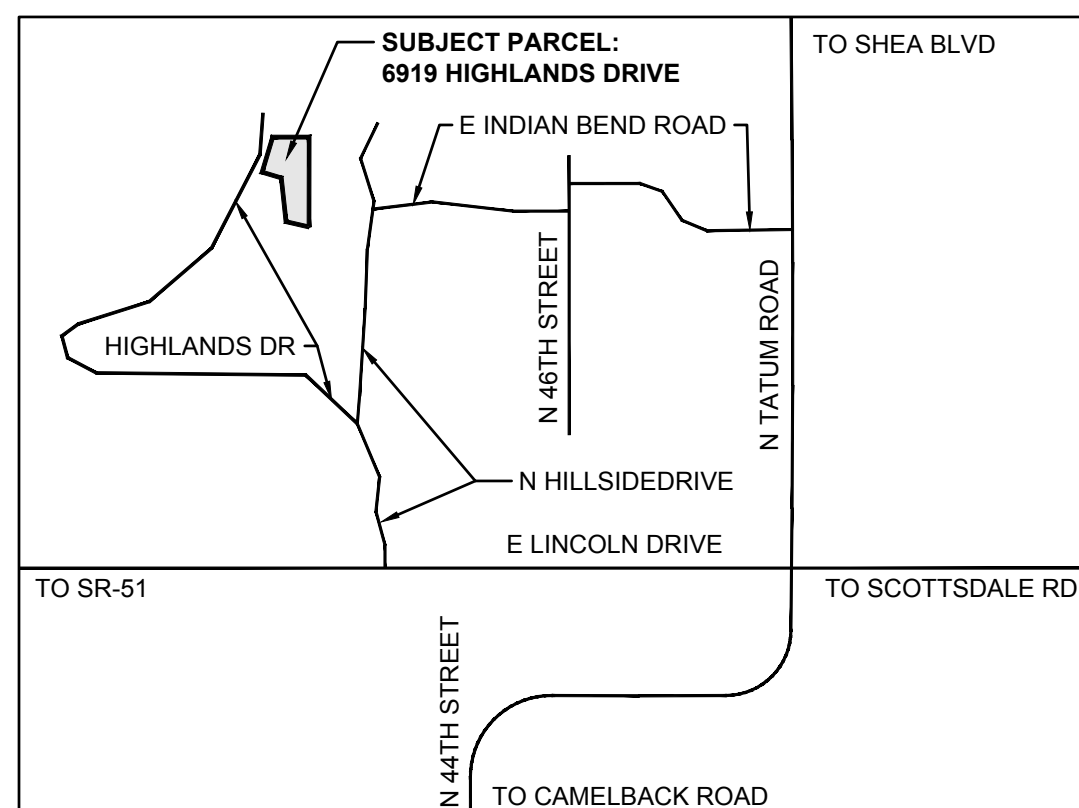




REFERENCE SITE PLAN  
1" = 30'-0"



VICINITY MAP - NOT TO SCALE

**CODE INFORMATION**

- 2015 International Building Code (IBC)
- 2015 International Residential Code (IRC)
- 2015 International Fire Code (IFC)
- 2014 National Electric Code (NEC)
- 2015 International Plumbing Code (IPC)
- 2015 International Fuel Gas Code (IFGC)
- 2015 International Mechanical Code (IMC)
- 2015 International Energy Conservation Code (IECC)
- Paradise Valley Zoning Ordinance – Current



CONCEPT IMAGE - VIEW FROM WEST/CUL-DE-SAC

**PROJECT INFORMATION**

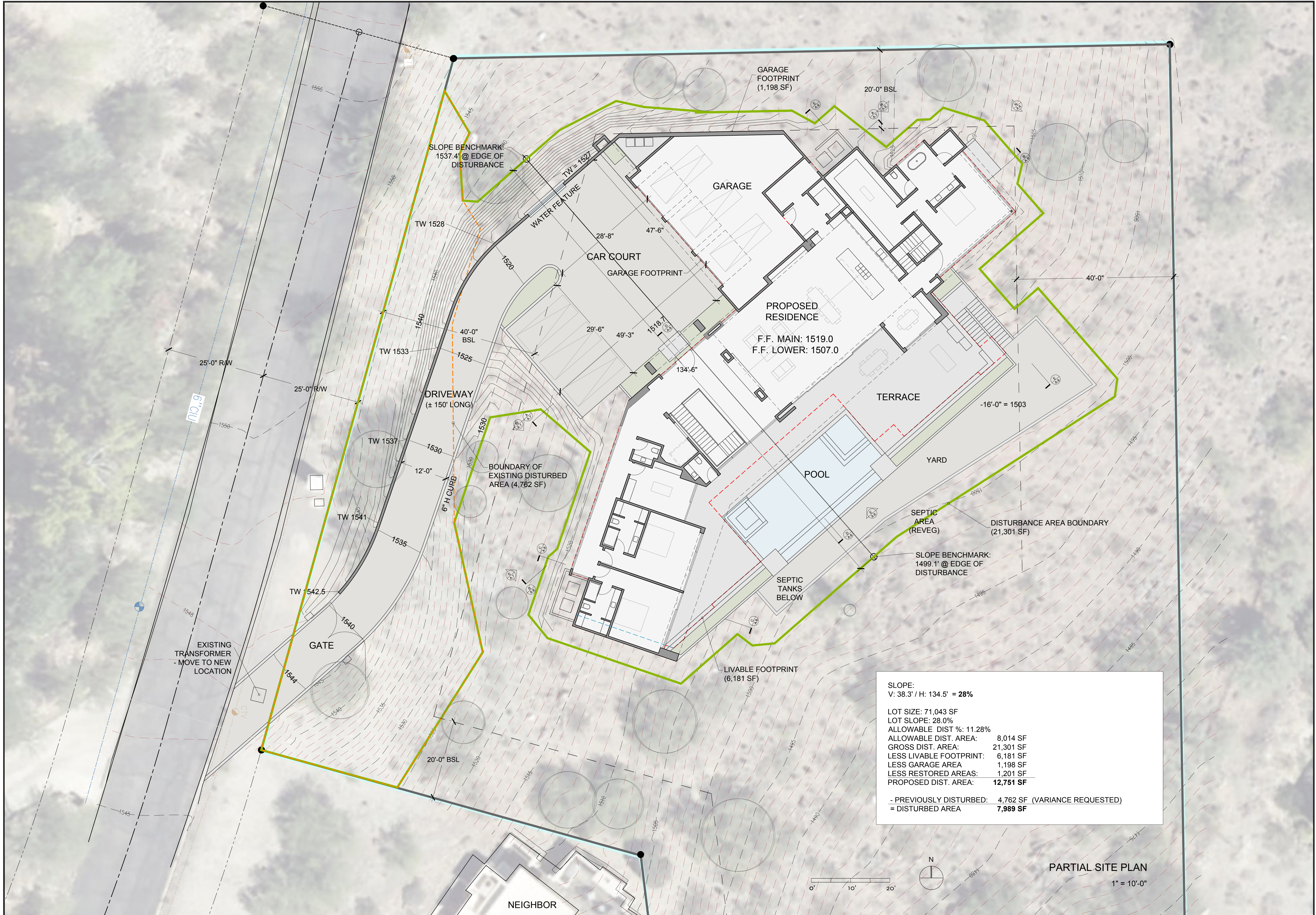
<b>DESCRIPTION OF PROJECT:</b>	NEW SINGLE-FAMILY RESIDENCE
<b>PROPOSED BUILDING AREA:</b>	8,460 SF PLUS 3-CAR GARAGE
<b>CONSTRUCTION TYPE:</b>	TYPE V-N
<b>SITE ADDRESS:</b>	6919 N HIGHLANDS DR. PARADISE VALLEY 85253
<b>LEGAL DESCRIPTION:</b>	LOT 18, PARADISE HIGHLANDS BOOK 88, PAGE 32 MCR
<b>ASSESSOR PARCEL #:</b>	169-53-034
<b>ZONING:</b>	R-43, TOWN OF PARADISE VALLEY
<b>OWNER:</b>	PATEL JAY B/PALAK J 7575 E NESTLING WAY SCOTTSDALE, AZ 85255
<b>PROJECT CONTACT:</b>	VICTOR E SIDY VICTOR SIDY ARCHITECT 2300 E. UTOPIA RD., PHOENIX, AZ 85024 480.688.5599 victor@victorsidy.com

**CONSULTANT LIST**

<b>ARCHITECT:</b>	VICTOR SIDY ARCHITECT 2300 E. UTOPIA RD. PHOENIX, ARIZONA 85024 480.688.5599 victor@victorsidy.com
<b>CIVIL ENGINEER:</b>	FRANK BOXBERGER P.E. SUMMIT CIVIL GROUP 8707 E. VISTA BONITA DRIVE, #145 SCOTTSDALE, AZ 85255 602.725.0372 frank@scgaz.com
<b>LANDSCAPE CONSULTANT:</b>	DONNA WINTERS AND ASSOCIATES 8319 E WETHERSFIELD RD SCOTTSDALE, AZ 85260 480-483-7289 donna.winters@enchantedgardenaz.com

**LIST OF SHEETS**

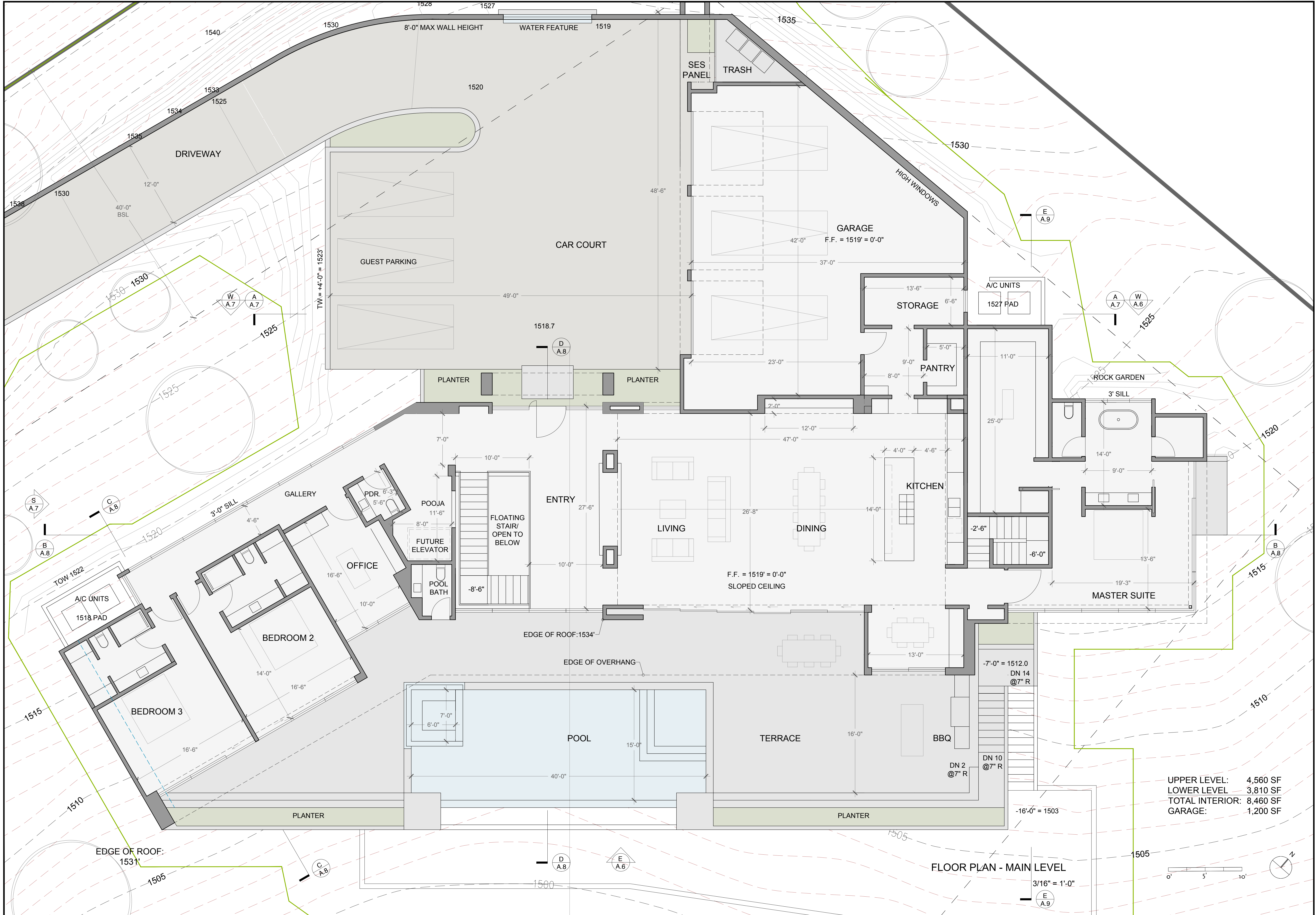
- A.1 PROJECT INFORMATION/ REFERENCE SITE PLAN
- A.2 PARTIAL SITE PLAN
- A.3 FLOOR PLAN - UPPER LEVEL
- A.4 FLOOR PLAN - LOWER LEVEL
- A.5 ROOF PLAN
- A.6 ELEVATIONS - EAST, SOUTH
- A.10 PERSPECTIVE IMAGES
- S.1 TYPICAL RETAINING WALL SCHEDULES
- C-1 CIVIL PROJECT INFO
- C-2 CIVIL GENERAL NOTES
- C-3 OVERALL GRADING PLAN
- C-4 DETAILED GRADING PLAN SURVEY



SLOPE:	
V: 38.3' / H: 134.5'	= 28%
LOT SIZE: 71,043 SF	
LOT SLOPE: 28.0%	
ALLOWABLE DIST %: 11.28%	
ALLOWABLE DIST. AREA:	8,014 SF
GROSS DIST. AREA:	21,301 SF
LESS LIVABLE FOOTPRINT:	6,181 SF
LESS GARAGE AREA:	1,198 SF
LESS RESTORED AREAS:	1,201 SF
PROPOSED DIST. AREA:	<b>12,751 SF</b>
- PREVIOUSLY DISTURBED: 4,762 SF (VARIANCE REQUESTED)	
= DISTURBED AREA	<b>7,989 SF</b>

PARTIAL SITE PLAN

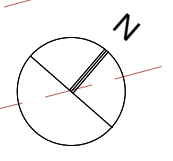
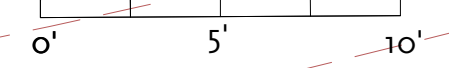
1" = 10'-0"

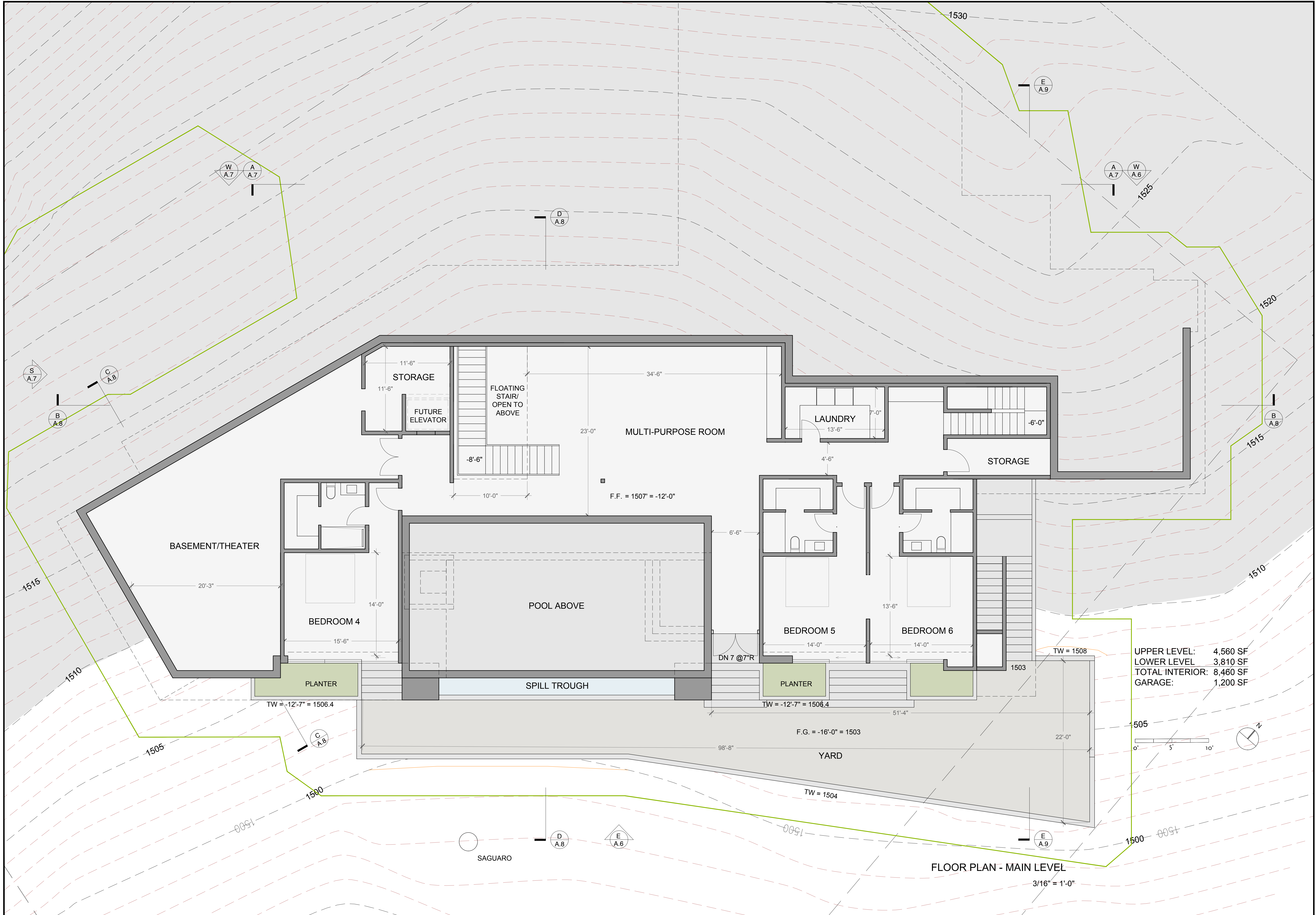


UPPER LEVEL: 4,560 SF  
 LOWER LEVEL: 3,810 SF  
 TOTAL INTERIOR: 8,460 SF  
 GARAGE: 1,200 SF

FLOOR PLAN - MAIN LEVEL

3/16" = 1'-0"

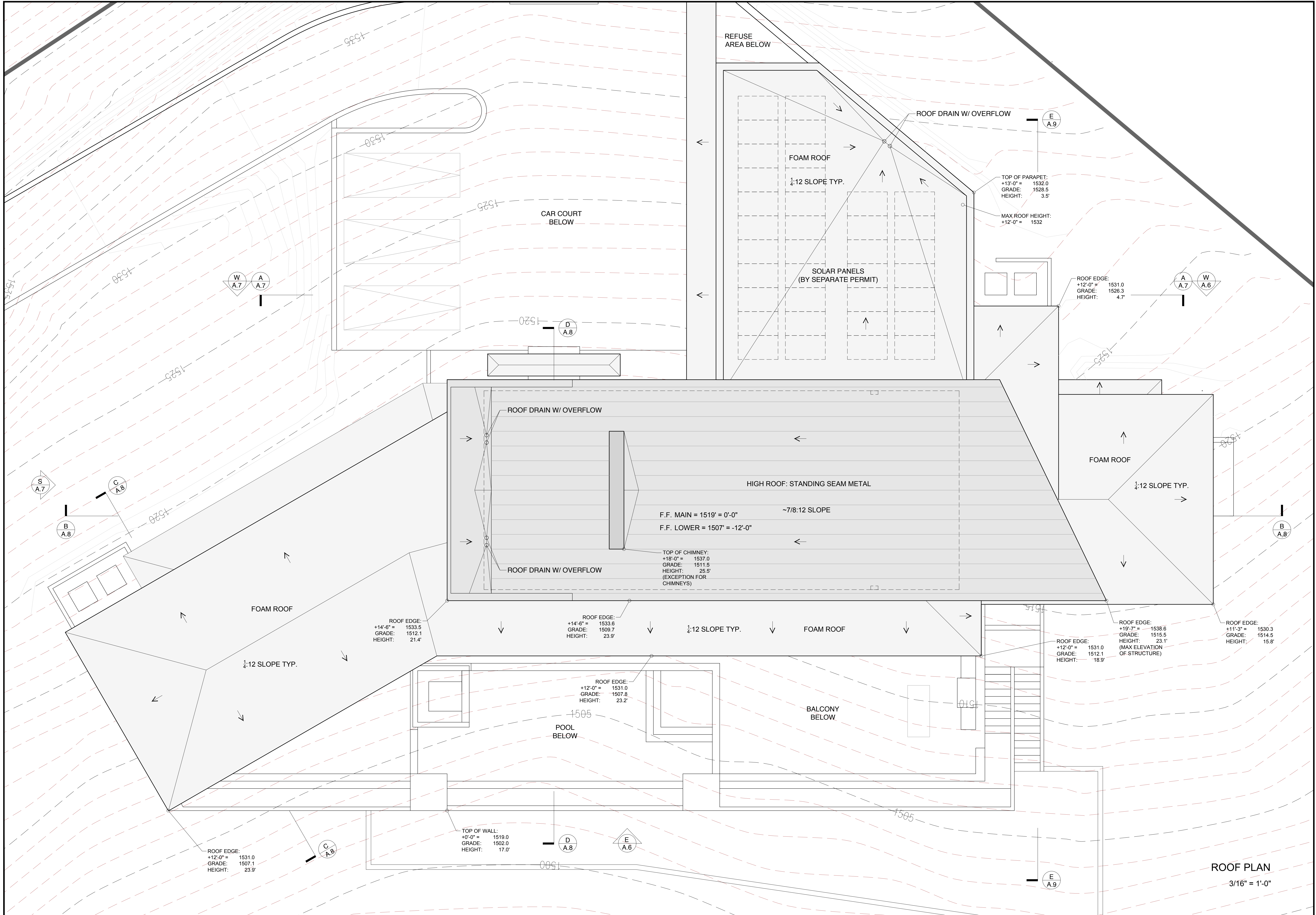


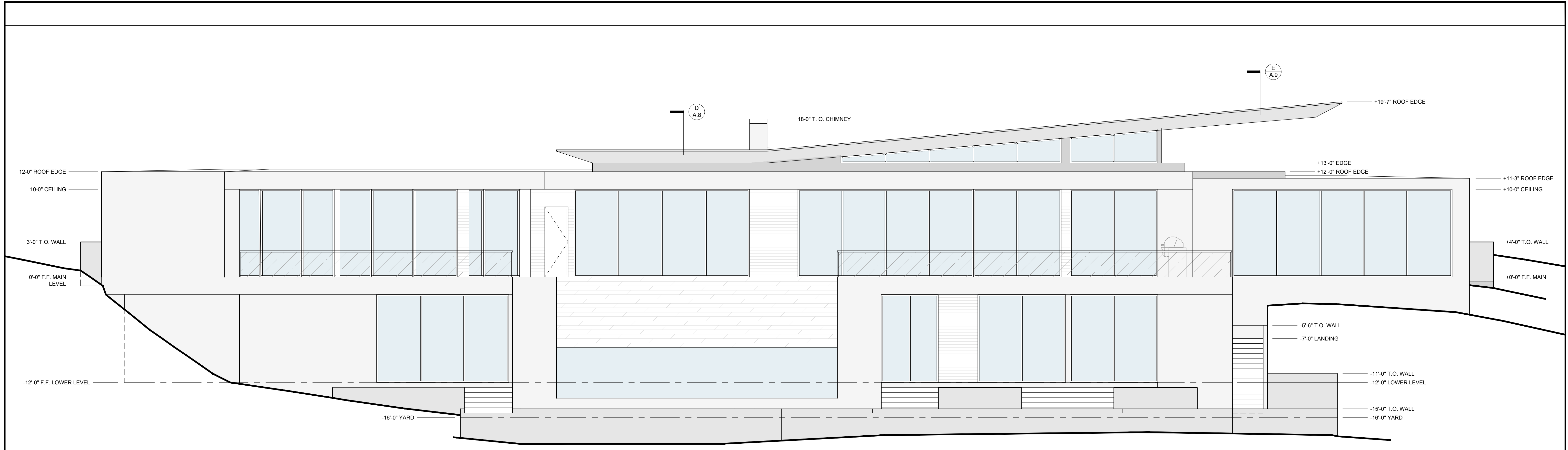


UPPER LEVEL: 4,560 SF  
 LOWER LEVEL: 3,810 SF  
 TOTAL INTERIOR: 8,460 SF  
 GARAGE: 1,200 SF

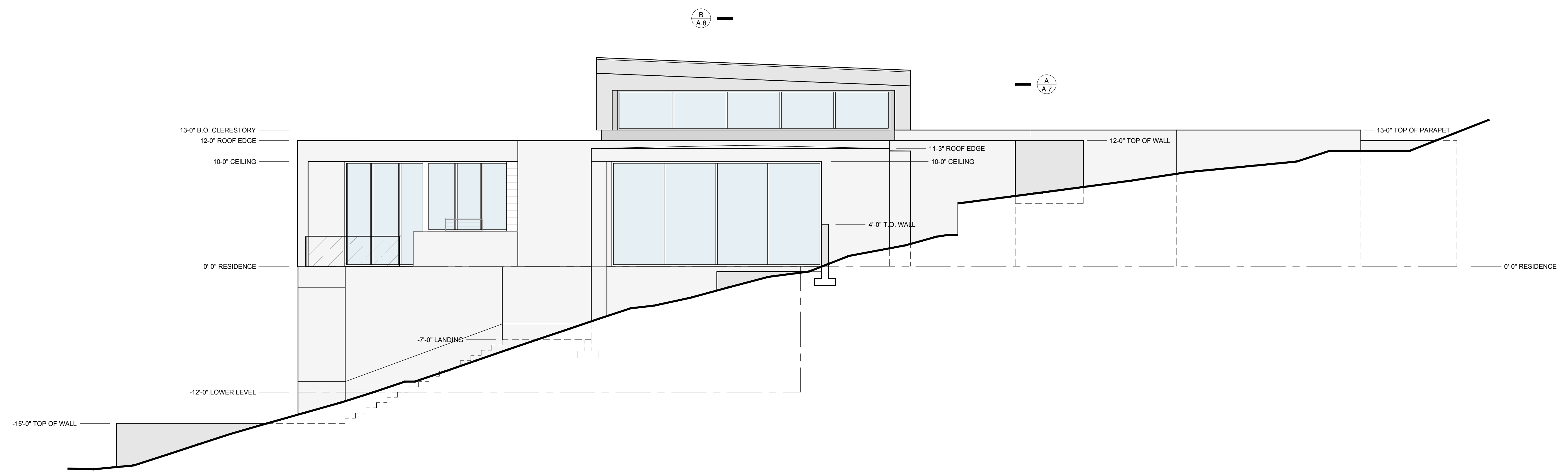
FLOOR PLAN - MAIN LEVEL

3/16" = 1'-0"





ELEVATION B



ELEVATION C

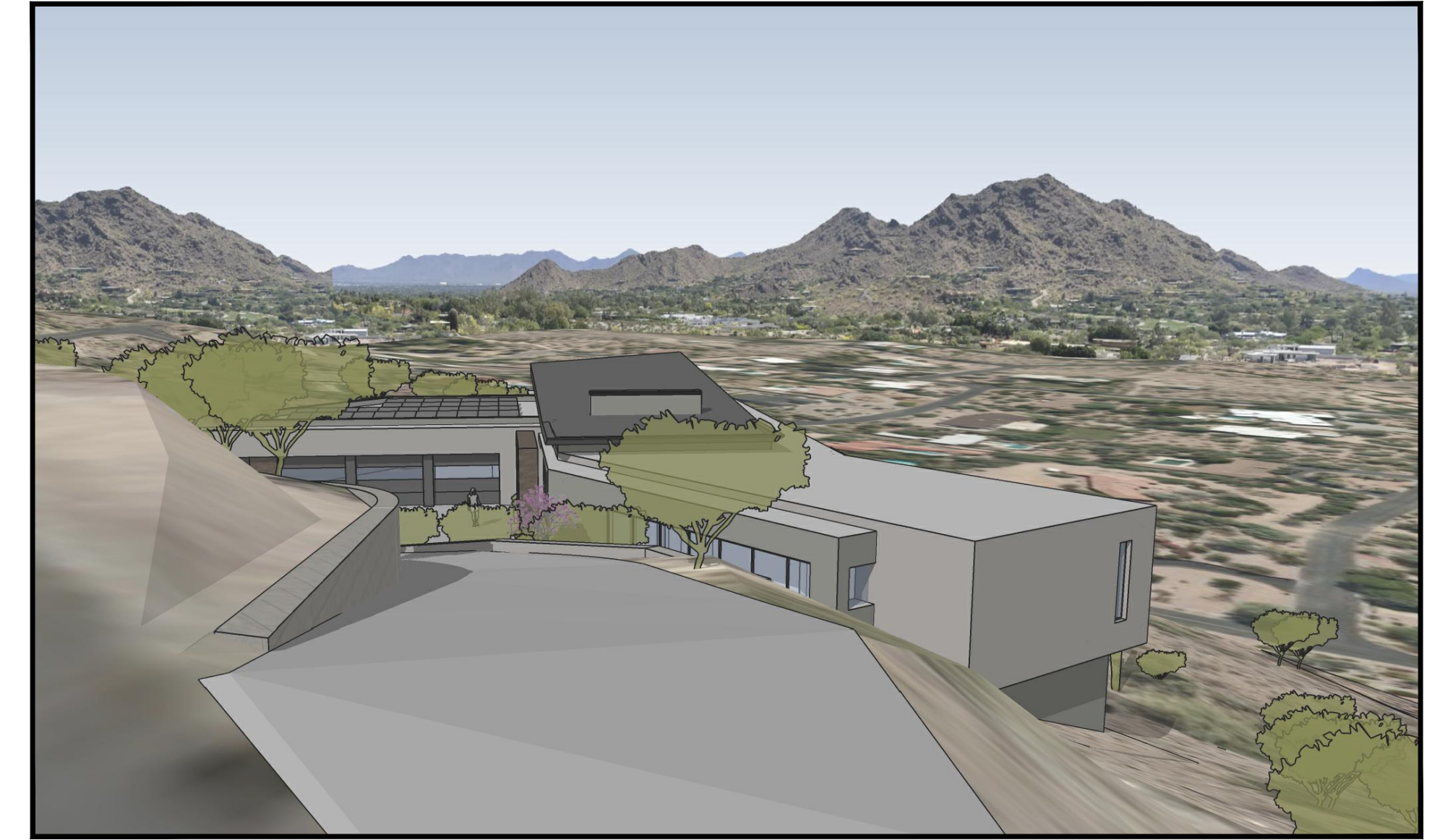
ROOF PLAN  
3/16" = 1'-0"



VIEW FROM SOUTHEAST



VIEW FROM SOUTH



VIEW FROM ROAD AT DRIVEWAY



VIEW FROM BELOW FROM NORTHEAST



VIEW FROM ABOVE FROM NORTHEAST



VIEW FROM ENTRY DRIVE



VIEW OF MASTER SUITE FROM NORTH

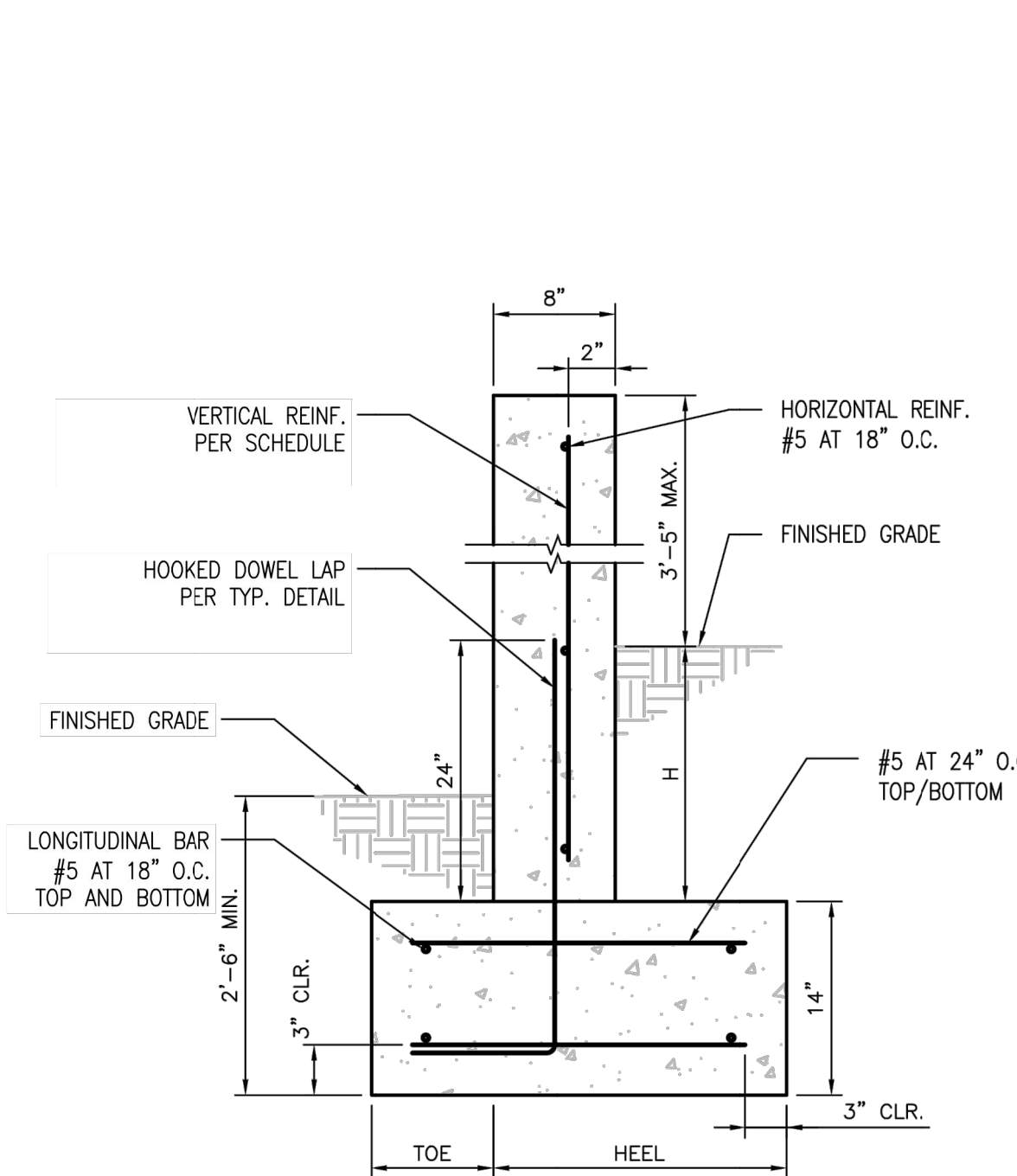


VIEW FROM WEST AT ROAD



VIEW FROM CAR COURT

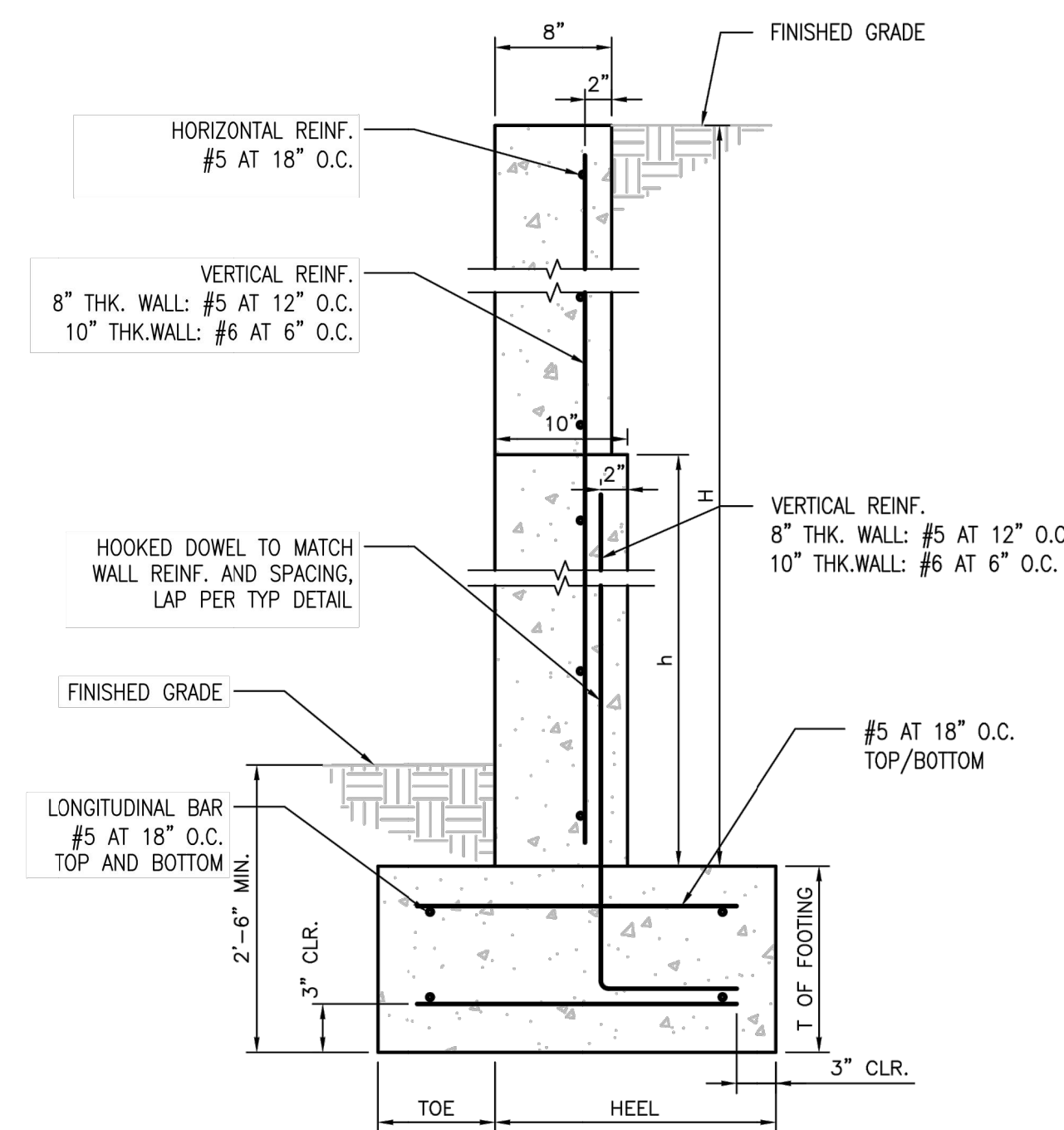
CONCEPT PERSPECTIVE IMAGES - NOT TO SCALE



- NOTES:**
- FOOTING REINFORCING SHALL BE PLACED AT THE BOTTOM (3" CLR) OF THE FOOTING UNO.
  - FOOTING SHALL BE EXTENDED 12" MINIMUM BEYOND WALL ENDS UNO.
  - CONTRACTOR SHALL COORDINATE FOOTING DEPTH WITH REQUIREMENTS FROM OTHER TRADES.
  - REFER TO OTHER DETAILS FOR INFORMATION SHOWN BUT NOT NOTED HERE.
  - INSTALL CONTROL JOINTS IN WALL PER DETAIL 04.
  - REFER DETAIL 101/SC4 FOR WEEP HOLE INFORMATION

RETAINING WALL INFORMATION			
H	TOE	HEEL	VERTICAL REINF.
0'-0" - 3'-6"	0'-9"	1'-9"	#5 AT 18" O.C.
3'-7" - 7'-6"	1'-0"	3'-0"	#5 AT 14" O.C.

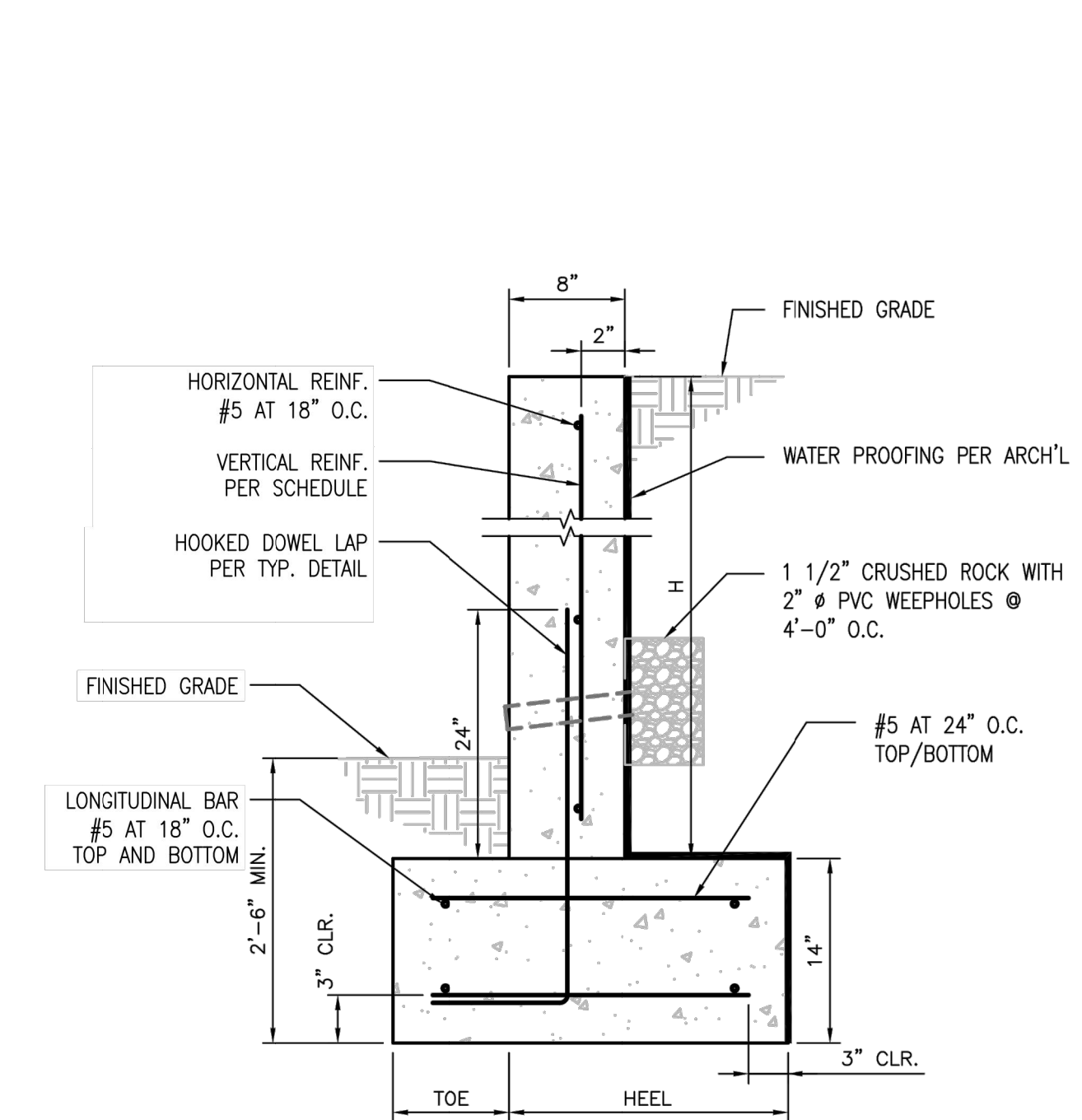
103 SITE RETAINING WALL AND FOOTING [0' TO 7'-6"]  
SC4 NOT TO SCALE



- NOTES:**
- FOOTING REINFORCING SHALL BE PLACED AT THE BOTTOM (3" CLR) OF THE FOOTING UNO.
  - FOOTING SHALL BE EXTENDED 12" MINIMUM BEYOND WALL ENDS UNO.
  - CONTRACTOR SHALL COORDINATE FOOTING DEPTH WITH REQUIREMENTS FROM OTHER TRADES.
  - REFER TO OTHER DETAILS FOR INFORMATION SHOWN BUT NOT NOTED HERE.
  - INSTALL CONTROL JOINTS IN WALL PER DETAIL 04.
  - REFER DETAIL 101/SC4 FOR WEEP HOLE INFORMATION

RETAINING WALL INFORMATION				
H	10" THK. WALL HEIGHT (h)	TOE	HEEL	T OF FOOTING
8'-1" - 12'-0"	6'-0"	2'-0"	6'-0"	14"
12'-1" - 14'-0"	6'-6"	2'-0"	6'-0"	16"

102 SITE RETAINING WALL AND FOOTING [8'-1" TO 14'-0"]  
SC4 NOT TO SCALE



- NOTES:**
- FOOTING REINFORCING SHALL BE PLACED AT THE BOTTOM (3" CLR) OF THE FOOTING UNO.
  - FOOTING SHALL BE EXTENDED 12" MINIMUM BEYOND WALL ENDS UNO.
  - CONTRACTOR SHALL COORDINATE FOOTING DEPTH WITH REQUIREMENTS FROM OTHER TRADES.
  - REFER TO OTHER DETAILS FOR INFORMATION SHOWN BUT NOT NOTED HERE.
  - INSTALL CONTROL JOINTS IN WALL PER DETAIL 04.

RETAINING WALL INFORMATION			
H	TOE	HEEL	VERTICAL REINF.
0'-0" - 3'-0"	0'-9"	1'-0"	#5 AT 18" O.C.
3'-1" - 6'-0"	1'-0"	2'-0"	#5 AT 18" O.C.
6'-1" - 8'-0"	1'-0"	3'-6"	#5 AT 14" O.C.

101 SITE RETAINING WALL AND FOOTING [0' TO 8'-0"]  
SC4 NOT TO SCALE

TYPICAL RETAINING WALL SCHEDULES



# PRELIMINARY GRADING AND DRAINAGE PLAN

FOR NEW RESIDENCE  
 LOT 18 PARADISE HIGHLANDS PLAT A,  
 6919 NORTH HIGHLANDS DRIVE  
 PARADISE VALLEY, ARIZONA

LEGAL DESCRIPTION

Lot 18, of Paradise Highlands Plat A, according to the plot of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 88 of Maps, page 32.

PROJECT DATA

Lot Area: 72,416 square feet  
 APN: 169-53-034  
 Zoning: R-43  
 Address: 6919 North Highlands Drive  
 Existing Disturbed Area: 0 sf  
 Proposed Disturbed Area: 19,824 sf

OWNER

Jay & Palak Patel  
 7575 East Nestling Way  
 Scottsdale, AZ 85255

CLIENT

Victor Sidy Architect  
 2300 East Utopia Road  
 Phoenix, AZ 85024  
 (480) 688-5599

ARCHITECT

Victor Sidy Architect  
 2300 East Utopia Road  
 Phoenix, AZ 85024  
 (480) 688-5599

BENCHMARK

THE ALUMINUM CAP AT THE N 1/4 CORNER OF SECTION 7, T2N, R4E, ALSO BEING THE NORTHEAST CORNER OF SUBJECT PROPERTY, HAVING AN ELEVATION OF 1515.16 NAVD 88 DATUM, GDACS# 24520-21.

REFERENCE DOCUMENTS

Deed 2022-0377917  
 Paradise Highlands Plat A Bk 88, Pg 32 MCR

CIVIL ENGINEER'S GENERAL NOTES

- IF A DISCREPANCY IS FOUND BETWEEN THE ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CALL BLUE STAKE AT 263-1100.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
- HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
- ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- ALL WALLS SHOWN ON THIS PLAN MUST BE SUBMITTED AND APPROVED BY THE REVIEWING MUNICIPALITY, HOA AND ARCHITECTURAL REVIEW COMMITTEE (IF APPLICABLE) PRIOR TO CONSTRUCTION.
- CLIENT/OWNER/BUILDER TO SECURE PROPER PLAN REVIEW AND PERMITS OF ALL FEDERAL, STATE, COUNTY, LOCAL AND HOA REVIEW AGENCIES PRIOR TO THE INSTALLATION OF CULVERTS, SITE GRADING OR CONSTRUCTION OF THIS PLAN IN ANY FORM.
- CONTRACTOR TO INSTALL BACKFLOW DEVICE PER P3008.1 IF FINISHED FLOOR IS LESS THAN 2' ABOVE UPSTREAM SEWER MANHOLE RIM. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF THE PRIVATE SEWER LINE.
- DRIVEWAY TO BE CONSTRUCTED OF ALL WEATHER MATERIAL TO WITHSTAND 83,000 LBS GVW (GROSS VEHICLE WEIGHT).
- DRIVEWAY SLOPE NOT TO EXCEED 18% MAX AND THE AVERAGE GRADE FOR THE LENGTH OF THE DRIVEWAY SHALL BE 12%.
- THE PAD ELEVATIONS OF ALL A/C AND/OR ELCTRO-MECHANICAL UNITS WILL BE SET REASONABLY HIGHER THAT THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100 YEAR STORM EVENT.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AD. ZONE, USE DEPTH)
04013C	1765 10/16/13	L	10/16/13	X	N/A

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH THE TOWN OF PARADISE VALLEY BUILDING REGULATIONS.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED CIVIL ENGINEER/LAND SURVEYOR DATE

REGISTRATION NUMBER

APPROVED:

This set of plans has been reviewed for compliance with Town of Paradise Valley requirements prior to issuance of permit. The town neither accepts or assumes any liability for errors or omissions. This compliance approval shall not prevent the Town Engineer from requiring corrections of errors or omissions in the plans to be found in violation of laws or ordinances.

TOWN ENGINEER DATE

DISTURBED AREA CALCULATIONS

PRE-DEVELOPMENT NATIVE SLOPE UNDER PROPOSED HOUSE = %

TOTAL LOT AREA: 1.63 ACRES, 71,043 SF

AREA UNDER ROOF: 7,379 SF

FLOOR AREA RATIO 10.4 % (AREA UNDER ROOF/AREA OF LOT)

BUILDING PAD SLOPE: %  
 VERTICAL: FT  
 HORIZONTAL: FT

ALLOWABLE DISTURBED AREA ON LOT PER PV HILLSIDE ORDINANCE TABLE 1 = 14.05%

ALLOWED DISTURBANCE = (LOT AREA X 11.28%) = 8,014 SF

PREVIOUSLY DISTURBED AREA = 4,762 SF (VARIANCE REQUESTED)

DISTURBED AREA = 7,989 SF

GROSS DISTURBED AREA	21,303 SF
SUBTRACT(-) TOTAL LIVABLE	6,181 SF
SUBTRACT(-) ATTACHED GARAGE FOOTPRINT	1,198 SF
SUBTRACT(-) RESTORED AREAS	1,201 SF
PROPOSED DISTURBED AREA	12,651 SF

NET PROPOSED DISTURBED AREA 17.8%

(LIMITS OF DISTURBED AREA DELINEATED ON GRADING PLAN)

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX) % ( SF)

VOLUME OF CUT 265 CY  
 VOLUME OF FILL 225 CY

(RESTORE TO NATURAL GRADE - SEE SHEET 5/6)

SHEET INDEX

SHEET 1 - COVER SHEET  
 SHEET 2 - NOTES  
 SHEET 3 - OVERALL SITE  
 SHEET 4 - GRADING PLAN



LEGEND

- 1/4 SECTION QUARTER
- FOUND REBAR OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- FIRE HYDRANT
- CABLE TV RISER
- TELECOMMUNICATIONS PEDISTAL
- TRANSFORMER
- UTILITY CONTROL BOX
- BOULDER
- IRON FENCE
- COMMUNICATIONS LINE
- CATV, PHONE
- WATER LINE
- ELECTRIC LINE
- GAS LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- SAGUARO
- PROPOSED ELEVATION
- EXISTING ELEVATION
- FINISHED FLOOR ELEVATION
- LOWEST FINISHED FLOOR ELEVATION
- FLOW DIRECTION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EDGE OF PAVEMENT
- BACK OF CURB
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT
- GENERAL PURPOSE EASEMENT
- TOP OF SITE WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF WROUGHT IRON FENCE
- TOP OF STEM WALL
- TOP OF COLUMN
- HIGH WATER SURFACE ELEVATION
- FINISHED GRADE
- FLOWLINE
- INVERT
- CENTERLINE
- PROPERTY LINE
- SANITARY SEWER LINE
- WATER LINE
- ASBUILT
- BUILDING SETBACK LINE
- HIGHEST ADJACENT NATURAL GRADE
- LOWEST ADJACENT NATURAL GRADE
- CONTROL POINT
- HIGH POINT
- DRAINAGE EASEMENT
- 100 YR HWSE LIMITS
- TOP OF RAILING
- NATURAL GRADE
- BOTTOM OF WALL

PROJECT DESCRIPTION:

Single family custom residence and associated hardscape

UTILITY PROVIDERS

WATER - EPCOR USA  
 SANITARY SEWER - TOWN OF PARADISE VALLEY  
 ELECTRIC - APS  
 TELEPHONE - COX  
 NATURAL GAS - SOUTHWEST GAS  
 CABLE TV - COX

ESTIMATED EARTHWORK QUANTITIES

THE QUANTITIES LISTED BELOW ARE APPROXIMATE, UNADJUSTED AND FOR PERMITTING ONLY. CONTRACTOR TO VERIFY.  
 CUT 265 C.Y.  
 FILL 225 C.Y.  
 NET 45 C.Y.

FOR BIDDING PURPOSES ONLY

CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.

NOTE: ANY EXCESS CUT MATERIAL SHALL BE REMOVED FROM THE SITE.

FINISHED FLOOR CERTIFICATION

ENGINEER SHALL CERTIFY THAT THE PROTECTED STEM AND/OR FINISHED FLOOR ELEVATION SHOWN ON THE PLAN OF 1519.00 (MAIN); 1507.00 (LOWER) IS A MINIMUM OF 12" ABOVE THE 100 YEAR STORM ELEVATION.

Name: Frank Boxberger, P.E.  
 Lic. No. 20887  
 Exp. 3/31/26  
 Date: 10/25/23

DRAINAGE STATEMENT:

The ultimate storm water outfall is located at the southeast lot corner at an elevation of 1435.0. The proposed development does not impact drainage conditions of adjoining lots. Retention is provided for the 100 year, 2 hour storm event per the Storm Water Drainage Design Manual. The lowest finished floor elevation of 1507.00 is safe from inundation during a 100 year peak run-off event if constructed in accordance with the approved plans.

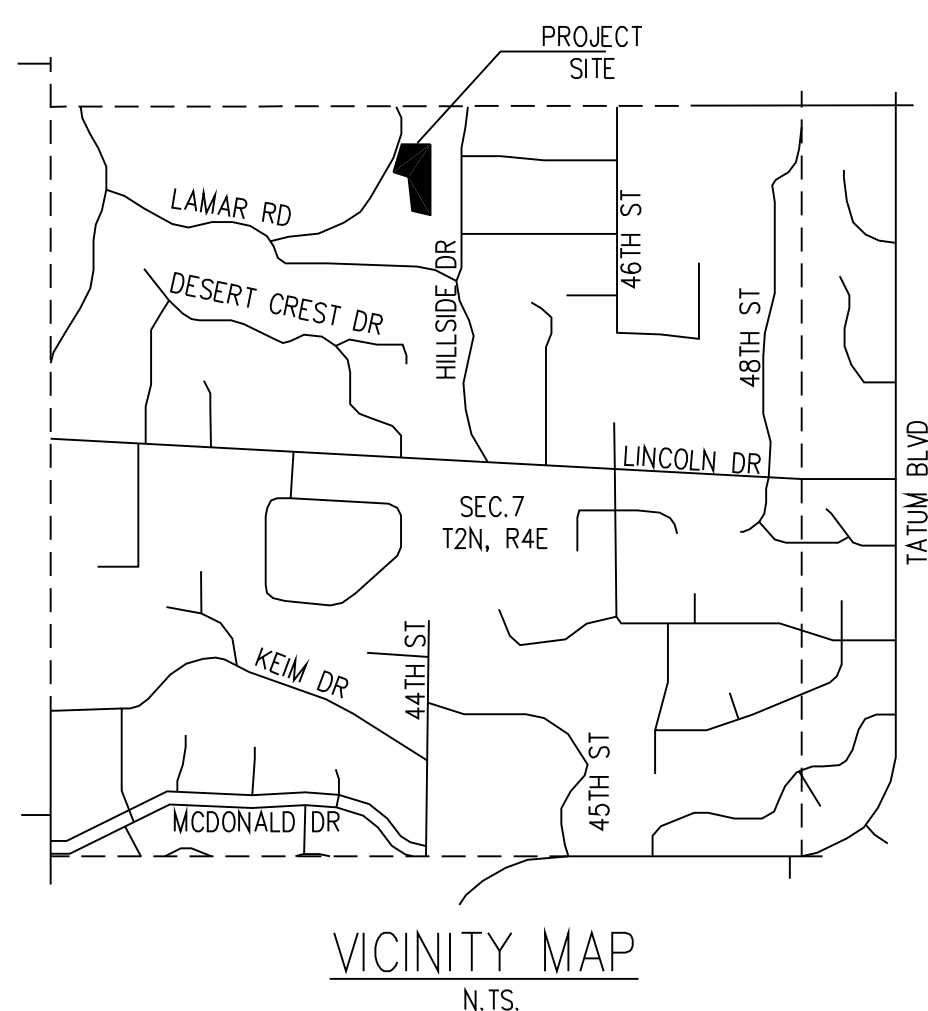
ADDITIONAL NOTES:

- No certificate of occupancy shall be issued until all hillside stipulations and all town code requirements are compiled including, but not limited to landscaping, ground restoration, fire safety and all onsite and offsite improvements.
- All outdoor lighting shall be in conformance with article XXII of the town zoning ordinance.
- all excess material shall be removed from the site with no new spill slopes.
- The use of hydraulic ram hammers, or other heavy equipment used to cut through rock, including machinery with audible back up warning devices be limited to use between the hours of 7:00am or sunrise, whichever is later, and 6:00pm or sunset, which ever is earlier, Monday through Friday with limited work on Saturday and no work on Sunday or legal holidays. Ram hammers and other heavy equipment cannot be used on Saturdays without a waiver from the town manager.
- Construction staking and/or fencing shall be placed around the construction site so as to protect the undisturbed natural area.
- All retaining walls shall not exceed more than 6 inches above the material they retain (with exception of driveway retaining walls in accordance with 2207.VI.6).

DISCLAIMER

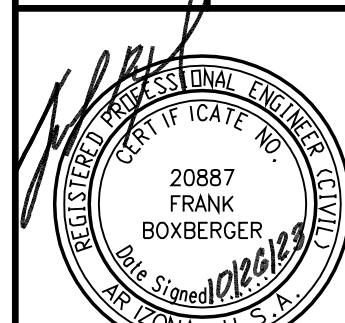
The survey information on this plan was supplied by: Land Development Group  
 Job Number: 2211390  
 Project Date: 1/9/23  
 Certified By: James B. Flock  
 RLS#: 35694  
 Summit Civil Group is not responsible for the accuracy of said information.

NOTE: FIRE SPRINKLER SYSTEM TO BE PROVIDED BY DEFERRED SUBMITTAL.



REVISIONS 10/25/23/JP

GRADING PLAN  
 LOT 18 PARADISE HIGHLANDS PLAT A  
 6919 NORTH HIGHLANDS DRIVE  
 PARADISE VALLEY, ARIZONA



SHEET 1 OF 4  
 DATE MAY 2023

18PHPA



LOT 52 - PARADISE HILLS ESTATES  
 BOOK 69, PAGE 24, MCR  
 6854 N HILLSIDE DR.  
 PARADISE VALLEY, AZ 85253  
 APN 169-15-052  
 ZONING R-43 HILLSIDE  
 VACANT LOT

LOT 53 - PARADISE HILLS ESTATES  
 BOOK 69, PAGE 24, MCR  
 6836 N HILLSIDE DR.  
 PARADISE VALLEY, AZ 85253  
 APN 169-15-053  
 ZONING R-43 HILLSIDE  
 SINGLE FAMILY RESIDENCE

LOT 54 - PARADISE HILLS ESTATES  
 BOOK 69, PAGE 24, MCR  
 6820 N HILLSIDE DR.  
 PARADISE VALLEY, AZ 85253  
 APN 169-15-054  
 ZONING R-43 HILLSIDE  
 SINGLE FAMILY RESIDENCE

LOT 17 - PARADISE HIGHLANDS - PLAT 'A'  
 BOOK 88, PAGE 32, MCR  
 6933 N HIGHLANDS DR.,  
 PARADISE VALLEY, AZ  
 85253  
 APN 169-53-033  
 ZONING R-43 HILLSIDE  
 VACANT LOT

LOT 28 - PARADISE HIGHLANDS  
 BOOK 84, PAGE 36, MCR  
 6740 N SILVER MOUNTAIN RD.,  
 PARADISE VALLEY, AZ 85253  
 APN 169-53-028  
 ZONING R-43 HILLSIDE  
 SINGLE FAMILY RESIDENCE

LOT 19 - PARADISE HIGHLANDS I  
 BOOK 618, PAGE 10, MCR  
 6901 N HIGHLANDS DR.,  
 PARADISE VALLEY, AZ 85253  
 APN 169-53-036  
 ZONING R-43 HILLSIDE  
 SINGLE FAMILY RESIDENCE

FOUND REBAR W/ CAP RLS# 57279  
 PER REC. BOOK 1640, PAGE 37, MCR

N00°04'00"E (R)  
 N00°08'58"E (M)

449.55' (R)  
 449.93' (M)

FOUND IRON PIPE W/ TAG RLS# 57279  
 PER REC. BOOK 1640, PAGE 37, MCR

EXTREME OUTFALL  
 (17438.0)

FOUND REBAR W/ CAP RLS# 57279  
 PER REC. BOOK 1640, PAGE 37, MCR

R=420.77' (M&R)  
 L=215.80' (M)  
 L=216.52' (R)  
 Δ=29°23'08"  
 T=110.33'

FOUND REBAR W/ CAP RLS# 57279  
 PER REC. BOOK 1640, PAGE 37, MCR

EXIST. CMU WALL

FOUND REBAR W/ CAP RLS# 57279  
 PER REC. BOOK 1640, PAGE 37, MCR

FOUND REBAR W/ CAP RLS# 46643

NOTHING FOUND OR SET

HIGHLANDS DRIVE

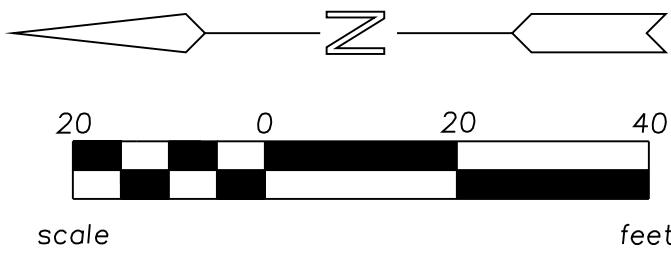
EDGE OF PAVEMENT

EXIST. ASPHALT

EXIST. FIRE HYDRANT

Sheet Flow (SG RAT CALCS)

NOTE:  
 FIRE SPRINKLER SYSTEM TO BE PROVIDED BY DEFERRED SUBMITTAL.



**DISCLAIMER**  
 The survey information on this plan was supplied by:  
 Land Development Group  
 Job Number: 2211390  
 Project Date: 1/9/23  
 Certified By: James B. Flock  
 RLS#: 35694  
 Summit Civil Group is not responsible for the accuracy of said information.

### OVERALL SITE

(SEE SHEET 4 FOR G&D DESIGN)

#### RETENTION CALCULATIONS

Volume Calculations per the Town of Paradise Valley Storm Water Policies & Standards

Volume calculations should be done by applying the following equation:

$$\text{First Flush Volume required: } V = ((C)(P/12)(A))$$

$$V_{FF} = C(P/12)A$$

where

V = Calculated volume in acre-feet

C = Runoff coefficient (set at 1.00)

P = First 0.5 inch of direct runoff

A = Project proposed disturbance area (square feet)

$$\text{Volume required: } V_{FF} = ((C)(P/12)(A))$$

$$V_{FF} = ((1)(0.5/12)(12,029))$$

$$= 501 \text{ cubic feet}$$

Volume provided:

$$V_p = 6' \text{ dia.}, 30' \text{ length} = 3^2(3.14) \times 30 = 847.8 \text{ cf} > 501 \text{ cf OK}$$

	REQ'D VOL (CF)	PROVIDED VOL (CF)	AS-BLT VOL (CF)
72" PIPE	501	847.8	

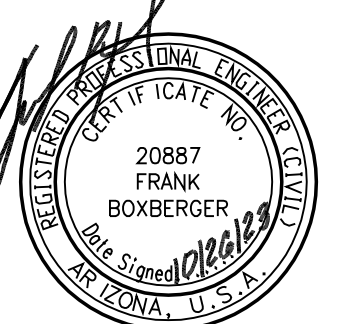
NOTE:  
 FIRST FLUSH RETENTION CALCS ARE BASED ON THE PROPOSED DISTURBANCE AREA OF 12,029 SF AND NOT INCLUDING NATIVE REVEG AREAS.



8707 EAST VISTA BONITA DRIVE STE 145  
 SCOTTSDALE, ARIZONA 85255 • (602) 725-0372

REVISIONS 10/25/23/5  
 P.V. COMMENTS

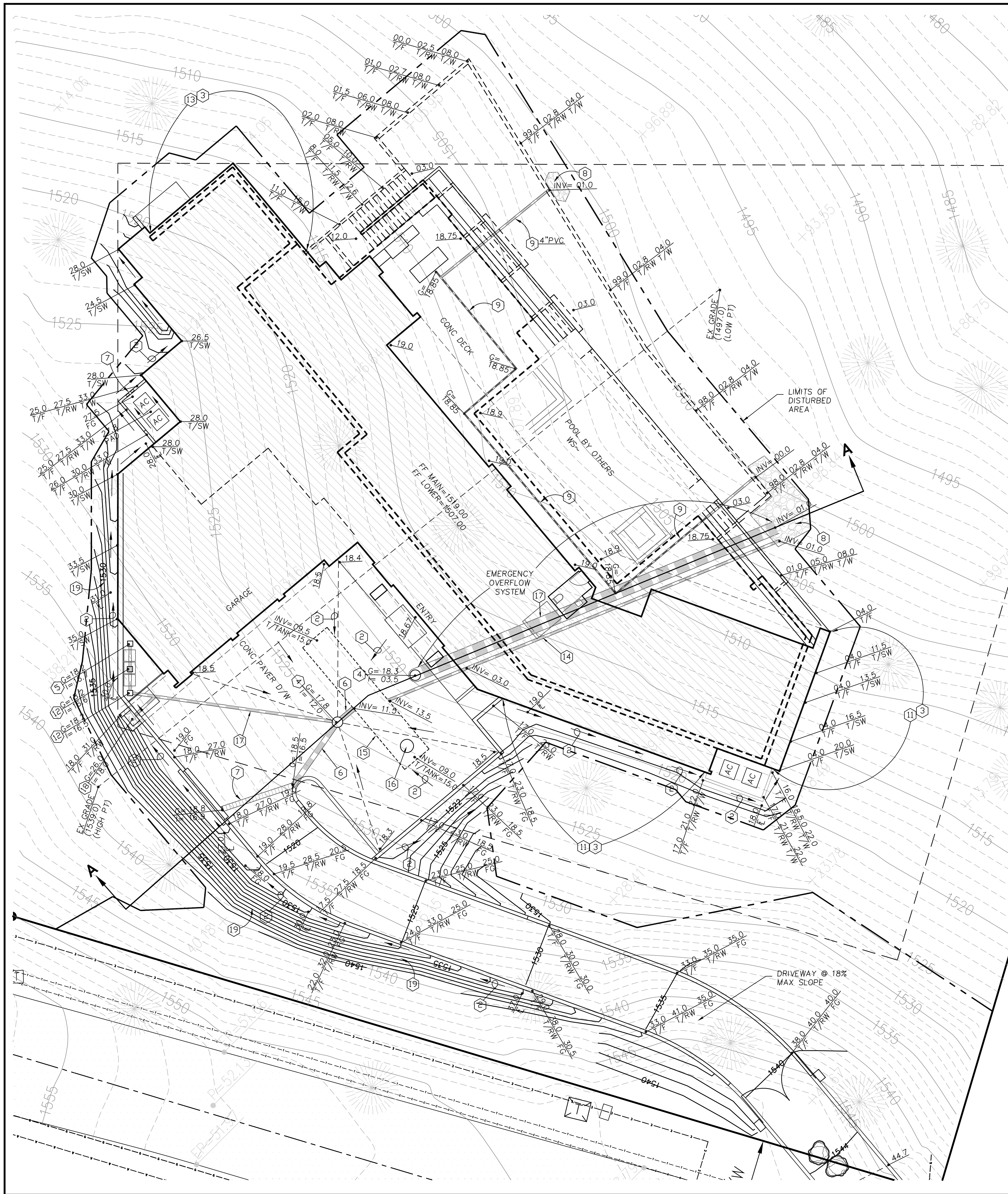
GRADING PLAN  
 LOT 18 PARADISE HIGHLANDS PLAT A  
 6919 NORTH HIGHLANDS DRIVE  
 PARADISE VALLEY, ARIZONA



SHEET 4  
 OF 4  
 DATE  
 MAY 2023

BD  
 IN  
 DRAINAGE CHECKED BY:  
 DESIGNED BY:  
 DRAWN BY: KR  
 JOB NUMBER  
 18PHPA



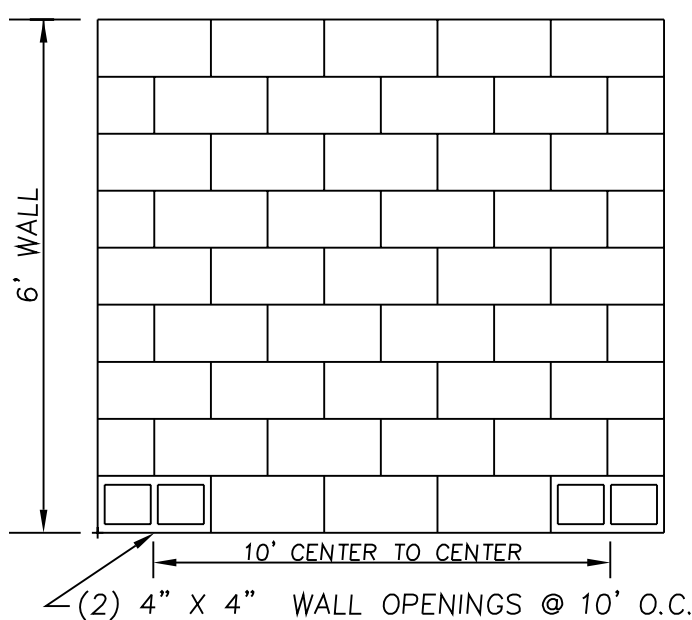


- CONSTRUCTION NOTES**
- 1 Construct wall openings per detail this sheet (inverts to be level with adjacent grade)
  - 2 Grade to drain
  - 3 Waterproof walls with emulsified asphaltic coating to a minimum of one foot above outside grade and place 1/4" batter board from foundation to backfill grade level to protect waterproofing while backfilling.
  - 4 Install Nyloplast inline drain 2724AG18N Emergency overflow outlet
  - 5 Install Nyloplast inline drain 2712AG6N
  - 6 Install 12" HDPE
  - 7 Install 12" wide deck drain
  - 8 Install D50=8" diameter native stone rip-rap 24" minimum thickness w/ filter fabric
  - 9 Install 2" wide deck drain w/ 4" PVC
  - 10 Install 2-8"x8" wall openings
  - 11 Construct extended stem wall (High)
  - 12 Install Nyloplast drain basin 2812AG6X
  - 13 Construct extended stem wall (Low)
  - 14 6" PVC with 2" dia. orifice for metered detention bleed-off
  - 15 Install underground 6' diameter, 30' long retention tank with access manhole and ladder. Owner is responsible for all maintenance.
  - 16 Install 30" dia. access cover
  - 17 Install 30" HDPE
  - 18 Install 24"x36" catch basin per MAG STD DTL 535 Type 'F' w/ 6" PVC
  - 19 Cut slope per geotechnical report prepared by Vann Engineering Project # 30890, dated June 28, 2023. (10' max height)
  - 17 Install 30" HDPE

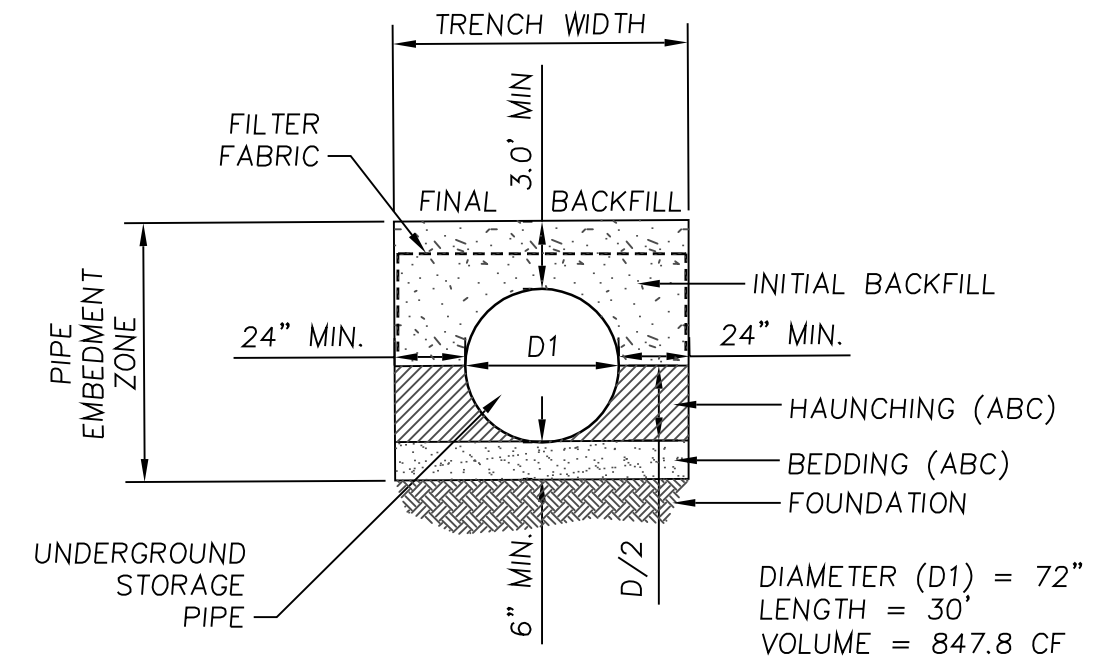
NOTE: FIRE SPRINKLER SYSTEM TO BE PROVIDED BY DEFERRED SUBMITTAL.

NOTE: SEE ARCHITECTURAL/STRUCTURAL DRAWINGS FOR DETAILS OF RETAINING WALLS AND BUILDING STEM WALLS.

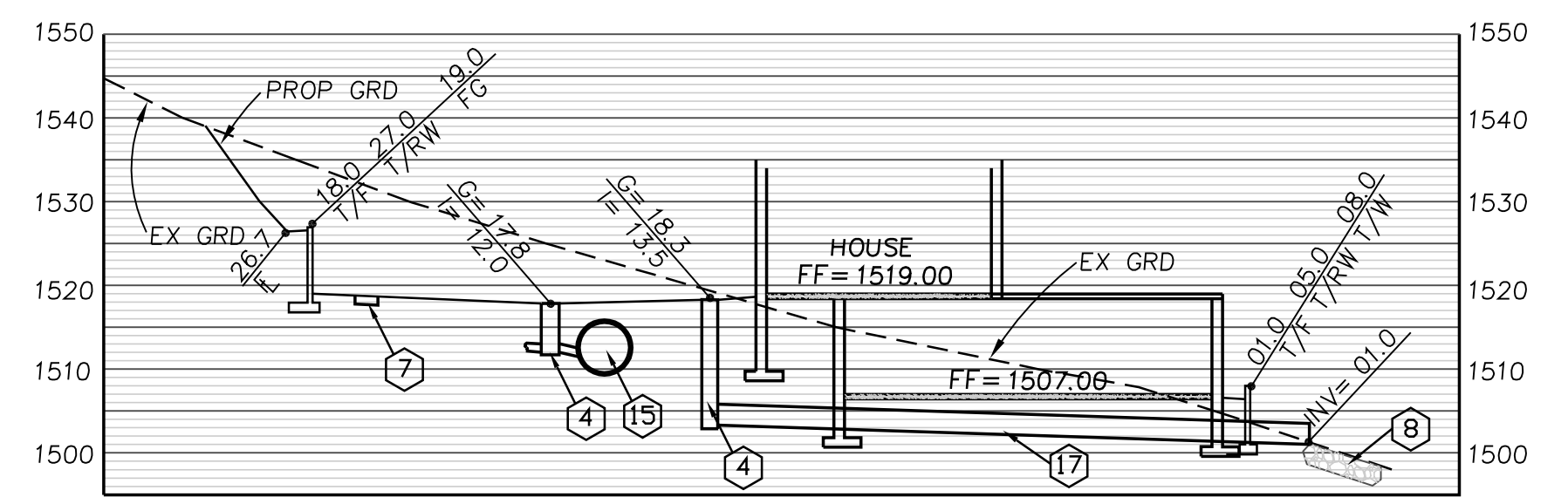
- UNDERGROUND STORAGE TANK 3RD PARTY INSPECTION NOTES:**
1. THE OWNER OR "OWNER'S AGENT" IS REQUIRED TO PROVIDE PROFESSIONAL 3RD PARTY INSPECTION SERVICES FOR THE EXCAVATION, BEDDING, PLACEMENT, BACKFILL AND OVERALL CONSTRUCTION OF THE UNDERGROUND STORAGE TANK.
  2. THE 3RD PARTY INSPECTOR WILL BE REQUIRED TO SUBMIT AN AS-BUILT CERTIFICATION THAT THE CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED GRADING AND DRAINAGE PLANS AND THE MANUFACTURER'S REQUIREMENTS.
  3. THE 3RD PARTY INSPECTOR SHALL NOT BE THE OWNER/APPLICANT OR THE CONTRACTOR. THE NAME AND INFORMATION OF THE 3RD PARTY INSPECTOR SHALL BE SUBMITTED TO THE TOWN ENGINEER PRIOR TO THE START OF WORK ON THE UNDERGROUND STORAGE TANK.
  4. ALL INFORMATION/REPORTS PERTAINING TO THE UNDERGROUND STORAGE TANK MUST BE SUBMITTED TO THE TOWN ENGINEER.
  5. FINAL GRADING AND DRAINAGE INSPECTION WILL NOT BE SCHEDULED UNTIL THE 3RD PARTY INSPECTION FOR THE UNDERGROUND STORAGE TANK HAS BEEN COMPLETED AND CERTIFIED.



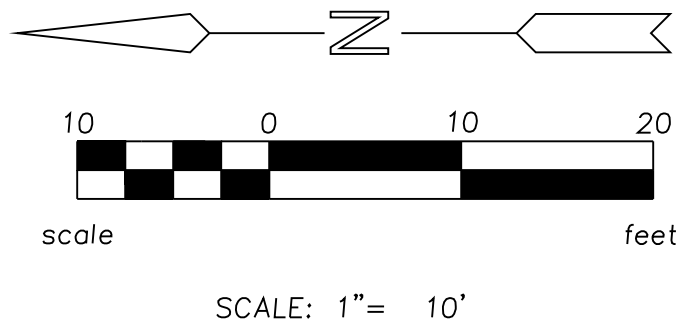
WALL OPENING DETAIL NTS



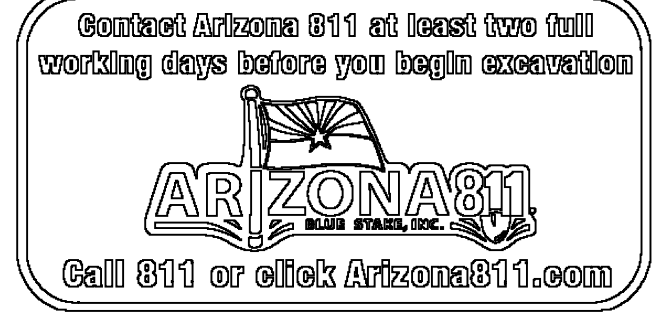
UNDERGROUND STORAGE TANK DETAIL NTS



SECTION A-A SCALE: 1"=20'



**DISCLAIMER**  
 The survey information on this plan was supplied by:  
 Land Development Group  
 Job Number: 2211390  
 Project Date: 1/9/23  
 Certified By: James B. Flack  
 RLS#: 35694  
 Summit Civil Group is not responsible for the accuracy of said information.



REVISIONS	DATE	BY	COMMENTS

**GRADING PLAN**  
**LOT 18 PARADISE HIGHLANDS PLAT A**  
**6919 NORTH HIGHLANDS DRIVE**  
**PARADISE VALLEY, ARIZONA**



SHEET	4
OF	4
DATE	MAY 2023
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