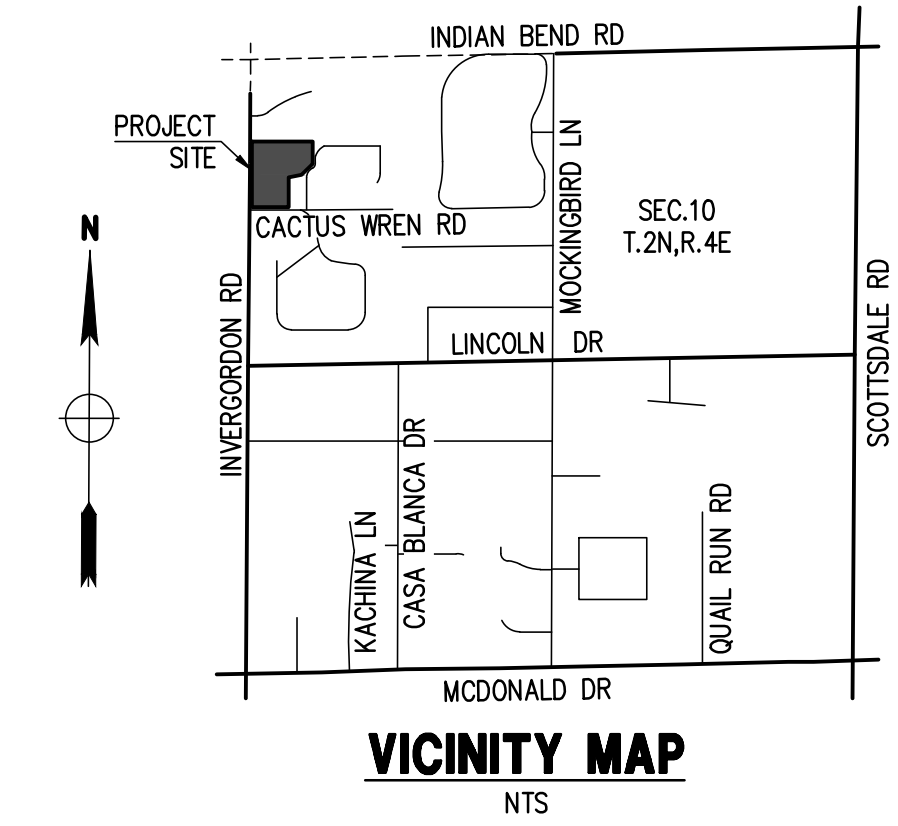


ALTA/NSPS LAND TITLE SURVEY

6400 E CACTUS WREN RD, PARADISE VALLEY, AZ 85253

PARCEL NO. 174-53-008K

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



- ### LEGEND
- SECTION CORNER
 - 1/4 QUARTER
 - SCRIBED "X" IN CONCRETE
 - BRASS CAP IN HANDHOLE
 - BRASS CAP FLUSH
 - FOUND REBAR OR AS NOTED
 - SET 1/2" REBAR & TAG OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - SIGN
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - IRRIGATION CONTROL BOX
 - ELECTRIC METER
 - A/C UNIT
 - GAS METER
 - TELEPHONE PEDESTAL
 - SEWER CLEANOUT
 - LIGHT POLE
 - BOULDER
 - STORM DRAIN INLET
 - CABLE TV RISER
 - MAILBOX
 - SEWER MANHOLE
 - SCHEDULE B ITEM
 - GAS LINE
 - CATV, PHONE
 - SEWER LINE
 - WATER LINE
 - ELECTRIC LINE
 - COMMUNICATIONS LINE
 - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - EUCALYPTUS TREE
 - PALM TREE
 - TREE
 - MESQUITE TREE
 - FLUTED CACTUS
 - PALO VERDE
 - SAQUARO
 - OCOTILLO
 - AGAVE

- ### ABBREVIATIONS
- BC BACK OF CURB
 - BSL BUILDING SETBACK LINE
 - C11 CURVE LABEL
 - CL CENTERLINE
 - DE DRAINAGE EASEMENT
 - EG EXISTING GRADE
 - EL, ELEV ELEVATION
 - EP EDGE OF PAVEMENT
 - ESL ENVIRONMENTALLY SENSITIVE LANDS
 - ESMT EASEMENT
 - EX, EXIST. EXISTING
 - FCDMC FLOOD CONTROL DISTRICT OF MARICOPA COUNTY
 - FG FINISH GRADE
 - FL FLOW LINE
 - FND FOUND
 - G GUTTER, GAS
 - INV INVERT
 - JBE JOINT USE & BENEFIT EASEMENT
 - L11 LINE LABEL
 - (M) MEASURED
 - MAG MARICOPA ASSOCIATION OF GOVERNMENTS
 - MCR MARICOPA COUNTY RECORDER
 - MH MANHOLE
 - P, PWMT PAVEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - (R), REC. RECORDED
 - R RADIUS
 - R/W RIGHT OF WAY
 - T TANGENT, TELEPHONE
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TF TOP OF FOOTING
 - TRW TOP OF RETAINING WALL
 - TW TOP OF WALL
 - W WEST, WATERLINE
 - WLE WATER LINE EASEMENT
 - WM WATER METER

- ### UTILITIES
- WATER: EPCOR WATER
 SANITARY SEWER: TOWN OF PARADISE VALLEY
 ELECTRIC: ARIZONA PUBLIC SERVICE
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	ELEVATION
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

- ### GENERAL NOTES
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
 - THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
 - BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
 - EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN COMMITMENT FOR TITLE INSURANCE NO.: 00033107-099-JR.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
 - ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
 - ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
 - ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
 - ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

SCHEDULE 'B' ITEMS

COMMITMENT FOR TITLE INSURANCE FILE NO.: 00103138-099-JR AMENDMENT NO.5
 BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 DATE OF REPORT: AUGUST 20, 2019

1	ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.	NOT PLOTTABLE, NOT SHOWN
2	ANY ACTION BY THE COUNTY ASSESSOR AND/OR TREASURER ALTERING THE CURRENT OR PRIOR TAX ASSESSMENT, SUBSEQUENT TO THE DATE OF THE POLICY OF TITLE INSURANCE.	NOT PLOTTABLE, NOT SHOWN
3	INTENTIONALLY DELETED-TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, SECOND INSTALLMENT A LIEN PAYABLE BUT NOT YET DUE FOR THE YEAR 2017.	NOT PLOTTABLE, NOT SHOWN
4	INTENTIONALLY DELETED-TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE YEAR 2018.	NOT PLOTTABLE, NOT SHOWN
5	RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.	NOT PLOTTABLE, NOT SHOWN
6	WATER RIGHTS, CLAIMS OR TITLE TO WATER, AND AGREEMENTS, COVENANTS, CONDITIONS OR RIGHTS INCIDENT THERETO, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS EXCEPTION IS NOT LIMITED BY REASON OF THE DISCLOSURE OF ANY MATTER RELATING TO WATER RIGHTS AS MAY BE SET FORTH ELSEWHERE IN SCHEDULE B.	NOT PLOTTABLE, NOT SHOWN
7	INTENTIONALLY DELETED - EASEMENT FOR WATER LINE AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 7033, PAGE 514.	NOT SHOWN, EASEMENT WAS ABANDONED IN REC. DOC. 2019-0102593.
8	RIGHT OF WAY FOR ROAD AS SHOWN ON MAP RECORDED IN BOOK 3 OF ROAD MAPS, PAGE 41.	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX
9	RESTRICTIONS, CONDITIONS, COVENANTS, RESERVATIONS, INCLUDING BUT NOT LIMITED TO ANY RECITALS CREATING EASEMENTS, LIABILITIES, OBLIGATIONS OR PARTY WALLS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN CONTAINED IN INSTRUMENT RECORDED IN DOCKET 303, PAGE 374 AND MODIFIED IN DOCKET 1477, PAGE 319 AND IN DOCKET 13090 PAGE 394.	THIS IS A BLANKET STYLE EASEMENT WHICH MAY OR MAY NOT AFFECT SUBJECT PROPERTY. IT IS NOT CLEAR IF THE CO&RS HAVE BEEN EXTEND BEYOND THEIR EXPIRATION DATE. THE CO&RS CONTAIN DISCRIMINATORY LANGUAGE. THEY ALSO CONTAIN RESTRICTIONS ON DEVELOPMENT THAT IS NOT CONSISTENT WITH SURROUNDING PROPERTIES, DESCRIBED WITH THIS DOCUMENT. IT APPEARS THAT THIS ITEM IS OUTDATED AND HAS NOT BEEN ENFORCED.
10	TERMS AND CONDITIONS AS CONTAINED IN INSTRUMENT ENTITLED AMENDED SPECIAL USE PERMIT, RECORDED IN DOCUMENT NO. 92-0335514 AND RE-RECORDED IN DOCUMENT NO. 93-0221248.	THIS ITEM DOES NOT AFFECT SUBJECT PROPERTY. THEY AFFECT PARCELS LOCATED IN THE SW QUARTER OF SECTION 10, T2N, R4E. SUBJECT PROPERTY IS LOCATED IN THE NW QUARTER OF SAID SECTION 10.
11	ALL MATTERS DISCLOSED BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NO. 99-100589.	THIS IS A BLANKET STYLE EASEMENT WHICH AFFECTS SUBJECT PROPERTY
12	RIGHTS OF PARTIES IN POSSESSION.	NOT PLOTTABLE, NOT SHOWN
13	ANY ACTION THAT MAY BE TAKEN BY MARICOPA FLOOD CONTROL DISTRICT TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL AS DISCLOSED BY INSTRUMENT RECORDED IN DOCUMENT NO. 20180412708.	NOT PLOTTABLE, NOT SHOWN
14	INTENTIONALLY DELETED - TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, SECOND INSTALLMENT A LIEN PAYABLE BUT NOT YET DUE FOR THE YEAR 2018.	NOT PLOTTABLE, NOT SHOWN
15	(NEW ITEM) ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY PUBLIC RECORDS.	NOT PLOTTABLE, NOT SHOWN
16	(NEW ITEM) TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE YEAR 2019.	NOT PLOTTABLE, NOT SHOWN

OWNER
 MR BLUEBIRDS SHOULDER, LLC
 6061 E CABALLO DR
 PARADISE VALLEY, AZ 85253

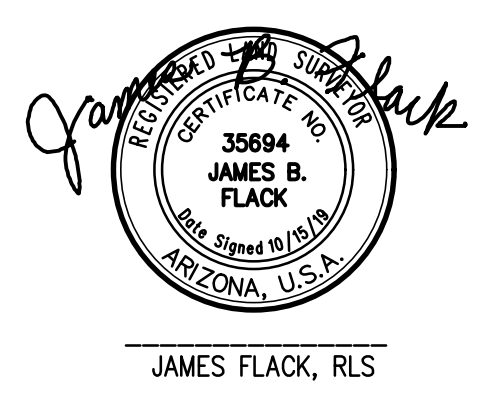
SITE DATA
 APN: 174-53-008K, 174-53-010C, 174-53-009A
 ADDRESS: 6400 E CACTUS WREN ROAD
 PARADISE VALLEY, AZ 85253
 ZONING: R-43
 LOT AREA: 246,864 S.F. (5.667 AC.)
 CONSTRUCTION YEAR: VACANT LOT

BENCHMARK
 BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD, HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24535-1.

BASIS OF BEARINGS
 THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF WHICH IS N00°05'00"E.

LEGAL DESCRIPTION
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:
 BEING A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AND BEING A PORTION OF LOTS 1 AND 2, VISTA DEL CAMELLO, RECORDED IN BOOK 208 OF MAPS, PAGE 47, RECORDS OF SAID COUNTY, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A NAIL FOUND AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 10;
 THENCE NORTH 01 DEGREES 26 MINUTES 13 SECONDS EAST ALONG THE WEST LINE OF SECTION 10, A DISTANCE OF 588.38 FEET
 THENCE NORTH 89 DEGREES 47 MINUTES 00 SECONDS EAST, A DISTANCE OF 565.93 FEET TO A NAIL FOUND AT A FENCE CORNER, SAID NAIL BEING 15.71 FEET (15.44 FEET RECORD) EAST OF THE WEST LINE OF LOT 2, VISTA DEL CAMELLO (BOOK 208 OF MAPS PAGE 47, RECORDS OF MARICOPA COUNTY, ARIZONA);
 THENCE SOUTH 03 DEGREES 44 MINUTES 20 SECONDS WEST, A DISTANCE OF 198.28 FEET (197.70 FEET RECORD) TO AN IRON REBAR;
 THENCE SOUTH 46 DEGREES 39 MINUTES 30 SECONDS WEST, A DISTANCE OF 133.34 FEET TO AN IRON REBAR;
 THENCE SOUTH 70 DEGREES 44 MINUTES 11 SECONDS WEST, A DISTANCE OF 43.28 FEET (43.24 FEET RECORD) TO AN IRON REBAR AT THE POINT OF CURVATURE;
 THENCE SOUTHWESTERLY WITH A 154.50 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 31 DEGREES 01 MINUTES 49 SECONDS, AN ARC DISTANCE OF 83.67 FEET (RECORD AND MEASURED) TO AN IRON REBAR FOUND ON THE WEST LINE OF LOT 1, VISTA DEL CAMELLO, SAID REBAR BEING 45.62 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 1;
 THENCE SOUTH 01 DEGREES 34 MINUTES 46 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 238.46 FEET (238.38 FEET RECORD) TO A NAIL FOUND ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER;
 THENCE SOUTH 89 DEGREES 48 MINUTES 32 SECONDS WEST A DISTANCE OF 355.46 FEET (355.48 FEET RECORD) TO THE POINT OF BEGINNING.
 APN: 174-53-008K, 174-53-010C, 174-53-009A

CERTIFICATE OF SURVEY
 CERTIFIED TO:
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 8, 11, 13, 14 AND 16, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL, 2017.



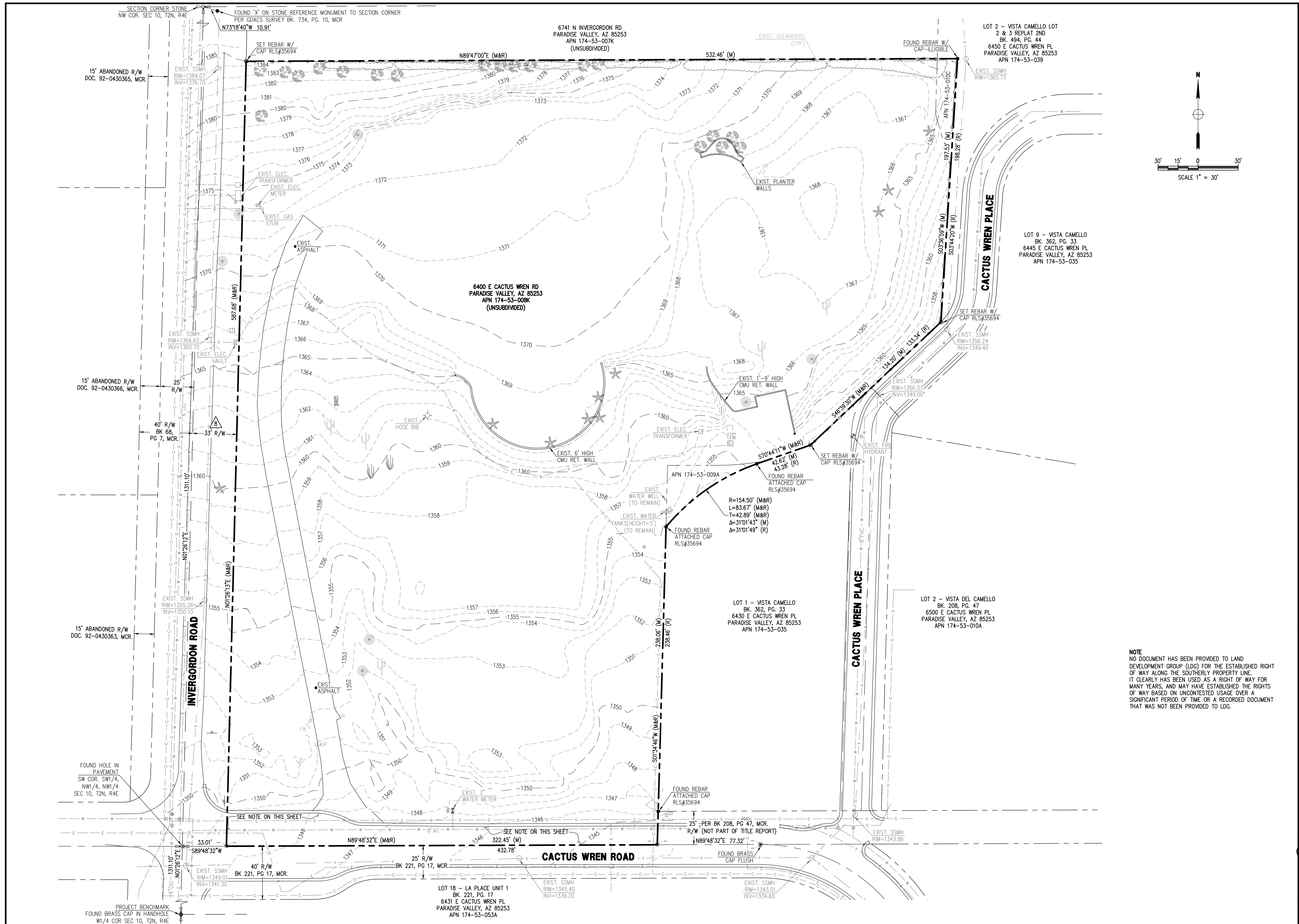
10/15/19
 DATE

DATE:	10/15/19
SCALE:	N.T.S.
DESIGNED BY:	J.F.
DRAWN BY:	D.W.
CHECKED BY:	N.P.
DATE:	10/15/19
JOB:	1706069
VERSION:	1.2
PLOT DATE:	10/15/19

ALTA/NSPS LAND TITLE SURVEY

PARCEL NO. 174-53-008K
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9492
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX @ LDGENG.COM



NOTE
 NO DOCUMENT HAS BEEN PROVIDED TO LAND DEVELOPMENT GROUP (LDG) FOR THE ESTABLISHED RIGHT OF WAY ALONG THE SOUTHERLY PROPERTY LINE. IT CLEARLY HAS BEEN USED AS A RIGHT OF WAY FOR MANY YEARS, AND MAY HAVE ESTABLISHED THE RIGHTS OF WAY BASED ON UNCONTESTED USAGE OVER A SIGNIFICANT PERIOD OF TIME OR A RECORDED DOCUMENT THAT WAS NOT BEEN PROVIDED TO LDG.

DATE:	10/15/19
SCALE:	1" = 30'
DESIGNED BY:	JF
DRAWN BY:	DW
CHECKED BY:	NP
VERSION:	1.2
PLOT DATE:	10/15/19

**ALTA/NPS LAND
 TITLE SURVEY**

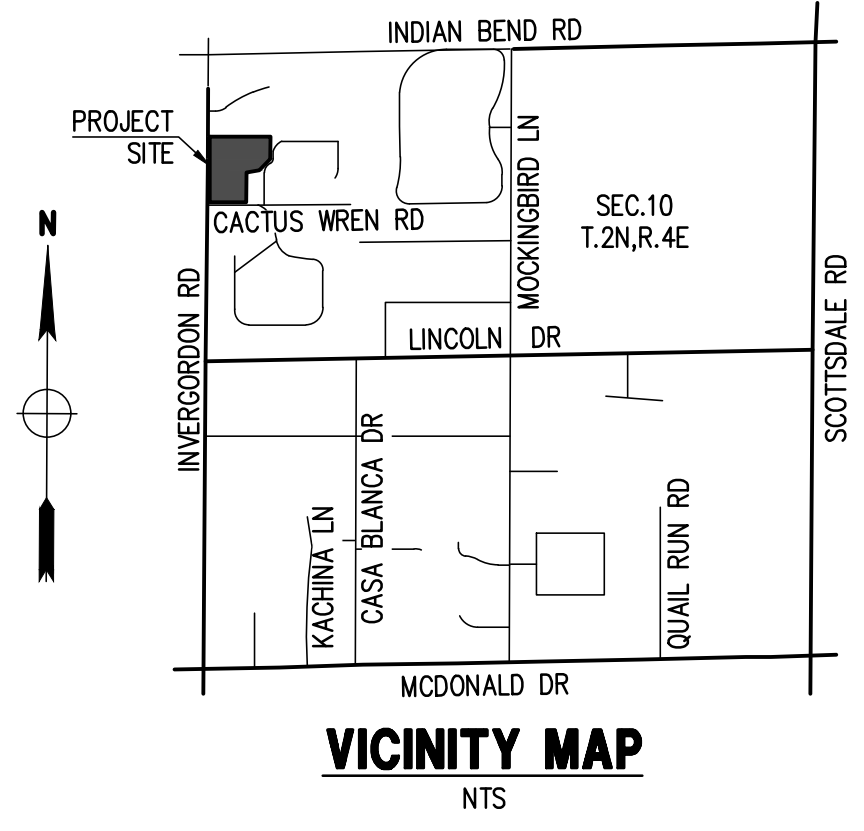
**PARCEL NO. 174-53-008K
 6400 E CACTUS WREN RD
 PARADISE VALLEY, AZ 85253**

P. 602 889 1984 | F. 602 445 9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX @ LDGENG.COM

PRELIMINARY PAVING PLAN 'ESTATES ON INVERGORDON'

**6400 E CACTUS WREN RD,
PARADISE VALLEY, AZ 85253**

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW
1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA

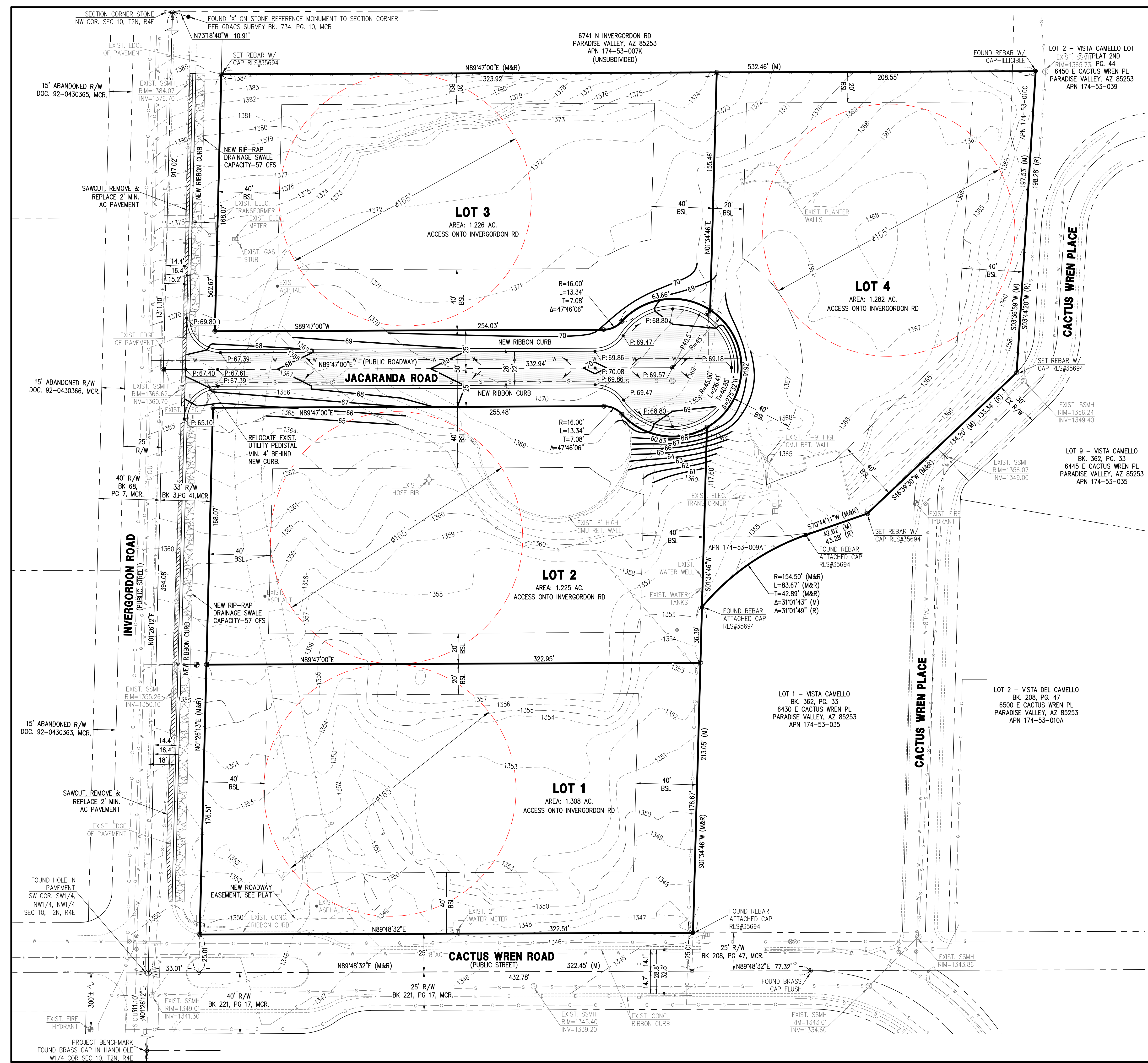
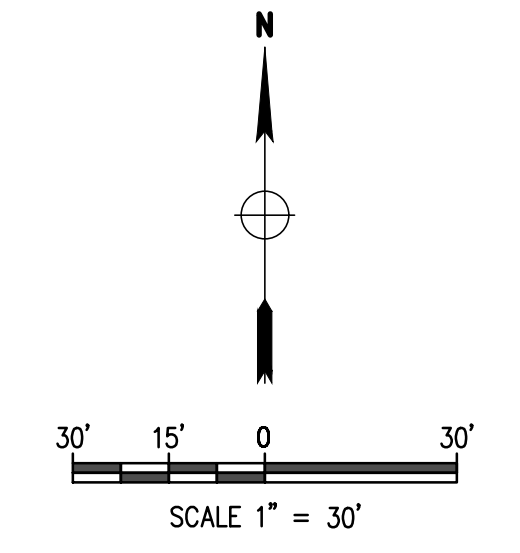


OWNER
MR BLUEBRDS SHOULDER, LLC
6061 E CABALLO DR
PARADISE VALLEY, AZ 85253

SITE DATA
APN: 174-53-008K
ADDRESS: 6400 E CACTUS WREN ROAD
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 246,864 S.F. (5.667 AC.)
CONSTRUCTION YEAR: VACANT LOT

BENCHMARK
BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD,
HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GOACSP#
24535-1.

BASIS OF BEARINGS
THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF WHICH IS N00°05'00"E.



DATE:	12/03/19
DESIGNED BY:	AMP
DRAWN BY:	DW
CHECKED BY:	AMP
DATE:	12/03/19

PRELIMINARY PAVING PLAN

**PARCEL NO. 174-53-008K
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253**

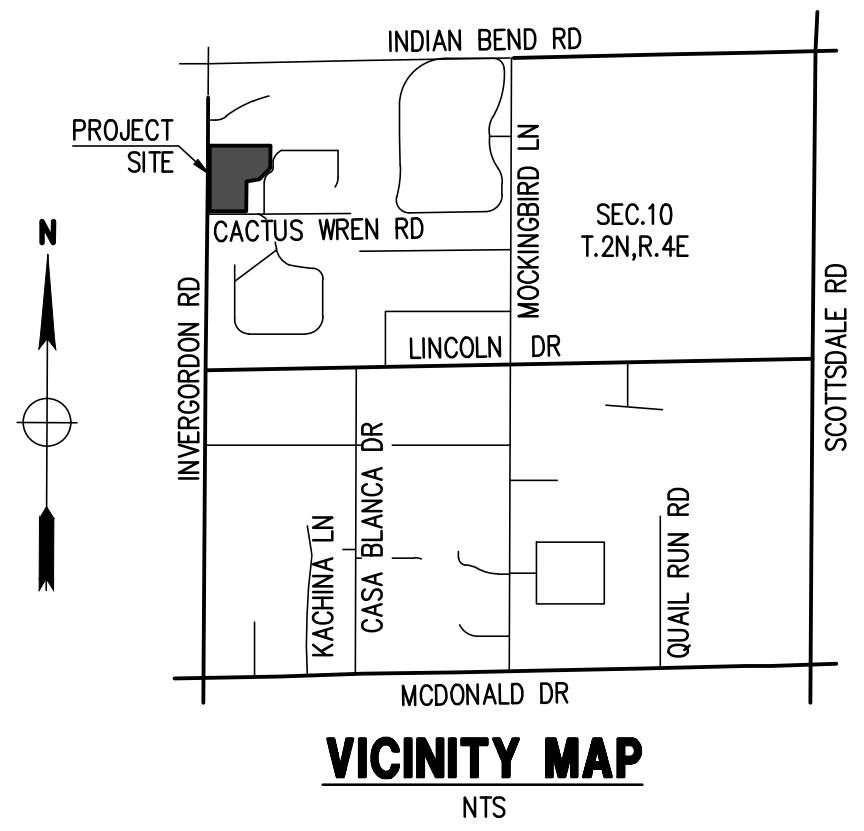
P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDENG.COM



PRELIMINARY WATER & SEWER PLAN 'ESTATES ON INVERGORDON'

**6400 E CACTUS WREN RD,
PARADISE VALLEY, AZ 85253**

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



OWNER

MR BLUEBIRDS SHOULDER, LLC
6061 E CABALLO DR
PARADISE VALLEY, AZ 85253

SITE DATA

APN: 174-53-008K
ADDRESS: 6400 E CACTUS WREN ROAD
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 246,864 S.F. (5.667 AC.)
CONSTRUCTION YEAR: VACANT LOT

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD,
HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GOACSP# 24535-1.

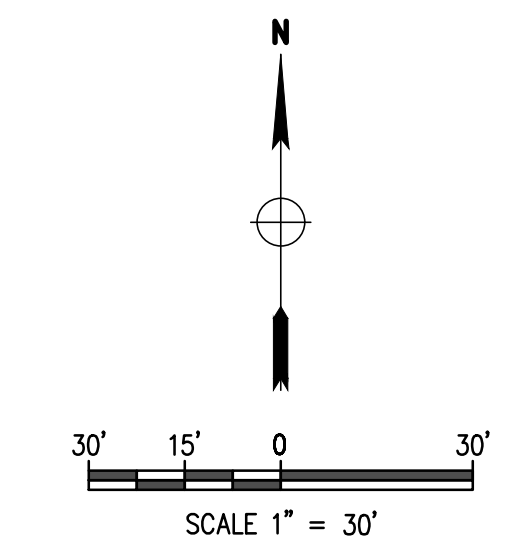
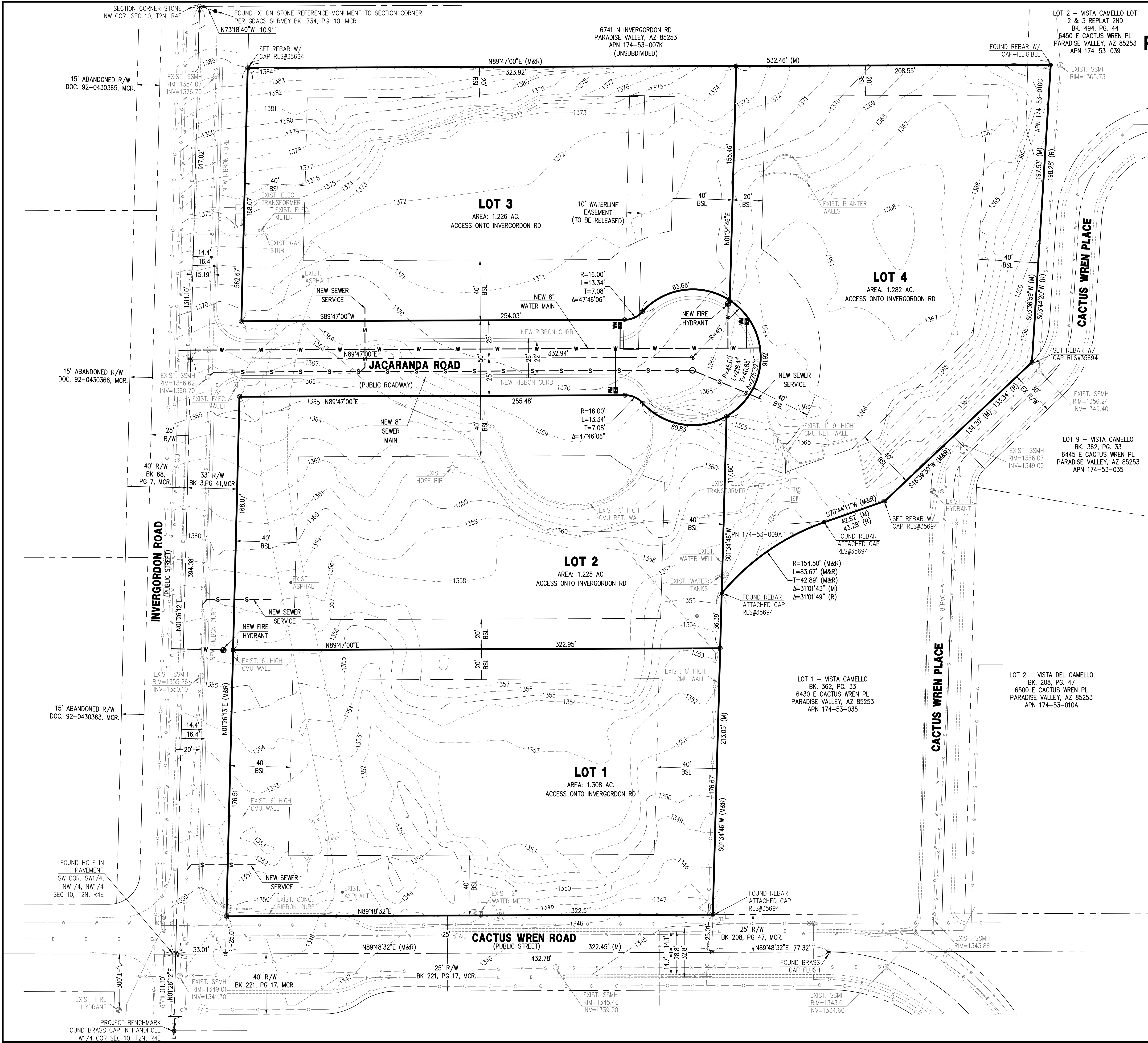
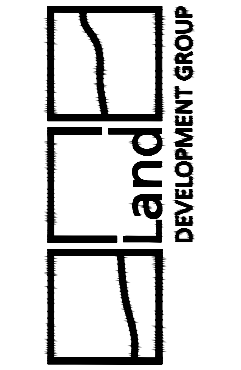
BASIS OF BEARINGS

THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF WHICH IS N00°05'00"E.

**PRELIMINARY WATER
& SEWER PLAN**

**PARCEL NO. 174-53-008K
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM



DATE:	12/03/19
DESIGNED BY:	AMP
DRAWN BY:	DW
CHECKED BY:	AMP
DATE:	12/03/19
SCALE:	1"=30'
JOB:	1706069
VERSION:	1.1
PLOT DATE:	12/03/19

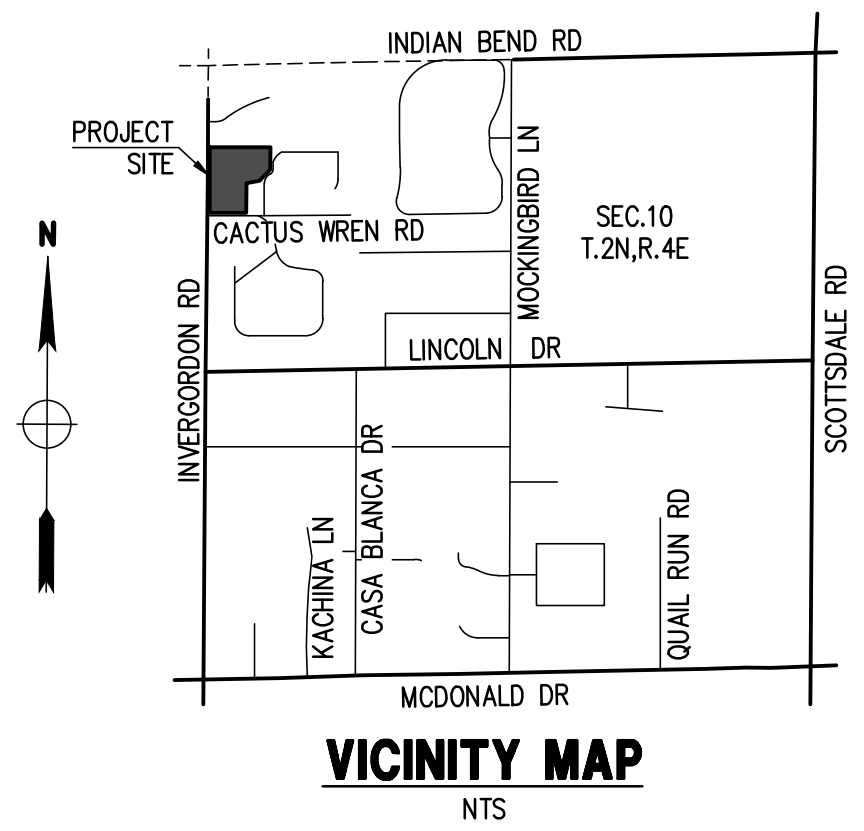
REVISIONS:	
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THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF LAND DEVELOPMENT GROUP, LLC. UNAUTHORIZED USE, REPRODUCTION, OR PUBLICATION OF ANY PART OF THIS DRAWING IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND DATA PROVIDED HEREON IS ACCURATE AND COMPLETE.

STORM WATER POLLUTION PREVENTION PLAN 'ESTATES ON INVERGORDON'

**6400 E CACTUS WREN RD,
PARADISE VALLEY, AZ 85253**

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW
1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E
OF THE GLA & SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



OWNER
MR BLUEBIRDS SHOULDER, LLC
6061 E CABALLO DR
PARADISE VALLEY, AZ 85253

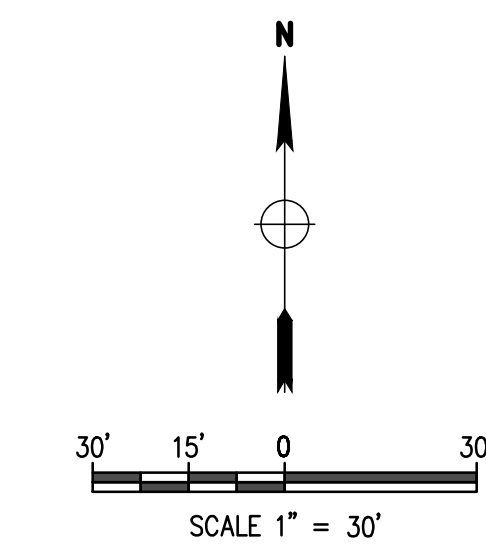
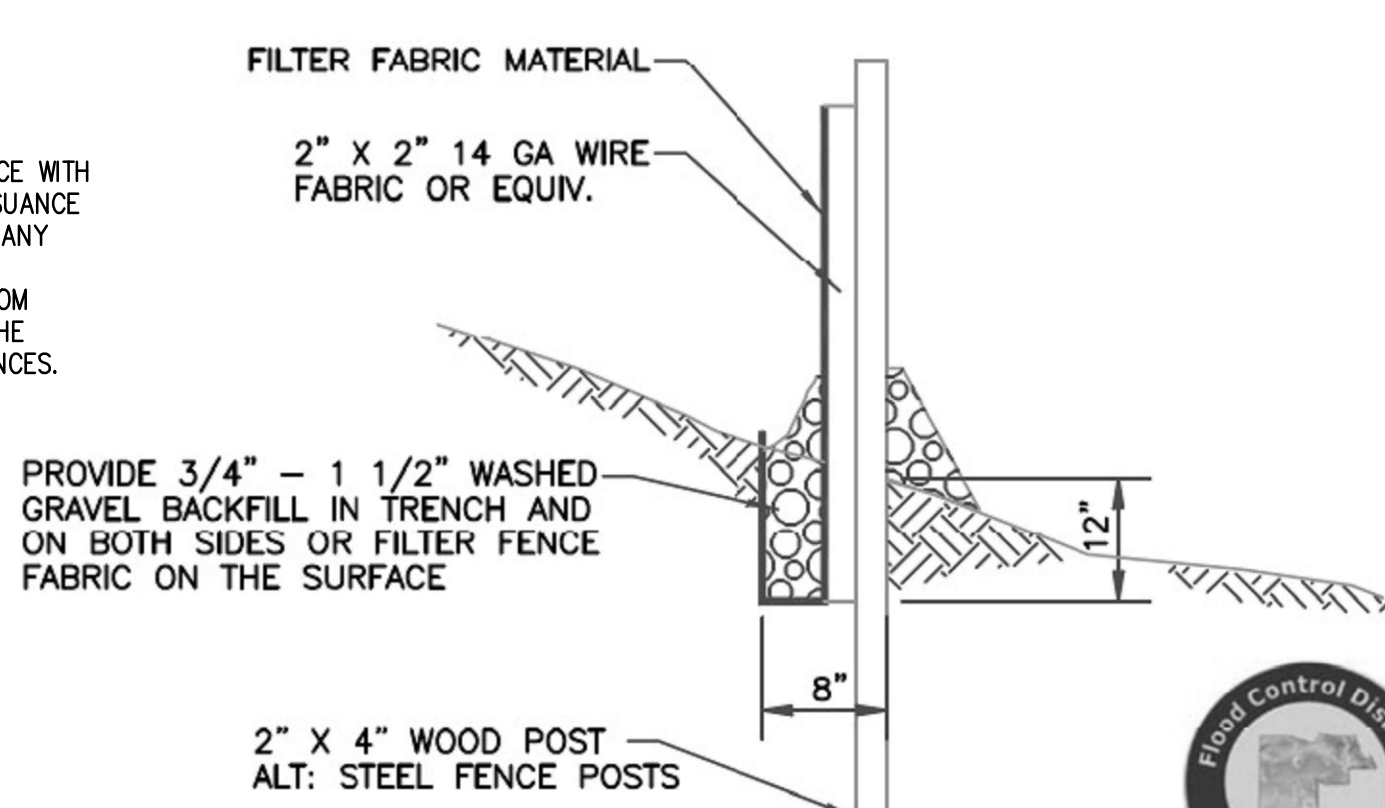
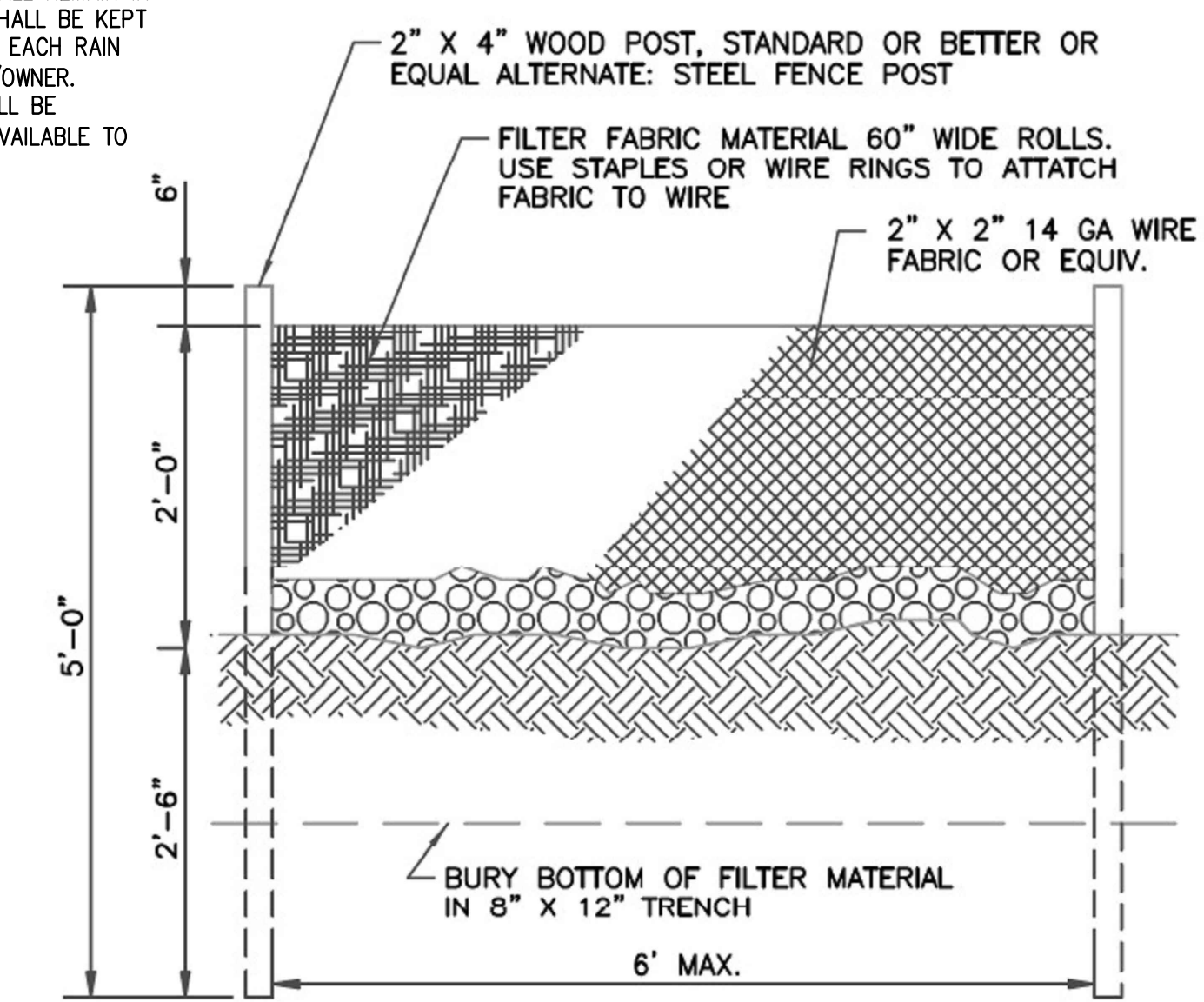
SITE DATA
APN: 174-53-008K
ADDRESS: 6400 E CACTUS WREN ROAD
PARADISE VALLEY, AZ 85253
ZONING: R-45
LOT AREA: 246,864 S.F. (5.667 AC.)
CONSTRUCTION YEAR: VACANT LOT

BENCHMARK
BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD,
HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS#
24535-1.

- SWPPP KEY-NOTES**
1. SILT FENCE PER FCDMC SPC-5 DETAIL BELOW.
 2. INSTALL RIP-RAP FOR TEMPORARY SEDIMENT CONTROL.
 3. INSTALL TEMPORARY DETENTION BASIN WITH RIP-RAP FOR TEMPORARY SEDIMENT CONTROL.

NOTE

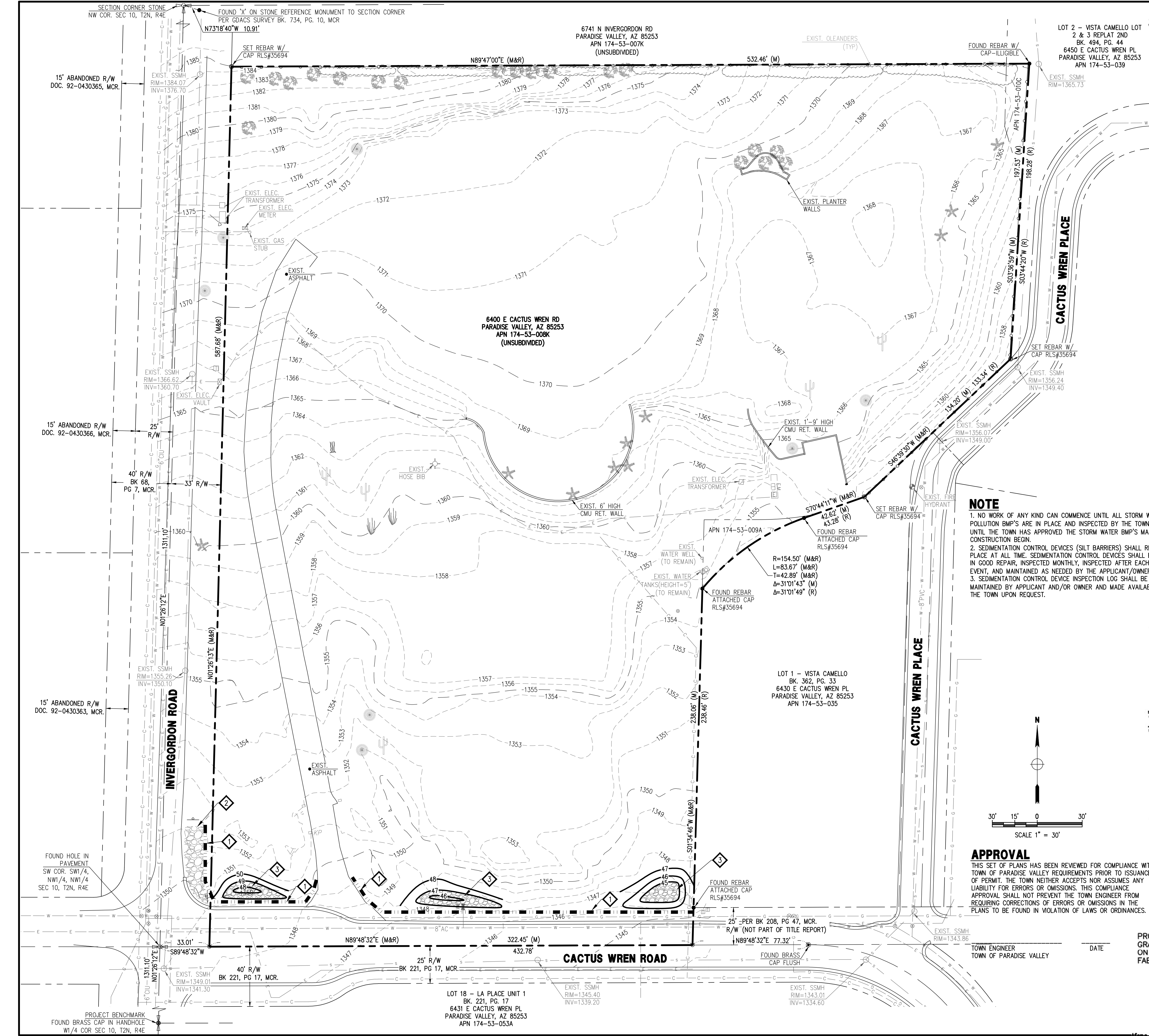
1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY UNTIL THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AT ALL TIME. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.



APPROVAL
THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE _____



DATE: 12/03/19	JOB: 1706069	VERSION: 1.1	PLOT DATE: 12/03/19
SCALE: 1"=30'	DESIGNED BY: NP	DRAWN BY: DW	CHECKED BY: NP
DATE:	REVISIONS:		

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STORM WATER POLLUTION PREVENTION PLAN

**PARCEL NO. 174-53-008K
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9492
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM

Land DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
Arizona State Board of Engineers and Architects
No. 1706069

1 OF 1



PLANT LEGEND

SYM.	COMMON NAME BOTANICAL NAME	SIZE	QTY.	REMARKS
SALVAGE				
SG	SAGUARO <i>Carnegiea gigantea</i>	-	5	-
OC	OCOTILLO <i>Fouquieria splendens</i>	-	1	-
OP	ORGAN PIPE CACTUS <i>Stenocereus thurberi</i>	-	2	-
TREES				
IW	IRONWOOD <i>Olneya tesota</i>	36" BOX	17	-
FPV	FOOTHILLS PALO VERDE <i>Parkinsonia microphylla</i>	36" BOX	16	MULTI-TRUNK
NM	NATIVE MESQUITE <i>Prosopis velutina</i>	36" BOX	21	MULTI-TRUNK
CACTI / ACCENTS				
WA	WEBER'S AGAVE <i>Agave weberi</i>	5 GAL	13	-
SHRUBS				
DM	DESERT MARIGOLD <i>Baileya multiradiata</i>	1 GAL	70	-
CR	CREOSOTE <i>Larrea tridentata</i>	5 GAL	46	-
AS	AUTUMN SAGE <i>Salvia greggii</i>	5 GAL	56	-
GV	GOODINGS VERBENA <i>Verbena goodingii</i>	1 GAL	44	-

DATE REVISIONS

1 12.12.19 ADDED CACTUS WREN RD PLANTING PER PV.

BERGHOFF DESIGN GROUP

LANDSCAPE +
CONSTRUCTION MANAGEMENT

7000 EAST MCDOWELL ROAD
SUITE 100
SCOTTSDALE, ARIZONA 85257
TEL: 480.481.3433
FAX: 480.481.3533

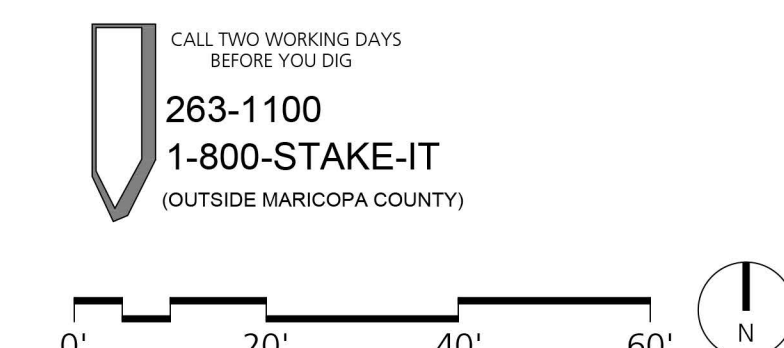
BERGHOFFDESIGN.COM

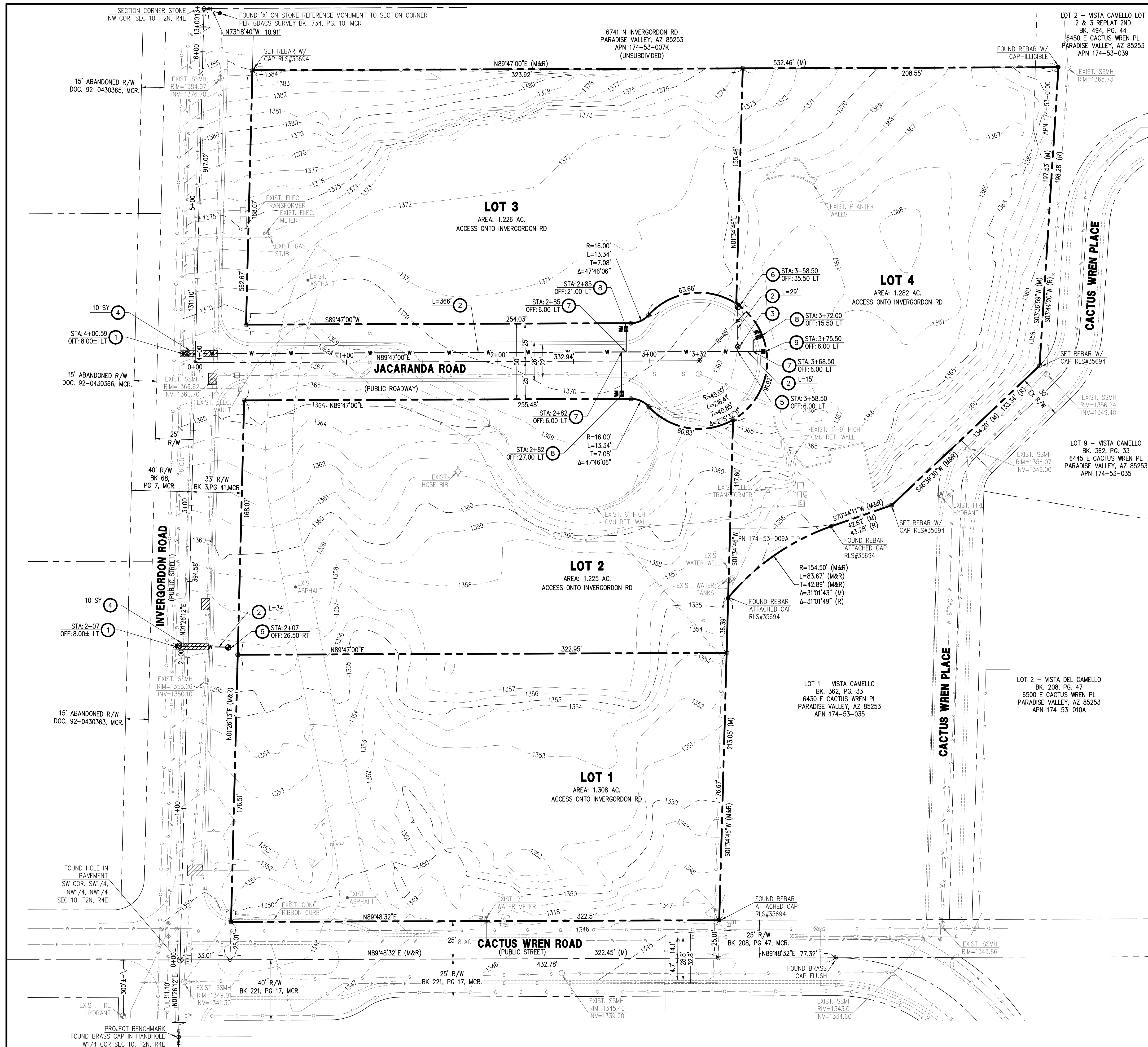
6400 CACTUS WREN

6400 EAST CACTUS WREN ROAD
PARADISE VALLEY, ARIZONA 85253

PP.1
PLANTING PLAN

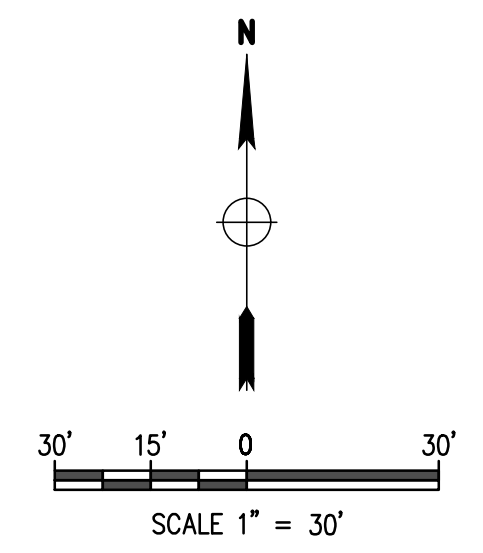
DECEMBER 6, 2019





WATER KEY-NOTES

1. INSTALL 6" X 6" STAINLESS STEEL CASCADE JCM TAPPING SLEEVE WITH 6" MUELLER, CLOW, KENNEDY, OR M&H RESILIENT WEDGE SEATED GATE VALVE IN ACCORDANCE WITH M.A.G. SECTION 630.3 WITH VALVE BOX AND COVER IN ACCORDANCE WITH M.A.G. DETAIL 391-1 TYPE "C" MINIMUM LID WEIGHT OF 16LBS. VALVES INSTALLED OUTSIDE THE PAVEMENT OR IN THE FLOW LINE OF A ROADWAY SHALL HAVE A DEBRIS CAP INSTALLED PER M.A.G. STD. DET. 392.
2. INSTALL 6" D.I.P. CL. 350 WATERLINE IN ACCORDANCE AWWA STD'S C150, C151 AND C153. MORTAR LINING IN ACCORDANCE WITH M.A.G. SECTION 750 AND AWWA C105. POLYETHYLENE WRAPPED FOR ENTIRE LENGTH PER MAG SECTION 610.5, PROVIDE 3' MINIMUM COVER. SEE PIPE TRENCH DETAIL 350-1, SHEET W-3.
3. INSTALL 6" MUELLER, CLOW, KENNEDY, OR M&H RESILIENT WEDGE SEATED GATE VALVE IN ACCORDANCE WITH M.A.G. SECTION 630.3 WITH VALVE BOX AND COVER IN ACCORDANCE WITH M.A.G. DETAIL 391-1 TYPE "C" MINIMUM LID WEIGHT OF 16LBS. VALVES INSTALLED OUTSIDE THE PAVEMENT OR IN THE FLOW LINE OF A ROADWAY SHALL HAVE A DEBRIS CAP INSTALLED PER M.A.G. STD. DET. 392.
4. SAWCUT, REMOVE AND REPLACE A.C. PAVEMENT PER M.A.G. SECTION 336
5. INSTALL TEE COMPLETE WITH JOINT RESTRAINTS PER MAG STD. DET. 303-1, 303-2 AND MAG SPEC 750.3.
6. INSTALL DRY BARREL FIRE HYDRANT PER EPCOR STD. DET. 360-1, SHEET W-3.
7. INSTALL 1/2" DOMESTIC WATER SERVICE PER EPCOR STD. DET. 342-2 & 350-3. SEE SHEET W-3.
8. INSTALL 1/2" DOMESTIC WATER METER PER M.A.G. STD. DET. 320 AND EPCOR STD. DET. 342-2. SEE SHEET W-3. METER TO BE INSTALLED BY EPCOR FORCES AFTER PAYMENT OF PREVAILING FEES
9. INSTALL BLOW OFF ASSEMBLY PER EPCOR STD. DET. 390-1, SHEET W-3.



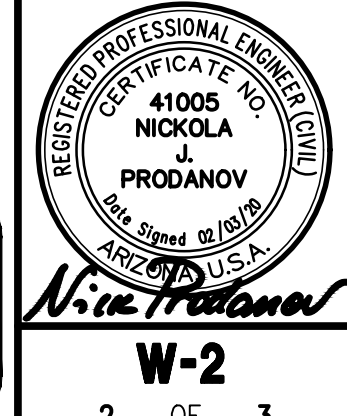
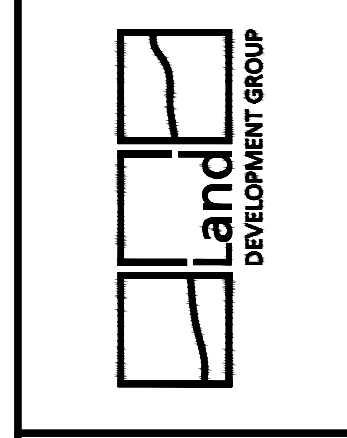
DATE: 02/03/20	DESIGNED BY: NP	CHECKED BY: NP
JOB: 1706069	DRAWN BY: DW	DATE: 02/03/20
VERSION: 1.1		

REVISIONS:	DATE:	SCALE: 1" = 30'

WATER PLAN

**'ESTATES ON INVERGORDON'
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDENG.COM



Contact Arizona 811 at least two full working days before you begin excavation

 Call 811 or click Arizona811.com

GENERAL NOTES:

- Pipe Separation: Separation between water and sewer lines will be a minimum of 6 feet from outside edge to outside edge of pipe. Two feet separation is required between water lines, storm drains, and dry utilities.
- Dip Section: The entire restrained length of all dip sections shall be joint restrained ductile iron pipe (DIP) with polyethylene wrap. Joint restrained lengths will follow MAG standard details 303-1 and 303-2.
- Concrete Encasement: All water and sewer encasements shall follow MAG STD. DET. 404-1. When a water line must be constructed under a sewer or reclaimed water line, the water line must be a minimum of 2' below the sewer or reclaimed water line and extra protection is required. Protection for the sewer main should be constructed with mechanical joint or restrained joint ductile iron pipe for a distance of ten feet on both sides of the water main. A full length of DIP will be centered over the water main. When DIP is not used for the sewer main, both the water and sewer lines will be encased in concrete for a length of 10 feet on both sides of the crossing, per MAG STD. DET. 404-2. Refer to MAG STD. DET. 404-1 regarding force mains. All encasements require rebar and class "C" concrete.
- Fire hydrants located on "Dead End" water mains shall have a blow-off, in accordance with EPCOR Water STD. DET. 390-1, installed at the end of the water main.
- Except in Mohave County, fire hydrants shall be in accordance with EPCOR Water STD. DET. 360-1 or 360-2 as indicated on the Plan. In Mohave County, fire hydrants shall comply with local Fire Marshal requirements.
- Valve boxes shall be in accordance with MAG STD. DET. 391-1, type C.
- Water services 2 inches and smaller shall be in accordance with EPCOR Water STD. DET. 342-2.
- Reclaimed waterlines shall be installed in accordance with MAG Sections 601, 610 and 616. Testing shall be in accordance with MAG Sections 610 and 611 including disinfection/chlorination. Final flushing and bacteriological testing as specified in MAG Section 611.15 shall not be required.
- Gate valves shall be resilient seated in accordance with EPCOR Water's Water Material Specs and MAG Sect. 630.3.
- Concrete thrust blocks shall be in accordance with MAG STD. DET. 380. Thrust blocks are NOT allowed in ROWs. Restrainted joints per MAG STD. DET. 303-1 & 2 shall be used in ROWs in place of concrete thrust blocks.
- Field lock gaskets are not allowed.
- All work and testing shall be in accordance with Maricopa Association of Governments (MAG) Standard Specifications and Details unless otherwise stated on plans.

- Any changes from approved plans must be submitted to EPCOR Water for written approval prior to installation.
- Contractor shall be responsible for obtaining required permits and inspections from appropriate governmental agencies for all work in public rights-of-way (Maricopa County Department of Transportation, City Engineering Department, etc.). Inspections by EPCOR Water do not relieve contractor of responsibility to obtain required inspections from other interested governmental agencies (Building Safety, Fire District, etc.).
- Contractor shall notify EPCOR Water Construction Inspections Department 48 hours in advance of any construction. Use the Contact List in EPCOR Water's Developer Guide to schedule inspection (EPCOR Water general phone number is 623-445-2400). When appointments for inspection are arranged at least 48 hours in advance, the inspection will be conducted as scheduled, otherwise the request will be scheduled based on availability.
- All potable waterlines and fittings shall have NSF-PW seal. All materials and products used in the potable water system shall conform to NSF Standards 60 and 61 in accordance with AAC R18-4-213. All materials shall be lead-free as defined in AAC R18-4-101 and R18-4-107.
- Valve supports shall be in accordance with MAG STD. DET. 301.
- Pumper nozzle to be oriented to provide best accessibility for fire truck.
- All hydrant ports must be lubricated with a food-grade lubricant.
- Hydrant coating: FRAZEE ARO PLATE II 6480462 "Bright Yellow". Complete hydrant preparation prior to inspection for painting. Inspection is also required after painting for contractor to receive final acceptance. This note does NOT apply to projects within Mohave County.
- Water Valve Debris Caps: Debris caps are required when water valves are constructed within 2 feet of the edge of gutter, in areas that are unpaved, and areas prone to flooding. Valves should be set 2-inches above finish grade in all unpaved areas. Concrete collar with carboride marker is required on all valve locations outside of right-of-way.
- No steps shall be installed in manholes. All manholes shall have a 30" frame and cover.
- Water Tight Manhole Covers: Water tight manhole covers are required when the edge of the manhole covers are constructed within 2 feet of the edge of gutter, in areas that are unpaved, and areas prone to flooding. Manholes should be set 2-inches above finish grade in all unpaved areas. Concrete collar with carboride marker is required on all valve locations outside of right-of-way. Water tight manhole covers are required for all manholes in Mohave County.

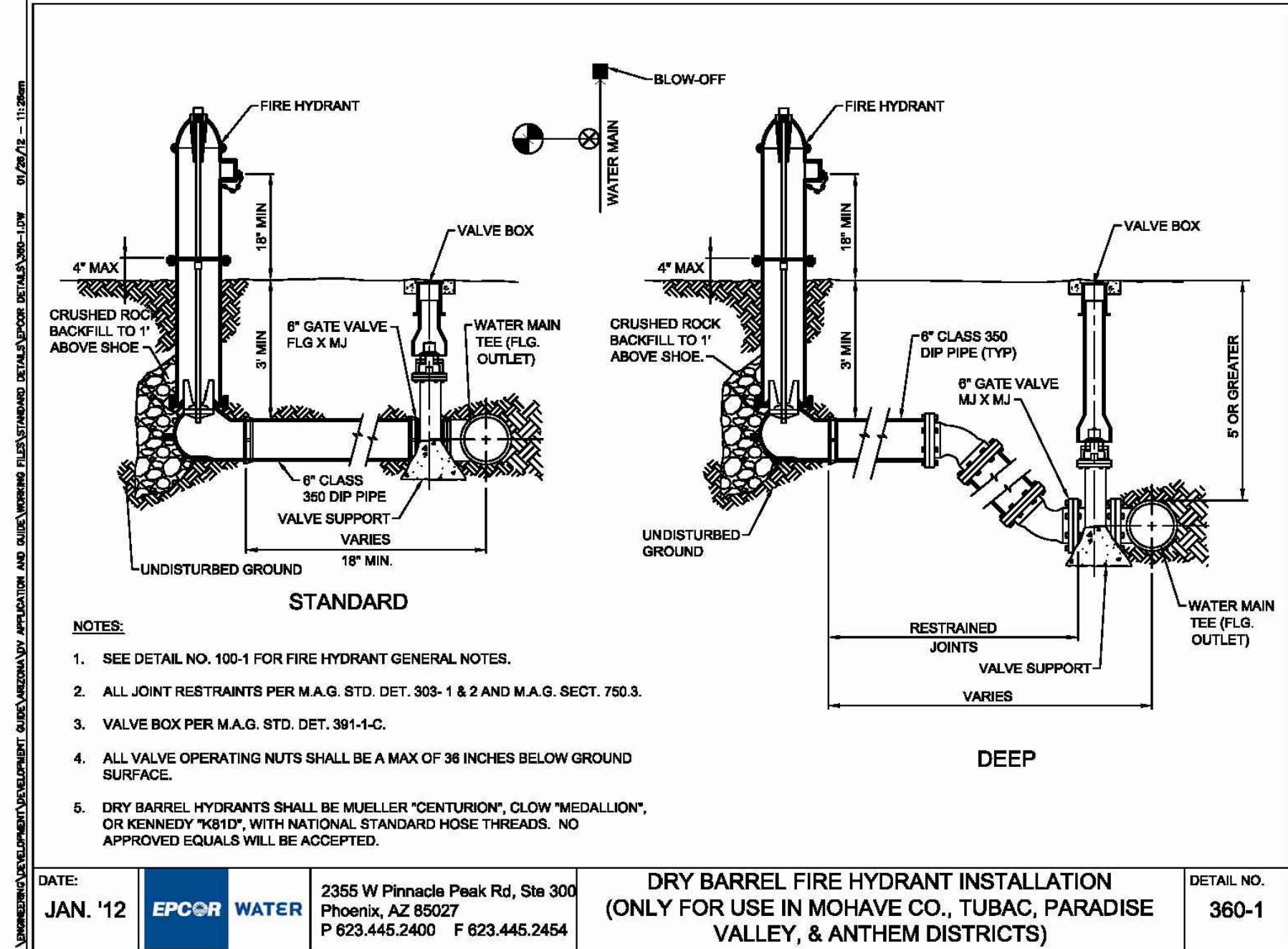
DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	GENERAL NOTES	DETAIL NO. 100-1
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GENERAL NOTES (CONTINUED)

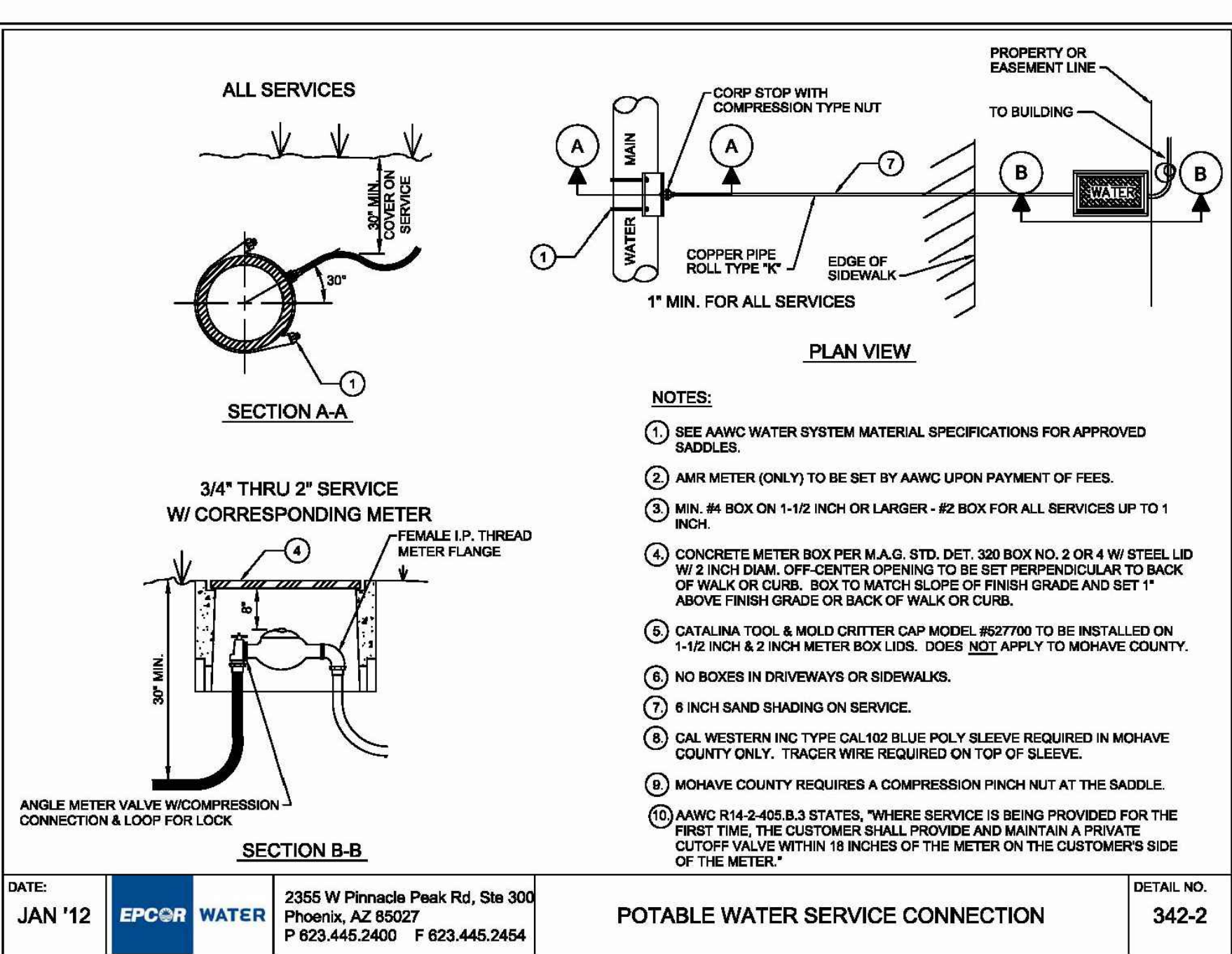
- Water Pressure Testing: All water lines will be tested per MAG section 610.14. Modifications to these specifications include, the testing to be at a minimum of 200 psi, higher test pressures may be required in certain circumstances, and loss/leakage calculations will be based upon a maximum of 1500-feet, starting with the smallest diameter pipe.
 - The Contractor is required to uniform slope test all sewer lines by video and vacuum test all manholes in accordance with A.C. R18-9-E301. Deflection testing shall be performed per MAG Section 615. Testing documentation and DVDs shall be submitted to EPCOR Water Development Services Project Manager for approval prior to acceptance. All required repairs are the responsibility of the contractor and must be coordinated with EPCOR Water inspectors.
 - Sewer Testing: All sewer mains and laterals shall be pressure tested and video tested. All sewer mains shall also be mandril tested. The maximum allowable sag is 0.5 inches.
 - In Mohave County, solid sleeves are not allowed as a remedy to a failed pressure test on a new line.
 - Approved "As-Built" plans certified for correctness by a Registered Professional Civil Engineer or Land Surveyor registered in the State of Arizona will be required prior to Final Approval of water and sewer construction. The "As-Built" plans shall include the locations of all vertical and horizontal pipe bends, valves, manholes, sewer taps, etc., by station/offset and north and existing state plane coordinates. See EPCOR Water's Developer Guide for more information.
- BACKFLOW PREVENTION GENERAL NOTES:**
- Backflow Prevention Devices: All landscape and commercial water services require backflow prevention devices, meeting the requirements of EPCOR Water. Backflow devices shall be in place prior to meters being set. Testing of the backflow devices may be completed after the installation of the meter.
 - Contact Utility Cross-Connection Specialist (Backflow Prevention) at (623) 445-2411 for approved assembly list, inspections and testing.
 - Use only a University of Southern California Foundation For Cross-Connection Control and Hydraulic Research (USCC) APPROVED assembly.
 - Backflow prevention assemblies shall have a certificate of approval issued by USC-FCOCHR, or other approved third-party certifying entity unrelated to the product manufacturer or vendor, in accordance with AAC R18-4-215. All assemblies shall be installed in accordance with EPCOR Water standard details. No assembly shall be placed in service unless it has been tested and is functioning as designed. A certified test must be submitted to EPCOR Water Cross Connection Specialist (Backflow Prevention) for approval. Approval of water facilities will not be granted prior to backflow prevention approval.

- APPROVAL PROCESS FOR BACKFLOW PREVENTION ASSEMBLIES:**
- All new backflow prevention assemblies (BPAs) shall be tested and functioning as designed prior to Approval in accordance with AAC R18-4-215.
 - Developer/Contractor/Customer shall forward passing test report with required BPA information to EPCOR Water Cross Connection Specialist, marked pending approval.
 - EPCOR Water Cross Connection Specialist (Backflow Prevention) will notify Development Services that an approved backflow prevention assembly test has been received, and this project is ready for an approval inspection.
 - A Construction Inspector then schedules an Approval Inspection with the Developer/Contractor/Customer.
 - EPCOR Water Construction Inspector confirms presence of BPA, and confirms proper installation guidelines have been followed.
 - Backflow Prevention approval process complete.
 - Approval may be granted provided all other required EPCOR Water inspection items have no deficiencies.

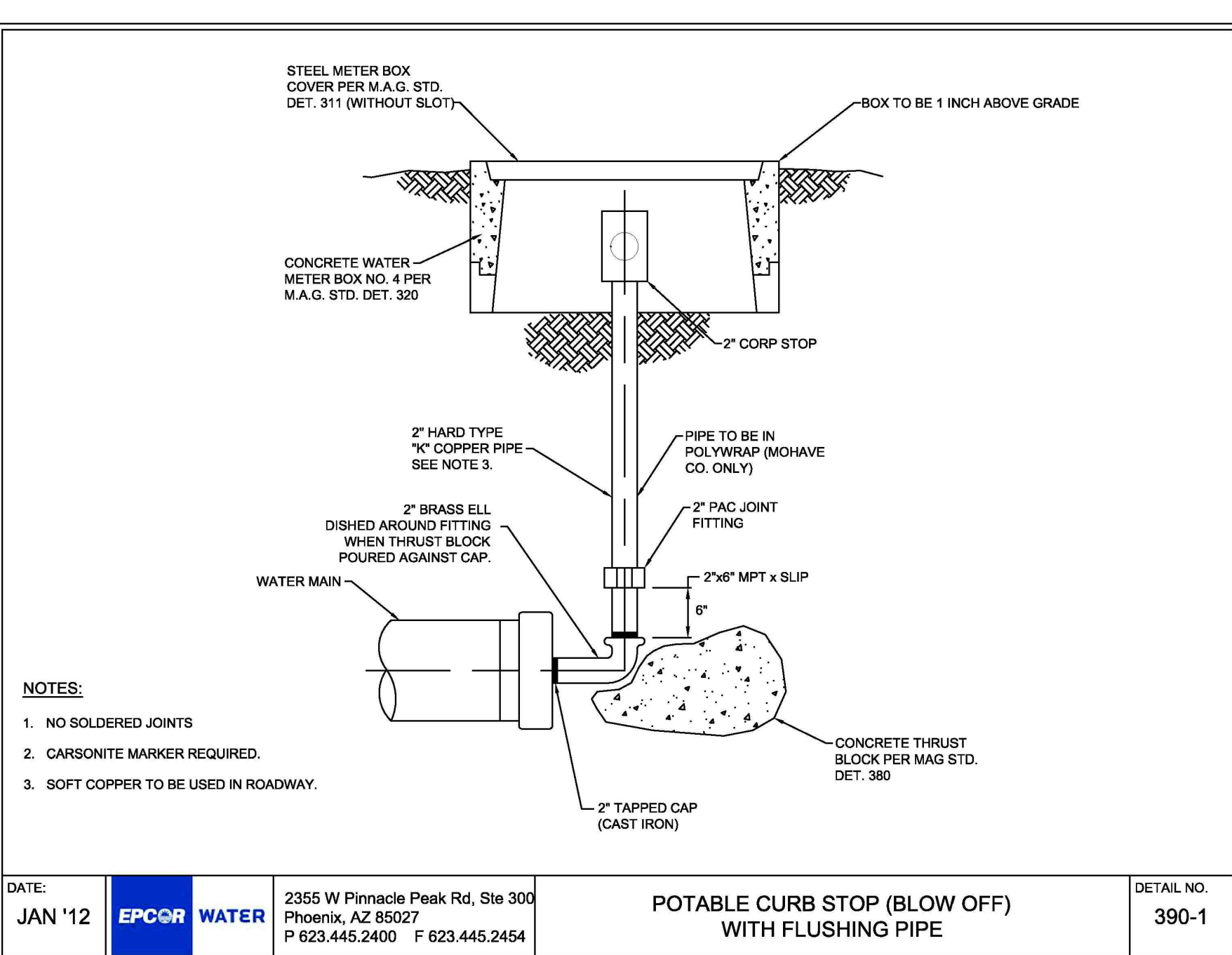
DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	GENERAL NOTES (CONTINUED) BACKFLOW PREVENTION GENERAL NOTES BACKFLOW PREVENTION APPROVAL PROCESS NOTES	DETAIL NO. 100-2
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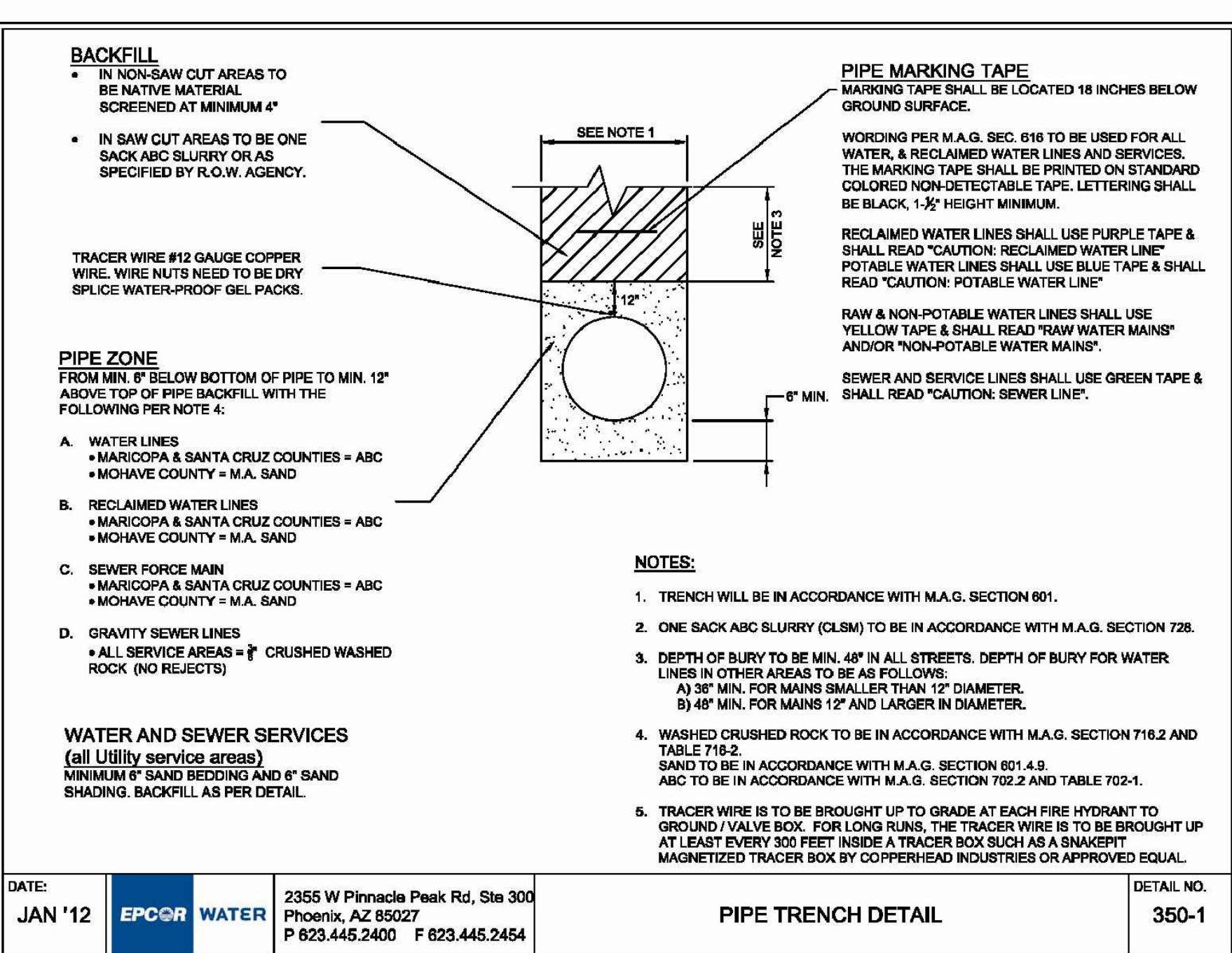
DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	DRY BARREL FIRE HYDRANT INSTALLATION (ONLY FOR USE IN MOHAVE CO., TUBAC, PARADISE VALLEY, & ANTHEM DISTRICTS)	DETAIL NO. 360-1
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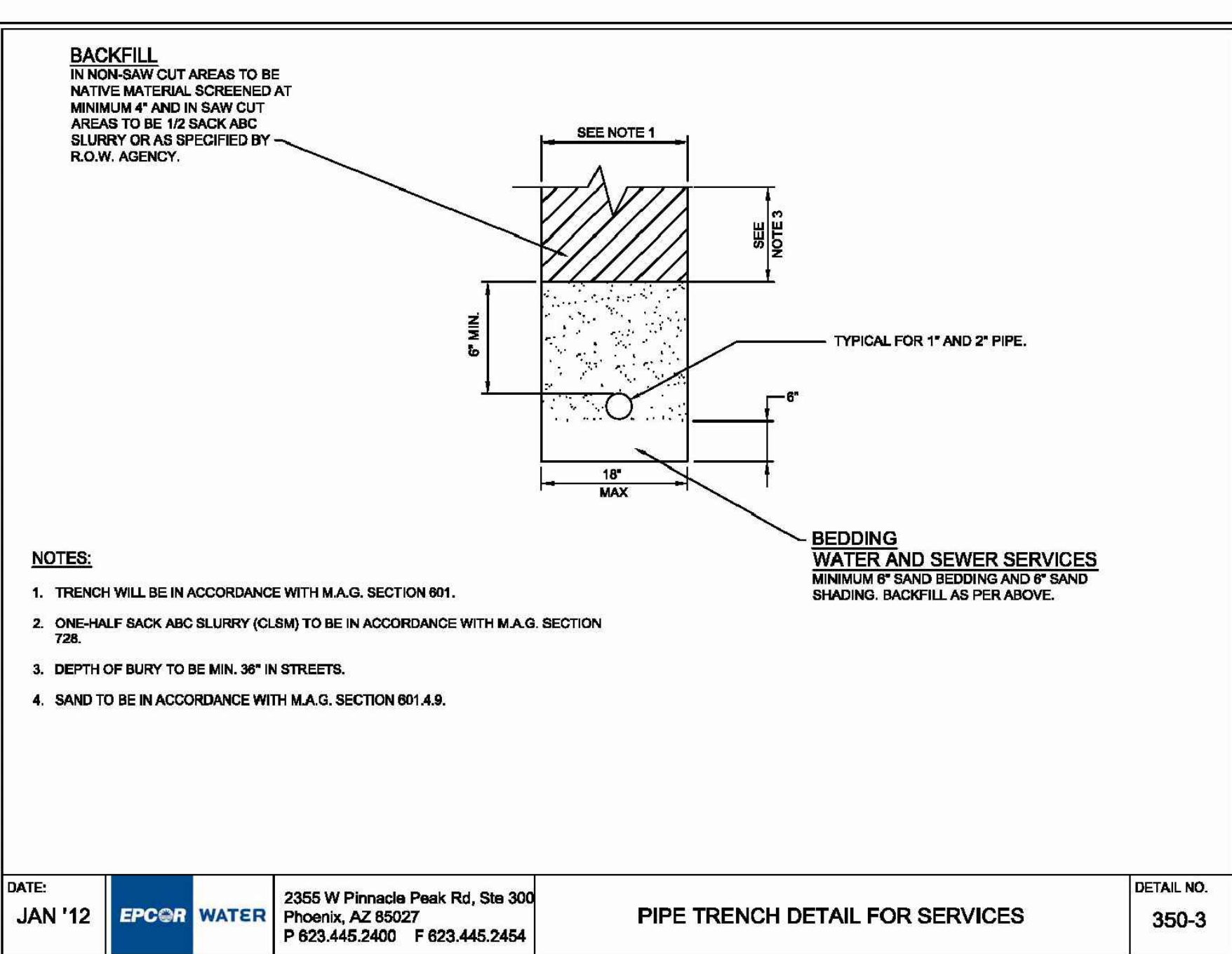
DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	POTABLE WATER SERVICE CONNECTION	DETAIL NO. 342-2
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DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	POTABLE CURB STOP (BLOW OFF) WITH FLUSHING PIPE	DETAIL NO. 390-1
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DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	PIPE TRENCH DETAIL	DETAIL NO. 350-1
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DATE: JAN '12	EPCOR WATER	2355 W Pinnacle Peak Rd, Ste 300 Phoenix, AZ 85027 P 623.445.2400 F 623.445.2454	PIPE TRENCH DETAIL FOR SERVICES	DETAIL NO. 350-3
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REVISIONS:	DRAWN BY: DW	JOB: 1706069
	CHECKED BY: NP	VERSION: 1.1
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DETAILS

***ESTATES ON INVERGORDON*
6400 E CACTUS WREN RD
PARADISE VALLEY, AZ 85253**

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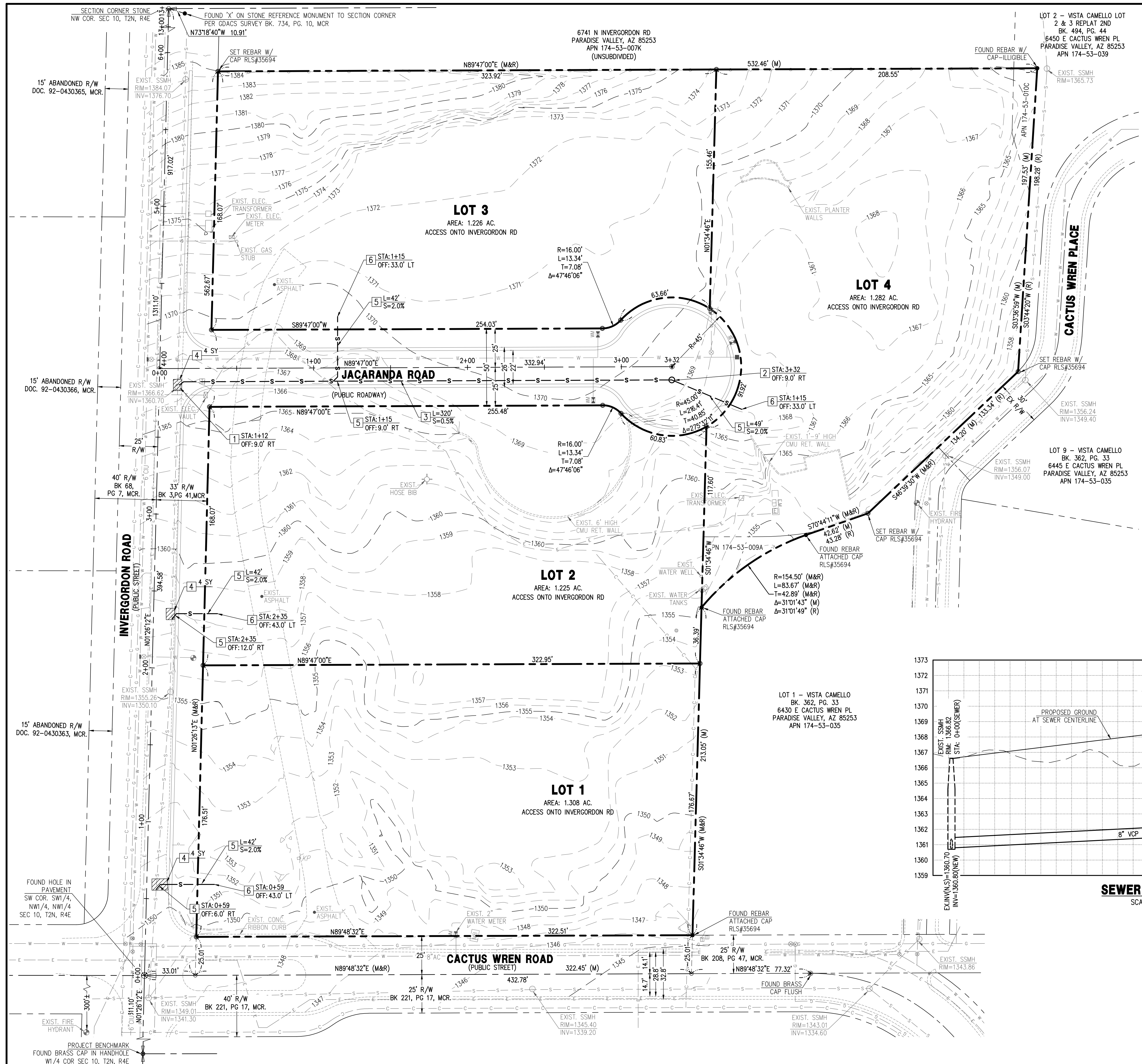
land DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
Arizona State Board of Engineers and Architects

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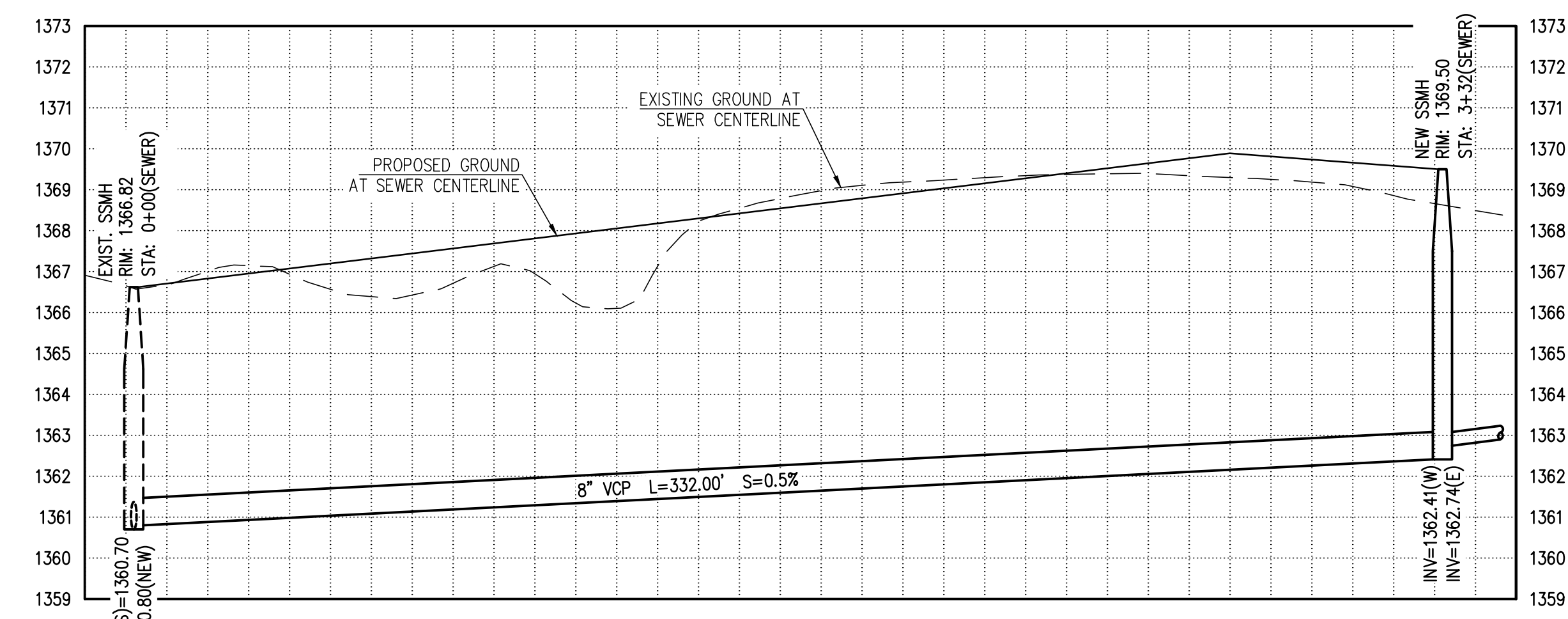
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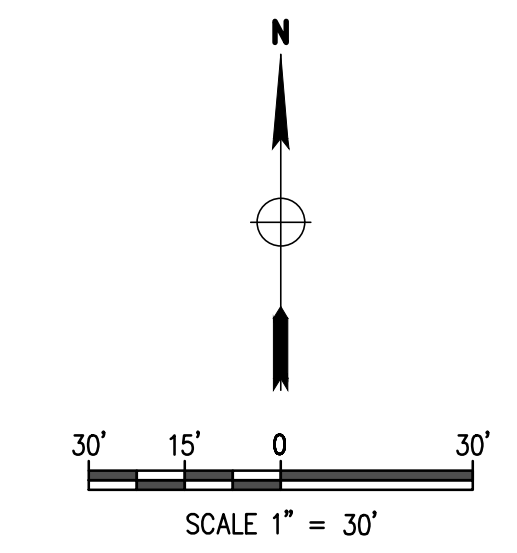


SANITARY SEWER CONSTRUCTION KEY-NOTES

- 1 CONNECT TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER.
- 2 CONSTRUCT 4' DIAMETER MANHOLE WITH 24" FRAME AND COVER PER C.O.S. STD. DET. 2420 AND MAG STD. DET. 420-1 & 2. MANHOLE SHALL BE PAINTED WITH INSECTICIDE PAINT. SANITARY SEWER MANHOLE COVER SHALL BE PER COS STD DET. 2421, MODIFIED TO READ "SANITARY SEWER". PROVIDE COVER FRAME ADJUSTMENT PER MAG STD DET. 422. CONCRETE COLLARS SHALL BE BLACK COLOR.
- 3 INSTALL 8" PVC SANITARY SEWER LINE (SDR-35, ASTM D-3034) PER MAG SPECS, SEC. 615. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1 AND MAG SPECS, SEC. 601.
- 4 SAWCUT, REMOVE AND REPLACE A.C. PAVEMENT PER M.A.G. SECTION 336.
- 5 INSTALL 4" PVC SDR 35 SEWER SERVICE. REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1 AND MAG SPECS, SEC. 601.
- 6 INSTALL SEWER CAP PER MAG STD DET. 427 AT R/W IF ONSITE CONSTRUCTION IS NOT CONCURRENT WITH OFFSITE CONSTRUCTION.
- 7 EXISTING UNDERGROUND UTILITIES, CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATIONS PRIOR TO INSTALLATION OF SEWER PIPE. REPORT DISCREPANCIES TO ENGINEER.
- 8 PROTECT IN PLACE.



SEWER PROFILE - JACARANDA
SCALE HOR. 1" = 30', VER. 1" = 3'



REVISIONS:	DATE: 02/03/20	SCALE: 1"=30'	DESIGNED BY: NP	JOB: 1706069
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SEWER PLAN

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LAND DEVELOPMENT GROUP

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41005
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LICENSED IN THE STATE OF ARIZONA

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811
Call 811 or click Arizona811.com

SS-2
2 OF 2