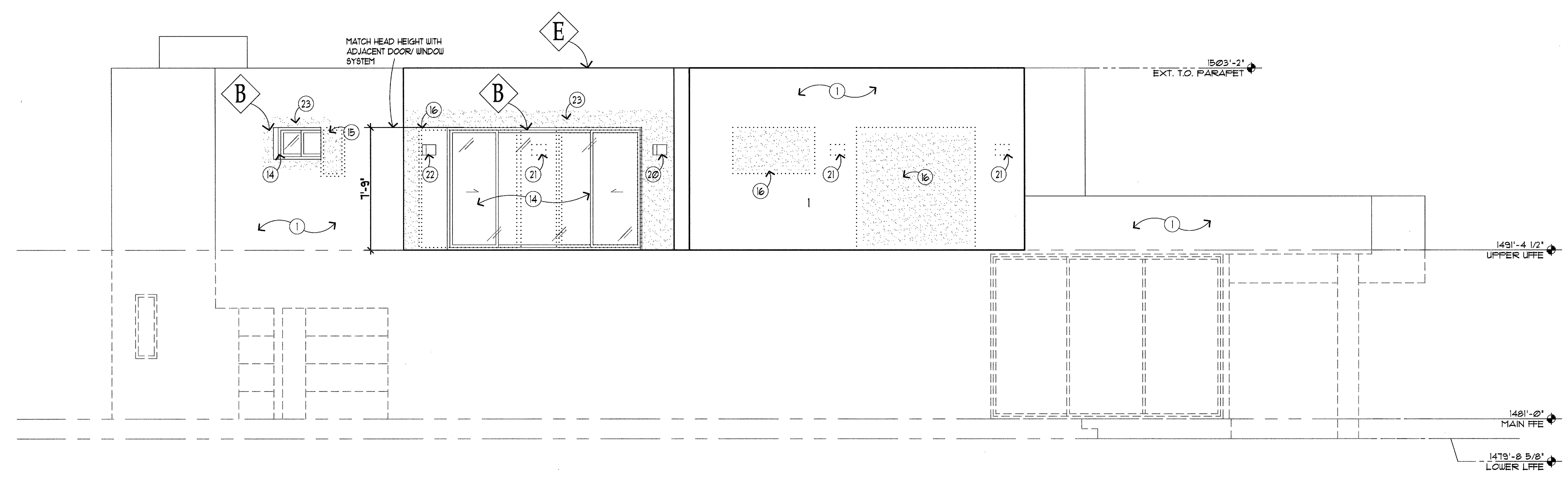
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ELEVATIONS

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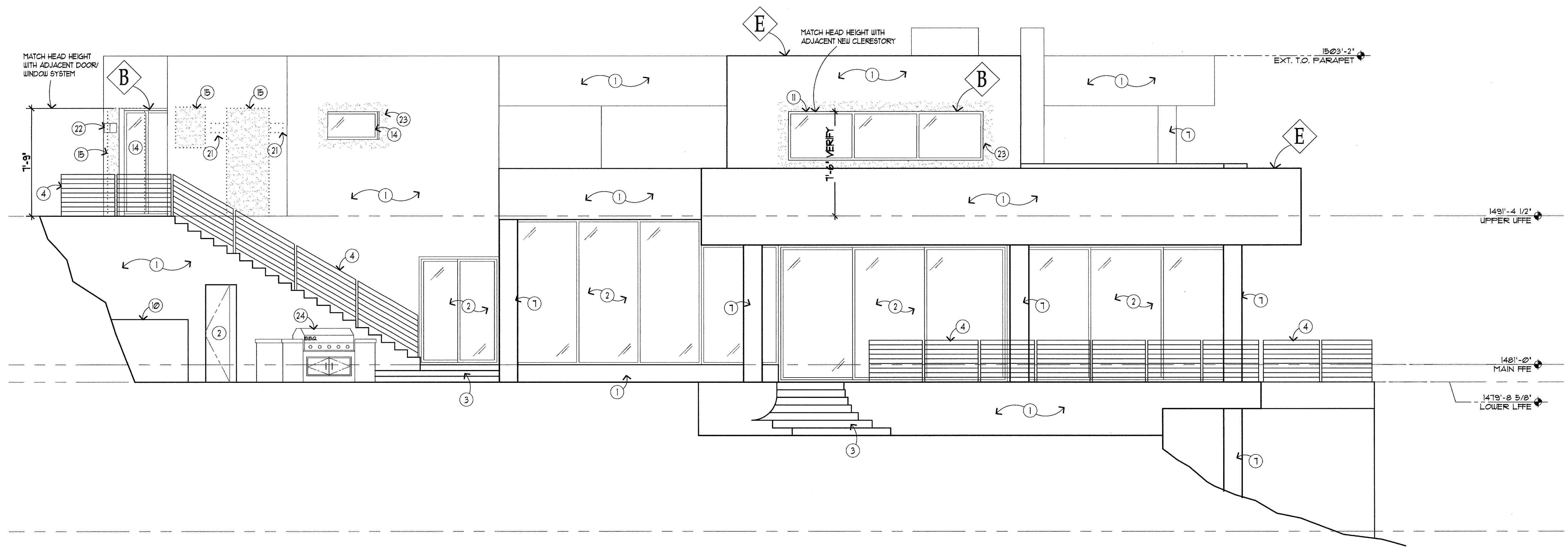
A CUSTOM REMODEL FOR:
MULZET RESIDENCE
 5218 E. ARROYO ROAD
 PARADISE VALLEY, AZ 85253

SHEET NUMBER
A5.1
 HILLSIDE
 FLAGPOLE



REAR - SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

- ELEVATION KEYNOTES:**
1. EXISTING TO REMAIN
 2. EXISTING DOOR/WINDOW TO REMAIN
 3. EXISTING STAIRS TO REMAIN
 4. EXISTING METAL GUARD RAIL
 5. EXISTING GLASS GUARD RAIL
 6. NOT USED
 7. EXISTING COLUMN
 8. NOT USED
 9. NEW METAL GUARD RAIL MATCH EXISTING
 10. EXISTING PLANTER
 11. NEW CLEAR STORY
 12. NEW FRONT DOOR WITH SIDE LITES
 13. NOT USED
 14. NEW DOOR / WINDOW TO MATCH EXISTING
 15. REMOVE SHOULDER WINDOW INFILL EXISTING OPENING. RE-TOOTH AS REQUIRED FOR ALIGNMENT OF ADJACENT FINISHES. MATCH EXISTING
 16. REMOVE EXISTING SLIDING GLASS DOOR / WINDOW INFILL EXISTING OPENING. RE-TOOTH AS REQUIRED FOR ALIGNMENT OF ADJACENT FINISHES. MATCH EXISTING
 17. REMOVE EXISTING STAIRS. PATCH AND REPAIR AS REQUIRED
 18. EXISTING GARAGE DOOR TO REMAIN
 19. EXISTING GARAGE DOOR TO BE RELOCATED
 20. EXISTING LIGHT FIXTURES
 21. REMOVE EXISTING LIGHT FIXTURE. SALVAGE, RELOCATE AS REQUIRED AT MODIFIED/ NEW OPENING
 22. RELOCATE EXISTING LIGHT FIXTURE TO HERE
 23. NEW STUCCO SYSTEM ON NEW OPENING TO MATCH EXIST. STUCCO COLOR AND TEXTURE. ALIGN ADJACENT FINISHES
 24. NEW BBQ



SIDE - WEST ELEVATION
 SCALE: 1/4" = 1'-0"

MATERIAL	COLOR
A STUCCO PAINT COLOR - WALLS (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DE6215 'WOODEN PEG' LRV 31
B NEW DOOR & WINDOW TRIM (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DEA181 'BLACK' LRV 4
C EXISTING GARAGE DOORS	DUNN EDWARDS DE6215 'WOODEN PEG' LRV 31
D NEW METAL GUARD RAIL (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DEA181 'BLACK' LRV 4
E EXISTING FOAM ROOF TOP COAT - GRANULES MIX	
F FLAGPOLE - MEDIUM BRONZE	DUNN EDWARDS DE6115 'BURLAP' LRV 18
G DRIVEWAY: EXPOSED AGGREGATE	DUNN EDWARDS DE6388 'SMOKEY MOUNTAIN' LRV 31

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ELEVATIONS - FLAGPOLE

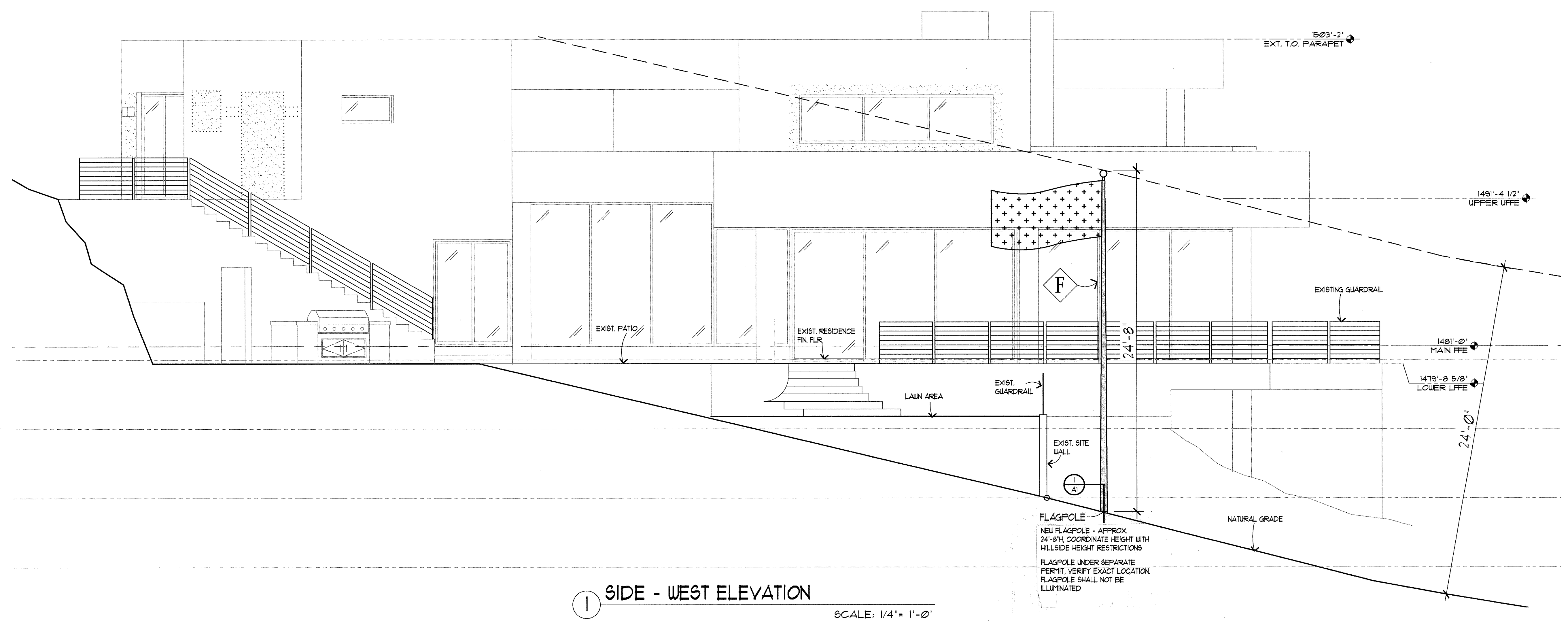
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A CUSTOM REMODEL FOR:
MULZET RESIDENCE
 5218 E. ARROYO ROAD
 PARADISE VALLEY, AZ 85253

SHEET NUMBER
A5.2
 HILLSIDE
 FLAGPOLE

MATERIAL	COLOR
A STUCCO PAINT COLOR - WALLS (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DE6215 'WOODEN FEG' LRV 31
B NEW DOOR & WINDOW TRIM (MATCH EXISTING PAINT COLOR)	DUNN EDWARDS DE4181 'BLACK' LRV 4
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① **SIDE - WEST ELEVATION**
 SCALE: 1/4" = 1'-0"