



CANDELARIA

April 7, 2026

Re: Project Narrative for combined hillside review 7102 N. 57th Place, Paradise Valley, AZ 85253

To Whom It May Concern,

The enclosed combined hillside review submission is for a new two-story addition designed for the Van Houten Residence, a hillside lot located at 7102 N. 57th Place in Paradise Valley. The project also includes replacing fabric awnings with metal awnings and new railings at existing balconies to replace the existing guardrails.

The lot is 1.139 acres in size and the western third is unusable due to steep terrain cut off by a desert wash.

The proposed two-story addition provides an additional garage stall to a family with teenagers at a home with three existing enclosed garage parking spaces. This proposed fourth enclosed garage bay will suit the needs of this family and more closely match the homes of comparable size in their neighborhood. The area above the garage will be livable space, a Flex Room addition that will be used as both an exercise space as well as a home office.

Due to a number of lot restraints, this new addition is forced to lie within the setback. This two-story addition was approved by variance in 2025 (BA-25-04). The existing disturbed area on this lot is in excess of the current standards of the Hillside Ordinance, however the disturbed area calculation will decrease with the proposed increase in building footprint. The addition does not propose to disturb any new area as the proposed building site is currently covered by non-permeable concrete driveway pavers. No native plants will be affected by this construction and no new landscaping or landscape lights are proposed.

With the size of the addition and the anticipated cost of construction falling below the Town threshold for requiring a grading & drainage plan, no grading & drainage plan is being provided. Considering the topography surrounding the proposed building site, it is anticipated that the new structure will have no impact on existing drainage. The proposed design complies with Town of Paradise Valley FAR, as well as the 24' & 40' height requirements.

The existing home and the new addition will be contemporary in style with a combination of stucco, metal, glass and stone. All exterior building materials, including Acrylic Elastomeric Foam Roof will be painted same color as the house stucco and will meet the Town of Paradise Valley hillside LRV requirements. All lighting and landscaping will be in accordance with the hillside ordinance.

Please let me know if you have any questions. Thank you for your consideration of this matter and we look forward to hearing back from you.

Sincerely,

Tim Mathewson, Principal
Candelaria Design Associates, LLC

6900 E. Camelback Road, Suite 400
Scottsdale, AZ 85251
602.604.2001, ext. 7105
480.874.7105, direct line
tim@candelariadesign.com
www.candelariadesign.com

VAN HOUTEN RESIDENCE GRADING AND DRAINAGE PLANS

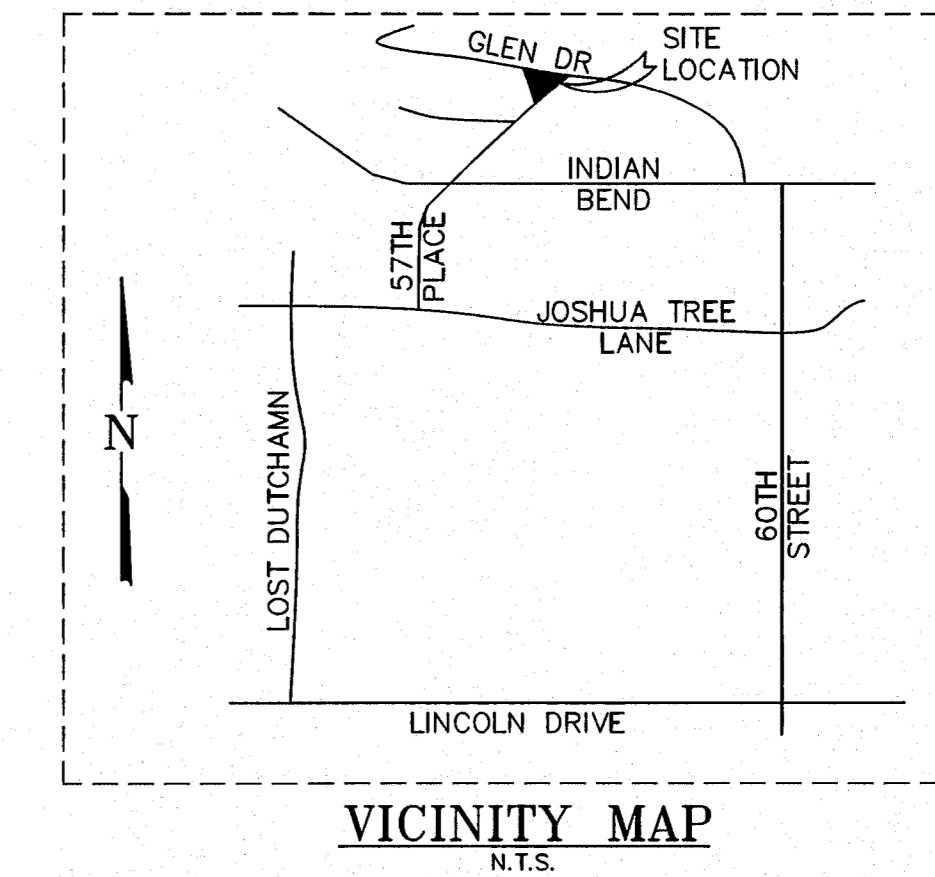
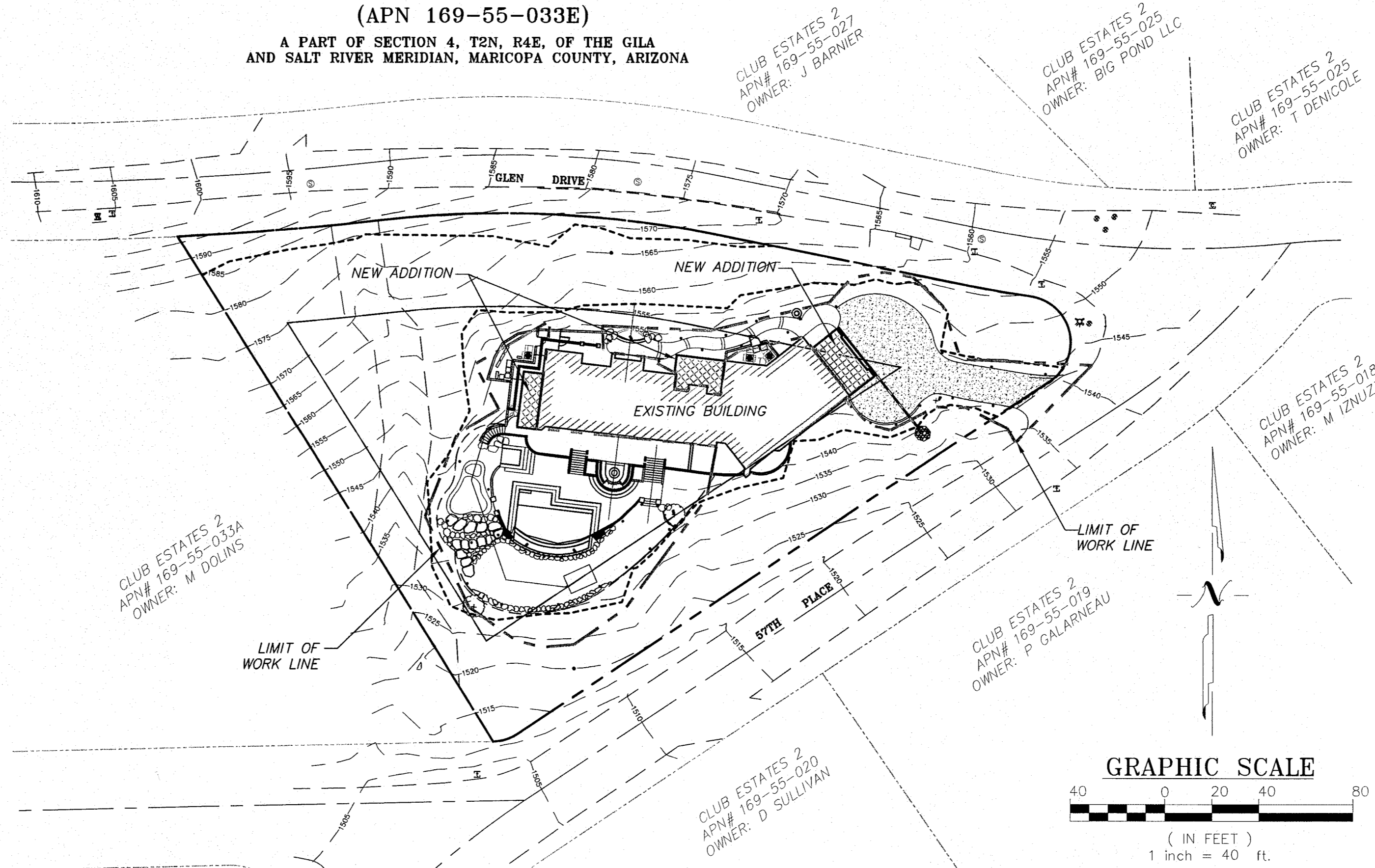
7102 N 57TH PLACE, PARADISE VALLEY AZ., 85253

(APN 169-55-033E)

A PART OF SECTION 4, T2N, R4E, OF THE GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

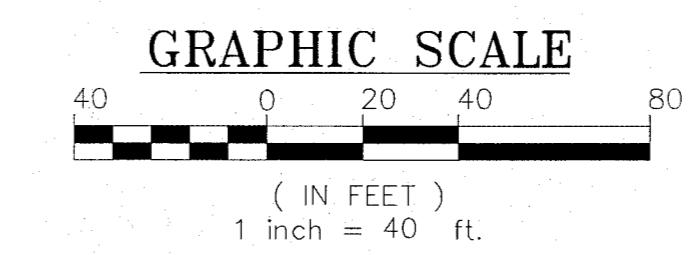
GRADING AND DRAINAGE NOTES

- A GRADING PERMIT IS REQUIRED UNDER THE PARADISE VALLEY TOWN CODE.
- HAUL PERMIT, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- DEVELOPMENT SERVICES DEPARTMENT FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF SITE CONSTRUCTION BEGINS.
- MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM THE 100-YEAR FLOOD OR PER MINIMUM SPECIFIED IN THE PARADISE VALLEY STORM DRAIN DESIGN MANUAL, WHICHEVER IS GREATER.
- STAKING PAD ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" BEARING AN ORIGINAL SIGNATURE PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- STAKING FINISH FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) "ELEVATION CERTIFICATE" MUST BE COMPLETED FOR EACH STRUCTURE CONSTRUCTED IN A SPECIAL FLOOD HAZARD AREA (SFHA) PRIOR TO AN ELECTRICAL CLEARANCE FOR THAT STRUCTURE. ONE COPY OF THE "ELEVATION CERTIFICATE" IS TO BE SUBMITTED TO THE GENERAL BUILDING SAFETY INSPECTOR ON SITE AND ONE COPY IS TO BE SUBMITTED TO THE TOWN OF PARADISE VALLEY FLOOD PLAN MANAGER. IN ADDITION, SPECIFY THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE ARIZONA REGISTERED ENGINEER OR LAND SURVEYOR RESPONSIBLE FOR PROVIDING CERTIFICATION.
- PAD CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTION IN THE RIGHT-OF-WAY. PAD CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE-AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY APPROVED PLAN REVISION.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATION.
- CONTRACTORS SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS SHOWN ON THE PLANS. SLOPE PROTECTION SHALL BE APPLIED TO PREVENT EROSION.
- GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUB-CONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC., IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION IF BASIN CONFIGURATION WITH THE TOWN INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- RETENTION BASIN SIDE SLOPES SHALL BE A MAXIMUM OF 4:1 UNLESS APPROVAL IS RECEIVED FROM THE PLAN REVIEWER FOR A STEEPER SLOPE.
- REQUIRED RETAINING WALLS SHOWN ON THE GRADING AND DRAINAGE PLANS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE DEVELOPMENT SERVICES DEPARTMENT.
- CERTIFICATE OF OCCUPANCY (C OF O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- THE ENGINEERING DESIGN ON THESE PLANS ARE ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE TOWN OF PARADISE VALLEY POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR
- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF SCOTTSDALE SUPPLEMENT TO MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- PLAN APPROVAL IS VALID FOR TWELVE (12) MONTHS. IF APPROVAL EXPIRES, THE PLANS MUST BE RESUBMITTED FOR CITY UPDATE REVIEW AND APPROVAL.
- COMPACTION SHALL COMPLY WITH M.A.G SECTION 601.
- OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION SHALL BE DETERMINED IN THE FIELD BY THE CITY OF SCOTTSDALE, DEVELOPMENT SERVICES DEPARTMENT FIELD INSPECTOR.
- TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT OR HIS ASSIGNEES. THE PERMITEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PLANNING INSPECTOR AT (480) 312-5750.
- A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLES IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THE REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES IS ASSESSED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE TOWN OF PARADISE VALLEY CODE.
- POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ECT.) SHALL BE SCREENED A MINIMUM OF ONE FOOT HIGHER THAN THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT MAIN BUILDING.



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	CENTER/SECTION LINE
---	OVER HEAD ELECTRIC
---	EXISTING CURB AND GUTTER
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING WALL
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	REMOVED CONTOUR
---	FOUND PROPERTY CORNER
---	FOUND BRASS CAP IN HANDHOLE
---	IRON PIPE
---	EXISTING POWER POLE
---	EXISTING SEWER MANHOLE
---	EXISTING WATER METER
---	EXISTING WATER VALVE
---	EXISTING POWER POLE



LEGAL DESCRIPTION

THAT PART OF TRACT "A", CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, BEING ALSO A PART OF LOT 11 IN SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE MERIDIAN, MARICOPA COUNTY, ARIZONA:

COMMENCING AT A STONE MARKING THE SOUTHWEST CORNER OF THE SAID LOT 11, SECTION 4;

THENCE NORTH 00°59'51" EAST, ALONG THE WESTERLY LINE OF THE SAID LOT 11, SECTION 4 A DISTANCE OF 580 FEET;

THENCE SOUTH 72°14'30" EAST, 418.84 FEET TO A POINT ON A CURVE HAVING A RADIUS POINT BEARING SOUTH 72°14'30" EAST, 40.00 FEET;

THENCE NORTHEASTERLY 90.01 FEET ALONG THE ARC OF THIS CURVE THROUGH 128°56'30" OF CENTRAL ANGLE TO THE BEGINNING OF A CURVE HAVING A RADIUS BEARING NORTH 56°42'00" EAST, 45.00 FEET;

THENCE SOUTHEASTERLY 27.15 FEET ALONG THE ARC OF THIS CURVE THROUGH 34°34'00" OF CENTRAL ANGLE;

THENCE SOUTH 67°52'00" EAST, 30.25 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS POINT BEARING NORTH 22°08'00" EAST, 350 FEET;

THENCE SOUTHEASTERLY 113.82 FEET ALONG THE ARC OF THIS CURVE THROUGH 18°34'00" OF CENTRAL ANGLE;

THENCE SOUTH 86°30'00" EAST, 217.03 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS BEARING NORTH 03°30'00" EAST, 975.00 FEET;

THENCE EASTERLY 59.56 FEET ALONG ALONG THE ARC OF THIS CURVE THROUGH 03°30'00" OF CENTRAL ANGLE;

THENCE EAST 276.40 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 30°49'50" WEST, 252.86 FEET TO APPOINT ON A CURVE HAVING A RADIUS POINT BEARING NORTH 01°36'10" WEST, 1,275.00 FEET;

THENCE EASTERLY 86.73 FEET ALONG THE ARC OF THIS CURVE THROUGH 03°53'50" OF CENTRAL ANGLE TO THE BEGINNING OF A CURVE HAVING A RADIUS POINT BEARING SOUTH 05°30'00" EAST, 450.00 FEET;

THENCE EASTERLY 142.68 FEET ALONG THE ARC OF THIS CURVE THROUGH 18°10'00" OF CENTRAL ANGLE;

THENCE SOUTH 77°20'00" EAST, 110.00 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS POINT BEARING NORTH 12°40'00" EAST, 450.00 FEET;

THENCE SOUTHEASTERLY 26.33 FEET ALONG THE ARC OF THIS CURVE THROUGH 03°21'10" OF CENTRAL ANGLE TO THE BEGINNING OF A CURVE HAVING A RADIUS POINT BEARING SOUTH 09°18'50" WEST 20.00 FEET;

THENCE SOUTHERLY 48.20 FEET ALONG THE ARC OF THIS CURVE THROUGH 138°21'10" OF CENTRAL ANGLE;

THENCE SOUTH 57°40'00" WEST, 270.63 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS BEARING NORTH 32°20'00" WEST, 20.00 FEET;

THENCE SOUTHWESTERLY 11.29 FEET ALONG THE ARC OF THIS CURVE THROUGH 32° 20'00" OF CENTRAL ANGLE TO THE TRUE POINT OF BEGINNING.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE RECORD DRAWING MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

MAP NUMBER: 04013C1690G

COMMUNITY NUMBER	PANEL NUMBER	PANEL DATE	SUFFIX	FIRM DATE	FIRM ZONE	BASE FLOOD ELEVATION (AO ZONE, USE DEPTH)
04013	1690	SEP 30 2005	G	SEP 30 2005	"X"	-

REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____
REGISTRATION NUMBER _____

OWNER/LOT ADDRESS

OWNER: J. VAN HOUTEN/STONEBLU REVOCABLE TRUST
SITE ADDRESS: 7102 NORTH 57TH PLACE
PARADISE VALLEY, AZ 85253
WARRANTY DEED PER DOC# 2012-0734267, MCRO
APN: 169-55-033E
AREA: 47,159 SF OR 1.08 ACRES
DISTURBED AREA PROJECT: 22,924 SF OR 0.53 ACRES

BENCHMARK

ALUMINUM CAP AT THE SW CORNER OF SECTION 04, T.02 N., R.04 E., NAVD 88
ELEVATION: 1458.27 PER MARICOPA COUNTY GDACS

ENGINEER

HOOK ENGINEERING, INC.
3221 N. 24TH ST., SUITE 10
PHOENIX, AZ 85016
TEL (602) 954-0166
FAX (602) 956-0289

ARCHITECT

CANDELARIA DESIGN
4450 N. 12TH STREET #278
PHOENIX, AZ 85014
TEL (602) 604-2001

ENGINEER'S CERTIFICATION:

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE HUNDRED YEAR STORM EVENT.

NOTES:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK-UP WARNING DEVICES, SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 A.M. OR SUNRISE (WHICHEVER IS LATER) AND 6:00 P.M. OR SUNSET (WHICHEVER IS EARLIER), MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL

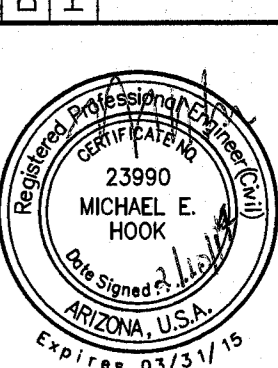
VAN HOUTEN RESIDENCE

Hook Engineering, Inc.

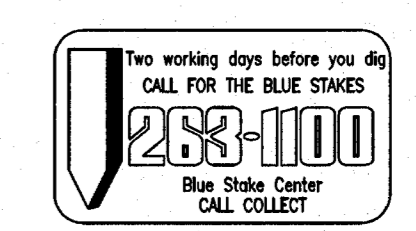
3221 N. 24TH STREET, SUITE 10 PHOENIX, AZ 85016 Tel: (602) 954-0166 Fax (602) 956-0289

Revisions	Checked by:	Date	By
	MH		
	MLW	6/28/13	
	N/A		

Designed by:	Drawn by:	Horizontal Scale:	Vertical Scale:
MLW	MLW	AS NOTED	AS NOTED

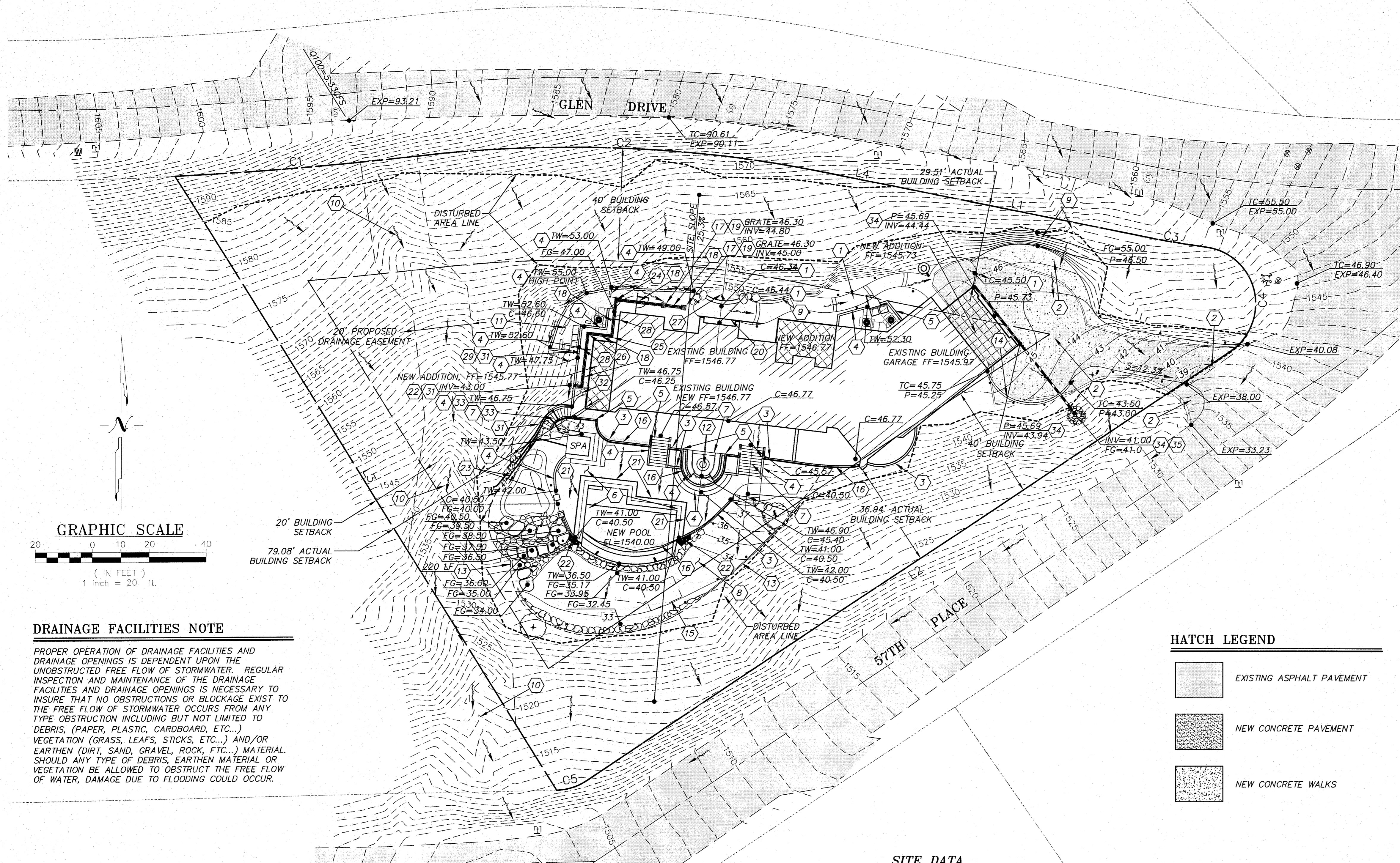


JOB NUMBER
9083.13.01
SHEET



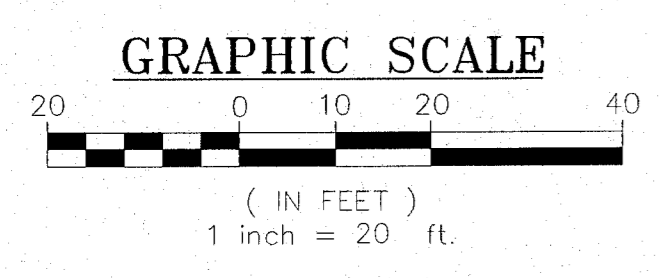
VAN HOUTEN RESIDENCE GRADING AND DRAINAGE PLANS

7102 N 57TH PLACE, PARADISE VALLEY AZ., 85253
(APN 169-55-033E)



CONSTRUCTION NOTES

- 1 INSTALL NEW 5' WIDE 4" THICK DECORATIVE CONCRETE SIDEWALK PER ARCHITECTURAL DTL
- 2 SAWCUT AND REMOVE EXISTING DRIVEWAY, INSTALL NEW CONCRETE DRIVEWAY PER ARCHITECTURAL DETAIL
- 3 EXISTING SITE WALL TO BE PROTECTED IN PLACE
- 4 NEW SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATION
- 5 TIE NEW SITE WALL INTO EXISTING SITE WALL
- 6 REMOVE EXISTING POOL, CONSTRUCT NEW POOL AND POOL DECK PER ARCHITECTURAL PLANS AND SPECIFICATIONS
- 7 CONSTRUCT NEW STAIRCASE, SEE ARCHITECT'S DTL
- 8 NEW LAWN AREA, SEE LANDSCAPE PLANS FOR SPECIFICATIONS
- 9 REMOVE EXISTING SOLID ROCK HILLSIDE STABILIZE AS REQUIRED TO MAINTAIN VERTICAL FACE
- 10 EXISTING HISTORIC DRAINAGE PATH RUNNING THROUGH SITE, TO BE PROTECTED AS IS
- 11 REGRADE AREA AS NEEDED FOR THE INSTALLATION OF NEW POOL EQUIPMENT
- 12 FIRE PIT AREA, SEE ARCHITECTURAL PLAN FOR DETAILS AND SPECIFICATIONS
- 13 INSTALL 5' TALL POOL FENCE, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS
- 14 CONSTRUCT 6" VERTICAL CURB PER MAG STD DTL 222
- 15 PROPOSED SEPTIC LOCATION, SEE ARCHITECTURAL PLAN FOR DETAILS AND SPECIFICATIONS
- 16 INSTALL NEW HANDRAIL, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS
- 17 CONSTRUCT NEW CONCRETE CATCH BASINS, INTERIOR TO BE 1' SQUARE, WALL THICKNESS 4" MIN., BOTTOM TO INVERTS PROVIDED.
- 18 INSTALL NEW 2-4" PVC, SCHEDULE 40, DRAIN PIPES TO INVERTS SHOWN ON PLAN.
- 19 INSTALL CATCH BASIN STEEL GRATE COVERS TO GRADES SHOWN ON PLAN. COVERS SELECTED BY OTHERS, FASTEN PER MANUFACTURER'S REQUIREMENTS.
- 20 INSTALL NEW DECO DRAIN TO LIMITS SHOWN AT FRONT DOOR OF RESIDENCE, SEE ARCHITECT'S PLANS FOR INFORMATION.
- 21 INSTALL NEW DECO DRAIN TO LIMITS SHOWN AROUND POOL, SEE ARCHITECT'S PLANS FOR INFORMATION.
- 22 INSTALL RIP RAP EROSION PROTECTION TO LIMITS SHOWN. D50 = 6", THICKNESS = 12", SEE LANDSCAPE PLANS FOR ROCK TYPE AND COLOR.
- 23 PUTTING GREEN TO BE GRADED FLAT WITH GENTLE SLOPE TO THE WEST. PROVIDE DRAINAGE SWALE ALONG WEST SIDE OF PUTTING GREEN.
- 24 INVERT OF 44.35 AT BEND, 2-4" PVC, SCHEDULE 40, DRAIN PIPES.
- 25 INVERT OF 44.00 AT BEND, 2-4" PVC, SCHEDULE 40, DRAIN PIPES.
- 26 INVERT OF 43.80 AT BEND, 2-4" PVC, SCHEDULE 40, DRAIN PIPES.
- 27 LANDSCAPE FEATURE AT RESIDENCE ENTRY.
- 28 INSTALL SLOTTED DRAIN AT WEST SIDE OF RESIDENCE. SLOTTED DRAIN TO DISCHARGE AT GRADE ON WEST SIDE OF BLOCK WALL.
- 29 PROVIDE BLOCK WALL DRAINAGE OPENING AT GRADE BY PLACING ONE BLOCK ON-SIDE AT LOCATION SHOWN.
- 30 REMOVE DIRT AND ROCK AS NEEDED TO OBTAIN A FINISH GRADE OF 42.75 AT OUTLET OF DRAINAGE PIPES. GRADE AS NECESSARY TO PROVIDE A POSITIVE SLOPE OF 1% TO EFFECTIVELY DRAIN WATER AWAY.
- 31 SHOULD GRADING CUT ALONG WEST SIDE OF WALL AND CURVED STAIRS BE HARD STABLE ROCK, NO RIPRAP EROSION PROTECTION IS NEEDED, OTHERWISE INSTALL ANGULAR ROCK RIPRAP, D50=6", MINIMUM THICKNESS 1.0', MINIMUM WIDTH OF 2.0' FROM BASE OF WALL FOR EROSION PROTECTION.
- 32 EXISTING SEWER CLEANOUTS, USE CAUTION EXCAVATING & INSTALLING 2-4" STORMDRAIN PIPES.
- 33 HEIGHT OF WEST STAIR WALL TO BE A MINIMUM OF 36 INCHES ABOVE FRONT EDGE OF STAIR TREAD, SEE ARCHITECT'S PLANS FOR ADDITIONAL INFORMATION & DETAILS.
- 34 INSTALL TRAFFIC RATED ALUMINIZED METAL SLOTTED DRAIN PIPE, 12" DIAMETER, IN FRONT OF GARAGE DOOR TO INVERTS SHOWN. INSTALL 12" DIAMETER ALUMINIZED METAL DRAINAGE PIPE TO INVERTS SHOWN.
- 35 INSTALL 6' X 8' ANGULAR RIPRAP SPLASH PAD, D50=12", 2.0' THICK, AT OUTLET OF 12" DIAMETER DRIVEWAY DRAIN PIPE.



DRAINAGE FACILITIES NOTE

PROPER OPERATION OF DRAINAGE FACILITIES AND DRAINAGE OPENINGS IS DEPENDENT UPON THE UNOBSTRUCTED FREE FLOW OF STORMWATER. REGULAR INSPECTION AND MAINTENANCE OF THE DRAINAGE FACILITIES AND DRAINAGE OPENINGS IS NECESSARY TO INSURE THAT NO OBSTRUCTIONS OR BLOCKAGE EXIST TO THE FREE FLOW OF STORMWATER OCCURS FROM ANY TYPE OBSTRUCTION INCLUDING BUT NOT LIMITED TO DEBRIS, (PAPER, PLASTIC, CARDBOARD, ETC...) VEGETATION (GRASS, LEAFS, STICKS, ETC...) AND/OR EARTHEN (DIRT, SAND, GRAVEL, ROCK, ETC...) MATERIAL. SHOULD ANY TYPE OF DEBRIS, EARTHEN MATERIAL OR VEGETATION BE ALLOWED TO OBSTRUCT THE FREE FLOW OF WATER, DAMAGE DUE TO FLOODING COULD OCCUR.

HATCH LEGEND

- EXISTING ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW CONCRETE WALKS

DRAINAGE NARRATIVE

THIS SITE IS LOCATED IN FEMA FLOOD ZONE "X" AS SHOWN IN FEMA FIRM MAP 04013C, PANEL 1690G. FINISH FLOOR ELEVATIONS ARE SAFE FROM THE 100 YEAR STORM EVENT.

THE EXISTING HISTORIC FLOWS OF 5.33 CFS PASSES THROUGH THE SITE IN THE EXISTING WASH, TO BE DEDICATED IN A NEW DRAINAGE EASEMENT, THE WASH WILL NOT BE DISTURBED. HISTORICALLY THE RUNOFF FROM NORTH OF THE PROPERTY SHEET FLOWS ACROSS GLEN DRIVE IN TWO AREAS. ALONG THE WESTERN HALF OF THE NORTH PROPERTY LINE THE RUNOFF SHEET FLOWED ACROSS GLEN DRIVE, RAN DOWN THE HILLSIDE TO COLLECT ALONG THE NORTH SIDE OF THE EXISTING RESIDENCE AND DRAINED TO THE EAST, INTO THE DRIVEWAY AND OUT TO THE 57TH PLACE R.O.W. ALONG THE EASTERN HALF OF THE NORTH PROPERTY LINE THERE IS AN EXISTING EXTRUDED CURB WHICH CHANNELS THE SHEET FLOW ACROSS GLEN DRIVE TO A POINT AT THE NORTH EAST CORNER OF THE SITE WHERE IT FLOWS INTO THE SITE, DOWN THE HILLSIDE, AND INTO THE DRIVEWAY AND INTO THE 57TH PLACE R.O.W.

THE PATIOS AND POOL DECKS WILL ALL SHEET DRAIN TO THE LAWN AREA AND FROM THERE TO THE EXISTING OUTFALL LOCATIONS ALONG 57TH PLACE. THE DRAINAGE PATTERNS ALONG THE REST OF THE SOUTHERN PROPERTY LINE WILL REMAIN UNCHANGED

SITE DATA

AREA OF LOT	49,596 S.F. = 1.139 ACRES
AREA UNDER ROOF	8,264.3 S.F.
FLOOR AREA RATIO	16.66%
BUILDING SITE SLOPE	25.3% - 45' VERTICAL, 177.8' HORIZONTAL.
EXISTING DISTURBED AREA	22,924 S.F.
EXISTING DISTURBED AREA PERCENTAGE	46.22%
ALLOWABLE DISTURBED AREA	6,399 S.F.
ALLOWABLE DISTURBED AREA PERCENTAGE	12.9%
NEW DISTURBED AREA	0.0 S.F.
TOTAL NEW AND EXISTING DISTURBED AREA	19,770.4 S.F.
TOTAL NEW AND EXISTING DISTURBED AREA PERCENTAGE	39.86%
PERCENTAGE OF LOT STEEPER THAN NATURAL GRADE	2.58%
VOLUME OF CUT	170 C.Y.
VOLUME OF FILL	142 C.Y.
HILLSIDE ASSURANCE @ \$25/C.Y. OF CUT+FILL	312 C.Y. FILL @ \$25/C.Y. = \$7,800
SLOPE OF DRIVEWAY	12.3%

LINE TABLE

LINE	BEARING	DISTANCE
L1	N78°28'33"W	84.93
L2	N56°31'27"E	270.71
L3	N31°57'33"W	252.88
L4	N78°28'33"W	25.07

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	3°53'48"	1275.00	86.71
C2	18°10'00"	450.00	142.68
C3	3°21'17"	450.00	26.35
C4	138°21'17"	20.00	48.29
C5	32°20'00"	20.00	11.29

CUT AND FILL

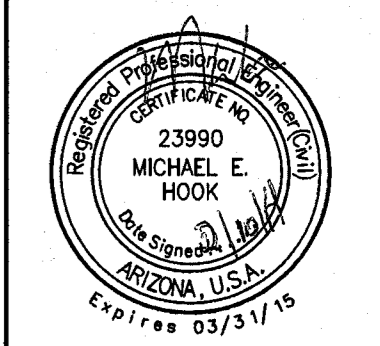
TOTAL SITE CUT = 170 C.Y.
TOTAL SITE FILL = 142 C.Y.
TOTAL FOR SITE = 312 C.Y. OF CUT AND FILL

VAN HOUTEN RESIDENCE

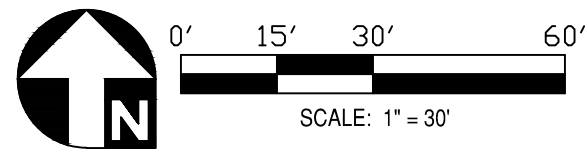
Hook Engineering, Inc.



3221 N. 24TH STREET, SUITE 10 PHOENIX, AZ 85016 Tel: (602) 954-0166 Fax (602) 956-0289

Designed by:	MLW	Checked by:	MH
Drawn by:	MLW	Date:	6/27/13
Horizontal Scale:	AS NOTED	Vertical Scale:	N/A
Revisions:			



JOB NUMBER
9083.13.01
SHEET



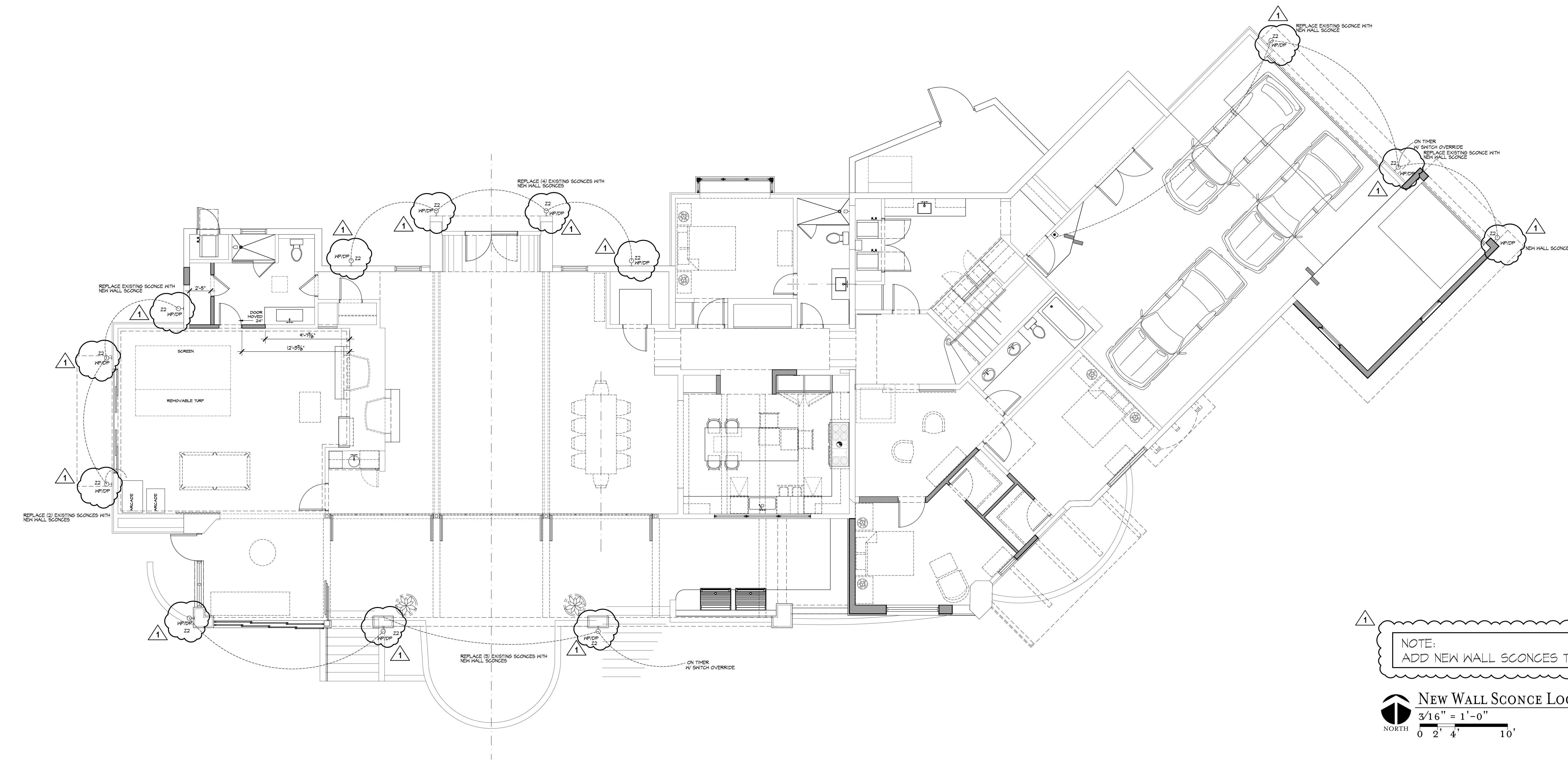
LEGEND	
	HISTORICAL CONTOURS
	EXISTING LIMITS OF DISTURBANCE

**VAN HOUTEN RESIDENCE
HISTORICAL CONTOUR**

**7102 N 57TH PLACE
PARADISE VALLEY, AZ
APN: 169-55-033E**

SCALE	1"=30'
DESIGN	PJG
JOB No.	2026-001-01
DATE :	3/30/2026
EXHIBIT 1	





NOTE:
ADD NEW WALL SCONCES TO EXISTING LIGHTING CIRCUIT

NEW WALL SCONCE LOCATION PLAN
3/16" = 1'-0"
NORTH

TYPICAL NOTES:

- Note that ALL recessed fixtures shall have a (SQUARE OR ROUND) configuration and that the aperture size shall be kept consistent to the greatest degree possible.
- The individual descriptions & specified fixtures in this Legend are meant to establish the required performance criteria and level of manufacturing quality. Alternate fixtures equating or exceeding the criteria may be submitted for review.
- Upon determination and selection of the specific fixtures by the Contractor/ Lighting Supplier, the Contractor shall provide a complete submittal package (in accordance with the Division 1 Specifications within these Drawings) for review by the Owner and Design Team. Receipt and resolution of any review comments is required prior to placing any lighting fixture orders.
- Only light fixtures rated for insulation contact shall be used in insulated assemblies.
- UNID, the selection of the appropriate drivers, transformers, etc. for the lighting fixtures shall be the responsibility of the contractor/lighting supplier.
- This is a Master Legend- not all fixtures may be used on the corresponding Plan(s).

LTR SYMB	FIXTURE TITLE, DESCRIPTION & SPECIFICATION
A	FLAT CEILING 4" RECESSED LED DOWNLIGHT w/ REFLECTOR TRIM. (C Rated w/ 50W PAR30 LED Lamp w/ E26 Base containing 1% Dimmability. Where requires provide rating for damp location or lens cover for closet location. "Elite" B41C-AT. Trim. B422A-NH (or equal).
B	FLAT CEILING 4" RECESSED LED DOWNLIGHT w/ SLOT APERTURE TRIM. (C Rated w/ 50W PAR30 LED Lamp w/ E26 Base containing 1% Dimmability. Beam spread "E.D.". Fixture to be rated for damp location where required. "Elite" B41C-AT. Trim. B422A-NH (or equal).
C	FLAT CEILING 4" RECESSED LED DOWNLIGHT w/ PINHOLE TRIM. (C Rated w/ 50W PAR30 LED Lamp w/ E26 Base containing 1% Dimmability. Fixture to be rated for damp location where required. "Elite" B41C-AT. Trim. B422A-NH (or equal).
LTR SYMB	FIXTURE TITLE, DESCRIPTION & SPECIFICATION
⊕	CEILING SURFACE-MOUNTED CLOSET LED LENSED FIXTURE. 3" diam. slim surface mount dimmable fixture with 1200 Lumens & 90+ CRI. "Elite" RL941-1200L-DIMTR-20-30K-90-NH (or equal).
H	WALL SURFACE-MOUNTED LINEAR CLOSET LED LENSED FIXTURE. Fixture to be centered horizontally on door & vertically between door header and ceiling with 3000K Lamp. Verify length required (6" to 48"). "Elite" ESL-LED-24-120-30K (or equal).
J	RECESSED REINFORCED CLG. JUNCTION BOX FOR LIGHT FIXTURE/FAN. 120V & rated for damp location where req'd. "Arington" TB442. Verify light fixture/fan specification w/ Owner/Interior Designer prior to order.
K	ADJ. INT./EXT. SURFACE-MTD. LOW VOLTAGE DIRECTIONAL FIXTURE. Provide a remote 12-volt transformer and mounting accessories based upon req'd. attachment to exposed surface or beam(s) as follows: member as shown. "Lumiere/Cambria" Model 205-FL-50MR16-12-BZ (or equal).
L	INT. LINEAR UNDERCABINET OR CLG. COVE ACCENT LED LIGHT FIXTURE. Indoor 3000K LED Tape Light with remote electronic transformer & dimm. channel. Contractor to place together lengths as req'd. "National Spec. Lighting" LTP-20-YY-HR0. Channel: "NSL" LV-ALP220B (or equal).
Z1	INT./EXT. CLG. SURFACE-MOUNTED DESIGNER PENDANT LIGHT FIXTURE. 120V Fixture to be specified by Owner or Interior Designer. Contractor to verify weight & provide additional support or bracing if/where required.
Z2	EXTERIOR WALL SURFACE-MTD. DESIGNER SCONCE/LANTERN LIGHT FIX. 120V Fixture to be specified by Owner or Interior Designer. Contractor to verify height and placement.

- GENERAL ELECTRICAL NOTES**
- CONTRACTOR TO VERIFY ALL OUTLET, FIXTURE & CONTROL LOCATIONS W/ ARCHITECT/INT. DESIGNER AT ROUGH-IN STAGE. MAKE MINOR ADJUSTMENTS (WITHIN 30") AS DIRECTED WITHOUT ADDITIONAL COST.
 - WIRING & LOCATIONS FOR AUDIO SPEAKERS, SECURITY SYSTEM, ETC. TO BE DETERMINED AND PROVIDED BY SEPARATE VENDORS. CONTR. TO PROVIDE ALL NECESSARY COORDINATION USE CARE IN PLACEMENT OF DEVICES TO ALIGN WITH & RELATE TO OTHER WORK.
 - COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR SHALL BE PROVIDED OUTSIDE OF EACH SLEEPING AREA & SMOKE DETECTORS SHALL BE PROVIDED INSIDE OF EACH SLEEPING AREA. THE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING, NOT BE ON AN ARC FAULT CIRCUIT WITH A BATTERY BACKUP. THE DETECTORS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. REQUIRED SMOKE DETECTORS SHALL BE INTERCONNECTED SO IF ONE DETECTOR IS ACTIVATED ALL DETECTORS ARE ACTIVATED. (NSH & KSB)
 - ALL 120-VOLT SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUN ROOMS, RECREATION ROOMS, GUESTS HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC FAULT CIRCUIT INTERRUPTER. COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (E900212)
 - IN AREAS SPECIFIED IN SECTION E9001, 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
 - OUTLET BOXES IN THE HALL BETWEEN THE RESIDENCE AND GARAGE SHALL BE METAL OR UL-APPROVED FIRE RESISTIVE PLASTIC. OUTLET BOXES IN GARAGE CEILING SHALL BE METAL.
 - PER IFC, N1016 A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE R-VALUES OF THE INSULATION AT WALLS, CEILING, FLOORS, & DECKS THAT ARE OUTSIDE THE THERMAL ENVELOPE. U-FACTORS & SOLAR HEAT GAIN COEFFICIENTS OF PENETRATION SHALL BE LISTED. RESULTS OF ANY AIR LEAKAGE TESTING SHALL BE LISTED. THE CERTIFICATE SHALL LIST THE TYPES & EFFICIENCIES OF HEATING, COOLING, & SERVICE WATER HEATING EQUIPMENT. GAS LOG SETS SHALL BE LISTED W/ EFFICIENCIES.
 - A FIXTURE, OUTLET, CIRCUIT OR SWITCH WITH AN "E" AS PART OF ITS LABEL ON THE POWER/LIGHTING PLANS) DESIGNATED THAT IT'S AN EXISTING CONDITION THAT SHALL REMAIN IN PLACE. THE DEVICE SHALL BE TESTED, EXAMINED FOR WEAR AND REPLACED (WHEREVER NOTED OR AS REQUIRED) TO MATCH THE UPDATED ADJACENT CONDITIONS.

FURNITURE GRAPHICS NOTE

ANY FURNITURE SHOWN IN THIS PLAN IS FOR GENERAL REFERENCE ONLY. COORDINATE FINAL POWER, OUTLET AND LIGHT FIXTURE LOCATIONS AS REQUIRED IN THE FIELD WITH THE OWNER AND INTERIOR DESIGNER.

TOWN OF P.V. SITE LIGHTING NOTE

OUTDOOR LIGHTING SHALL CONFORM TO THE TOWN OF PARADISE VALLEY ZONING ORDINANCE, ARTICLE 10, SECTION 1025. LANDSCAPE LIGHTING CANNOT EXCEED 25 WATTS AND SECURITY LIGHTING CANNOT EXCEED 75 WATTS.

POWER SYMBOLS LEGEND

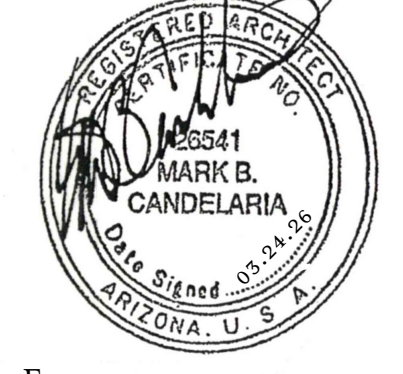
⊖	DIMMER SWITCH AT 42" AFF. (UNO.)	⚡	BUNDLED CABLE OUTLET COMPOSED OF (1) COAX & (3) CAT6 ORIGINATING FROM UTILITY ROOM	⌨	LIGHTING CONTROL SYSTEM WALL KEYPAD
⚡	SINGLE POLE "DECOAR" LIGHT SWITCH MOUNTED AT 42" AFF. (UNO.)	☎	TELEPHONE/COMMUNICATION OUTLET (CAT6)	⚡	6PI PULGMOLD STRIP AT UNDERSIDE OF UPPER CABINET WITH OUTLETS SPACED AT 18" O.C. MAX.
⚡	AFGI (UNO.) DUPLEX OUTLET MOUNTED AT 14" AFF. (UNO.)	⚡	FLOOR MOUNTED BUNDLED CABLE OUTLET	⚡	SERVICE ENTRY SECTION. VERIFY BY HOST UTILITY CO.
⚡	6FGI (UNO.) DUPLEX OUTLET LOCATED ABOVE COUNTER	⚡	APPROVED 10V SMOKE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP PER IRC R315.2.1	⚡	SUB PANEL (APPROX. LOCATION) V.I.F.
⚡	AFGI (UNO.) SWITCHED DUPLEX RECEPTACLE, 1/2 HOT.	⚡	APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP	⚡	SMART PANEL (APPROX. LOCATION) V.I.F.
⚡	SWITCHED (1/2 HOT) 6FGI (UNO.) DUPLEX OUTLET LOCATED ABOVE COUNTER	⚡	WALL CHIME AND EXTERIOR PUSHBUTTON	⚡	3-WAY CONTROL FOR SWITCH
⚡	AFGI (UNO.) FOURPLEX OUTLET	⚡	EXHAUST FAN - 150 WATT, 120V, UNO. ON MECHANICAL PLANS	⚡	4-WAY CONTROL FOR SWITCH
⚡	220 VOLT OUTLET	⚡	APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP	⚡	HEATHERPROOF COVER FOR DEVICE (WATER TIGHT)
⚡	220 VOLT SWITCHED OUTLET, 1/2 HOT	⚡	WALL CHIME AND EXTERIOR PUSHBUTTON	⚡	DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE
⚡	DEDICATED OUTLET, NOTED ON PLAN	⚡	EXHAUST FAN - 150 WATT, 120V, UNO. ON MECHANICAL PLANS	⚡	UNDER COUNTER
⚡	6FGI (UNO.) FLOOR OUTLET RECESSED INTO SLAB TO CONCEAL PLUGS W/ FLUSH COVER PLATE). FIELD VERIFY LOCN., 1/2 HOT WHERE SHOWN	⚡	APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP	⚡	M.R. MOISTURE RESISTANT
⚡	EQUIP. CONTROLLER & NEMA 3R-NP DISCONNECT SWITCH (220 VOLT)	⚡	6FGI (UNO.) POWER & COMMUNICATION FLOOR OUTLET, VERIFY LOCATION	⚡	GROUND FAULT INTERRUPT PROTECTION FOR DEVICE
⚡	SWITCHED GARBAGE DISPOSAL OUTLET, 6FGI RATED	⚡	NATURAL GAS OUTLET	⚡	ARC FAULT INTERRUPT PROTECTION OUTLETS PER N.E.C. ARTICLE 210.52.A
⚡		⚡	GARAGE DOOR OPENER WITH INTERIOR PUSHBUTTON & EXTERIOR KEYPAD CONTROL	⚡	EXIST. OUTLET SWITCH, FIXTURE OR CIRCUIT. REFER TO GENERAL ELEC. NOTE "1" THIS SHEET
⚡		⚡	ROOF MTD. PHOTOCELL W/ TIMER FOR OUTDOOR LIGHTING		
⚡		⚡	GROUND MTD. WEATHERPROOF JUNCTION BOX OUTLET		

SYMBOL TEXT ABBREVIATION KEY:

⚡	3-WAY CONTROL FOR SWITCH
⚡	4-WAY CONTROL FOR SWITCH
⚡	HEATHERPROOF COVER FOR DEVICE (WATER TIGHT)
⚡	DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE
⚡	UNDER COUNTER
⚡	M.R. MOISTURE RESISTANT
⚡	GROUND FAULT INTERRUPT PROTECTION FOR DEVICE
⚡	ARC FAULT INTERRUPT PROTECTION OUTLETS PER N.E.C. ARTICLE 210.52.A
⚡	EXIST. OUTLET SWITCH, FIXTURE OR CIRCUIT. REFER TO GENERAL ELEC. NOTE "1" THIS SHEET

- ELECTRICAL DRAWING KEYNOTES**
- LOCATION OF EXIST. 600 AMP SERVICE ENTRY SECTION AND METER IN ACCORDANCE WITH POWER COMPANY REQUIREMENTS
 - EXIST. ELECTRICAL SUB PANELS
 - COORDINATE LOCATION FOR RANGE HOOD OUTLET WITH FINAL APPLIANCE AND CABINETRY SELECTIONS BY OWNER/INTERIOR DESIGNER.
 - COORDINATE FINAL PLACEMENT AND HEIGHTS OF PERIMETER OUTLETS IN THIS ROOM WITH FINAL BUILT-IN CABINET AND SHELVING DESIGN PER OWNER/INTERIOR DESIGNER.
 - COORDINATE HEIGHT & LOCATION OF REFRIGERATOR/FREEZER/ICE MAKER OUTLET W/ MANUFACTURER'S REQUIREMENTS.
 - COORDINATE HEIGHT AND LOCATION FOR MICROWAVE OUTLET BASED UPON FINAL APPLIANCE SELECTION BY OWNER.
 - REFER TO GENERAL ELECTRICAL NOTE "0" FOR ALL ROOMS WHICH REQUIRE (AFCI) PROTECTED CIRCUITS PER THE 2014 N.E.C.
 - INTEGRATE OUTLETS INTO FORTHCOMING ISLAND CABINETRY DESIGN.
 - NEMA 1 POWER DISCONNECT AT HVAC CONDENSER UNITS PER MANUFACTURER'S REQUIREMENTS. THE DISCONNECT SWITCH SHALL NOT BE LOCATED BEHIND THE UNITS) AS SHOWN ON THE PLAN.
 - COORDINATE HEIGHT OF POWER & TELEVISION OUTLET FOR OWNER'S FLAT SCREEN TELEVISION IN THE FIELD.
 - GROUND-MOUNTED OUTLET FOR SITE GATE OPERATOR- CONFIRM LOCATION AND REQUIREMENTS WITH GATE OPERATOR MANUFACTURER.
 - COORDINATE HEIGHT AND LOCATION OF SMOKER OUTLET BASED UPON FINAL APPLIANCE SELECTION BY OWNER.
 - COORDINATE RANGE/OVEN OUTLET RATING WITH APPLIANCE SELECTION.
 - SWITCH, LIGHT & CONVENIENCE OUTLET LOCATED IN ATTIC SPACE
 - OUTLET AT BACK OF BOTTOM RIGHT BASE CABINET DOOR/DRAWER. CONNECT TO PULGMOLD STRIP WITHIN CABINET OR DRAWER.
 - COORDINATE FINAL PLACEMENT AND HEIGHT OF OUTLETS) AND/OR ACCENT LIGHTING IN THIS RECESS OR BUILT-IN WITH THE INTERIOR DESIGN DIMS.
 - 120 VOLT, HARD WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP IN A VESTIBULE/HALLWAY OR A SLEEPING ROOM CONTAINING A FUEL-FIRED APPLIANCE.
 - DEDICATED 15AMP CIRCUIT FOR COLD PLUNGE- VERIFY FINAL LOCATION & REQUIREMENTS IN THE FIELD.
 - COORDINATE OUTLETS / POWER REQUIREMENTS FOR GOLF SIMULATOR PROVIDED BY OWNER
 - DEDICATED CIRCUIT FOR SAUNA- VERIFY FINAL LOCATION & REQUIREMENTS IN THE FIELD.

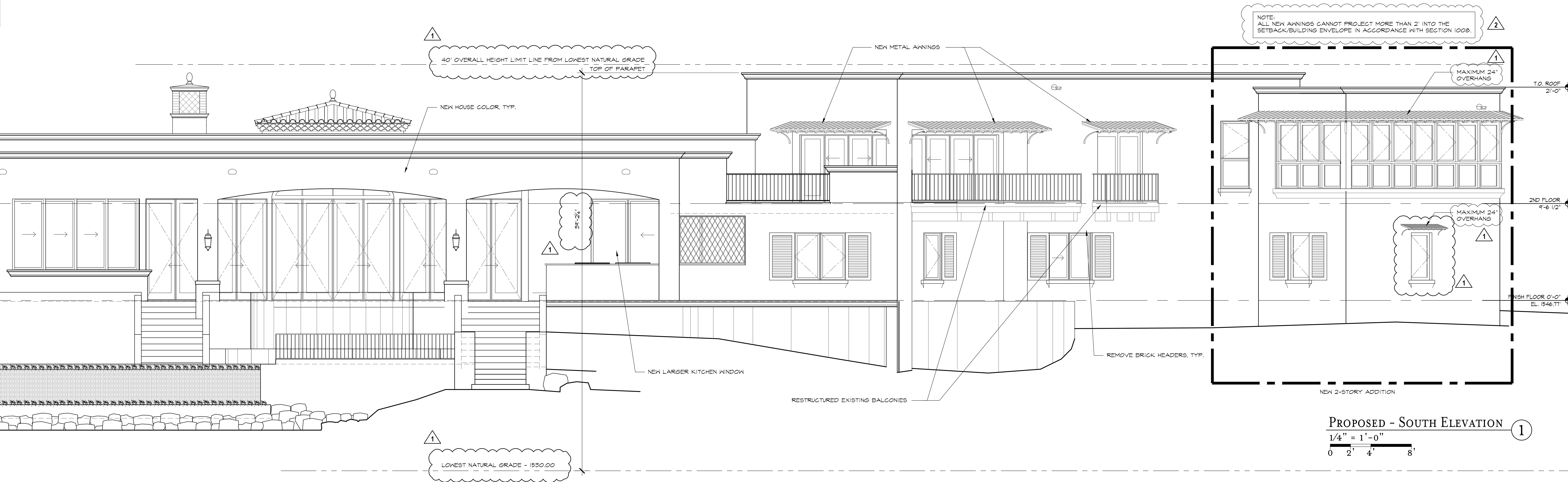
- POWER SYMBOLS LEGEND**
- | | | | | | |
|---|---|---|--|---|---|
| ⊖ | DIMMER SWITCH AT 42" AFF. (UNO.) | ⚡ | BUNDLED CABLE OUTLET COMPOSED OF (1) COAX & (3) CAT6 ORIGINATING FROM UTILITY ROOM | ⌨ | LIGHTING CONTROL SYSTEM WALL KEYPAD |
| ⚡ | SINGLE POLE "DECOAR" LIGHT SWITCH MOUNTED AT 42" AFF. (UNO.) | ☎ | TELEPHONE/COMMUNICATION OUTLET (CAT6) | ⚡ | 6PI PULGMOLD STRIP AT UNDERSIDE OF UPPER CABINET WITH OUTLETS SPACED AT 18" O.C. MAX. |
| ⚡ | AFGI (UNO.) DUPLEX OUTLET MOUNTED AT 14" AFF. (UNO.) | ⚡ | FLOOR MOUNTED BUNDLED CABLE OUTLET | ⚡ | SERVICE ENTRY SECTION. VERIFY BY HOST UTILITY CO. |
| ⚡ | 6FGI (UNO.) DUPLEX OUTLET LOCATED ABOVE COUNTER | ⚡ | APPROVED 10V SMOKE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP PER IRC R315.2.1 | ⚡ | SUB PANEL (APPROX. LOCATION) V.I.F. |
| ⚡ | AFGI (UNO.) SWITCHED DUPLEX RECEPTACLE, 1/2 HOT. | ⚡ | APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP | ⚡ | SMART PANEL (APPROX. LOCATION) V.I.F. |
| ⚡ | SWITCHED (1/2 HOT) 6FGI (UNO.) DUPLEX OUTLET LOCATED ABOVE COUNTER | ⚡ | WALL CHIME AND EXTERIOR PUSHBUTTON | ⚡ | 3-WAY CONTROL FOR SWITCH |
| ⚡ | AFGI (UNO.) FOURPLEX OUTLET | ⚡ | EXHAUST FAN - 150 WATT, 120V, UNO. ON MECHANICAL PLANS | ⚡ | 4-WAY CONTROL FOR SWITCH |
| ⚡ | 220 VOLT OUTLET | ⚡ | APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP | ⚡ | HEATHERPROOF COVER FOR DEVICE (WATER TIGHT) |
| ⚡ | 220 VOLT SWITCHED OUTLET, 1/2 HOT | ⚡ | WALL CHIME AND EXTERIOR PUSHBUTTON | ⚡ | DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE |
| ⚡ | DEDICATED OUTLET, NOTED ON PLAN | ⚡ | EXHAUST FAN - 150 WATT, 120V, UNO. ON MECHANICAL PLANS | ⚡ | UNDER COUNTER |
| ⚡ | 6FGI (UNO.) FLOOR OUTLET RECESSED INTO SLAB TO CONCEAL PLUGS W/ FLUSH COVER PLATE). FIELD VERIFY LOCN., 1/2 HOT WHERE SHOWN | ⚡ | APPROVED 10V CARBON MONOXIDE DETECTOR INTERCONNECTED & WITH BATTERY BACK-UP | ⚡ | M.R. MOISTURE RESISTANT |
| ⚡ | EQUIP. CONTROLLER & NEMA 3R-NP DISCONNECT SWITCH (220 VOLT) | ⚡ | 6FGI (UNO.) POWER & COMMUNICATION FLOOR OUTLET, VERIFY LOCATION | ⚡ | GROUND FAULT INTERRUPT PROTECTION FOR DEVICE |
| ⚡ | SWITCHED GARBAGE DISPOSAL OUTLET, 6FGI RATED | ⚡ | NATURAL GAS OUTLET | ⚡ | ARC FAULT INTERRUPT PROTECTION OUTLETS PER N.E.C. ARTICLE 210.52.A |
| ⚡ | | ⚡ | GARAGE DOOR OPENER WITH INTERIOR PUSHBUTTON & EXTERIOR KEYPAD CONTROL | ⚡ | EXIST. OUTLET SWITCH, FIXTURE OR CIRCUIT. REFER TO GENERAL ELEC. NOTE "1" THIS SHEET |
| ⚡ | | ⚡ | ROOF MTD. PHOTOCELL W/ TIMER FOR OUTDOOR LIGHTING | | |
| ⚡ | | ⚡ | GROUND MTD. WEATHERPROOF JUNCTION BOX OUTLET | | |



EXPIRATION: 09.30.2026
MAR. 24, 2026

REVISION	DATE
3	
2	
1	

Checked By: T.M.
Drawn By: L.Z.
Scale: 1/4" = 1'-0"
Drawing: POWER & LIGHTING PLAN
Sheet:



PROPOSED - SOUTH ELEVATION ①
 1/4" = 1'-0"
 0 2' 4' 8'



EXISTING - SOUTH ELEVATION ②
 1/4" = 1'-0"
 0 2' 4' 8'

DRAWING KEYNOTES

- 2.1 PLANTER OR LANDSCAPED AREA.
- 2.2 APPROXIMATE LINE OF PROPOSED FINISHED GRADE.
- 2.3 INTEGRALLY COLORED CONCRETE WITH BROOM FINISH DAVIS COLORS, SAN DIEGO BUFF 925T.
- 2.4 FILL-IN EXISTING DEPRESSIONED SLAB W/ COMPACTED A.B.C. TO ALLOW 4" CONCRETE SLAB TO BE FLUSH WITH ADJACENT CONCRETE.
- 2.5 WALKWAY FINISHS TO MATCH EXISTING.
- 2.6 NEW G.M.U. BENCH AND WALL WITH PLANTER. REF. TO DETAILS. PAINTED STUCCO O/ MASONRY.
- 3.1 4" THK. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE WITH INTEGRAL COLOR, OWNER ARCH. TO SELECT COLOR AND FINISH.
- 3.2 1/2" x 4" 96. STD. GRAY EXTERIOR CONCRETE SLAB ON COMPACTED GRADE FOR FINISHED STONE OR PAVEN SURFACING.
- 3.3 4" THK. RESIDENCE CONCRETE FLOOR SLAB OVER 4" ABC.
- 3.4 NEW/MODIFIED CONCRETE APRON/LANDINGS. HEIGHT TO MATCH INTERIOR FINISHED FLOOR.
- 3.5 APPROX. LINE OF TRANSITION FROM EX'G TO NEW CONCRETE FLOOR SLAB.
- 4.1 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT WALL.
- 4.2 24" 50 REINFORCED CONCRETE MASONRY UNIT SITE WALL. HEIGHT PER SITE PLAN.
- 4.3 ABOVE X350, C01 PRECAST MANTEL, TRIM, CAP, SILL OR SURROUND AS OCCURS. OWNER/ ARCHITECT TO CONFIRM FINAL PROFILE.
- 4.4 4" WALL OR PIER CAP TO MATCH BRICK VENEER.
- 4.5 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT SITE WALL. HEIGHT PER SITE PLAN.
- 4.6 MASONRY LINTEL - REFER TO STRUCTURAL DRAWINGS.
- 4.7 ABOVE X350, C01 PRECAST ENTRY SURROUND, SCUFFERS AND PARAPET CAPS.
- 4.8 SMOKESTACK, THIN BRICK, ROBINSON BRICK, HEADER OR CHIMNEY.
- 4.9 DECORATIVE RECESS DETAIL. CUT INTO EXT. CMU WALL APPROX. 3/4". REPAIR ANY DAMAGED OR ROUGH CUT MASONRY. STUCCO OVER TO MATCH SURROUNDING.
- 5.1 EXISTING STEEL COLUMN BEAM OR LINTEL PER STRUCTURAL DRAWINGS.
- 5.2 STEEL COLUMN BEAM OR LINTEL PER STRUCTURAL. WHERE STEEL COLUMN MEETS WINDOW OR DOOR SYSTEM, CLAD WITH MANUFACTURER'S METAL TO MATCH ADJACENT SYSTEM.
- 5.3 36" to 38" HIGH GUARDRAIL (MEASURED FROM STEP NOSE) W/ 4" SPACING BTW. VERTICAL RODS. KNUCKLE EVERY FIFTH VERTICAL ROD, CENTERED. NEWEL POST AT FIRST TREAD FINAL MATERIAL & DESIGN BY OWNER.
- 5.4 1/2" HANDRAIL AT 36" FROM STEP NOSE. HANDRAIL TO BE CAPABLE TO RESIST A LOAD OF 250#. WROUGHT IRON OVERLAY AT FAUX DECORATIVE STEEL SCREEN. FINAL DESIGN T.B.D.
- 5.5 PRE-FABRICATED ROUNDED 4" JULY BALCONY BY OTHERS. REF. STRUCTURAL.
- 5.6 DECORATIVE FORGED STEEL SCREEN - FINAL DESIGN T.B.D.
- 5.7 3/4" 50. CROSS FORGED STEEL BARS. RUSTED STEEL FINISH. FINAL DESIGN BY OWNER.
- 5.8 2x6 WOOD STUD WALL @ 16" O.C.
- 5.9 2x6 WOOD STUD WALL @ 16" O.C.
- 5.10 2x6 WOOD STUD WALL @ 16" O.C. O/ EXISTING WALL (V.I.F.) REPAIR OR REPLACE AS REQUIRED.
- 5.11 PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.
- 5.12 DECORATIVE HAND BANN WOOD GUS BEAM - SIZE AND SPACING AS NOTED ON REF. CEILING PLAN.
- 5.13 HAND HEVN VENEER WOOD O/ EXISTING BEAMS. FINAL BEAM WIDTH TO BE 10" MIN.
- 5.14 DECORATIVE HAND BANN WOOD BRACKET/CORBEL AS OCCURS - FINAL DESIGN T.B.D.
- 5.15 WINDOW SHED. HAND SAWN WOOD BEAMS - SIZE AND SPACING AS PER STRUCTURAL DRAWINGS.
- 5.16 PREFABRICATED WOOD ROOF TRUSS OR 2x ROOF JOISTS - SPACING AND SIZE PER STRUCTURAL DRAWINGS.
- 5.17 18" FRAMED PLATFORM FOR RETURN AIR DUCT W/ GYPM BOARD FINISH AT INTERIOR AND PLYWOOD SHEATHING/SHIT-METAL TOP AT MECHANICAL CLOSETS.
- 5.18 POLYMER COMPOSITE WOOD SHUTTER IN HEIGHT TO MATCH WINDOW OR DOOR UNIT. 5/8 6082 COBBLE BROWN CASEWORK CABINERY & COUNTERTOP PER OWNER, BUILDER, ARCH. & INT. DESIGNER. REFER TO SUPPLIER'S SHOP DRAWINGS FOR ADDITIONAL INFO.
- 5.19 WOOD MILLWORK AS OCCURS. BASE, HANNGOT, TRIM, CASING, COFFERS, CROWN MOLDING, ETC. - EXTENT & SPECFS. T.B.D. BETWEEN OWNER, BUILDER & ARCHITECT.
- 5.20 LOWERED 2x CEILING OR SOFFIT FRAMING WITH FIREBLOCKING.
- 5.21 DECORATIVE STAINED WOOD RAFTER TAIL - SEE DETAILS FOR EXACT SIZE AND PROFILE.
- 5.22 2x WOOD STUD TO NEILL OPENING. MATCH ADJACENT WALL, OR AS SPECIFIED WALL THICKNESS.
- 5.23 FRAMED COLUMNS AT EXTERIOR PATIO. SEE ELEVATIONS FOR HEIGHT AND TREATMENT.
- 5.24 WOOD BEAMS, WOOD TAILS, GARAGE DOORS, & DECORATIVE EXTERIOR SHUTTERS COLOR 5/8 6082 COBBLE BROWN (LRY 55)
- 5.25 FUR OUT EX'G 4x4 STEEL COLUMN FOR NEW DOOR JAMBES AND ELECTRICAL ROUGH INS. CONTRACTOR TO COORDINATE.
- 6.1 ELECTRICAL EXTERIOR CONDENSER UNIT PER MECHANICAL PLAN.
- 6.2 PROVIDE GAS AT RANGE.
- 6.3 APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER).
- 6.4 APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE).
- 6.5 EXHAUST FAN WITHIN HOOD VENTED DIRECTLY TO EXTERIOR PER M505.6.
- 6.6 FRESH AIR INTAKE, SIZED PER MECHANICAL DRAWINGS.
- 6.7 SALVA UNIT - FINAL DESIGN T.B.D BY OWNER/ BUILDER.
- 6.8 EXHAUST FAN IN BATHROOM.
- 6.9 (E) 600 AMP ELECTRICAL SERVICE & METER PER ELEC. SHTS. & POWER CO.
- 6.10 APPROXIMATE LOCATION OF ELECTRICAL SUB PANEL.
- 6.11 ELECTRICAL LIGHT FIXTURE, DEVICE OR LINGT. BOX PER SHEETS AE...
- 7.1 WATERPROOFING OR DAMPROOFING SYSTEM AT FACES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.
- 7.2 BLOW CELLULOSE INSULATION AS PER CONDITION. R-13 AT 2x FLOORING, R-19 AT 2x6 STUDS. IOTYENE SPRAY FOAM INSULATION AT ROOF DECK. R-38 MIN. IOTYENE THROUGHOUT AT OWNER'S REQUEST.
- 7.3 GAGGLE-FILES WALK DECK WATERPROOFING MEMBRANE (CG 55R 12M).
- 7.4 MIN. 1" EPS FOAM AT NEW EXTERIOR WALLS. FOAM TO ALIGN W/ EXISTING CMU.
- 7.5 SLOPPED FOAM/STUCCO SILL POP-OUT AT WINDOW.
- 8.1 ALUM. GLAD WOOD WINDOW WITH INSULATED LOW-E GLAZING. SEE WINDOW SCHEDULE, SHEET AB1, FOR LOCATIONS OF TEMPERED GLAZING. COLOR T.B.D.
- 8.2 ALUM. GLAD WOOD DOOR WITH TEMPERED INSULATED SOLAR GLAZING. COLOR T.B.D.
- 9.1 5/8" GYP. BOARD TYP. AT INTERIOR HALLS AND CEILINGS (MIN.).
- 9.2 DECORATIVE PLASTER TRIM OR MOLDINGS AS SHOWN, VERIFY PROFILE W/ OWNER, ARCHITECT, & INT. DESIGNER.
- 9.3 STUCCO SYSTEM FINISH TO MATCH RESIDENCE APPLIED DIRECTLY OVER MASONRY WALL CONSTRUCTION OR WESTERN -KOTE STUCCO SYSTEM (EGR 80T OR EQ2) WITH 'STO' SYNTHETIC FINISH CONTAINING INTEGRAL COLOR & A SMOOTH SAND FREE/STYLE 'AGED' FINISH. EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE. COLOR 5/8 6082 HANMERED GOLD (LRY 55)
- 9.4 STONE OR TILE FLOOR.
- 9.5 1" THICK SPRAYED IN PLACE POLYURETHANE FOAM O/ ROOF SHEATHING (UL R60201 OR SIM) PAINTED W/ 3 COATS OF ACRYLIC ELASTOMERIC PAINT 5/8 6082 HANMERED GOLD (LRY 55)
- 9.6 PLASTER PAINTED COREELS.
- 9.7 WATERPROOF GYP. BOARD AS REQUIRED.
- 9.8 BUILT-IN SHELVING RODS, ETC. FOR CLOTHES, DECORATIVE, STORAGE OR FUNCTIONAL USE. EXTENT & SPECFS. PER BUILDER/ OWNER & INT. DESIGNER.
- 9.9 SMOCKER & OUTDOOR KITCHEN - FINAL SELECTION BY OWNER.

ARCHITECTURE
LIFESTYLE
Candelaria Design Associates
 6900 EAST CAMELBACK RD., SUITE 400 SCOTTSDALE, AZ 85251
 602.604.2001 CANDELARIADDESIGN.COM FAX 480.874.7098

ADDITIONS & ALTERATIONS TO:
Van Houten Residence
 7102 N. 57TH PLACE
 PARADISE VALLEY, AZ 85253

2409
 CELEBRATING 26 YEARS
 1999-2025

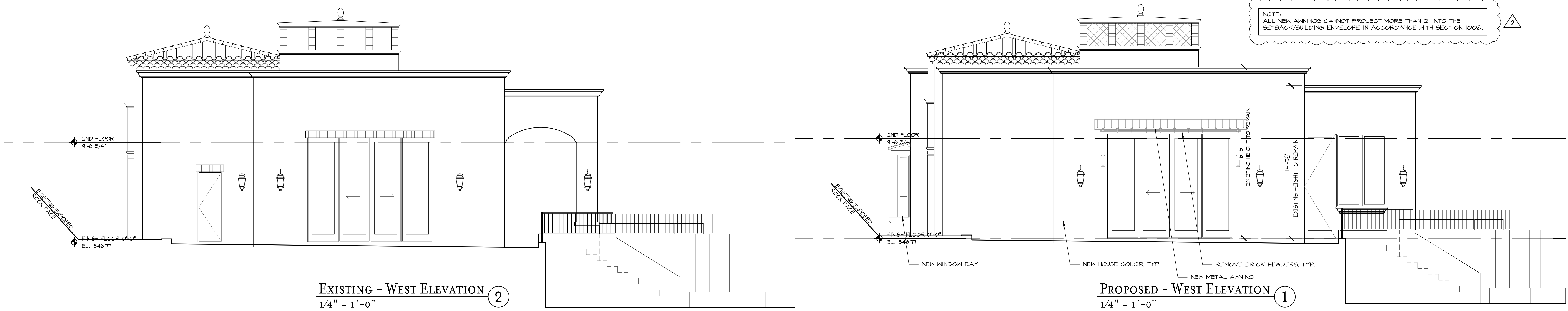


EXPIRATION: 09.30.2026
 APRIL 07, 2026

3	REVISION DATE
2	HILLSIDE REVIEW 04.07.2026
1	HILLSIDE REVIEW 03.24.2026

Checked By: T.M.
 Drawn By: L.Z.
 Scale: 1/4" = 1'-0"
 Drawing:
EXTERIOR ELEVATIONS
 Sheet:

A6.1



EXISTING - WEST ELEVATION ②
1/4" = 1'-0"

PROPOSED - WEST ELEVATION ①
1/4" = 1'-0"



PROPOSED - SOUTHEAST ELEVATION ③
1/4" = 1'-0"



EXISTING - SOUTHEAST ELEVATION ④
1/4" = 1'-0"

- DRAWING KEYNOTES**
- PLANTER OR LANDSCAPED AREA.
 - APPROXIMATE LINE OF PROPOSED FINISHED GRADE.
 - INTEGRALLY COLORED CONCRETE WITH BROOM FINISH DAVIS COLORS, SAN DIEGO BUFF 923T.
 - FILL-IN EXISTING DEPRESSIONED SLAB W/ COMPACTED A.B.C. TO ALLOW 4" CONCRETE SLAB TO BE FLUSH WITH ADJACENT CONCRETE.
 - WALKWAY FINISHES TO MATCH EXISTING.
 - NEW G.M.U. BENCH AND WALL WITH PLANTER, REF. TO DETAILS, PAINTED STUCCO O/ MASONRY.
 - 4" IN. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE WITH INTEGRAL COLOR, OWNER AND ARCH. TO SELECT COLOR AND FINISH.
 - 1/4" x 4" IN. STD. GRAY EXTERIOR CONCRETE SLAB ON COMPACTED GRADE FOR FINISHED STONE OR PAVEMENT SURFACING.
 - 4" IN. RESIDENCE CONCRETE SLAB OVER 4" ABC.
 - UNMODIFIED CONCRETE APRON/LANDING HEIGHT TO MATCH INTERIOR FINISHED FLOOR.
 - APPROX. LINE OF TRANSITION FROM EXG TO NEW CONCRETE FLOOR SLAB.
 - 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT WALL.
 - 24" x 50" REINFORCED CONCRETE MASONRY UNIT SITE WALL.
 - ADOBE X350, COI PRECAST MANTEL, TRIM, CAP, SILL OR SURROUND AS OCCURS, OWNER/ ARCHITECT TO CONFIRM FINAL PROFILE.
 - 4" WALL OR PIER CAP TO MATCH BRICK VENEER.
 - 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT SITE WALL, HEIGHT PER SITE PLAN.
 - MASONRY LINTEL - REFER TO STRUCTURAL DRAWINGS.
 - ADOBE X350, COI PRECAST ENTRY SURROUND, SCUFFERS AND PARAPET CAPS.
 - SMOKERSTACK, THIN BRICK, ROBINSON BRICK, HEADER OR CHIMNEY.
 - DECORATIVE RECESS DETAIL CUT INTO EXT. CMU WALL APPROX. 3/4" REPAIR ANY DAMAGED OR ROUGH CUT MASONRY, STUCCO OVER TO MATCH SURROUNDING.
 - EXISTING STEEL COLUMN BEAM OR LINTEL PER STRUCTURAL DRAWINGS.
 - STEEL COLUMN BEAM OR LINTEL PER STRUCTURAL DRAWINGS, WHERE STEEL COLUMN MEETS WINDOW OR DOOR SYSTEM, CLAD WITH MANUFACTURER'S METAL TO MATCH ADJACENT SYSTEM.
 - 36" to 38" HIGH GUARDRAIL (MEASURED FROM STEP NOSE) W/ 4" SPACING B/TM, VERTICAL RODS, KNUCKLE EVERY FIFTH VERTICAL ROD, CENTERED, NEXEL POST AT FIRST TREAD FINAL MATERIAL & DESIGN BY OWNER.
 - 1/2" HANDRAIL AT 36" FROM STEP NOSE, HANDRAIL TO BE CAPABLE TO RESIST A LOAD OF 250#. WROUGHT IRON OVERLAY AT FAUX DECORATIVE STEEL SCREEN, FINAL DESIGN T.B.D.
 - PRE-FABRICATED ROUND 4" JULIET BALCONY BY OTHERS, REF. STRUCTURAL DESIGNER.
 - DECORATIVE FORGED STEEL SCREEN - FINAL DESIGN T.B.D.
 - 5/8" SQ. CROSS FORGED STEEL BARS, RUSTED STEEL, FINAL DESIGN BY OWNER.
 - 2x6 WOOD STUD WALL @ 16" O.C.
 - 2x8 WOOD STUD WALL @ 16" O.C.
 - EXISTING 2x FURRING STUDS AT 16" O.C. O/ EXISTING WALL (V.I.F.) REPAIR OR REPLACE AS REQUIRED.
 - PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.
 - DECORATIVE HAND HEVN WOOD GUS BEAM - SIZE AND SPACING AS NOTED ON REF. CEILING PLAN.
 - HAND HEVN VENEER WOOD O/ EXISTING BEAMS, FINAL BEAM WIDTH TO BE 10" MIN.
 - DECORATIVE HAND BARK WOOD BRACKET/CORBEL AS OCCURS - FINAL DESIGN T.B.D.
 - WINDOW SHED, HAND BARK WOOD BEAMS - SIZE AND SPACING AS PER STRUCTURAL DRAWINGS.
 - PRE-FABRICATED WOOD ROOF TRUSS OR 2x ROOF JOISTS - SPACING AND SIZE PER STRUCTURAL DRAWINGS.
 - 8" x 16" FRAMED PLATFORM FOR RETURN AIR DUCT W/ GYPM BOARD FINISH AT INTERIOR AND PLYWOOD SHEATHING/SHUTTER METAL TOP AT MECHANICAL CLOSETS.
 - 1/2" IN. COMPOSITE WOOD SHUTTER IN HEIGHT TO MATCH WINDOW OR DOOR UNIT. 5/8" 6082 COBBLE BROWN CASEWORK CABINETRY & COUNTERTOP PER OWNER, BUILDER, ARCH. & INT. DESIGNER, REFER TO SUPPLIER'S SHOP DRAWINGS FOR ADDITIONAL INFO.
 - WOOD MILLWORK AS OCCURS, BASE, HANDSCOT, TRIM, CASING, COFFERS, CROWN MOLDING, ETC. - EXTENT & SPEC'S, T.B.D. BETWEEN OWNER, BUILDER & ARCHITECT.
 - LOWERED 2x CEILING OR SOFFIT FRAMING WITH FIREBLOCKING.
 - DECORATIVE STAINED WOOD RAFTER TAIL - SEE DETAILS FOR EXACT SIZE AND PROFILE.
 - 2x WOOD STUD TO FILL OPENING, MATCH ADJACENT WALL, OR AS SPECIFIED WALL THICKNESS.
 - FRAMED COLUMNS AT EXTERIOR PATIO. SEE ELEVATIONS FOR HEIGHT AND TREATMENT.
 - WOOD BEAMS, WOOD TALLS, GARAGE DOORS, & DECORATIVE EXTERIOR SHUTTERS COLOR SH 6082 COBBLE BROWN (LRY 35)
 - FLR OUT EXG 4x4 STEEL COLUMN FOR NEW DOOR JAMBES AND ELECTRICAL ROUGH INS. CONTRACTOR TO COORDINATE.
 - 2x4 STUD WALL @ 16" O.C.
 - STRUCTURAL WOOD POST PER STRUCTURAL DWGS.
 - WATERPROOFING OR DAMPROOFING SYSTEM AT FACES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.
 - BLDN CELLULOSE INSULATION AS PER CONDITION, R-13 AT 2x FURRING, R-11 AT 2x6 STUDS, ICYNENE SPRAY FOAM INSULATION AT ROOF DECK, R-38 MIN. ICYNENE THROUGHOUT AT OWNER'S REQUEST.
 - GAS-FILES WALK DECK WATERPROOFING MEMBRANE (CG 55R 12M).
 - MIN. 1" EPS FOAM AT NEW EXTERIOR WALLS, FOAM TO ALIGN W/ EXISTING CMU.
 - SLOPPED FOAM/STUCCO SILL POP-OUT AT WINDOW.
 - ALUM. GLAZ. WOOD WINDOW WITH INSULATED LOW-E GLAZING. SEE WINDOW SCHEDULE, SHEET AB1, FOR LOCATIONS OF TEMPERED GLAZING, COLOR T.B.D.
 - ALUM. GLAZ. WOOD DOOR WITH TEMPERED INSULATED SOLAR GLAZING, COLOR T.B.D.
 - 5/8" GYP. BOARD TYP. AT INTERIOR WALLS AND CEILINGS (UNO).
 - DECORATIVE PLASTER TRIM OR MOLDINGS AS SHOWN, VERIFY PROFILE W/ OWNER, ARCHITECT, & INT. DESIGNER.
 - STUCCO SYSTEM FINISH TO MATCH RESIDENCE APPLIED DIRECTLY OVER MASONRY WALL CONSTRUCTION OR WESTERN -KOTE STUCCO SYSTEM (BSR 80T OR EQ2) WITH 'STO' SYNTHETIC FINISH CONTAINING INTEGRAL COLOR & A SMOOTH SAND FREE STYLE 'AGED' FINISH, EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE, COLOR SH 6082 HANMERED GOLD (LRY 35)
 - STONE OR TILE FLOOR.
 - 1" THICK SPRAYED IN PLACE POLYURETHANE FOAM O/ ROOF SHEATHING (UL R60201 OR SIM) PAINTED W/ 3 COATS OF ACRYLIC ELASTOMERIC PAINT SH 6082 HANMERED GOLD (LRY 35)
 - PLASTER PAINTED COREELS.
 - WATERPROOF GYP. BOARD AS REQUIRED.
 - BUILT-IN SHELVING RODS, ETC. FOR CLOTHES, DECORATIVE, STORAGE OR FUNCTIONAL USE, EXTENT & SPEC'S PER BUILDER/ OWNER & INT. DESIGNER.
 - SMOKER & OUTDOOR KITCHEN - FINAL SELECTION BY OWNER.
 - ELECTRICAL EXTERIOR CONDENSER UNIT PER MECHANICAL PLANS.
 - PROVIDE GAS AT RANGE.
 - APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER).
 - APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE).
 - EXHAUST FAN WITH HOOD VENTED DIRECTLY TO EXTERIOR PER M505.6.
 - FRESH AIR INTAKE, SIZED PER MECHANICAL DRAWINGS.
 - SALNA UNIT - FINAL DESIGN T.B.D. BY OWNER/ BUILDER.
 - EXHAUST FAN IN BATHROOM.
 - 100 AMP ELECTRICAL SERVICE & METER PER ELEC. SHTS. & POWER CO.
 - APPROXIMATE LOCATION OF ELECTRICAL SUB PANEL.
 - ELECTRICAL LIGHT FIXTURE, DEVICE OR LINGT. BOX PER SHEETS AE...

LIFESTYLE
ARCHITECTURE
Candelaria Design Associates
6900 EAST CAMELBACK RD., SUITE 400 SCOTTSDALE, AZ 85251
602.604.2001 CANDELARIADDESIGN.COM FAX 480.874.7098

ADDITIONS & ALTERATIONS TO:
Van Houten Residence
7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253

2409
26 YEARS
1999-2025

REGISTERED ARCHITECT
MARK B. CANDELARIA
ARCHITECT
ARIZONA, U.S.A.

EXPIRATION: 09.30.2026
APRIL 07, 2026

REVISION DATE
HILLSIDE REVIEW 04.07.2026
HILLSIDE REVIEW 03.24.2026

Checked By: T.M.
Drawn By: L.Z.
Scale: 1/4" = 1'-0"
Drawing:
EXTERIOR ELEVATIONS
Sheet:

A6.2
© Copyright 2023



CONCEPTUAL EAST ELEVATION RENDERING

1



CONCEPTUAL WEST ELEVATION RENDERING

2

LIFESTYLE
ARCHITECTURE

Candelaria Design Associates

6900 EAST CAMELBACK RD. SUITE 400 SCOTTSDALE, AZ 85251
602.604.2001 CANDELARIADESIGN.COM FAX 480.874.7098



ADDITIONS & ALTERATIONS TO:
Van Houten Residence

7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253

2409



PROGRESS SET
NOT FOR CONSTRUCTION

FEB. 17, 2026

Checked By: T.M.
Drawn By: M.S.
Scale: NTS
Drawing:
CONCEPTUAL
RENDERINGS
Sheet:

R-2

© Copyright 2023



CONCEPTUAL NORTH ELEVATION RENDERING

1



CONCEPTUAL SOUTH ELEVATION RENDERING

2

LIFESTYLE
Candelaria Design Associates
ARCHITECTURE

6900 EAST CAMELBACK RD. SUITE 400 SCOTTSDALE, AZ 85251
602.604.2001 CANDELARIADESIGN.COM FAX 480.874.7098

ADDITIONS & ALTERATIONS TO:
Van Houten Residence
7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253

2409

MARK B. CANDELARIA
12541
STATE OF ARIZONA

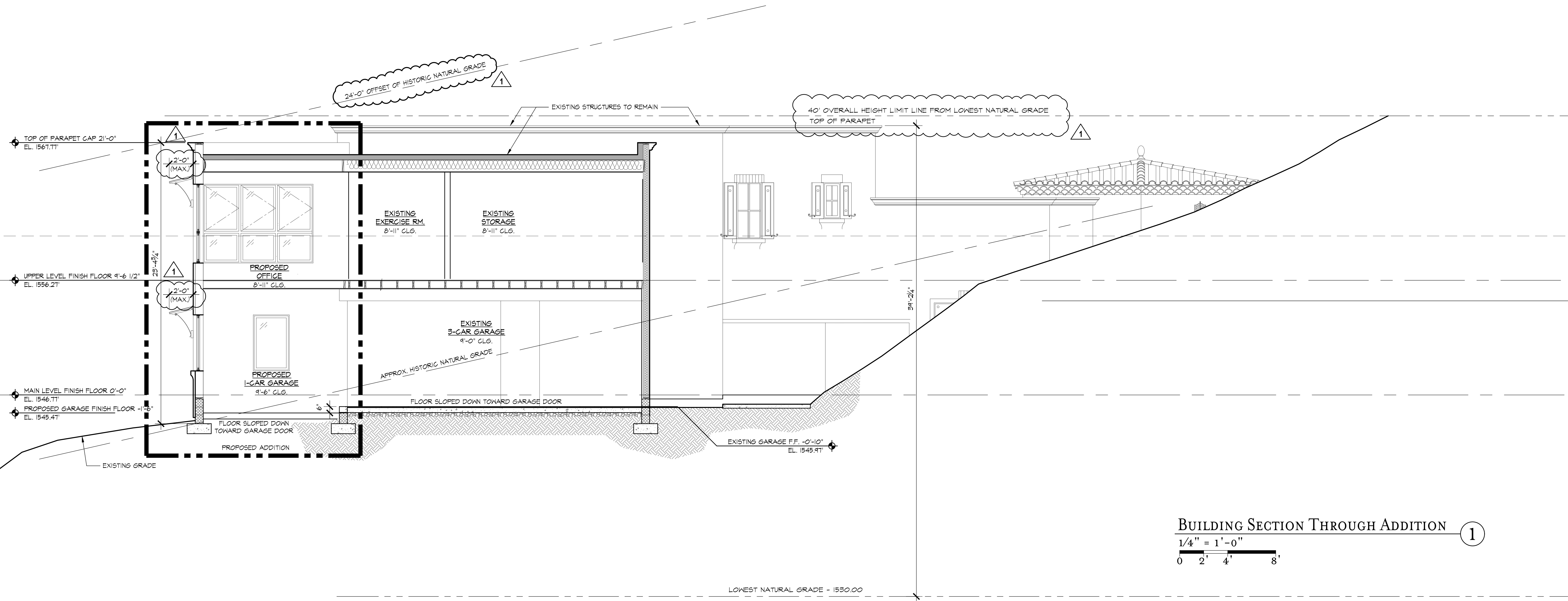
EXPIRATION: .09.30.2026
MAR. 24, 2026

- 3 REVISION DATE
- 2 REVISION DATE
- 1 HILLSIDE REVIEW 05.24.2026

Checked By: T.M.
Drawn By: M.S.
Scale: NTS

Drawing:
CONCEPTUAL RENDERINGS

Sheet:
R-1



BUILDING SECTION THROUGH ADDITION ①
 1/4" = 1'-0"
 0 2' 4' 8'

LIFESTYLE
Candelaria Design Associates
 ARCHITECTURE
 6900 EAST CAMELBACK RD., SUITE 400 SCOTTSDALE, AZ 85251
 602.604.2001 CANDELARIADESIGN.COM
 FAX 480.874.7098

ADDITIONS & ALTERATIONS TO:
Van Houten Residence
 7102 N. 57TH PLACE
 PARADISE VALLEY, AZ 85253

2409
 CELEBRATING 26 YEARS
 1999-2025



EXPIRATION: 09.30.2026

APRIL 07, 2026

REVISION	DATE
3	HILLSIDE REVIEW 04.07.2026
2	HILLSIDE REVIEW 03.24.2026
1	HILLSIDE REVIEW 03.24.2026

Checked By: T.M.
 Drawn By: L.Z.
 Scale: 1/4" = 1'-0"
 Drawing:

BUILDING SECTIONS

Sheet:

A5.2

WAC LIGHTING

Manchester

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W33516 16"	2700K	BK Black	13W	1000	670
	3000K				
	3500K				
	4000K				

Example: **WS-W33516-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

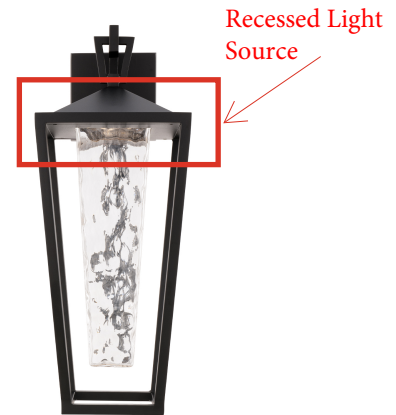
A thick hammered glass shade sends a textured glow from this modern wall lantern. An open cage frame and clean geometric accents provides added style.

FEATURES

- Built in color temperature adjustability. Switch from **2700K**/3000K/3500K/4000K
- Option to pre-select color temperature or adjust in the field
- Light engine is factory sealed for maximum protection from the elements
- Weather resistant powder coated finish
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

Color Temp:	2700K ,3000K,3500K,4000K
Input:	120,50/60Hz
CRI	90
Dimming:	ELV: 100-10% , TRIAC: 100-10%
Rated Life:	54,000 Hours
Standards:	ETL, cETL, IP65, Title 24 JA8 Compliant, Wet Location Listed, Dark Sky
Construction	Aluminum hardware



FINISHES:



Black

REPLACEMENT PARTS

RPL-GLA-33516 - REPLACEMENT GLASS FOR WS-33516

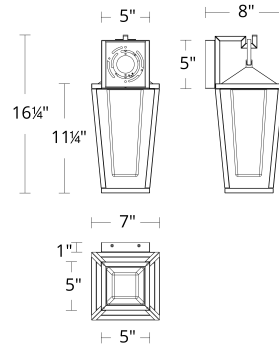
WAC LIGHTING

Manchester

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

LINE DRAWING:



WS-W33516

WAC LIGHTING

Manchester

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W33525 25"	2700K	BK Black	19W	1515	1033
	3000K				
	3500K				
	4000K				

Example: **WS-W33525-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

A thick hammered glass shade sends a textured glow from this modern wall lantern. An open cage frame and clean geometric accents provides added style.

FEATURES

- Built in color temperature adjustability. Switch from **2700K**/3000K/3500K/4000K
- Option to pre-select color temperature or adjust in the field
- Light engine is factory sealed for maximum protection from the elements
- Weather resistant powder coated finish
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

Color Temp:	2700K ,3000K,3500K,4000K
Input:	120,50/60Hz
CRI	90
Dimming:	ELV: 100-10% , TRIAC: 100-10%
Rated Life:	54,000 Hours
Standards:	ETL, cETL, IP65, Title 24 JA8 Compliant, Wet Location Listed, Dark Sky
Construction	Aluminum hardware



FINISHES:



Black

REPLACEMENT PARTS

RPL-GLA-33525 - REPLACEMENT GLASS FOR WS-33525

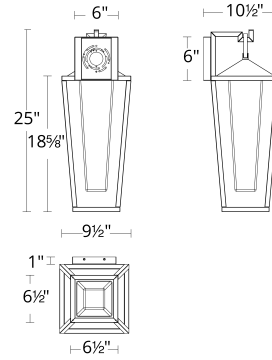
WAC LIGHTING

Manchester

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

LINE DRAWING:



WS-W03525

WAC LIGHTING

Manchester

Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W33534 34"	2700K	BK Black	25W	1996	1491
	3000K				
	3500K				
	4000K				

Example: **WS-W33534-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

A thick hammered glass shade sends a textured glow from this modern wall lantern. An open cage frame and clean geometric accents provides added style.

FEATURES

- Built in color temperature adjustability. Switch from **2700K**/3000K/3500K/4000K
- Option to pre-select color temperature or adjust in the field
- Light engine is factory sealed for maximum protection from the elements
- Weather resistant powder coated finish
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

Color Temp:	2700K ,3000K,3500K,4000K
Input:	120,50/60Hz
CRI	90
Dimming:	ELV: 100-10% , TRIAC: 100-10%
Rated Life:	54,000 Hours
Standards:	ETL, cETL, IP65, Title 24 JA8 Compliant, Wet Location Listed, Dark Sky
Construction	Aluminum hardware



FINISHES:



Black

REPLACEMENT PARTS

RPL-GLA-33534 - REPLACEMENT GLASS FOR WS-33534

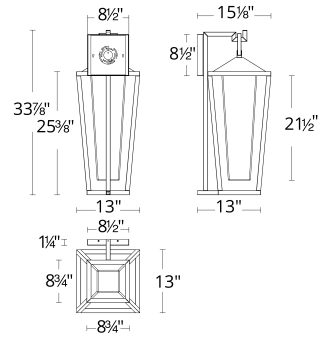
WAC LIGHTING

Manchester

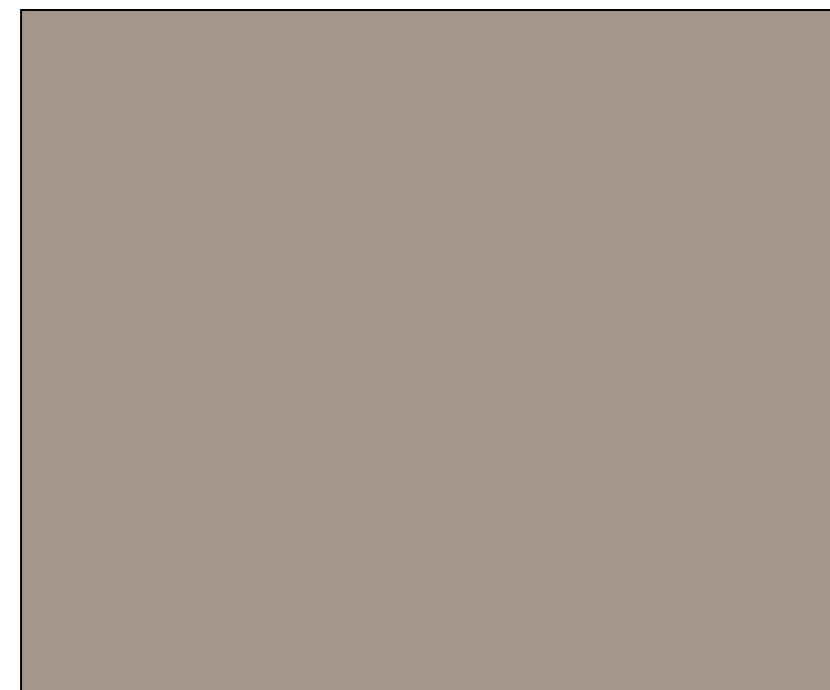
Outdoor Wall Sconce 4CCT

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

LINE DRAWING:



WS-W03534



STUCCO - WHOLE HOUSE TO BE REPAINTED COLOR: "SORREL FELT - DET624" LRV:31 DUNN EDWARDS

EXTERIOR BUILDING MATERIAL SAMPLES FOR: *Van Houten Residence*

7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253



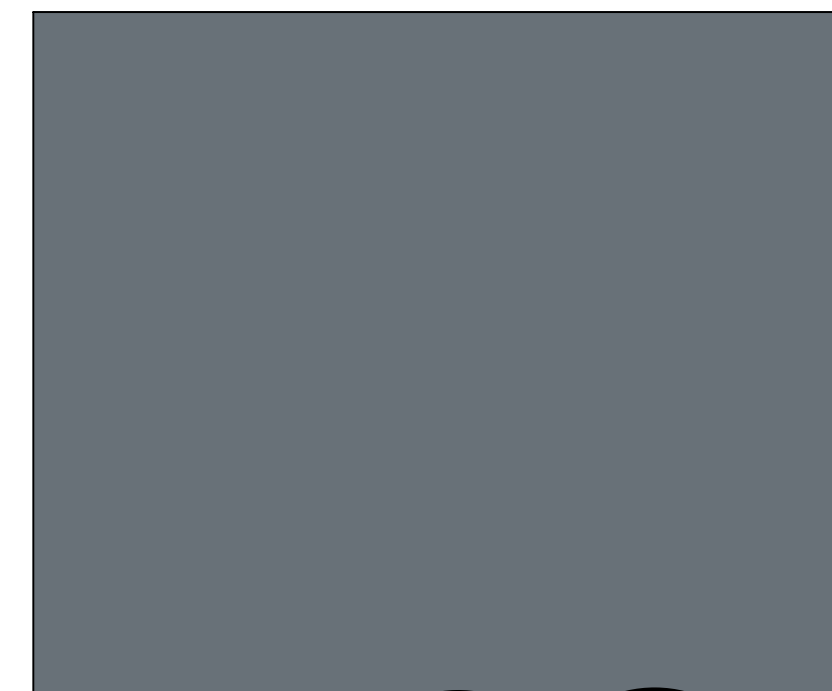
PRECAST CONCRETE - PARAPET CAPS AND TRIM: "OATMEAL", BY CDI, LRV: 28.71 TO MATCH EXISTING CONDITIONS



OUTDOOR WALL SCENCE: "WS-W33534-34" CLR. TEMP: 2700K MANCHESTER LIGHTING LIGHT FIXTURES - PER INTERIOR DESIGNER



OUTDOOR WALL SCENCE - TO REPLACE EXST. WALL SCONCES: "WS-W3325-25" CLR. TEMP: 2700K MANCHESTER LIGHTING



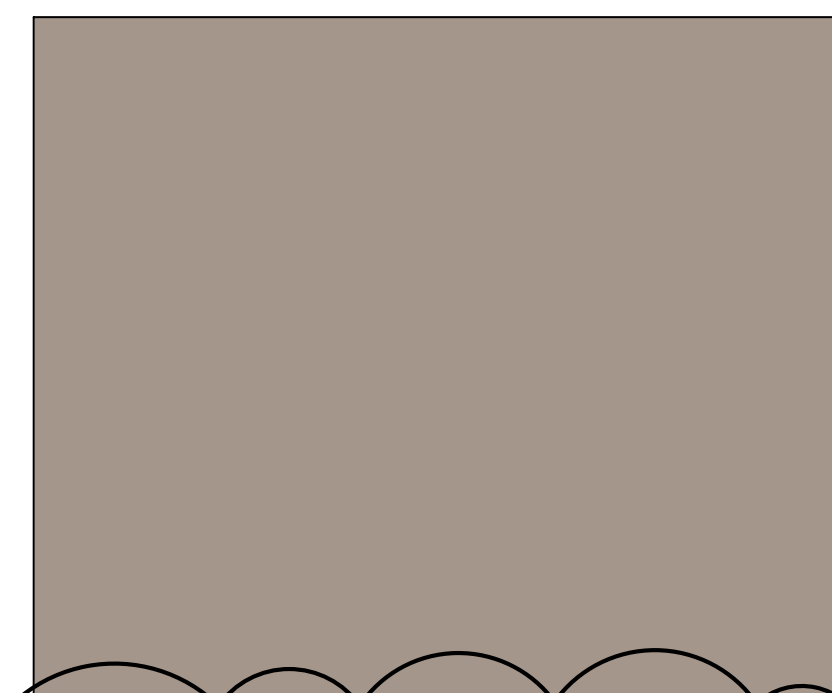
ACCENT COLOR: SHUTTERS & GARAGE DOOR "SLATE GRAY" LRV:16 DUNN EDWARDS DEGR 73



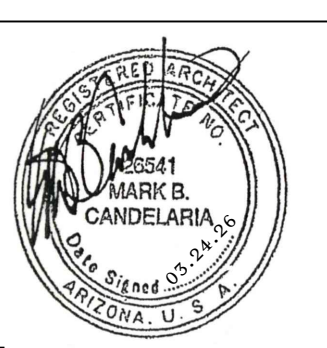
METAL ROOFING & TRIM AND NEW AWNINGS AND RAILING: "BLACK FOX", LRV=7 SHERWIN WILLIAMS



DOORS & WINDOWS: ALUMINUM CLAD WOOD TO MATCH EXISTING CONDITIONS "SLATE BLUE 008" LRV: 14.76 SIERRA PACIFIC



ACRYLIC ELASTOMERIC ROOF COLOR: "SORREL FELT - DET624" LRV:31 DUNN EDWARDS



EXPIRATION: 09.30.2026

REVISION	DATE
3	HILLSIDE REVIEW 04.07.2026
2	HILLSIDE REVIEW 03.24.2026
1	HILLSIDE REVIEW 03.24.2026

Checked By: T.M.
Drawn By: A.B.
Scale: NTS
Drawing:

Drainage Memo
March 22, 2026



Re: Drainage Memo
APN: 169-55-033E
Address: 7102 N 57th Place, Paradise Valley, Arizona
Subdivision: Club Estates 2
Owner: Irina & Jameson Van Houten

Site Description and Proposed Development

The subject property consists of an existing single-family residence situated on an approximately 1.14-acre hillside lot in Paradise Valley, Arizona. The site features significant natural topography, with established drainage patterns conveying runoff downslope to the southwest.

The proposed project includes additions to the existing residence, consisting of a garage extension and expansions to rooms along the north and west sides of the residence. Refer to Figure 1 for the site location.

FEMA Floodplain Classification

Figure 2 includes the Flood Insurance Rate Map (FIRM) #04013C1765L effective October 16, 2013 and shows that the parcel lies within Zone X. The flood insurance rate map describes Zone X as 0.2% chance of annual flooding.

Off-site Flows

The historic offsite flows of approximately 5.33 CFS pass through the property within an existing wash west of the residence. This wash will be preserved in place and protected within a dedicated drainage easement, with no disturbance to its natural function.

Runoff from the north side of Glenn Drive, as well as runoff collected within Glenn Drive, is conveyed along Glenn Drive and ultimately discharges to 57th Place. Runoff generated between Glenn Drive and the north side of the building is divided into eastbound and westbound flow paths, both of which ultimately discharge to 57th Place.

On-Site Flows

The proposed additions are situated within areas that are already impervious, including existing pavement and hardscape. Since these surfaces currently generate runoff, the proposed improvements will not increase the overall impervious area or stormwater runoff from the site.

Therefore, the existing drainage characteristics of the site are expected to remain substantially unchanged. Refer to the existing and proposed Rational Method calculations in Appendices B and C, respectively, and the corresponding drainage area maps in Figures 3 and 4.

Conclusions

- The proposed conditions result in negligible contributions to the overall runoff generated on the site.
- The new improvements will have no adverse impacts on adjacent properties.

References Cited

- Flood Control District of Maricopa County, *Drainage Design Manual for Maricopa County, Arizona - Volume I Hydrology*, December 2018.
- Storm Drainage Design Manual, Town of Paradise Valley, June 2018.
- Federal Emergency Management Agency, *Flood Insurance Rate Maps for Maricopa County Arizona, and Incorporated Areas, Map Number 04013C1756L*, dated October 16, 2013.

Appendix

Appendix A – NOAA Rainfall Data

Appendix B – Existing Rational Method Calculation

Appendix C – Proposed Rational Method Calculation

Exhibits

Figure 1-Location & Vicinity Map

Figure 2-FEMA Firmette

Figure 3-Existing Drainage Map

Figure 4-Proposed Drainage Map

Appendix A – NOAA Rainfall Data



NOAA Atlas 14, Volume 1, Version 5
Location name: Paradise Valley, Arizona, USA*
Latitude: 33.5398°, Longitude: -111.9565°
Elevation: 1543 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	2.27 (1.90-2.77)	2.96 (2.50-3.62)	4.02 (3.35-4.90)	4.84 (4.01-5.86)	5.93 (4.82-7.15)	6.77 (5.45-8.11)	7.62 (6.02-9.12)	8.48 (6.60-10.1)	9.66 (7.31-11.6)	10.5 (7.82-12.6)
10-min	1.72 (1.44-2.11)	2.26 (1.90-2.76)	3.07 (2.55-3.73)	3.68 (3.05-4.46)	4.51 (3.67-5.44)	5.15 (4.14-6.17)	5.80 (4.58-6.94)	6.46 (5.02-7.72)	7.35 (5.56-8.80)	8.03 (5.95-9.62)
15-min	1.43 (1.19-1.74)	1.87 (1.57-2.28)	2.53 (2.11-3.08)	3.04 (2.52-3.68)	3.73 (3.04-4.50)	4.26 (3.42-5.10)	4.79 (3.79-5.74)	5.34 (4.15-6.38)	6.08 (4.60-7.27)	6.63 (4.92-7.95)
30-min	0.962 (0.802-1.17)	1.26 (1.06-1.54)	1.70 (1.42-2.07)	2.05 (1.69-2.48)	2.51 (2.04-3.03)	2.87 (2.31-3.44)	3.23 (2.55-3.86)	3.60 (2.79-4.30)	4.09 (3.10-4.89)	4.47 (3.31-5.35)
60-min	0.595 (0.497-0.727)	0.778 (0.654-0.950)	1.06 (0.878-1.28)	1.27 (1.05-1.54)	1.55 (1.26-1.87)	1.77 (1.43-2.13)	2.00 (1.58-2.39)	2.22 (1.73-2.66)	2.53 (1.92-3.03)	2.76 (2.05-3.31)
2-hr	0.344 (0.292-0.412)	0.446 (0.378-0.534)	0.596 (0.503-0.711)	0.711 (0.594-0.845)	0.867 (0.717-1.03)	0.986 (0.804-1.16)	1.11 (0.891-1.31)	1.23 (0.973-1.45)	1.40 (1.08-1.65)	1.53 (1.15-1.81)
3-hr	0.252 (0.212-0.305)	0.323 (0.274-0.392)	0.423 (0.357-0.512)	0.503 (0.420-0.605)	0.614 (0.506-0.733)	0.703 (0.571-0.836)	0.795 (0.635-0.946)	0.891 (0.700-1.06)	1.02 (0.780-1.22)	1.13 (0.841-1.35)
6-hr	0.152 (0.131-0.180)	0.192 (0.166-0.227)	0.246 (0.211-0.290)	0.289 (0.246-0.339)	0.348 (0.292-0.405)	0.393 (0.326-0.457)	0.441 (0.360-0.512)	0.489 (0.392-0.570)	0.556 (0.434-0.647)	0.608 (0.464-0.709)
12-hr	0.084 (0.073-0.099)	0.107 (0.093-0.125)	0.135 (0.117-0.157)	0.158 (0.135-0.183)	0.188 (0.160-0.217)	0.211 (0.177-0.243)	0.235 (0.194-0.271)	0.259 (0.212-0.299)	0.291 (0.232-0.338)	0.316 (0.247-0.369)
24-hr	0.050 (0.044-0.059)	0.064 (0.056-0.076)	0.083 (0.072-0.098)	0.098 (0.085-0.116)	0.119 (0.102-0.140)	0.136 (0.116-0.159)	0.153 (0.130-0.180)	0.171 (0.144-0.201)	0.196 (0.163-0.230)	0.216 (0.177-0.254)
2-day	0.027 (0.024-0.032)	0.035 (0.030-0.040)	0.046 (0.040-0.053)	0.055 (0.047-0.064)	0.067 (0.058-0.078)	0.077 (0.066-0.089)	0.087 (0.074-0.102)	0.098 (0.083-0.114)	0.114 (0.094-0.132)	0.126 (0.104-0.147)
3-day	0.019 (0.017-0.022)	0.025 (0.021-0.029)	0.033 (0.028-0.038)	0.039 (0.034-0.045)	0.048 (0.041-0.056)	0.055 (0.047-0.064)	0.063 (0.053-0.073)	0.071 (0.060-0.083)	0.083 (0.069-0.096)	0.092 (0.076-0.107)
4-day	0.015 (0.013-0.018)	0.019 (0.017-0.023)	0.026 (0.022-0.030)	0.031 (0.027-0.036)	0.038 (0.033-0.045)	0.044 (0.038-0.052)	0.051 (0.043-0.059)	0.058 (0.048-0.067)	0.067 (0.056-0.078)	0.075 (0.062-0.087)
7-day	0.010 (0.008-0.011)	0.012 (0.011-0.014)	0.017 (0.014-0.019)	0.020 (0.017-0.023)	0.025 (0.021-0.029)	0.029 (0.024-0.033)	0.033 (0.028-0.038)	0.037 (0.031-0.043)	0.044 (0.036-0.051)	0.049 (0.040-0.057)
10-day	0.007 (0.006-0.008)	0.009 (0.008-0.011)	0.012 (0.011-0.014)	0.015 (0.013-0.017)	0.018 (0.016-0.021)	0.021 (0.018-0.025)	0.024 (0.021-0.028)	0.028 (0.023-0.032)	0.032 (0.027-0.037)	0.036 (0.029-0.041)
20-day	0.004 (0.004-0.005)	0.006 (0.005-0.006)	0.008 (0.006-0.009)	0.009 (0.008-0.010)	0.011 (0.009-0.013)	0.013 (0.011-0.014)	0.014 (0.012-0.016)	0.016 (0.013-0.018)	0.018 (0.015-0.021)	0.020 (0.016-0.023)
30-day	0.003 (0.003-0.004)	0.004 (0.004-0.005)	0.006 (0.005-0.007)	0.007 (0.006-0.008)	0.008 (0.007-0.010)	0.010 (0.008-0.011)	0.011 (0.009-0.013)	0.012 (0.010-0.014)	0.014 (0.012-0.016)	0.015 (0.013-0.017)
45-day	0.002 (0.002-0.003)	0.003 (0.003-0.004)	0.004 (0.004-0.005)	0.005 (0.004-0.006)	0.006 (0.005-0.007)	0.007 (0.006-0.008)	0.008 (0.007-0.009)	0.009 (0.008-0.010)	0.010 (0.009-0.012)	0.011 (0.009-0.013)
60-day	0.002 (0.002-0.002)	0.003 (0.002-0.003)	0.003 (0.003-0.004)	0.004 (0.004-0.005)	0.005 (0.004-0.006)	0.006 (0.005-0.007)	0.006 (0.006-0.007)	0.007 (0.006-0.008)	0.008 (0.007-0.009)	0.009 (0.007-0.010)

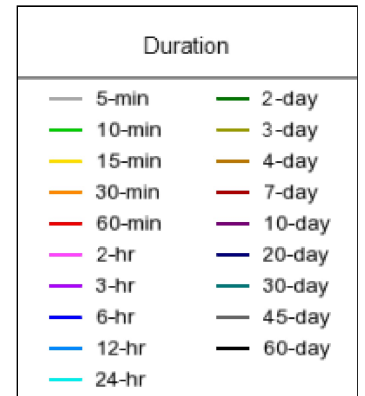
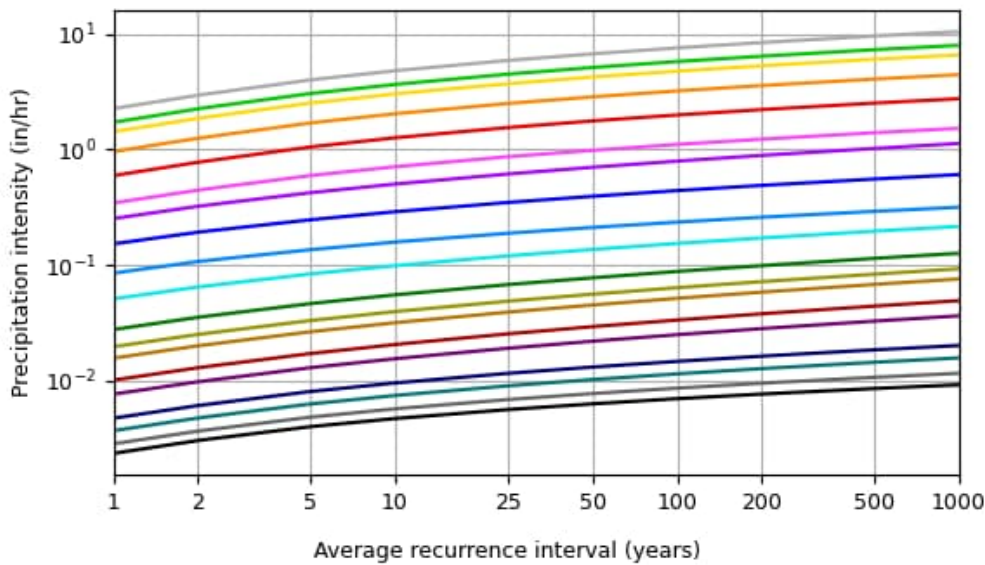
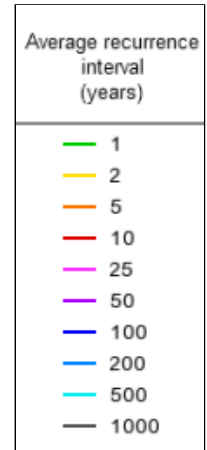
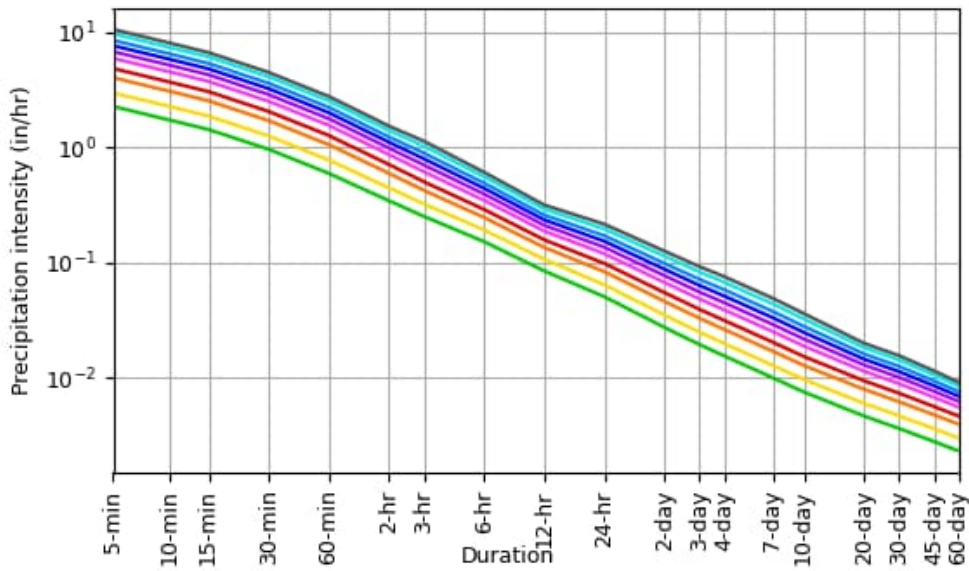
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

PDS-based intensity-duration-frequency (IDF) curves

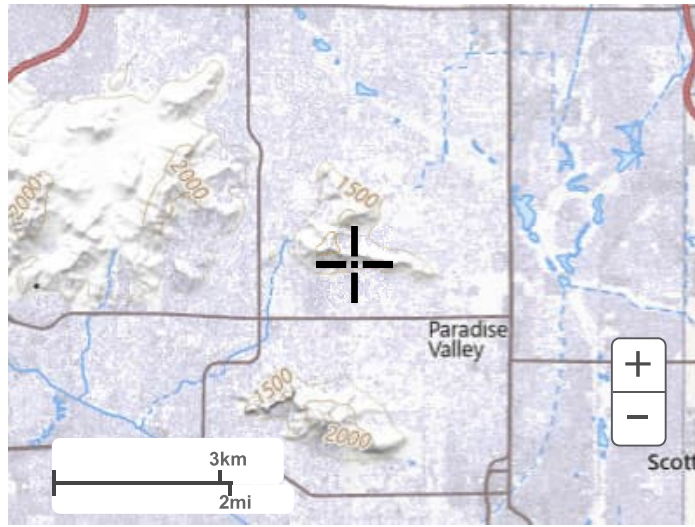
Latitude: 33.5398°, Longitude: -111.9565°



[Back to Top](#)

Maps & aeriels

Small scale terrain



Large scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

Appendix B – Existing Rational Method Calculation

Existing Rational Method Calculation

Hydrology - Rational Method (Q = CiA)

Project Name

Step 1. Compute Weighted "C" Values

Table 3.2 Runoff Coefficients for Maricopa County, FCDMC

Land Use Code	Land Use Category	Runoff Coefficients by Storm Frequency							
		2-10YR		25YR		50YR		100YR	
		min	max	min	max	min	max	min	max
P	Pavement and Rooftops	0.75	0.85	0.83	0.94	0.90	0.95	0.94	0.95

Drainage Area ID	A		C	
	area_sf	area_ac	Weighted C Values	
			2-10YR	100YR
EX10	2,529	0.058	0.85	0.95
EX20	1,891	0.043	0.85	0.95
EX30	2,089	0.048	0.85	0.95
EX40	269	0.006	0.85	0.95
EX50	180	0.004	0.85	0.95

Step 2. Compute Time of Concentration, Tc and Rainfall intensity, i

Tc min = 5

References:

- Eqn. (3.2), FCDMC, Drainage Design Manual-Hydrology, December 14, 2018
- NOAA Atlas 14, Point Precipitation Frequency Estimates

Drainage Area ID	Area (ac.)	Tc (min)			Rainfall intensity, i (in/hr)		
		2-YR	10-YR	100-YR	2-YR	10-YR	100-YR
EX10	0.058	5	5	5	2.96	4.84	7.62
EX20	0.043	5	5	5	2.96	4.84	7.62
EX30	0.048	5	5	5	2.96	4.84	7.62
EX40	0.006	5	5	5	2.96	4.84	7.62
EX50	0.004	5	5	5	2.96	4.84	7.62

Step 3. Compute Rational Method, Discharge Q

$$Q = C i A$$

where:

C = Runoff Coefficient

i = Average rainfall intensity, inches/hour

A = Drainage Area of watershed, acres

Drainage Area ID	C			i			A= Area, ac.	Q		
	Weighted C Values	Rainfall intensity, i (in/hr)		Discharge, Q (cfs)						
	2-YR	10-YR	100-YR	2-YR	10-YR	100-YR		2-YR	10-YR	100-YR
EX10	0.85	0.85	0.95	2.96	4.84	7.62	0.058	0.15	0.24	0.42
EX20	0.85	0.85	0.95	2.96	4.84	7.62	0.043	0.11	0.18	0.31
EX30	0.85	0.85	0.95	2.96	4.84	7.62	0.048	0.12	0.20	0.35
EX40	0.85	0.85	0.95	2.96	4.84	7.62	0.006	0.02	0.03	0.04
EX50	0.85	0.85	0.95	2.96	4.84	7.62	0.004	0.01	0.02	0.03

Appendix C – Proposed Rational Method Calculation

Proposed Rational Method Calculation

Hydrology - Rational Method (Q = CiA)

Project Name

Step 1. Compute Weighted "C" Values

Table 3.2 Runoff Coefficients for Maricopa County, FCDMC

Land Use Code	Land Use Category	Runoff Coefficients by Storm Frequency							
		2-10YR		25YR		50YR		100YR	
		min	max	min	max	min	max	min	max
P	Pavement and Rooftops	0.75	0.85	0.83	0.94	0.90	0.95	0.94	0.95

Drainage Area ID	A		C	
	area_sf	area_ac	Weighted C Values	
			2-10YR	100YR
10	2,234	0.051	0.85	0.95
20	319	0.007	0.85	0.95
30	1,891	0.043	0.85	0.95
40	269	0.006	0.85	0.95
50	2,089	0.048	0.85	0.95
60	180	0.004	0.85	0.95

Step 2. Compute Time of Concentration, Tc and Rainfall intensity, i

Tc min = 5

References:

- Eqn. (3.2), FCDMC, Drainage Design Manual-Hydrology, December 14, 2018
- NOAA Atlas 14, Point Precipitation Frequency Estimates

Drainage Area ID	Area (ac.)	Tc (min)			Rainfall intensity, i (in/hr)		
		2-YR	10-YR	100-YR	2-YR	10-YR	100-YR
10	0.051	5	5	5	2.96	4.84	7.62
20	0.007	5	5	5	2.96	4.84	7.62
30	0.043	5	5	5	2.96	4.84	7.62
40	0.006	5	5	5	2.96	4.84	7.62
50	0.048	5	5	5	2.96	4.84	7.62
60	0.004	5	5	5	2.96	4.84	7.62

Step 3. Compute Rational Method, Discharge Q

$$Q = C i A$$

where:

C = Runoff Coefficient

i = Average rainfall intensity, inches/hour

A = Drainage Area of watershed, acres

Drainage Area ID	C			i			A= Area, ac.	Q		
	2-YR	10-YR	100-YR	2-YR	10-YR	100-YR		2-YR	10-YR	100-YR
10	0.85	0.85	0.95	2.96	4.84	7.62	0.051	0.13	0.21	0.37
20	0.85	0.85	0.95	2.96	4.84	7.62	0.007	0.02	0.03	0.05
30	0.85	0.85	0.95	2.96	4.84	7.62	0.043	0.11	0.18	0.31
40	0.85	0.85	0.95	2.96	4.84	7.62	0.006	0.02	0.03	0.04
50	0.85	0.85	0.95	2.96	4.84	7.62	0.048	0.12	0.20	0.35
60	0.85	0.85	0.95	2.96	4.84	7.62	0.004	0.01	0.02	0.03

Figure 1-Location & Vicinity Map

VICINITY MAP

VAN HOUTEN RESIDENCE

7102 N 57TH PLACE
PARADISE VALLEY, AZ

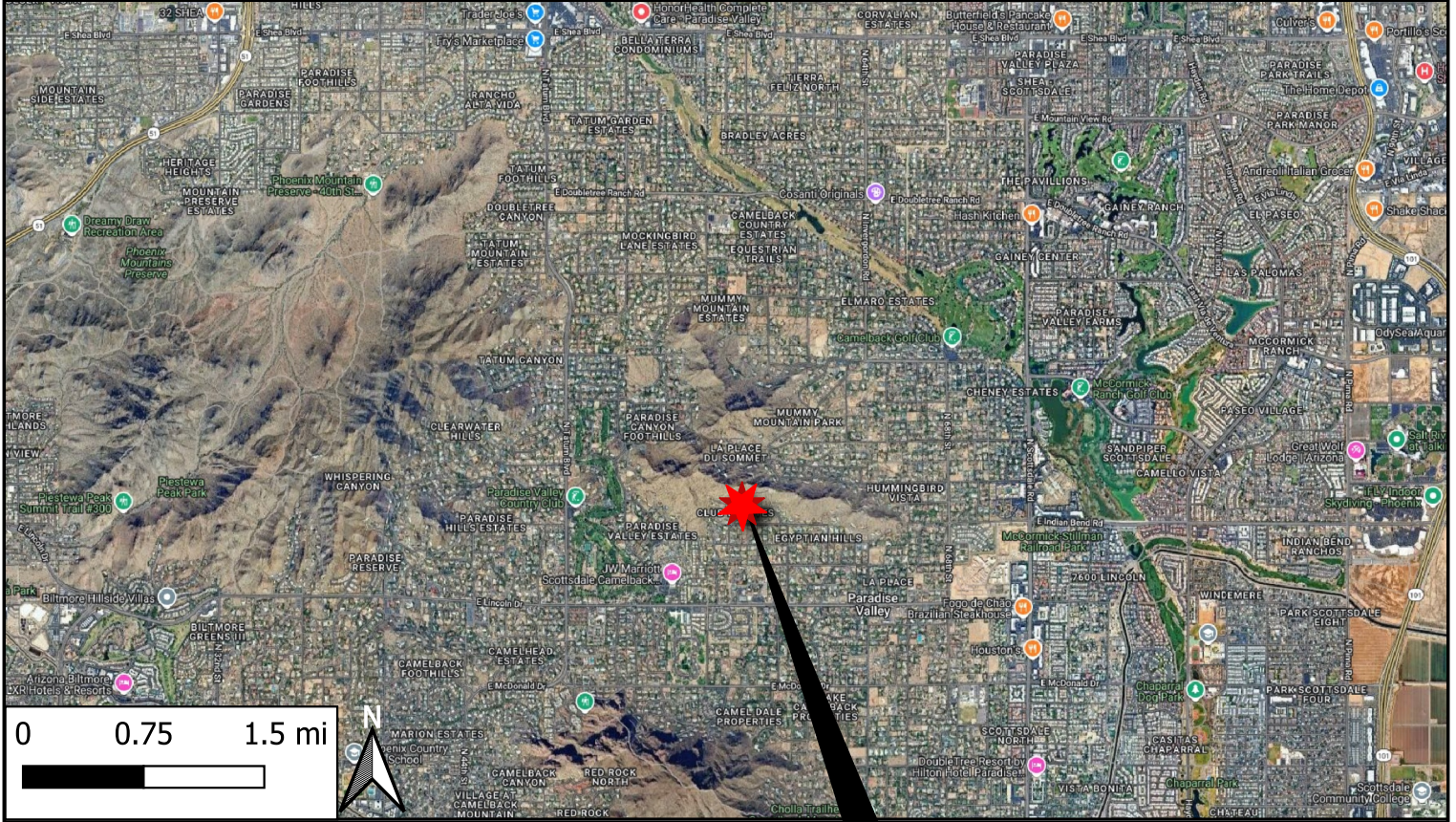


Figure 2-FEMA Firmette

National Flood Hazard Layer FIRMette



111°57'42"W 33°32'38"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

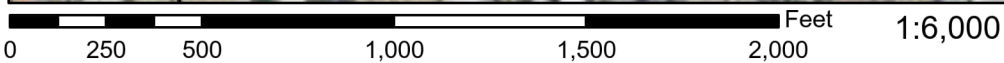
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **3/21/2026 at 4:43 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

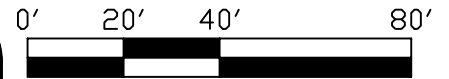


111°57'5"W 33°32'8"N

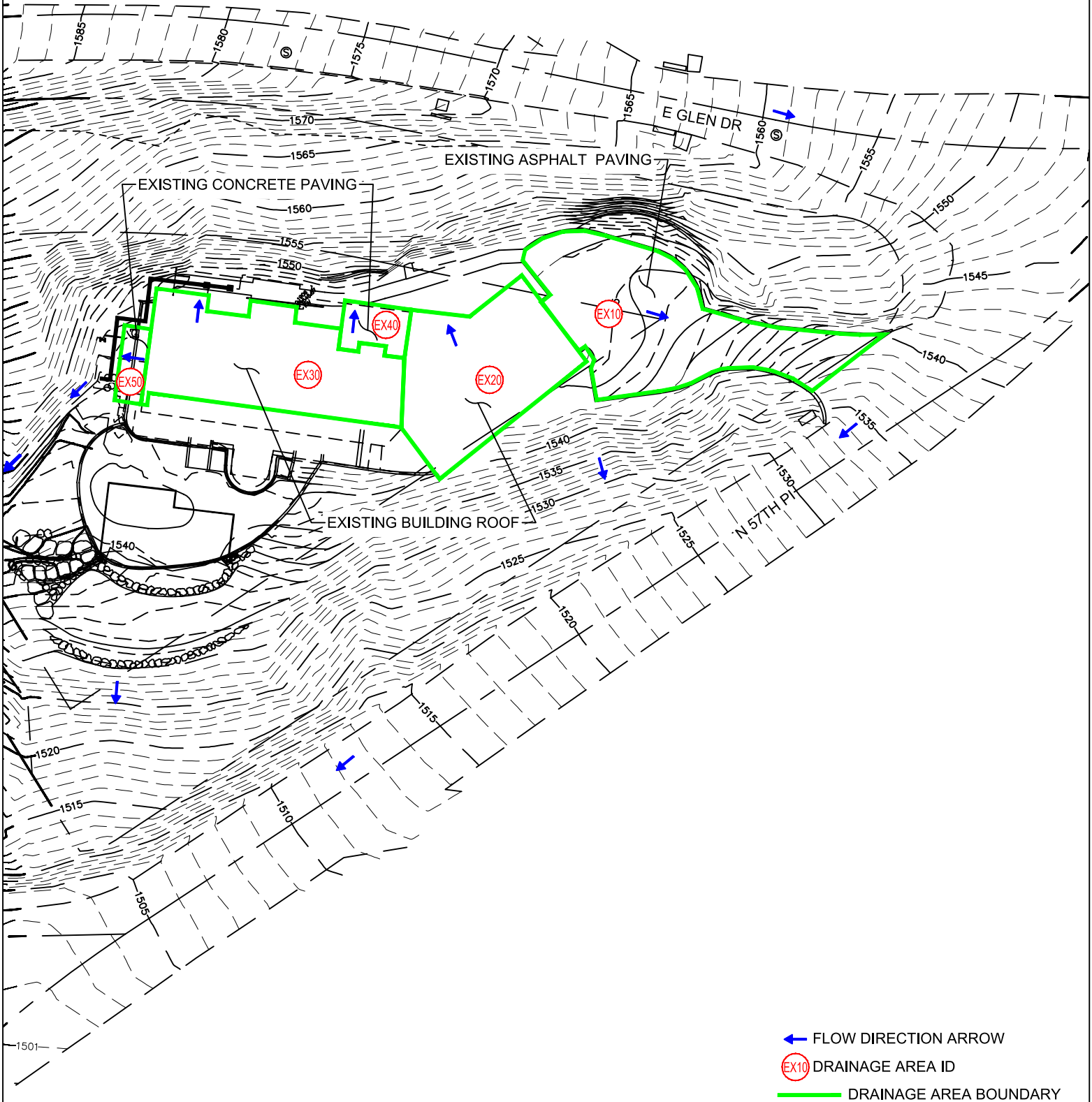
Basemap Imagery Source: USGS National Map 2023




Figure 2-FEMA Firmette

Figure 3-Existing Drainage Map



SCALE: 1" = 40'



-  FLOW DIRECTION ARROW
-  DRAINAGE AREA ID
-  DRAINAGE AREA BOUNDARY



Hook Engineering, Inc.
Civil Engineers ~ Land Surveyors

VAN HOUTEN RESIDENCE EXISTING DRAINAGE AREA MAP

SCALE	1"=40'
DESIGN	
JOB No.	
DATE :	3/22/2026
FIGURE 3	

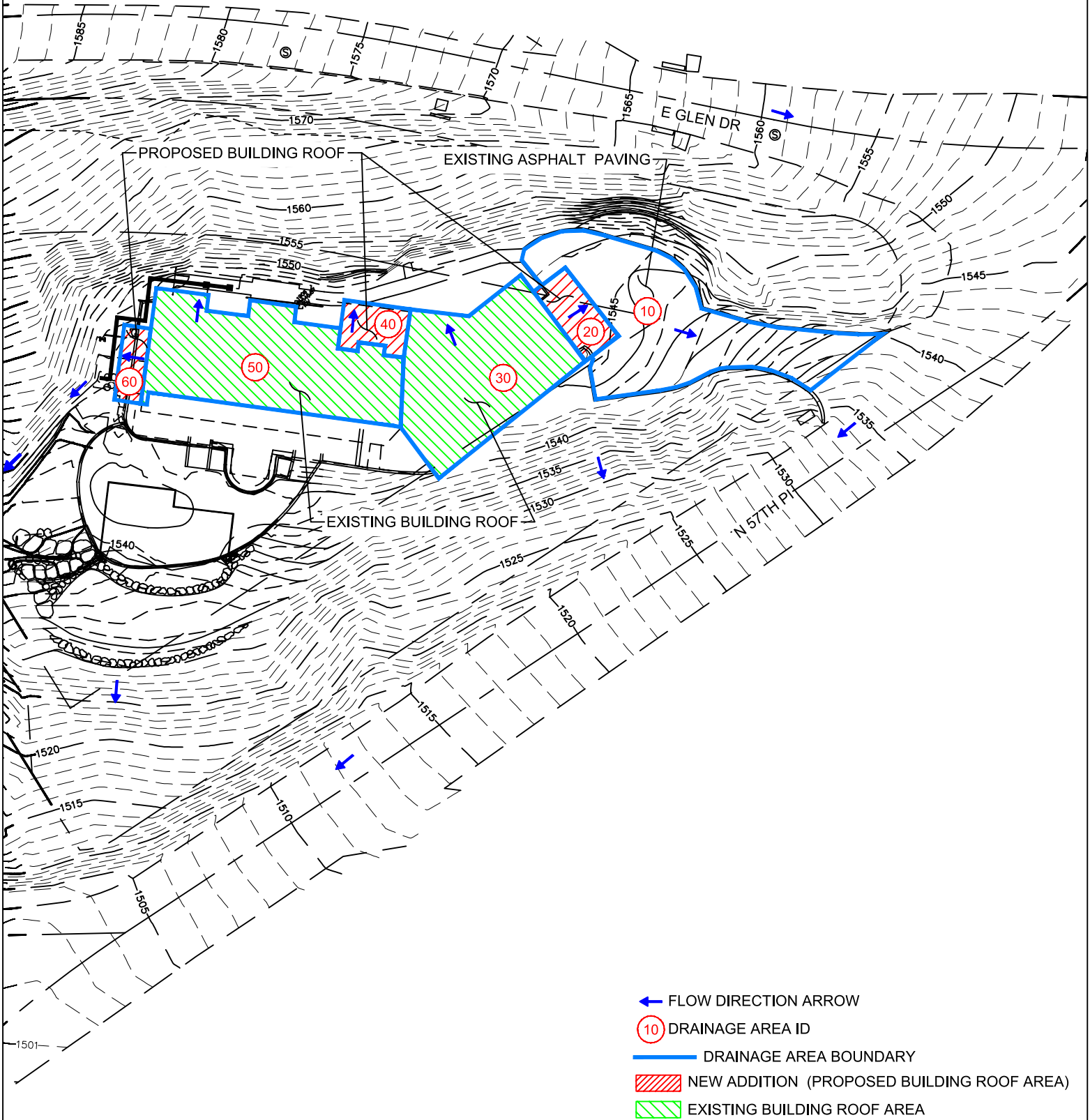
Figure 4-Proposed Drainage Map



0' 20' 40' 80'



SCALE: 1" = 40'



← FLOW DIRECTION ARROW

⑩ DRAINAGE AREA ID

— DRAINAGE AREA BOUNDARY

▨ NEW ADDITION (PROPOSED BUILDING ROOF AREA)

▨ EXISTING BUILDING ROOF AREA



Hook Engineering, Inc.
Civil Engineers ~ Land Surveyors

VAN HOUTEN RESIDENCE PROPOSED DRAINAGE AREA MAP

SCALE 1"=40'

DESIGN

JOB No.

DATE : 3/22/2026

FIGURE 4

Town of Paradise Valley Native Plant Preservation Plan

Upon application for a Building Permit valued \$500,000 or greater, and all Demolition and Grading Permits, this Native Plant Preservation Plan must be completed.

Project Address: 7102 N. 5TH PLACE, Paradise Valley, AZ 85253

Parcel Number: 169-55-033E

Owner Name, Address & Phone: JAMESON AND IRINA VAN HOUTEN

7102 N. 5TH PLACE, Paradise Valley, AZ 85253 (602-953-8450)
JAMESON

Number of protected plants within area of disturbance, if any: 0

Number of plants to remain in place: 0

Number of protected plants to be relocated on site: 0

Number of protected plants to be relocated off-site: 0

Number of unsalvageable protected plants: 0

Total number of plants affected: 0

Proposed Salvage Contractor N/A

Telephone Number: _____

Please give a brief description of the native plant salvage plan including estimated date of salvage, place of relocation, and any other relevant information:

Attach this sheet to the Native Plant Inventory consisting of:

- 1) An Aerial photograph and/or site plan showing the location of all protected native plants within the area of disturbance; and
- 2) A Listing of the number, species, size, general condition, and salvage status of all protected native plants within the area of disturbance.

Return to Planning and Building Department with your building/demo/grading application. Only complete submittals will be accepted. Do not attempt to move any plant materials prior to permit issuance. *Before requesting final inspection, Applicant will be required to submit a Native Plant Certification.*

Applicant Signature: Miguel Sampedo - CANDELARIA DESIGN Date: 03.24.2026

NOTICE: Failure to comply with the Native Plant Preservation Plan shall cause immediate suspension of all inspection activity. In addition, any violation of the Native Plant Preservation Ordinance is a misdemeanor punishable by fine and/or imprisonment.