

RESOLUTION NUMBER 2017-04

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA, AUTHORIZING THE TOWN MANAGER TO EXECUTE AN AGREEMENT FOR THE ACQUISITION AND ACCEPTANCE OF A ROADWAY EASEMENT AT 4826 EAST LINCOLN DRIVE

WHEREAS, Virginia T. Calfee and Mark P. Linsalata, (the “Property Owners”) are the owners of real property located at 4826 East Lincoln Drive, otherwise known as Lot 13 of the Paradise Hills Subdivision (the “Property”); and

WHEREAS, The Town of Paradise Valley desires to extend a westbound Lincoln Drive to northbound Tatum Boulevard right hand turn lane across the property frontage of 4826 East Lincoln Drive to improve the intersection level of service; and

WHEREAS, a twenty-five foot (25’) roadway easement (the “Easement,” as legally described in Exhibit “A” hereto) is necessary to accommodate said turn lane and associated improvements; and

WHEREAS, the Property Owners have agreed (per the Agreement attached hereto as Exhibit “B,” the “Agreement”) to grant the Easement to the Town and provide for the turn lane improvements associated with the turn lane extension within the Easement in return for the Town granting access to their Property from the Town’s adjoining parcel to the west and to construct within the Easement and along their adjoining property frontage additional improvements that will include, among other things, a meandering sidewalk, a wall, and landscaping; and

WHEREAS, The Town of Paradise Valley has allocated funds in FY2016-17 to construct the turn lane and associated improvements along the frontage of 4826 East Lincoln Drive; and

NOW, THEREFORE, BE IT RESOLVED by the Town of Paradise Valley, Maricopa County, Arizona as follows:

Section 1. That Town Manager Kevin Burke is hereby authorized and directed to execute, on behalf of the Town, the Agreement and to obtain other necessary documentation in connection with securing the Easement such as obtaining title insurance for the Easement.

PASSED AND ADOPTED by the Town Council of the Town of Paradise Valley this 9th day of March, 2017.

(Signatures on following page)

RESOLUTION NUMBER 2017-04

SIGNATURE PAGE

Michael Collins, Mayor

APPROVED AS TO FORM

ATTEST:

Andrew Miller, Town Attorney

Duncan Miller, Town Clerk

EXHIBIT A

The Roadway Easement Area:



September 12, 2016
Rick No. 4754

LEGAL DESCRIPTION

THE SOUTH 25 FEET OF LOT 13, PARADISE HILLS SUBDIVISION, AS RECORDED IN BOOK 57 OF MAPS, PAGE 11, RECORDS OF MARICOPA COUNTY, SITUATED IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



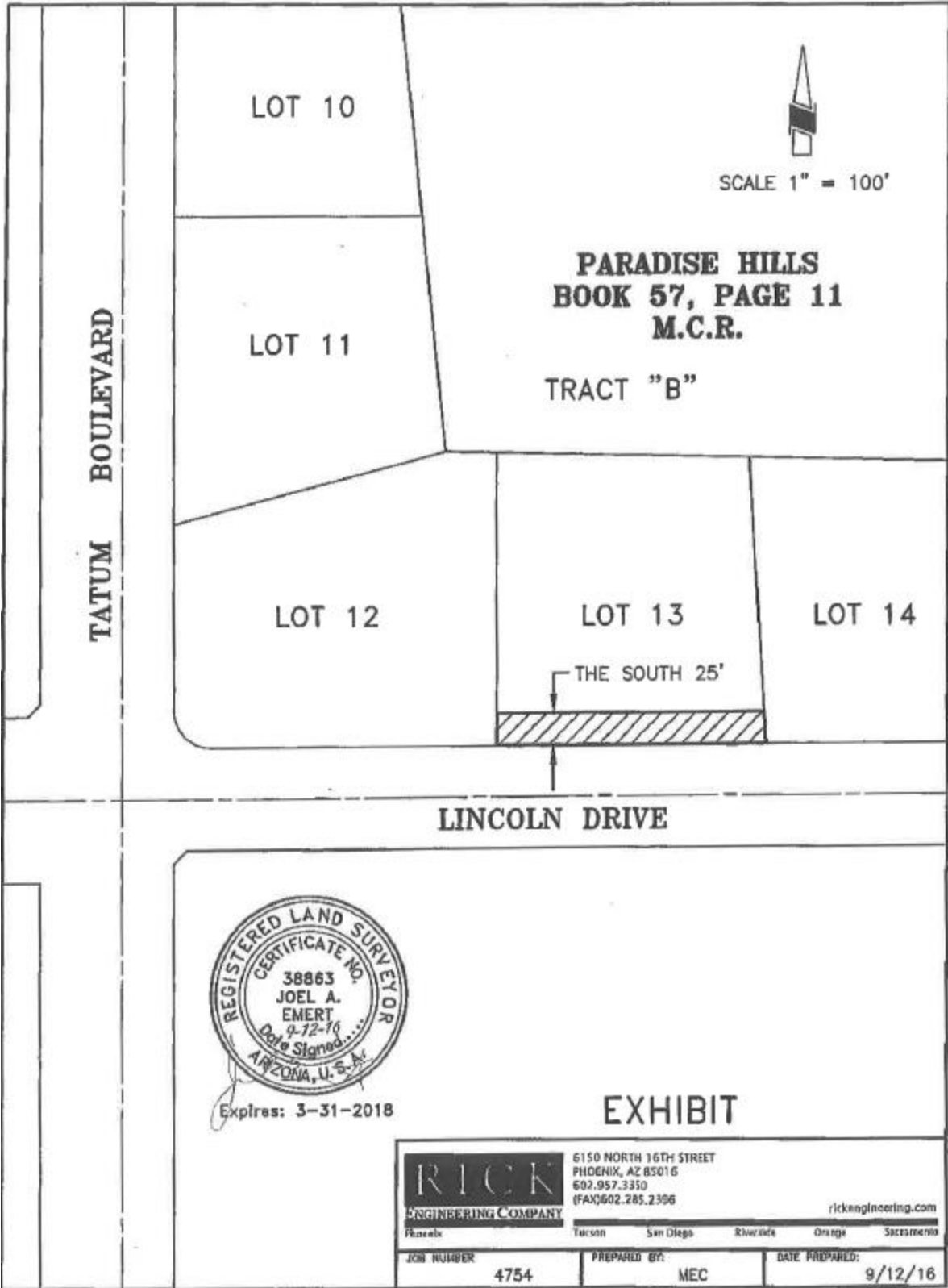


EXHIBIT B

Agreement:



March 1, 2017

Mark Linsalata
4826 East Lincoln Drive
Paradise Valley, AZ 85253

**Re: Purchase Agreement for a 25' Roadway Easement from the Property Located at
4826 E Lincoln Drive, Paradise Valley, AZ**

Dear Mr. Linsalata:

Thank you for meeting with me and other Town staff to discuss the terms of an agreement for the Town's acquiring a twenty-five foot (25') roadway easement for the southern twenty-five feet (25') of your property ("Roadway Easement") on Lincoln Drive (the area of said Roadway Easement is as described on the attached Exhibit A legal description, hereinafter the "Roadway Easement Area"). By executing this agreement, you have agreed that you will grant to the Town an easement for roadway and other uses inherent in a roadway (using the form attached hereto as Exhibit B, hereinafter the "Roadway Easement Form") for the Roadway Easement Area in return for the Town completing certain improvements to the Roadway Easement Area and to your adjoining property along with granting you the right to place a gate along the mutual property line between your property located at 4826 E. Lincoln Drive ("Your Property") and the Town's Goldwater Memorial Property located at 6501 N. Tatum Blvd (the "Memorial Property"), the purpose of said gate being to permit access from Your Property to Tatum Boulevard. You have further agreed that you will grant the Town a temporary construction easement over certain portions of Your Property that lie outside the Roadway Easement Area so that the Town can complete the improvements identified herein as part of the Town's consideration (particularly including the construction of a new wall on Your Property along with certain water irrigation systems and plantings and the driveway approach), the area of said temporary construction easement to be identified by the Town in association with the contractor who will be installing the improvements.

Upon your execution of the Roadway Easement Form and the Town's recordation thereof, the Town hereby agrees to grant you the right to place a gate along the mutual property line between Your Property and the Memorial Property and for the Town to install the following improvements (hereinafter the "Improvements") in the Roadway Easement Area and on the portions of Your Property immediately adjacent to the Roadway Easement Area and the Memorial Property, as applicable:

1. Installation of new colored concrete driveway approach in substantial compliance with the attached MAG detail, said driveway approach to be a single approach with the area of driveway improvement to include the driveway paving surface within the Roadway Easement Area and for the first six (6) feet of driveway paving north of Roadway Easement Area at the location noted on the attached design prepared by T.Y. Lin International (the "Roadway Plans," Exhibit C hereto);

6401 East Lincoln Drive
Paradise Valley, Arizona
85253-4328

480-948-7411
480-951-3715 Fax 3784-3
480-483-1811 TDD

2. Installation of approximately 220 feet of new curb and gutter (as shown on the Roadway Plans);
3. Installation of approximately 220 feet of new 6' wide colored concrete sidewalk adjacent to Lincoln Drive right-of-way (as shown on the Roadway Plans);
4. Installation of a new 6' block wall on top of varying height berm up to two-feet, finished and color to be mutually agreed upon (as shown on the Roadway Plans);
5. Installation of landscaping between new wall and the back of curb (as shown on the Roadway Plans);
6. Installation of landscaping on the first five (5) feet on the north side of the wall (as shown on the Roadway Plans);
7. Extension of existing irrigation system on your property to irrigate new landscaping;
8. Grading to address any drainage related to construction adjacent to the Roadway Easement Area and within the Memorial Property; and
9. Restore and/or replace any landscaping, drainage improvements, and irrigation that needs to be relocated on the Memorial Property in order to accommodate an extension of a driving surface from the existing paved roundabout area of the Memorial Property to the gate location;

With regard to the right to place a gate along a mutual property line between Your Property and the Memorial Property, upon recordation of the Roadway Easement you (and/or your successors in interest) may place a gate along a mutual property line in order to provide Your Property with access to Tatum Boulevard, said access gate to be located only as follows:

Beginning in the northwest corner of lot 13 of the Paradise Hills Subdivision along the western property line south fifteen feet to a point of beginning, thence south thirty feet to a point of termination (said area shown graphically on Exhibit D hereto).

Further, provided that:

1. You shall coordinate the installation of the gate with the Community Development Department and submit plans and a schedule for the gate installation prior to commencement of the work
2. You shall be responsible for the design and installation of the gate;
3. You will acknowledge that no permission is granted for parking on Memorial Property nor altering Memorial property, nor will you allow or permit your guests to park vehicles on the Memorial Property;
4. You will close the gate installed between Your Property and the Memorial Property immediately after each use of the gate; and

5. You shall indemnify the Town of any incidents associated with you or your guests' access across the Memorial Property.

Offer and Acceptance:

By your execution of this letter agreement, the Town has hereby accepted your offer of a Roadway Easement over the Roadway Easement Area and agrees that it will complete the construction of the Improvements within three hundred sixty (360) days after the Town's recordation of the Roadway Easement, and that the Town will indemnify you for any claims made against you relating to the Roadway Easement, Roadway Easement Area and the Improvements constructed by the Town in the Roadway Easement Area. If you agree with this consideration for the Roadway Easement, then please sign this letter agreement where indicated below to evidence your acceptance of this offer and to have this letter, along with any supplements required by Stewart Title Insurance company, to serve as escrow instructions for the acquisition of the Roadway Easement by the Town. As additional consideration for your acceptance of this offer, the Town will pay all recording fees, closing costs, and title insurance costs, if any. This letter will also serve as escrow instructions to Stewart Title Company that upon its receipt of this letter, it shall open escrow for the acquisition of the Roadway Easement and prepare a settlement sheet and other documents necessary for the closing of this transaction (such as any consents to the easement from any lienholders on your property).

I appreciate your cooperation in this matter. Please contact me directly at (480) 348-3533 if I can be of any further assistance or if you have any questions.

Sincerely,

Kevin Burke
Town Manager
Offer Accepted on the terms noted above:

By: _____
Mark Linsalata

By: _____
Virginia Tiffany Calfee

AMM/dlw
Enclosure

EXHIBIT A

The Roadway Easement Area:

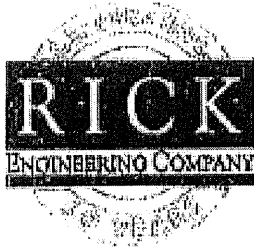
[Insert Legal Description]

173784-3

173784-3

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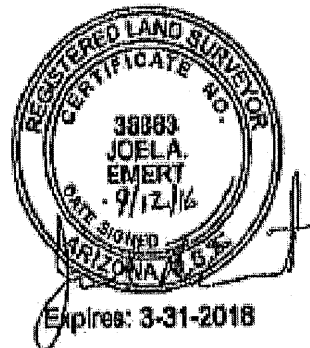
173784-3



September 12, 2016
Rick No. 4754

LEGAL DESCRIPTION

THE SOUTH 25 FEET OF LOT 13, PARADISE HILLS SUBDIVISION, AS RECORDED IN BOOK 57 OF MAPS, PAGE 11, RECORDS OF MARICOPA COUNTY, SITUATED IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



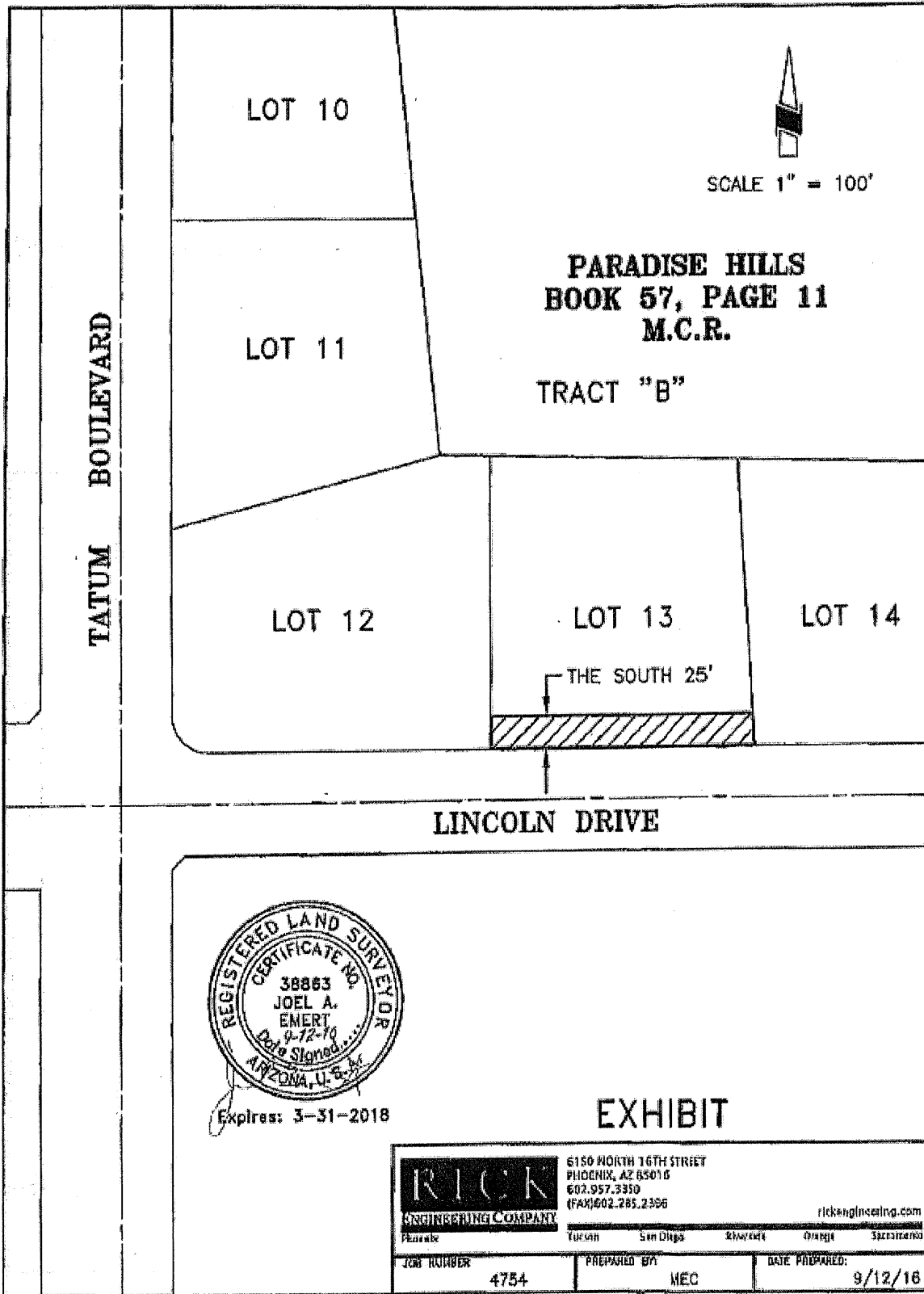


EXHIBIT B

The Roadway Easement Form: [Attach form]

After Recordation Return to:

Paradise Valley Town Attorney
6401 E. Lincoln Drive
Paradise Valley, AZ 85253
Exempt Pursuant to A.R.S. §11-1134 A-3

ROADWAY EASEMENT

Effective Date of Conveyance:
February ____, 2017

County and State where property located
Maricopa County, Arizona

GRANTORS (Name, Address and Zip Code)
Virginia Tiffany Calfee and Mark Linsalata
4826 East Lincoln Drive
Paradise Valley, AZ 85253

GRANTEE (Name, Address and Zip Code)
Town of Paradise Valley
6401 East Lincoln Drive
Paradise Valley, Arizona 85253

Subject Real Property Address: A portion of 4826 East Lincoln Drive, Paradise Valley, AZ 85253

Subject Real Property Legal Description: As shown on attached Exhibit "A"

Grantor owns or otherwise holds title to subject real property and for valuable consideration conveys to Grantee a Roadway Easement.

Period of Easement, Right of Way or Right

Perpetual Until termination date of:

Other Specific Conditions or Restrictions:

By accepting and utilizing this roadway easement, Grantee agrees that following any installation, excavation, maintenance, repair, or other work by Grantee within the roadway easement area, the affected area will be restored by Grantee to as close to the approved roadway plans as is reasonably possible, at the expense of Grantee; and that Grantee shall indemnify Grantor, to the extent required by law, for any loss, cost or damage incurred by Grantor as a result of any negligent installation, excavation, maintenance, repair or other work performed by Grantee within the roadway easement area.

Grantee will also indemnify, defend and hold harmless Grantor and its officers, directors, partners, agents, employees, members, managers, licensees, guests, invitees, trustees, shareholders, and any successors-in-ownership or assigns of any of the foregoing (collectively, the "Indemnified Parties") for, from and against any and all claims, demands, causes of action, losses, damages, liabilities, costs and expenses, including, without limitation, reasonable attorneys' fees and disbursements for physical injury, property damage, and claims for mechanic's liens and materialman's liens, suffered or incurred by the Indemnified Parties (collectively, "Claims"), to the extent the Claims arise from, out of, or in connection with the roadway easement or Grantee's use of the roadway easement area.

Signature of Grantor – Mark Linsalata

Signature of Grantee – Town of Paradise Valley
By: Kevin Burke, Town Manager

Signature of Grantor – Virginia Tiffany Calfee

State of Arizona)
)s.s.
County of Maricopa)

Acknowledgement of Grantor:

On ____ (date) _____, (Signer name) personal
appeared before me, whom I know personally to be the persons who signed the
above/attached document and he/she proved he/she signed it.

(seal)

(Notary Public)

State of Arizona)
)s.s.
County of Maricopa)

Acknowledgement of Grantee Town of Paradise Valley

On ____ (date) _____, (Signer name) personal
appeared before me, whom I know personally to be the persons who signed the
above/attached document and he/she proved he/she signed it.

(seal)

(Notary Public)

EXHIBIT C

Roadway Plans:

[Attach the 90% Roadway Plans]

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CONTRACT SPECIFICATIONS; PLANS; MAG STANDARD SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE MARICOPA ASSOCIATION OF GOVERNMENTS' (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE PLANS FOR THIS PROJECT HAVE BEEN REVIEWED FOR COMPLIANCE WITH TOWN REQUIREMENTS PRIOR TO ISSUANCE OF PERMITS. AN APPROVED SET OF PLANS AS WELL AS ALL PERMITS ISSUED MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION. THE DESIGN IS APPROVED BY THE TOWN IN SCOPE BUT NOT IN DETAIL. APPROVAL OF THESE PLANS IS FOR PERMIT PURPOSES ONLY. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS NECESSARY FOR SALVAGE OR DISPOSAL OF PROTECTED NATIVE PLANTS, AS SHOWN ON THE LANDSCAPE PLANS. TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED AS INDICATED ON THE LANDSCAPE PLANS.
- PER THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS ON EARTH MOVING EQUIPMENT PERMITS, NO PERSON SHALL CAUSE OR PERMIT THE USE OF ANY POWER OF MECHANICAL EQUIPMENT FOR COMMERCIAL PURPOSES TO CLEAR, EXCAVATE OR LEVEL LAND, INCLUDING BUT NOT LIMITED TO DEMOLITION, ROAD AND STREET CONSTRUCTION, TRENCHING, VEGETATION REMOVAL, OR ENGAGE IN ANY OTHER EARTH MOVING ACTIVITIES WITHOUT FIRST OBTAINING A PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE PERMIT.
- CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS AS REQUIRED BY THE TOWN OF PARADISE VALLEY, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FOR CONSTRUCTION FROM EPCOR. CONTACT EPCOR TO SCHEDULE ANY RELOCATION OF HYDRANT METERS. CONTRACTORS SHALL NOT RELOCATE HYDRANT METERS.
- CONTRACTOR MUST PROVIDE TO THE TOWN THE LOCATION FOR WASTE MATERIAL AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (TCP) PER THE PHOENIX TRAFFIC BARRICADE MANUAL. BARRICADES MUST BE CONTINUALLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 - IF ANY PART OF THE TCP FALLS WITHIN 300' OF A SIGNALIZED INTERSECTION, AN OFF-DUTY OFFICER WILL BE REQUIRED FOR TRAFFIC CONTROL.
 - A TCP SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND ACCEPTED A MINIMUM OF THREE WORKING DAYS; 72-HOURS PRIOR TO CONSTRUCTION. AN ACCEPTED TCP WILL BE STAMPED AND A COPY RETURNED TO THE CONTRACTOR. A COPY OF THE ACCEPTED PLAN MUST REMAIN ON THE JOB SITE AT ALL TIMES.
 - LANE CLOSURES ON MAJOR ARTERIAL ROADS ARE ONLY PERMITTED MONDAY THROUGH FRIDAY FROM 9 AM TO 3:30 PM UNLESS PREVIOUS WRITTEN APPROVAL FROM THE TOWN MANAGER.

ROADWAY PAVING NOTES

- THE TOWN OF PARADISE VALLEY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED 24-HOURS PRIOR TO ANY CONSTRUCTION WORK BY TELEPHONE AT (480) 348-3622. ANY WORK CONCEALED WITHOUT INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- WITHIN A PHASE OF THE WORK:
 - OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - CONSTRUCTION OF SURFACE IMPROVEMENTS SHALL NOT BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETE AND SERVICE CONNECTIONS TO ALL LOTS WITHIN THE PHASE OF WORK HAVE BEEN ADEQUATELY RELOCATED.
 - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF NTP.
 - RELOCATION OF WATER METERS SHALL BE DONE BY EPCOR AFTER PAYMENT OF PREVAILING FEES BY THE CONTRACTOR.
 - RELOCATION OF EPCOR FIRE HYDRANTS REQUIRES A SEPARATE PERMIT.
- THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE PUBLIC WORKS DEPARTMENT. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL MATERIALS TESTING AND SAMPLING SHALL BE DETERMINED BY THE PUBLIC WORKS DEPARTMENT. ALL TEST RESULTS SHALL BE REPORTED DIRECTLY (IN WRITING) TO THE PUBLIC WORKS DEPARTMENT. FOR EACH PHASE OF CONSTRUCTION, TEST RESULTS (IN WRITING) MUST BE RECEIVED FROM THE TESTING LABORATORY, PRIOR TO START OF THE NEXT PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT BLUE STAKE (602) 263-1100 PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CURRENT BLUE STAKE MARKINGS THROUGHOUT CONSTRUCTION.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY THE TOWN INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND. DURING CONSTRUCTION OPERATIONS, HEAVY EQUIPMENT MAY CROSS EXISTING OR PROPOSED PIPE. IN THIS CASE, AN EARTH FILL SHOULD BE CONSTRUCTED TO AT LEAST THREE- FEET ABOVE PIPE. THE FILL MUST BE SUFFICIENT TO PREVENT THE LATERAL DISPLACEMENT OF THE PIPE.
- THE ACTUAL POINT OF PAVEMENT MATCHING, TERMINATION AND/OR OVERLAY SHALL BE DETERMINED IN THE FIELD BY THE TOWN OF PARADISE VALLEY PUBLIC WORKS DEPARTMENT INSPECTOR.
- IN ALL AREAS WHERE NEW CONSTRUCTION OF CURB, GUTTER, SIDEWALKS, AND DRIVEWAYS IS REQUIRED, AND THE TESTING LABORATORY DETERMINES THE EXISTING GRADE TO CONSIST OF SOILS WITH SWELLING CHARACTERISTICS, THE MOISTURE CONTENT SHALL BE BROUGHT AS CLOSE AS POSSIBLE TO OPTIMUM REQUIRED FOR COMPACTION BY THE ADDITION OF WATER, BLENDING OF DRY SUITABLE MATERIAL OR BY DRYING OF EXISTING MATERIAL. THE MATERIAL SHALL THEN BE COMPACTED TO A RELATIVE DENSITY OF 75 PERCENT MINIMUM TO 85 PERCENT MAXIMUM WITH 80 PERCENT AS IDEAL.
- ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION. ADJUSTMENT OF EXISTING "TYPE A" OR "TYPE B" WATERLINE VALVE BOXES IN THE PARKWAY SHALL BE CONSIDERED INCIDENTAL TO PARKWAY GRADING. EXISTING "TYPE B" WATERLINE VALVE BOXES IN PROPOSED PAVING SHALL BE REPLACED WITH "TYPE A" BOXES PER COP STANDARD DETAIL P1391. ANY VALVE ADJUSTMENTS THAT OCCUR WITHIN ASPHALT SHALL BE COMPLETED IN BLACK CONCRETE.
- CONSTRUCTION MUST BE PHASED SO NEWLY DEVELOPED CHANNELS ARE FULLY OPERATIONAL BEFORE THE EXISTING DRAINAGE CHANNEL IS FILLED. FLOODWATER CONVEYANCE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ROADWAY CONSTRUCTION.
- UNLESS OTHERWISE NOTED, PIPE TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH CITY OF PHOENIX DETAIL P-1200.
- ALL EXISTING DRIVEWAYS SHALL BE GRADED TO MATCH THE NEW WORK IN ACCORDANCE WITH COP STD. DETAIL P-1164, UNLESS OTHERWISE SPECIFIED. EXISTING SURFACING SHALL BE REMOVED AND REPLACED IN KIND AS NECESSARY.
- UNLESS OTHERWISE PROVIDED ON THE PLANS:
 - THE SPACE BETWEEN THE BACK OF NEW DRIVEWAY ENTRANCES AND EXISTING AC DRIVEWAYS SHALL BE FILLED WITH A MINIMUM OF 3" ACSC ON 100% COMPACTED NATIVE SOIL. WHERE EXISTING PAVEMENT AND BASE THICKNESS EXCEED THE MINIMUMS, MATCH THE EXISTING.
 - THE SPACE BETWEEN THE BACK OF NEW SIDEWALKS AND EXISTING PRIVATE SIDEWALKS, AND THE SPACE BETWEEN THE BACK OF NEW DRIVEWAY ENTRANCES AND EXISTING PCC DRIVEWAYS SHALL BE FILLED WITH PCC. THE SURFACE TREATMENT THICKNESS AND CLASS SHALL MATCH THAT OF EXISTING SIDEWALK OR DRIVEWAY ENTRANCE.
- ALL RAMPS MUST MEET 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN; 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES.
- THIS PROJECT'S WORK HOURS ARE GOVERNED BY TOWN CODE SECTION 10-7-5 AS FOLLOWS:
 - WORK INVOLVING PILE DRIVERS, POWER SHOVELS, DRILLS OR AUGERS, LOADERS, PNEUMATIC OR HYDRAULIC HAMMERS, OR BULLDOZERS IS ALLOWED BETWEEN SUNRISE AND SUNSET ON MONDAY THROUGH FRIDAY, EXCEPT DESIGNATED LEGAL HOLIDAYS.
 - WORK INVOLVING THE MAINTENANCE OR SERVICING OF CONSTRUCTION VEHICLES OR EQUIPMENT OR DELIVERY OF CONSTRUCTION EQUIPMENT OR MATERIALS TO THE SITE AND WORK INVOLVING ANY DEVICE WHICH CREATES A NOISE LEVEL EXCEEDING 45 DB(A) IS ALLOWED BETWEEN SUNRISE AND SUNSET MONDAY THROUGH SATURDAY, AND AT ALL TIMES ON SUNDAYS AND DESIGNATED LEGAL HOLIDAYS.

RITZ CARLTON STREET IMPROVEMENTS TATUM BLVD & LINCOLN DRIVE PARADISE VALLEY, ARIZONA PROJECT NO. 2016-14

MAYOR
MICHAEL COLLINS

VICE MAYOR
JERRY BIEN-WILLNER

TOWN COUNCIL
PAUL DEMBOW
MARK STANTON
JULIE PACE
SCOTT MOORE

TOWN MANAGER
KEVIN BURKE



INDEX OF SHEETS

SHEET NUMBER	DWG SERIES NO.	SHEET TITLE
1	G-1.01	COVER SHEET
2	G-1.02	KEY MAP AND LEGEND
3	G-1.03	GEOMETRIC CONTROL SHEET
4	G-1.04	QUANTITY SUMMARY SHEET
5	G-1.05	TYPICAL SECTIONS
6	G-1.06	DRIVEWAY PLAN AND PROFILES
7	G-1.07	STAKING SHEET
8	G-1.08	MEDIAN DETAIL SHEET
9-10	PP-1.01 TO PP-1.02	PLAN AND PROFILE SHEETS
11	SM01	SIGNING AND MARKING PLAN
12	SM02	SIGNING AND MARKING PLAN
13	LP1.01	PLANTING PLAN
14	IR1.01	IRRIGATION PLAN
15	LP2.01	WALL ELEVATION/PLAN
16	LP2.02	WALL DETAILS
17	LP2.03	PLANTING DETAILS
18	LP2.04	PLANTING DETAILS
19	IR5.01	IRRIGATION DETAILS
20	IR5.02	IRRIGATION DETAILS
21	IR5.03	IRRIGATION DETAILS

UTILITY CONTACTS

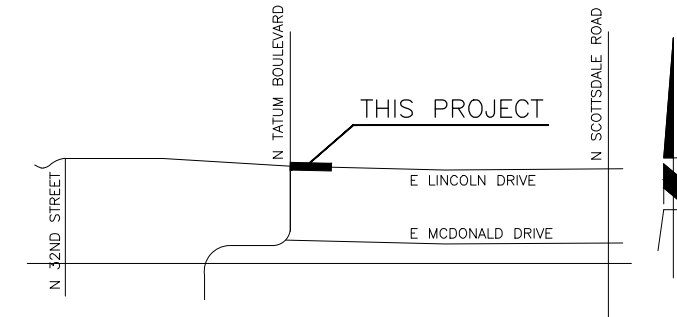
CENTURYLINK	KAREN BROWN	(480) 768-4398
CITY OF PHOENIX WATER SERVICES DEPT.	LARRY VALENZUELA	(602) 262-4035
COX COMMUNICATIONS	ZACH KILLIN	(602) 694-1418
CROWN CASTLE SOLUTIONS CORPORATION	RICHARD ALGERIA	(602) 576-0951
EPCOR	JOSH VIG	(623) 445-2495
APS	JEANNIE MARIE HORMELL	(480) 258-0330
SOUTHWEST GAS	NORMA JARDIN	(480) 730-3857



TY. LIN INTERNATIONAL
engineers | planners | scientists
60 East Rio Salado Parkway
Tempe, AZ 85281

SHEET NO.	TOTAL SHEETS
1	21

PRELIMINARY
100%
NOT FOR CONSTRUCTION OR RECORDING



VICINITY MAP

OWNER

TOWN OF PARADISE VALLEY
6401 E. LINCOLN DRIVE
PARADISE VALLEY, AZ 85253
PHONE: (480) 348-3622
FAX: (480) 348-3689
CONTACT: JEREMY T. KNAPP, A.I.C.P.

ENGINEER/SURVEYOR

TYLIN INTERNATIONAL
60 E. RIO SALADO PARKWAY, STE 501
TEMPE, AZ 85281
PHONE: (480) 968-8814
FAX: (480) 921-0002
CONTACT: JAMES BARR, P.E.

LANDSCAPE ARCHITECT

EPG ENVIRONMENTAL PLANNING GROUP
4141 NORTH 32ND ST. STE 102
PHOENIX, ARIZONA 85018
CONTACT: JOHN GRIFFIN, R.L.A.

TRAFFIC ENGINEER

CIVTECH
10605 N. HAYDEN ROAD. STE 140
SCOTTSDALE, ARIZONA 85260
CONTACT: JOHN WILLET, P.E.

BASIS OF BEARING

THE "BASIS OF BEARING" IS BASED ON THE EAST LINE OF THE N.E. 1/4 SEC. 10, T2N, R4E PER GDAC BOOK 734, PAGE 10 M.C.R., S00*28'14"E, 2,640.555'. VERTICAL DATUM IS CITY OF SCOTTSDALE DATUM AND ONE AND THE SAME AS TOWN OF PARADISE VALLEY.

BENCHMARK

TOWN OF PARADISE VALLEY BRASS CAP FLUSH AT THE MONUMENT LINE OF NORTH TATUM BOULEVARD AND EAST PRAYING MONK ROAD, NAVD 88 DATUM ELEVATION = 1396.56'.

APPROVAL

PUBLIC WORKS DIRECTOR / TOWN ENGINEER _____ DATE _____

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HERON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER / LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

THESE PLANS ARE FOR OFFICIAL USE ONLY AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF THE CONTRACTOR'S CONTRACT WITH THE TOWN OF PARADISE VALLEY.

REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY / CKD BY

TOWN OF PARADISE VALLEY ARIZONA

**RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14**

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	G-1.01

COVER

SHEET NO:	TOTAL SHEETS
2	21

SOUTHWEST GAS CORPORATION GENERAL NOTES

- CALL THE LOCAL ONE-CALL OFFICE ARIZONA BLUE STAKE CENTER AT 1-800-782-5348 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION SO THAT UNDERGROUND UTILITIES CAN BE LOCATED. THIS IS IN ACCORDANCE WITH THE BLUE STAKE LAW (ARIZONA REVISED STATUTES (STATE LAW), CHAPTER 2, ARTICLE 6.3, SECTIONS 40-360.21 THROUGH 40-360.32).
- SOUTHWEST GAS (SWG) DOES NOT PROVIDE DEPTH INFORMATION ON ITS NATURAL GAS FACILITIES. IT IS RECOMMENDED THAT THE CONTRACTOR EVALUATES EACH NATURAL GAS PIPELINE LOCATION BY POTHOLING AND EXPOSING THEM TO DETERMINE CONFLICTS. THERE SHOULD BE A MINIMUM SEPERATION OF 12 INCHES FACE TO FACE CLEARANCE BETWEEN THE PROPOSED FACILITY AND THE EXISTING NATURAL GAS FACILITY. IF INSTALLATION CLEARANCES CANNOT BE MET, CONTACT SWG ENGINEERING AT 480-730-3855 AS EARLY AS POSSIBLE TO ALLOW SUFFICIENT TIME FOR CONFLICT RESOLUTION.
- THE SWG GAS SYSTEM HAS PIPELINE VALVES, LINE LOCATING STATIONS, TEST POINTS AND UNDERGROUND VAULTS EACH WITH PROTECTIVE VALVE BOX LIDS AND VAULT MANHOLE COVERS. THESE ARE DESIGNED TO BE FLUSH WITH THE EXISTING GROUND. UNDER U.S. DEPT. OF TRANSPORTATION'S PIPELINE SAFETY REGULATIONS AND SWG OPERATING PROCEDURES, THESE FACILITIES ARE REQUIRED TO BE ACCESSIBLE AT ALL TIMES.

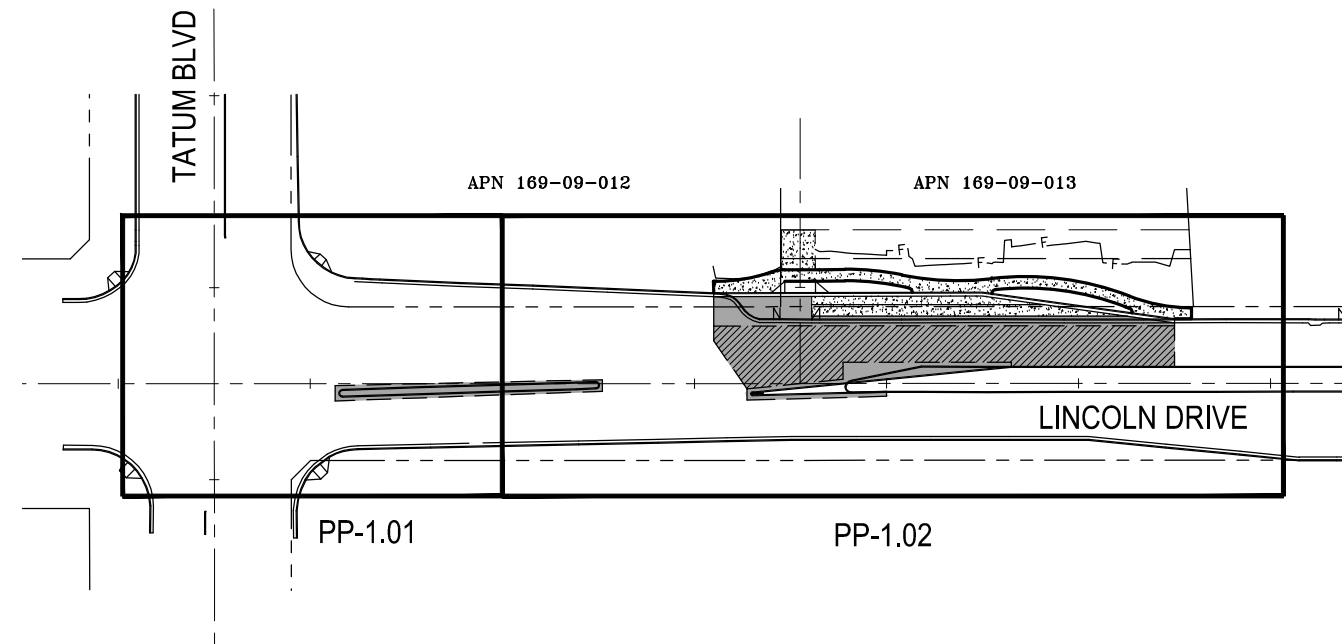
SWG WILL PAINT YELLOW ALL PROTECTIVE VALVE BOX LIDS AND VAULT MANHOLE COVERS. IT WILL BE THE RESPONSIBILITY OF THE PUBLIC AGENCY'S CONTRACTOR TO MAKE SURE THESE ARE PROTECTED DURING CONSTRUCTION. THE PUBLIC AGENCY'S CONTRACTOR WILL BE RESPONSIBLE FOR ADJUSTMENTS TO ALL VALVE BOX LIDS AND VAULT MANHOLE COVERS DUE TO GRADING AND PAVING PER MAG DETAILS 391.1 AND 391.2 CONTACT SWG CONSTRUCTION AT TEMPE OPERATIONS 480-730-3670 / 480-730-3677 FOR COORDINATING WORK AND INSPECTIONS. FOR EMERGENCIES, PLEASE CALL 1-800-528-4277 OR CALL 911.

- ONCE MECHANICAL TRENCHING IS IN PROGRESS, DO NOT ATTEMPT TO TRENCH WITHIN 2 FEET OF A GAS PIPE. THIS TRENCHING SHALL BE DONE BY HAND IN ORDER TO PREVENT ANY DAMAGE TO THE GAS PIPE. IN THE EVENT YOUR CONTRACTOR SHOULD "HOOK" OR OTHERWISE STRAIN A GAS PIPE WHILE EXCAVATING, A CALL SHOULD BE PLACED IMMEDIATELY TO 1-800-528-4277 OR CALL 911. EVEN THOUGH THERE MAY NOT BE ANY APPARENT DAMAGE, THE STRAIN MAY HAVE DAMAGED THE WRAP OR A PORTION OF THE BURIED PIPE OR FITTINGS AT OTHER LOCATIONS CAUSING A LEAK IN THE SURROUNDING AREA. IF A STEEL FACILITY IS EXPOSED AND THE PIPE COATING IS FOUND TO BE IN NEED OF REPAIR, PLEASE CONTACT 1-800-528-4277 SO A CREW CAN BE DISPATCHED TO REWRAP THE PIPE. THIS IS A SERVICE PROVIDED BY SWG AT NO COST TO THE CONTRACTOR SO THAT WE CAN MONITOR OUR STEEL FACILITIES AND MINIMIZE THE POSSIBILITY OF CORROSION.

- WHEN EXCAVATIONS ARE COMPLETE, ALL EXPOSED NATURAL GAS PIPELINES SHALL BE PROTECTED DURING THE WORKING SHIFT. AT THE END OF THE WORKING SHIFT, THE CONTRACTOR SHALL PROTECT AND COVER ALL EXPOSED NATURAL GAS PIPELINES WITH AT LEAST 6 INCHES BELOW AND 6 INCHES ABOVE WITH PORTLAND CEMENT CONCRETE FINE AGGREGATE SAND. IF THE TRENCH IS MORE THAN 3 FEET WIDE, THE PIPE MUST BE SUPPORTED IN A MANNER WHERE THE SUPPORTING MATERIAL DOES NOT DAMAGE THE PIPE OR THE PROTECTIVE PIPE COATING. PLEASE CONTACT SWG ENGINEERING AT 480-730-3855 TO REVIEW AND APPROVE ALL PROPOSED PIPE SUPPORT DESIGNS.

- WHEN BACKFILLING, DO NOT DROP THE BACKFILL MATERIAL DIRECTLY ON ANY NATURAL GAS FACILITY. MANUALLY BACKFILL THE EXPOSED NATURAL GAS FACILITIES WITH 6 INCHES BELOW AND 6 INCHES ABOVE THE PIPE WITH PORTLAND CEMENT CONCRETE FINE AGGREGATE SAND. THE NEXT 6 INCHES ABOVE THE SAND SHALL BE SELECT MATERIAL THAT MUST NOT CONTAIN ANY MATERIAL LARGER THAN 3 INCH MINUS. USE EXTRA PRECAUTIONS DURING COMPACTION. DO NOT COMPACT DIRECTLY OVER THE PIPE. THE REMAINING BACKFILL MATERIAL MUST BE SUITABLY COMPACTABLE MATERIAL AND MUST MEET THE REQUIREMENTS OF LOCAL AUTHORITIES.

- PLEASE BE AWARE THAT THERE MAY BE ABANDONED STEEL GAS LINES WITHIN YOUR PROJECT LIMITS THAT ARE POTENTIALLY COATED OR WRAPPED WITH UNIDENTIFIED MATERIALS. SWG TREATS ITS ENTIRE STEEL GAS PIPE SYSTEM WITH UNIDENTIFIED MATERIALS. SWG TREATS ITS ENTIRE STEEL GAS PIPE SYSTEM WITH UNIDENTIFIED COATING/WRAPPING MATERIALS AS POTENTIALLY CONTAINING ASBESTOS. ACCORDINGLY, WHENEVER SUCH PIPE IS IN DIRECT CONFLICT AND REQUIRES REMOVAL, IT MUST ONLY BE DONE SO BY ONE OF SOUTHWEST GAS' NESHAP CERTIFIED CONTRACTORS. CARE MUST ALSO BE TAKEN WHEN WORKING NEAR AND EXPOSING THESE LINES. PLEASE CONTACT SWG CUSTOMER ASSISTANCE AT 1-877-860-6020 IN ADVANCE TO COORDINATE ANY REMOVAL. THE ARRANGEMENT AND WHO WILL BEAR THE COST OF THE RELOCATION OR ABANDONMENT WILL BE DETERMINED UNDER THE CURRENT FRANCHISE AGREEMENT WITH THE PROJECT'S AGENCY.



SHEET KEY MAP

LEGEND AND SYMBOLS

— E — E	EXISTING UNDERGROUND ELECTRIC
— 12"W	EXISTING WATER
— 10"S	EXISTING SEWER
— 4"PE G	EXISTING GAS
— OHL	EXISTING OVERHEAD ELECTRIC
— T — T	EXISTING TELEPHONE
— CTV	EXISTING CABLE TV
— FO — FO	EXISTING FIBER OPTIC
— 42"IR	EXISTING IRRIGATION
⊕	PROPOSED FIRE HYDRANT
⊗	PROPOSED WATER VALVE
○	PROPOSED SEWER MANHOLE
⊗	EXISTING WATER VALVE
○	EXISTING SEWER MANHOLE
⊗	EXISTING CONTOURS
⊕	EXISTING IMPROVEMENTS
⊗	EXISTING FIRE HYDRANT
⊕	SURVEY MONUMENT
⊕	STREET SIGN BASE
⊕	STORM DRAIN
▨	SIDEWALK
FL=	FLOW LINE ELEVATION
VG=	VALLEY GUTTER ELEVATION
▨	EX PAVEMENT TO REMAIN
▨	EX CONCRETE
▨	PAVEMENT MILL AND OVERLAY
▨	NEW PAVEMENT
▨	PAVEMENT TO BE REMOVED
▨	RIP RAP
▨	GUARDRAIL
— C —	DAYLIGHT CUT LINE
— F —	DAYLIGHT FILL LINE
— —	FLOW LINE
— —	HANDRAIL
— STA —	CENTERLINE STATIONING
— P= —	PAVEMENT ELEVATION
— STA —	CENTERLINE STATIONING
— TC= —	TOP OF CURB ELEVATION
— G= —	GUTTER ELEVATION

ABBREVIATIONS

AC	ASPHALT CONCRETE	PCC	POINT OF COMPOUND CURVATURE
ARV	AIR RELEASE VALVE	PI	POINT OF INTERSECTION
B/C, BC	BACK OF CURB	PR	POINT OF REVERSE CURVATURE
BCR	BEGIN CURB RETURN	PT	POINT OF TANGENCY
BFP	BACK FLOW PREVENTER	PROP	PROPOSED
C1	BACK OF CURB CURB DATA	PUE	PUBLIC UTILITY EASEMENT
CL	CENTER LINE	R	RADIUS
C&G	CURB AND GUTTER	RA	RUBBERIZED ASPHALT
C	CONCRETE ELEVATION	RT	RIGHT
EO	EMERGENCY OUTFALL	R/W	RIGHT OF WAY
ESMT	EASEMENT	RW	RECLAIMED WATER
E/P	EDGE OF PAVEMENT	SHLD	SHOULDER
EL, ELEV	ELEVATION	S/W, SW	SIDEWALK
ECR	END CURB RETURN	TCE, T.C.E.	TEMPORARY
EP, E/P	EDGE OF PAVEMENT	TEMP	TEMPORARY CONSTRUCTION EASEMENT
EX, EXIST.	EXISTING	TW	TOP OF WALL
F/C, FC	FACE OF CURB	V/G	VALLEY GUTTER
FL	FLOW LINE	VERT, V	VERTICAL
GB	GRADE BREAK	Vp	VOLUME PROVIDED
H	HEIGHT, HORIZONTAL	Vr	VOLUME REQUIRED
HWE	HIGH WATER ELEVATION	WM	WATER METER
ICV	IRRIGATION CONTROL VALVE	W.V.	WATER VALVE
INV=, IE=	INVERT ELEVATION		
LT	LEFT		
L	LENGTH		
L1	LINE DATA		
L/G, LG	LIP OF GUTTER		
MJ	MECHANICAL JOINT		
N.P.I.	NON PAY ITEM		
NTS	NOT TO SCALE		
OFF	OFFSET		
PMTR	POLYMER MODIFIED TERMINAL BLEND RUBBERIZED MIX DESIGNS		
PVMT	PAVEMENT		
PH	PHASE, POTHOLE		

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TOWN OF PARADISE VALLEY ARIZONA

**RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14**

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	

KEY MAP AND LEGEND G-1.02

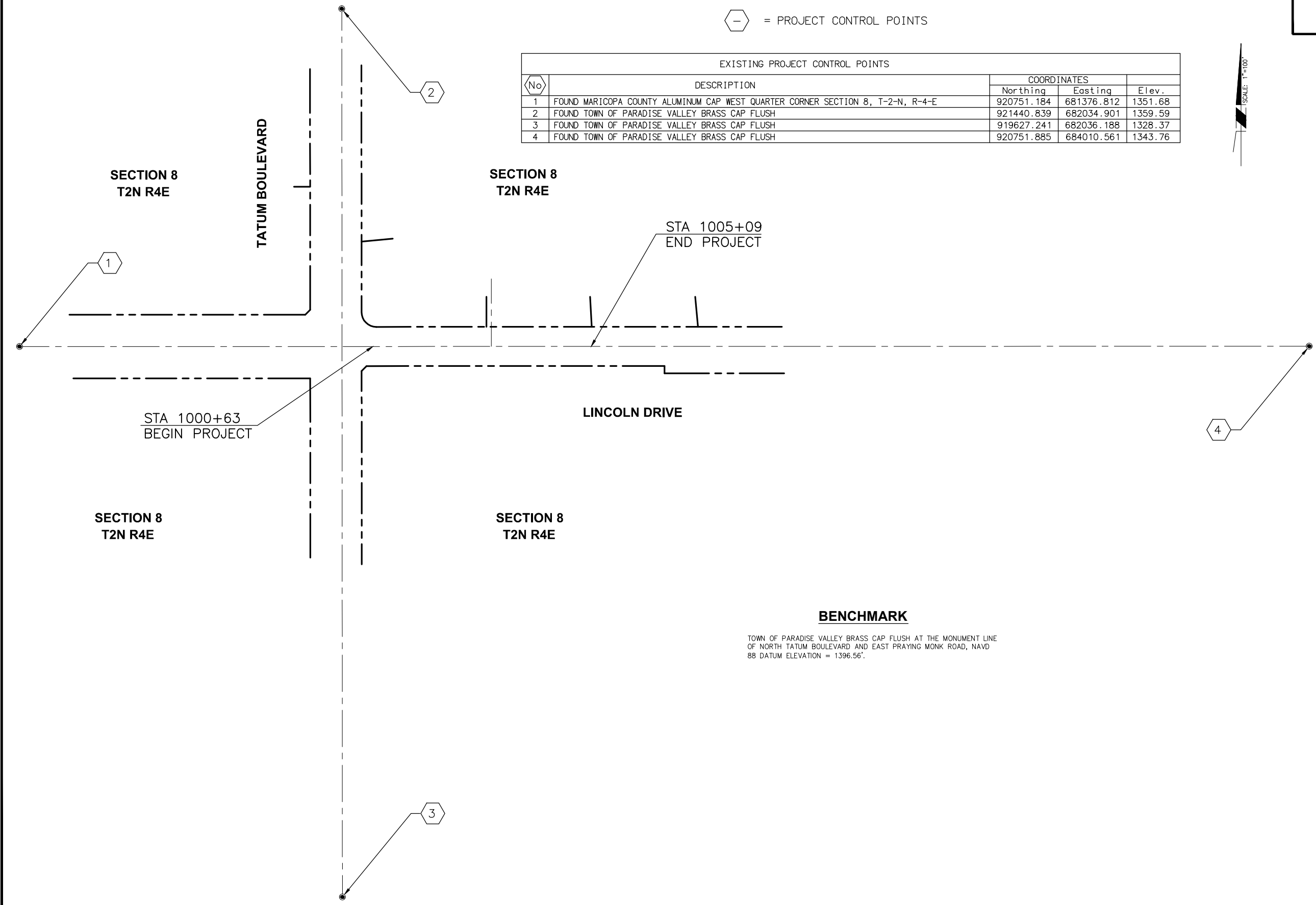


SHEET NO.	TOTAL SHEETS
3	21

SYMBOL LEGEND

= PROJECT CONTROL POINTS

No.	DESCRIPTION	COORDINATES		
		Northing	Easting	Elev.
1	FOUND MARICOPA COUNTY ALUMINUM CAP WEST QUARTER CORNER SECTION 8, T-2-N, R-4-E	920751.184	681376.812	1351.68
2	FOUND TOWN OF PARADISE VALLEY BRASS CAP FLUSH	921440.839	682034.901	1359.59
3	FOUND TOWN OF PARADISE VALLEY BRASS CAP FLUSH	919627.241	682036.188	1328.37
4	FOUND TOWN OF PARADISE VALLEY BRASS CAP FLUSH	920751.885	684010.561	1343.76



BENCHMARK

TOWN OF PARADISE VALLEY BRASS CAP FLUSH AT THE MONUMENT LINE OF NORTH TATUM BOULEVARD AND EAST PRAYING MONK ROAD, NAVD 88 DATUM ELEVATION = 1396.56'

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TOWN OF PARADISE VALLEY
ARIZONA
RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	G-1.03



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SHEET NO:	TOTAL SHEETS
4	21


PRELIMINARY

100%

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 CONSTRUCTION
 OR RECORDING

Item Number	Description	Unit	Quantity/Plan Sheet		TOTAL
			PP-1.01	PP-1.02	
1	Asphalt Concrete Pavement	SY	71	314	385
2	Portland Cement Concrete Pavement	SY		52	52
3	Variable Depth Mill	SY		592	592
4	Vertical Curb & Gutter, MAG 220, Type A, H=6"	LF		241	241
5	Single Curb, MAG 222, Type A, H=4"	LF		208	208
6	Single Curb, MAG 222, Type B, H=12"	LF		21	21
7	Valley Gutter, MAG 241	SF		858	858
8	Concrete Sidewalk, MAG 230, San Diego Buff Color	SF		1606	1606
9	Driveway Entrance, MAG 250-1, San Diego Buff Color	SF		162	162
10	Adjust Valve Box and Cover, MAG 391-1	EA		1	1
11	Adjust Manhole Frame and Cover	EA		1	1
12	Median Nose Transition, MAG 223	SF		7	7
13	5" Concrete Pavement, Class B, San Diego Buff Color	SY		40	40
14	Reset Existing Pullbox	EA	1		1
15	Remove Asphalt Pavement	SY	34	166	200
16	Remove Asphalt Pavement (Variable Depth Mill)	SY		592	592
17	Remove Concrete Curb	LF	173	461	634
18	Remove Concrete Sidewalk	SF		1378	1378
19	Remove Concrete Driveway	SF		141	141
20	Remove Concrete Header Curb	LF		56	56
21	Remove Traffic Signal Pull Box	EA		1	1
22	Relocate Telephone Pedestal	EA		1	1
23	Relocate CATV Box	EA		1	1
24	Relocate Traffic Signal Pull Box	EA		1	1

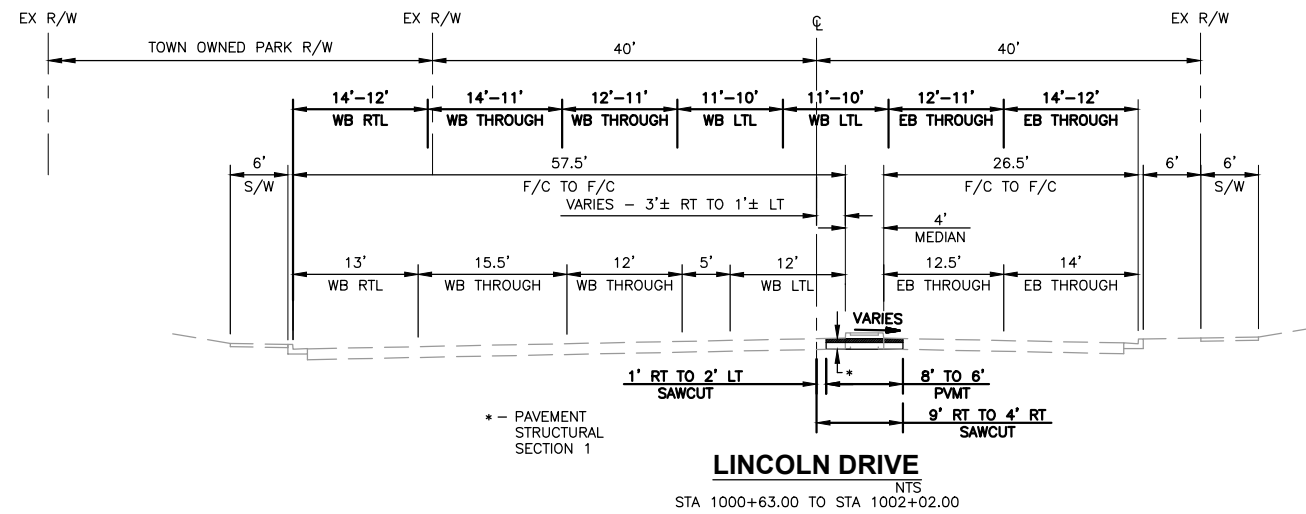
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NO.	DESCRIPTION	REV BY	CKD BY


TOWN OF PARADISE VALLEY
 ARIZONA
RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14
 DR: DF DES: CM CK: JB DWG SERIES NO.
 DATE: 02/17 DATE: 02/17 DATE: 02/17
QUANTITY SUMMARY SHEET **G-1.04**

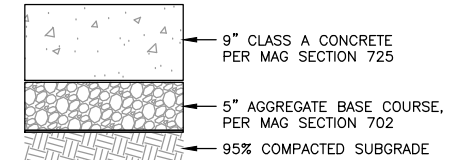
PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS



SHEET NO:	TOTAL SHEETS
5	21



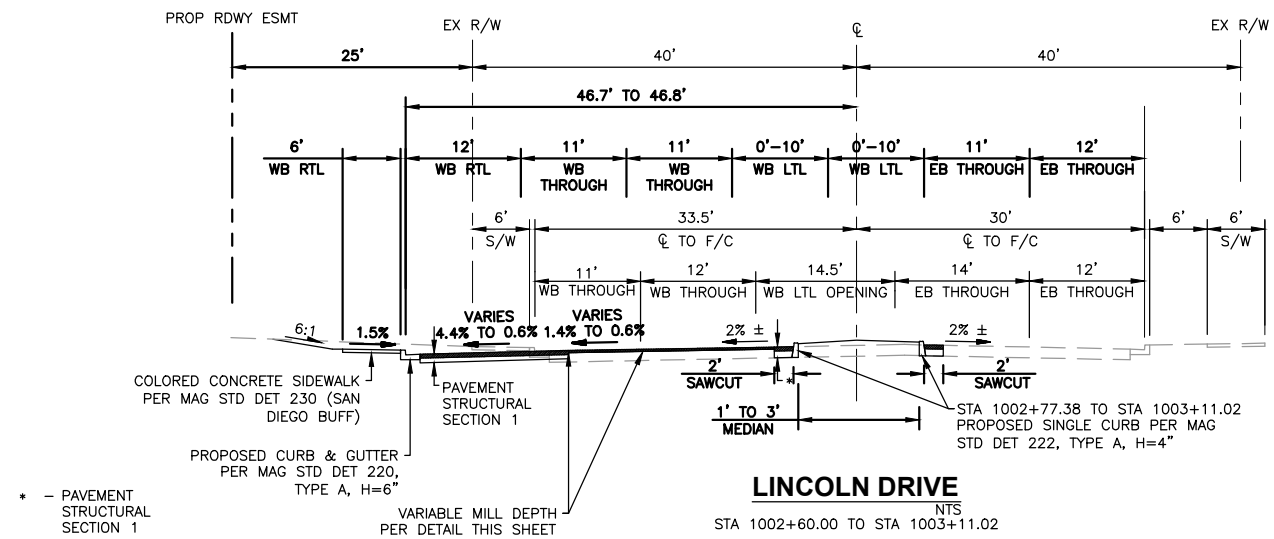
PAVEMENT STRUCTURAL SECTION NO. 1
NTS



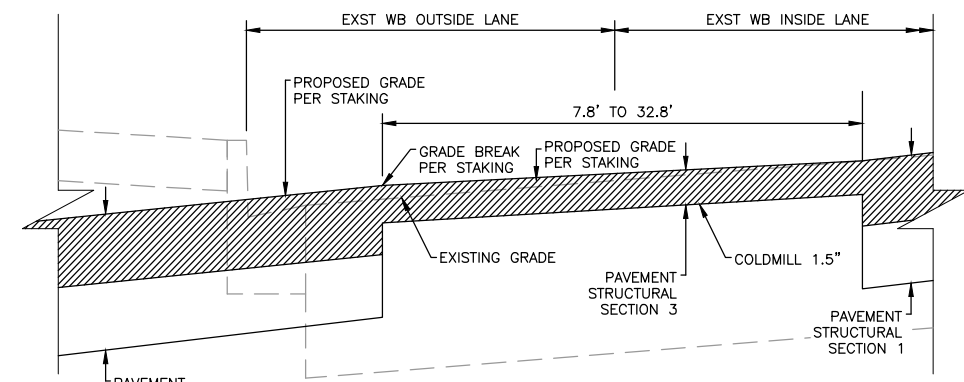
PAVEMENT STRUCTURAL SECTION NO. 2
NTS



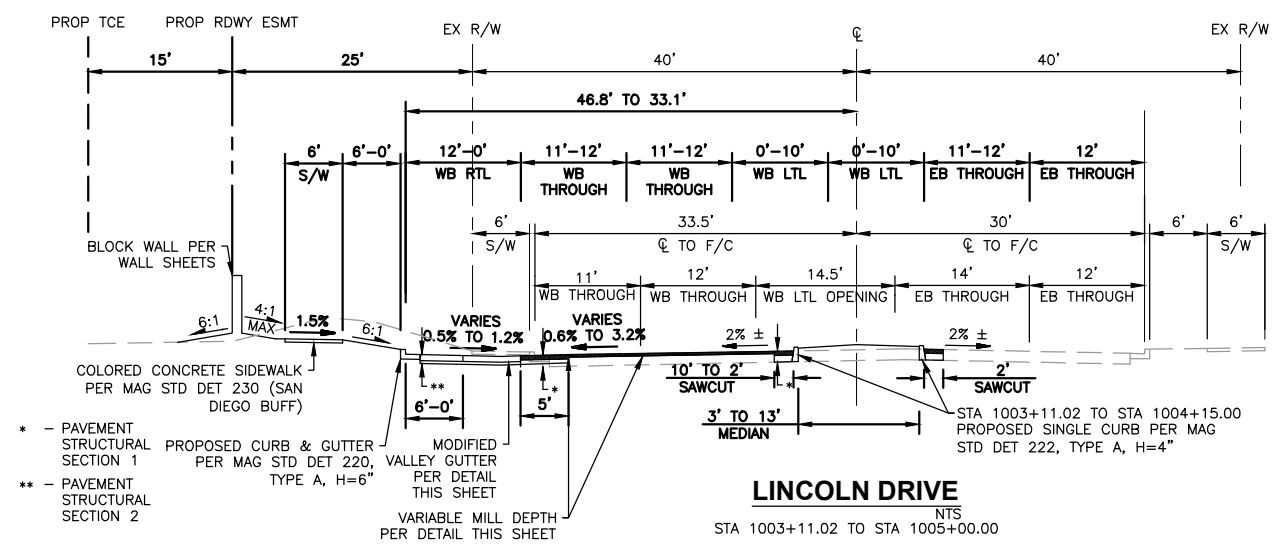
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NTS



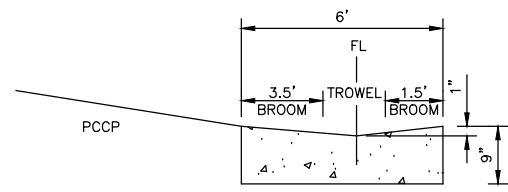
LINCOLN DRIVE
NTS



VARIABLE DEPTH MILL DETAIL
NTS



LINCOLN DRIVE
NTS



MODIFIED VALLEY GUTTER
NTS

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**RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14**

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	G-1.05

TYPICAL SECTIONS

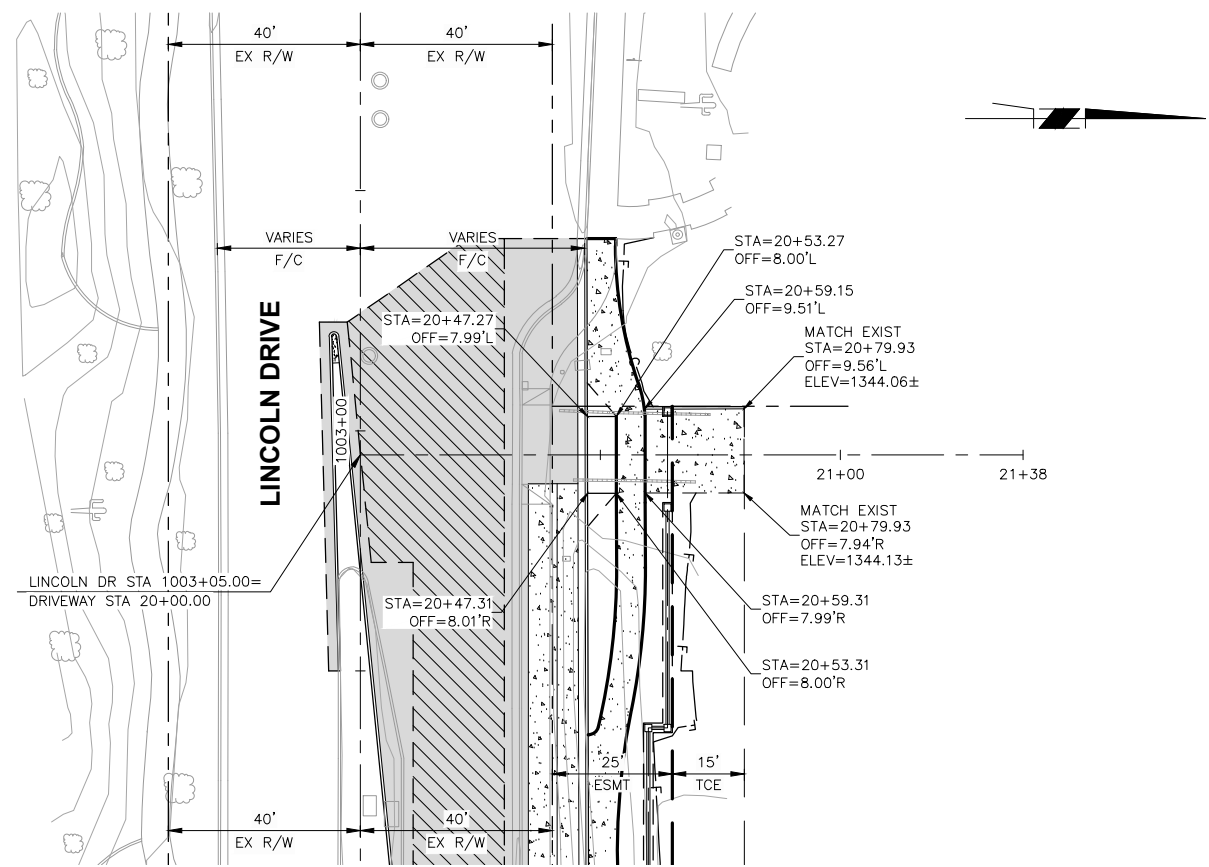


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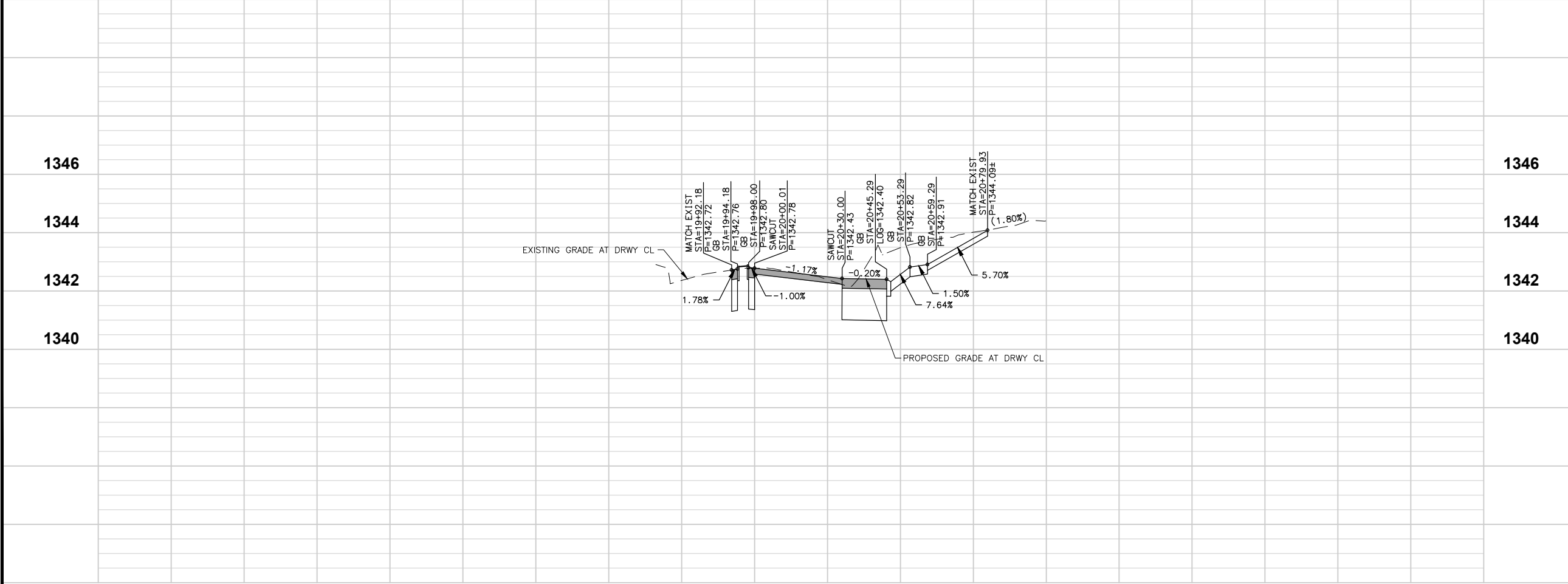
SHEET NO:	TOTAL SHEETS
6	21

SCALE: 1"=20' VERTICAL
 1"=20' HORIZONTAL

PRELIMINARY
100%
 NOT FOR CONSTRUCTION OR RECORDING



LINCOLN DRIVE DWY @ STA 1003+05.00
 SEE PAVING SHEET 10



REVISION BY TOWN OF PARADISE VALLEY		
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TOWN OF PARADISE VALLEY
 ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	G-1.06

DRIVEWAY PLAN & PROFILE



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SHEET NO: 7 TOTAL SHEETS: 21

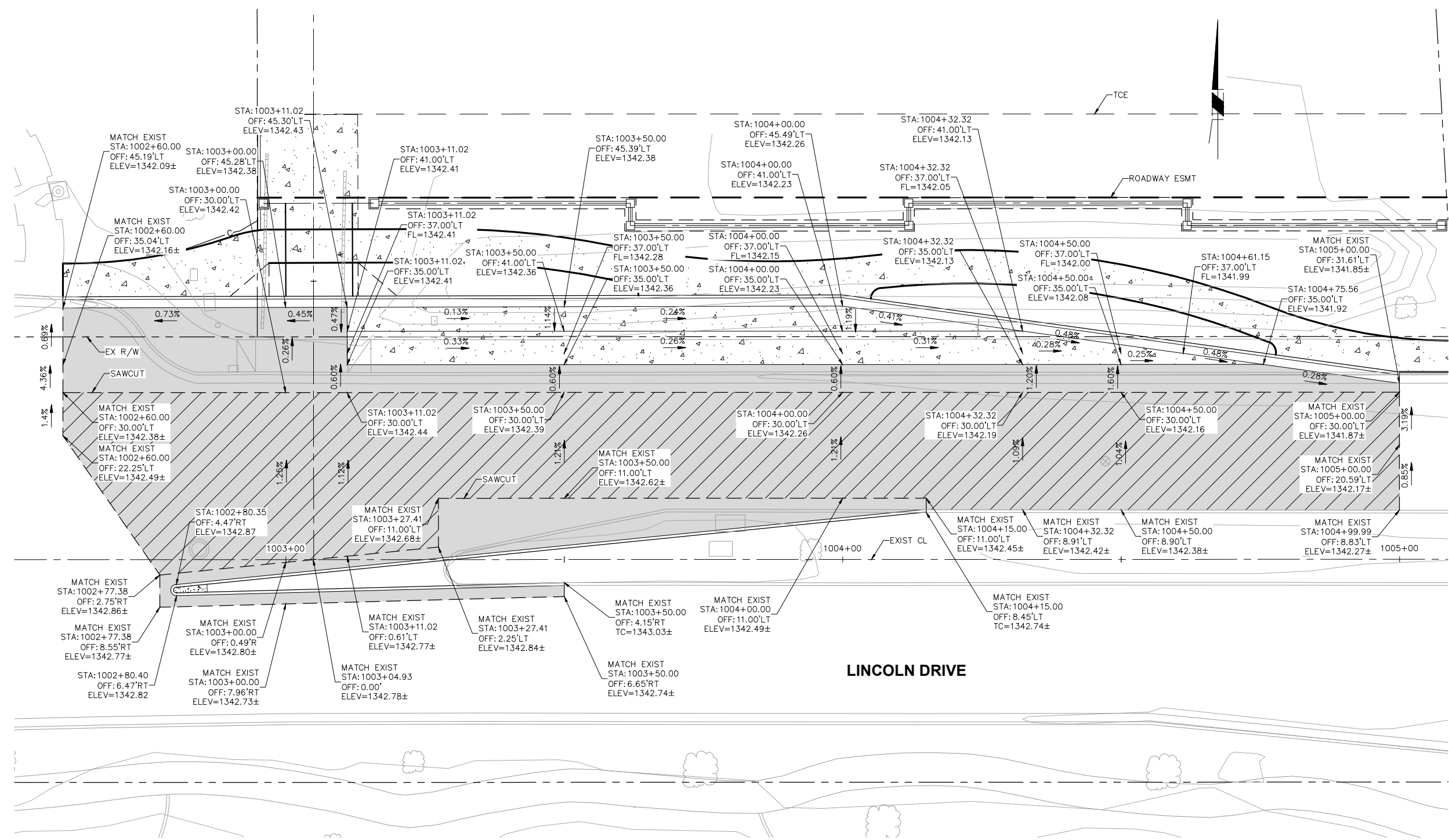
SCALE: 1"=10' VERTICAL
1"=10' HORIZONTAL

PRELIMINARY

100%

NOT FOR CONSTRUCTION OR RECORDING

NOTE: ALL CONCRETE FORMS ARE TO BE "AS-BUILT" AND APPROVED BY TOWN INSPECTOR BEFORE CONCRETE IS PLACED.



LINCOLN DRIVE STAKING SHEET
SEE SHEET PP-1.02

REVISION BY TOWN OF PARADISE VALLEY		
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TOWN OF PARADISE VALLEY
ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	

STAKING SHEET G-1.07



SHEET NO:	TOTAL SHEETS
8	21

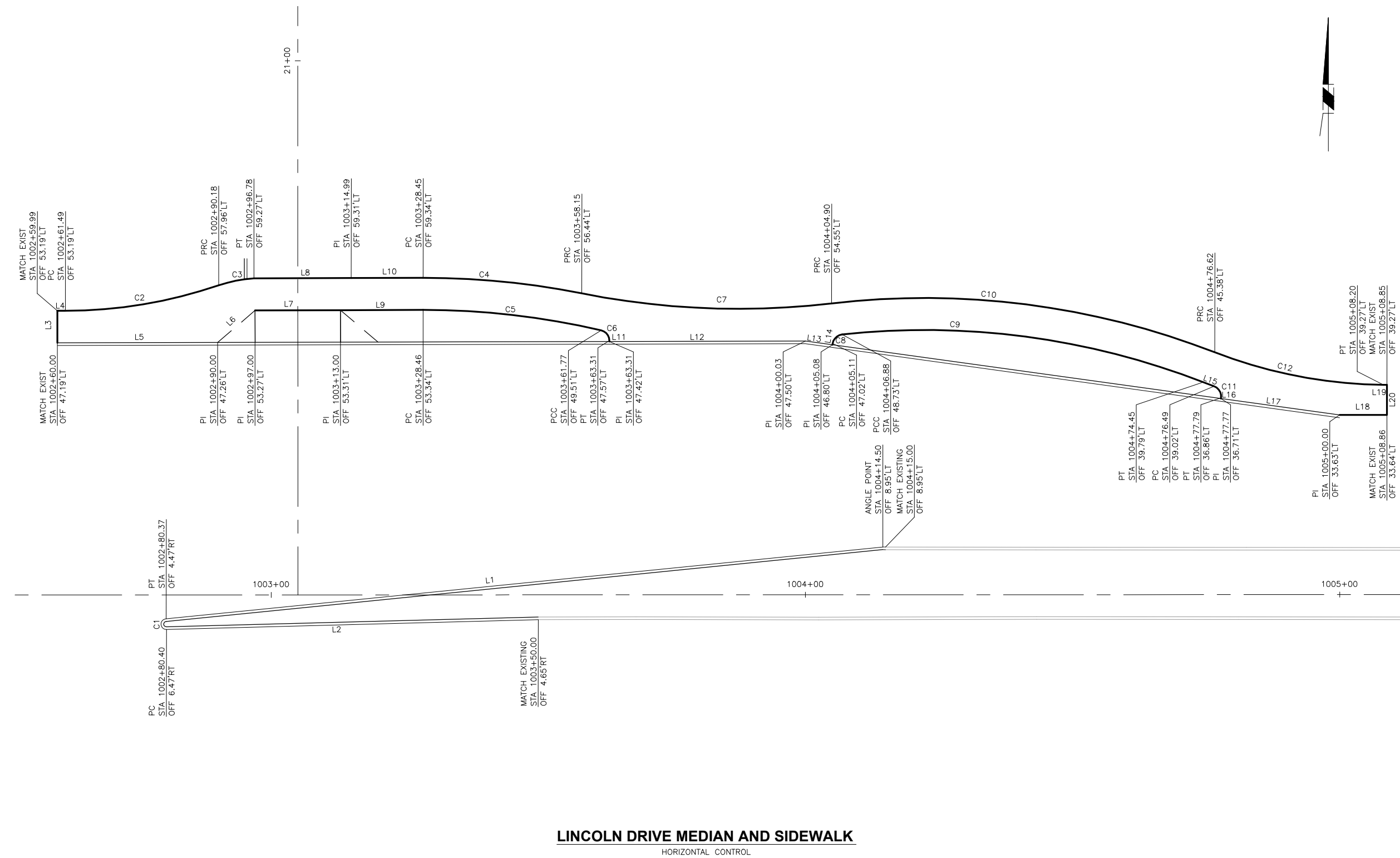
SCALE: 1"=10' VERTICAL
1"=10' HORIZONTAL

SIDEWALK LINE/CURVE DATA TABLE				
NO.	BEARING/DELTA	RADIUS	LENGTH	TANGENT
L3	N 00°09'08" W	--	6.00'	--
L4	N 89°51'30" E	--	1.51'	--
C2	18°35'37"	90.00'	29.21'	14.73'
C3	14°52'25"	26.00'	6.75'	3.39'
L5	N 89°51'30" E	--	30.00'	--
L6	N 49°18'38" E	--	9.23'	--
L7	N 89°51'30" E	--	16.00'	--
L8	N 89°51'30" E	--	18.21'	--
L9	N 89°51'30" E	--	15.46'	--
L10	N 89°51'30" E	--	13.46'	--
C4	11°25'00"	150.00'	29.89'	14.99'
C5	13°22'17"	144.00'	33.61'	16.88'
C6	76°37'43"	2.00'	2.68'	1.58'
C7	17°56'55"	150.00'	46.99'	23.69'
L11	S 00°08'30" E	--	0.15'	--
L12	N 89°51'30" E	--	36.72'	--
L13	S 82°06'53" E	--	5.10'	--
L14	N 07°53'07" E	--	0.22'	--
C8	75°57'10"	2.00'	2.65'	1.56'
C9	27°22'46"	144.00'	68.81'	35.08'
C10	27°53'28"	150.00'	73.02'	37.25'
L15	S 69°25'59" E	--	2.18'	--
C11	77°58'07"	2.00'	2.72'	1.62'
L16	S 07°53'07" W	--	0.15'	--
L17	S 82°06'53" E	--	22.45'	--
C12	20°35'05"	90.00'	32.33'	16.34'
L18	N 89°54'20" E	--	8.86'	--
L19	S 89°22'02" E	--	0.65'	--
L20	N 00°07'31" W	--	5.63'	--

NOTE: ALL SIDEWALK LINE/CURVE DATA TO EDGE OF PATH

MEDIAN LINE/CURVE DATA TABLE				
NO.	BEARING/DELTA	RADIUS	LENGTH	TANGENT
L1	S 84°16'27" W	--	134.81'	--
L2	N 88°29'14" E	--	69.62'	--
C1	180°00'00"	1.00'	3.14'	INFINITY

NOTE: ALL MEDIAN LINE/CURVE DATA TO FACE OF CURB



LINCOLN DRIVE MEDIAN AND SIDEWALK
HORIZONTAL CONTROL

REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY / CKD BY



TOWN OF PARADISE VALLEY ARIZONA
RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	G-1.08

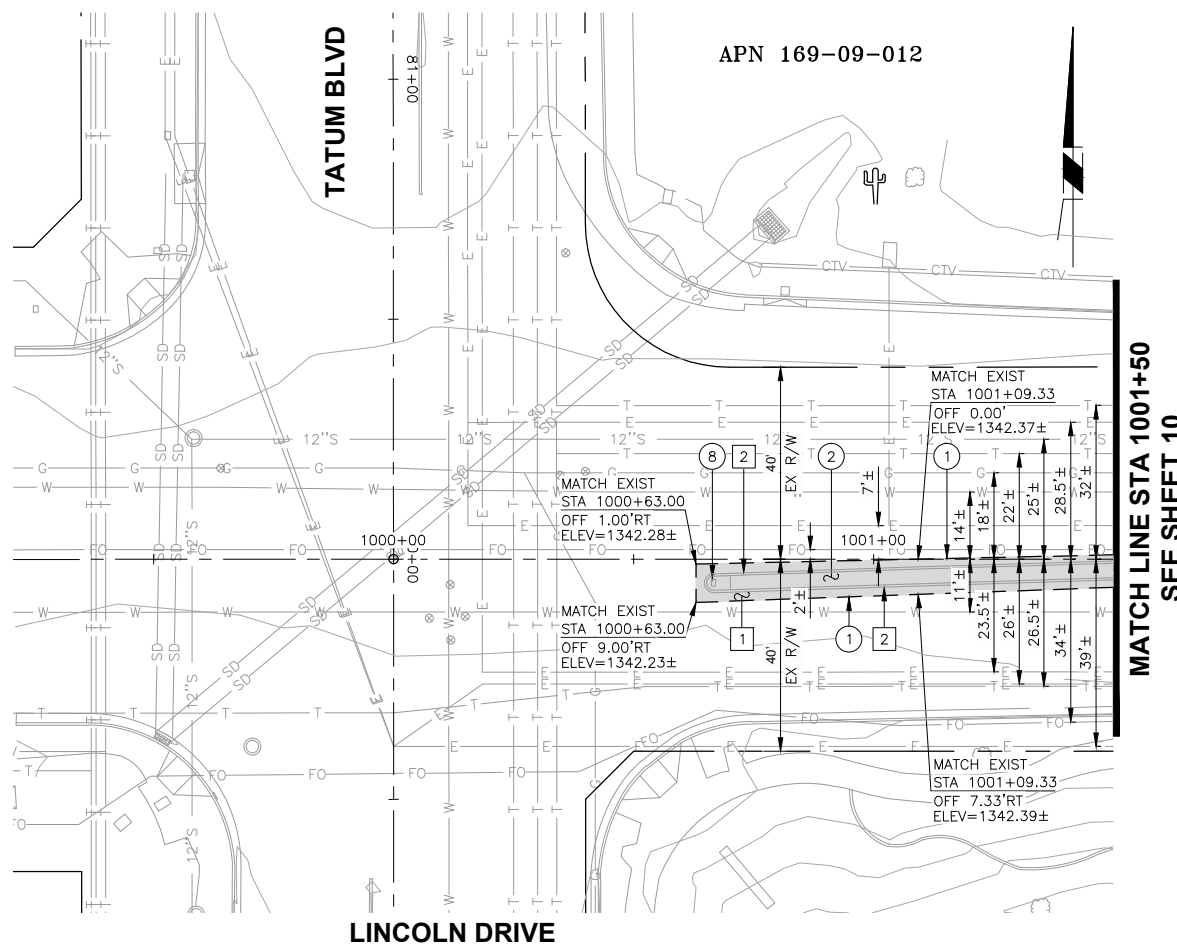


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 Tempe, AZ 85281

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SHEET NO:	TOTAL SHEETS
9	21

SCALE: 1"=2' VERTICAL
 1"=20' HORIZONTAL



PAVING CONSTRUCTION NOTES

NO.	DESCRIPTION	UNIT
1	SAWCUT 2" MIN EXISTING PAVEMENT TO NEAT CLEAN EDGE & MATCH WITH PAVING PER TYPICAL SECTIONS	N.P.L.
2	CONSTRUCT ASPHALT CONCRETE PAVEMENT PER PAVEMENT SECTION DETAIL 01 ON SHEET G-1.05	71 SY
8	RESET EXISTING PULLBOX	1 EA

REMOVAL/RELOCATE NOTES

NO.	DESCRIPTION	UNIT
1	REMOVE EXISTING ASPHALT PAVEMENT	34 SY
2	REMOVE EXISTING CONCRETE CURB (VERT. C&G, ROLL OR SINGLE)	173 LF

PROFILE LEFT INTENTIONALLY BLANK

REVISION BY TOWN OF PARADISE VALLEY

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TOWN OF PARADISE VALLEY ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

DR: DF	DES: CM	CK: JB	DWG SERIES NO.
DATE: 02/17	DATE: 02/17	DATE: 02/17	PP-1.01

PAVING AND PROFILE



APN 169-09-012

APN 169-09-013

APN 169-09-014

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SHEET NO: 10 TOTAL SHEETS: 21

SCALE: 1"=20' VERTICAL
 1"=20' HORIZONTAL

PRELIMINARY
100%
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PAVING CONSTRUCTION NOTES

NO.	DESCRIPTION	UNIT
1	SAWCUT 2" MIN EXISTING PAVEMENT TO NEAT CLEAN EDGE & MATCH WITH PAVING PER TYPICAL SECTIONS	N.P.L.
2	CONSTRUCT ASPHALT CONCRETE PAVEMENT PER TYPICAL SECTIONS ON SHEET G-1.05	314 SY
3	CONSTRUCT 6" VERTICAL CURB AND GUTTER PER MAG STD DET 220-1, TYPE "A"	241 LF
4	INSTALL 4" SINGLE VERTICAL CURB PER MAG STD DET 222, TYPE "A"	208 LF
5	INSTALL 4" THICK CONC. SIDEWALK USE COLORED CONCRETE (SAN DIEGO BUFF) CONSTRUCT PER MAG STD DET 230	1606 SF
6	CONSTRUCT DRIVEWAY ENTRANCE PER MAG STD DET 250-1 (SAN DIEGO BUFF)	162 SF
7	CONSTRUCT 5" THICK CONCRETE PAVEMENT, CLASS B (SAN DIEGO BUFF)	40 SY
9	CONSTRUCT VARIABLE DEPTH MILL PER TYPICAL SECTIONS ON SHEET G-1.05	592 SY
10	CONSTRUCT VALLEY GUTTER PER MAG STD DET 240, W=6'	858 SF
11	CONSTRUCT PORTLAND CEMENT CONCRETE PAVEMENT PER TYPICAL SECTIONS ON SHEET G-1.05	52 SY
12	ADJUST MANHOLE FRAME AND COVER PER MAG STD DTL 422	1 EA
13	ADJUST VALVES BOX AND COVER PER MAG STD DTL 391-1	1 EA
14	CONSTRUCT MEDIAN NOSE TRANSITION PER MAG STD DTL 223	7 SF
15	INSTALL 12" SINGLE VERTICAL CURB PER MAG STD DET 222, TYPE "b"	21 LF

REMOVAL/RELOCATE NOTES

NO.	DESCRIPTION	UNIT
1	REMOVE EXISTING ASPHALT PAVEMENT	166 SY
2	REMOVE EXISTING CONCRETE CURB (VERT. C&G, ROLL OR SINGLE)	461 LF
3	REMOVE EXISTING CONCRETE SIDEWALK	1378 SF
4	REMOVE EXISTING DRIVEWAY	141 SF
5	REMOVE EXISTING ASPHALT PAVEMENT (VARIABLE DEPTH MILL)	592 SY
6	REMOVE CONCRETE HEADER CURB	56 LF
7	REMOVE EXISTING TRAFFIC SIGNAL PULL BOX	1 EA
8	RELOCATE EXISTING TELEPHONE PEDESTAL - STA 1002+88, OFF=59'LT	1 EA
9	RELOCATE EXISTING CATV BOX - STA 1002+86, OFF=59.5'LT	1 EA
10	RELOCATE TRAFFIC SIGNAL PULL BOX - STA 1002+83, OFF=58'LT	1 EA

REMOVAL/RELOCATE BY OTHERS NOTES

NO.	DESCRIPTION	UNIT
1	RELOCATE EXISTING PULL BOX - STA 1004+18, OFF=6.5'LT	1 EA

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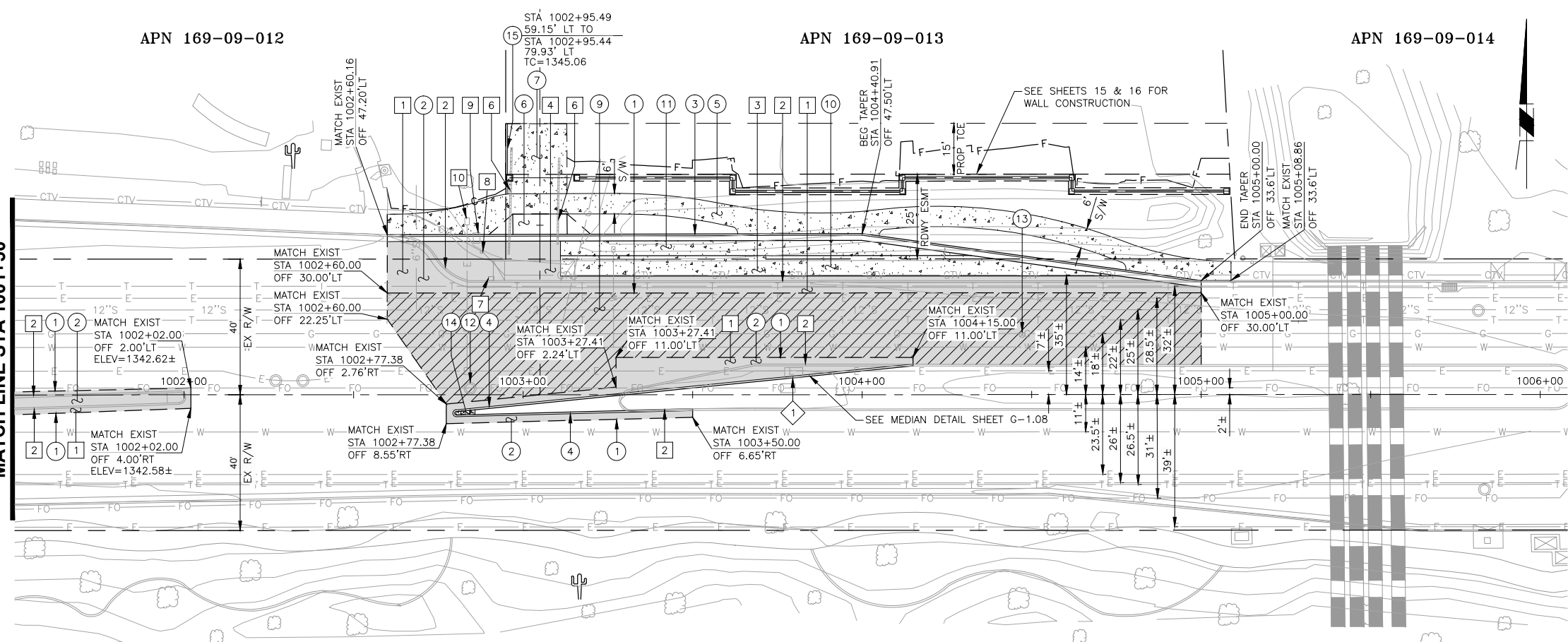
TOWN OF PARADISE VALLEY
 ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

DR: DF DES: CM CK: JB DWG SERIES NO.
 DATE: 02/17 DATE: 02/17 DATE: 02/17

PAVING AND PROFILE PP-1.02

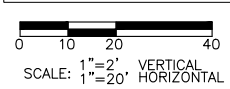
SEE SHEET 9
 MATCH LINE STA 1001+50



LINCOLN DRIVE

SEE STAKING SHEET G-1.07

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS



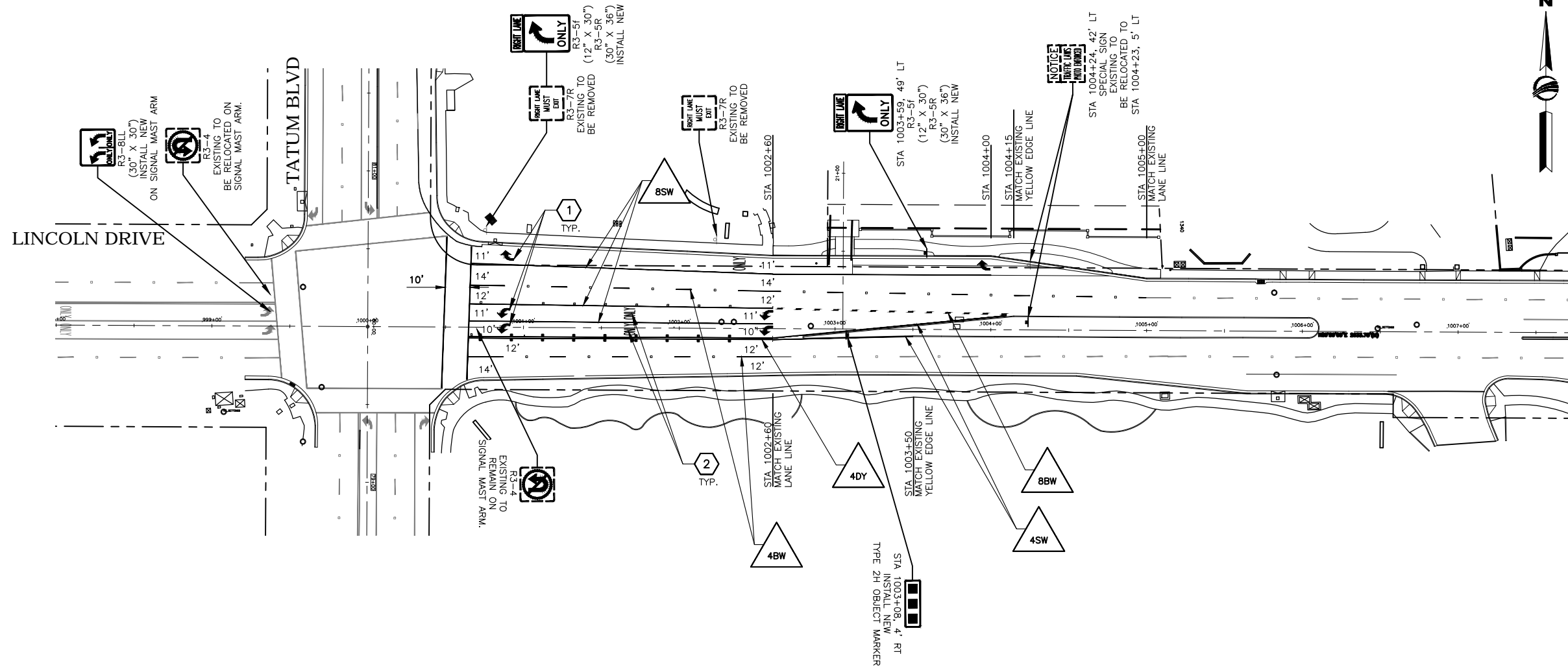
SHEET NO:	TOTAL SHEETS
11	21

CONSTRUCTION NOTES

- 1. INSTALL PAVEMENT ARROW PER ADOT STANDARD DETAIL M-11.
- 2. INSTALL "ONLY" LEGEND PER ADOT STANDARD DETAIL M-11.

PAVEMENT MARKING LEGEND

- 4" SOLID BROKEN DOUBLE YELLOW LANE LINE
- 4" SOLID DOUBLE YELLOW LANE LINE W/TYPE "D" RPM @ 20' SPACING
- 8" SOLID WHITE LANE LINE
- 4" SOLID WHITE LANE LINE
- 4" BROKEN WHITE LINE, 10' LINE SEGMENT W/ 30' GAP
- 8" BROKEN WHITE LINE, 3' LINE SEGMENT W/ 9" GAP



SIGNING AND MARKING NOTES:

1. ALL PAVEMENT MARKINGS, SIGNING AND WORK ZONE TRAFFIC CONTROL TYPE AND LAYOUT NEED TO CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, [HTTP://MUTCD.FHWA.DOT.GOV/INDEX.HTM](http://mutcd.fhwa.dot.gov/index.htm).
2. WORK ZONE TRAFFIC CONTROL NEEDS TO CONFORM TO THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL AND/OR AS DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.
3. SIGNS ARE TO BE INSTALLED ON TELESPEAR PREPUNCHED SQUARE STEEL TUBING POSTS PER DETAILS ON SMO2.
4. DIMENSIONS TO SIGNS NEED TO INCLUDE THE SIGN POST, OR IN THE CASE OF MULTIPLE POSTS, THE PLAN VIEW CENTER OF THE SIGN.
5. ALL PAVEMENT SYMBOLS, ARROWS AND LEGENDS SHALL BE TYPE 1 PERMANENT, HIGH PERFORMANCE PREFORMED PAVEMENT TAPE. (TAPE MUST PERFORM AS 3M 380I-ES SERIES OR EQUIVALENT.)
6. RAISED PAVEMENT MARKERS (RPMS) SHALL BE INSTALLED PER ADOT STANDARD DRAWING M-19, WITH A TOWN APPROVED BITUMINOUS ADHESIVE.
7. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY SANDBLASTING, HYDROBLASTING OR GRINDING PRIOR TO THE INSTALLATION OF NEW PAVEMENT MARKINGS. REMOVALS SHALL BE TO THE SATISFACTION OF THE TOWN INSPECTOR.
8. ASTM TYPE IV SHEETING (MINIMUM) SHALL BE USED FOR ALL WARNING AND REGULATORY AND STREET NAME SIGNS.
9. THE CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF ALL PAVEMENT MARKINGS. PAVEMENT MARKING LAYOUT SHALL BE APPROVED BY TOWN INSPECTOR PRIOR TO THE APPLICATION OF THE FINAL PRODUCT. ALL PAVEMENT MARKING DRAWINGS ARE SCHEMATIC ONLY. THE CONTRACTOR SHALL FOLLOW ALL DIMENSIONS, DETAILS AND STANDARDS WHEN INSTALLING PAVEMENT STRIPING, MARKING AND MARKERS.

APPROXIMATE PAVEMENT MARKING QUANTITIES		
ITEM DESCRIPTION	UNIT	TOTAL
WHITE THERMOPLASTIC (90 MIL) (4" EQUIVALENTS)	L.FT.	2350
YELLOW THERMOPLASTIC (90 MIL) (4" EQUIVALENTS)	L.FT.	640
RAISED PAVEMENT MARKERS - TYPE D	EACH	32
RAISED PAVEMENT MARKERS - TYPE G	EACH	36
PAINTED MEDIAN NOSE	EACH	1
TYPE I PERMANENT PAVEMENT TAPE	SINGLE ARROW	EACH 6
	"ONLY" LEGEND	EACH 3
OBLITERATE EXISTING PAVEMENT MARKING	4" STRIPE	L.FT. 1,110
	12" STRIPE	L.FT. 190
	ARROW OR BIKE LEGEND	EACH 6

PAVEMENT MARKING QUANTITIES REFLECT 4" EQUIVALENTS.

APPROXIMATE SIGN QUANTITIES		
DESCRIPTION	UNITS	QUANTITIES
SIGN POST	L.F.	23
ANCHOR FOR SIGN POST	EACH	3
REGULATORY, WARNING, OR MARKER SIGN PANEL	SQ.FT.	30
REMOVE AND SALVAGE EXISTING SIGN, POST AND FOUNDATION	EACH	2
RELOCATE SIGN ASSEMBLY	EACH	1
OBJECT MARKER ASSEMBLY (DETAIL ON SMO2)	EACH	1

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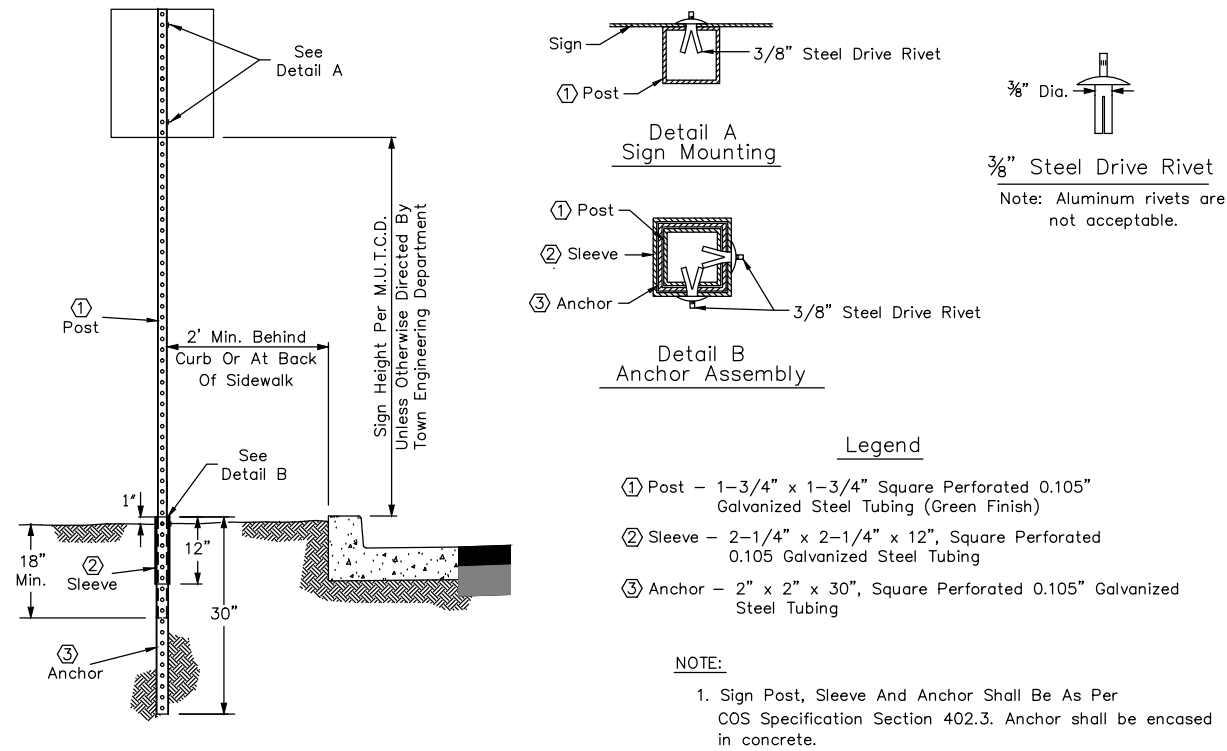
TOWN OF PARADISE VALLEY
ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: SP	DES: SP	CK: JW	DWG SERIES NO.
DATE: 02/16/17	DATE: 02/16/17	DATE: 02/16/17	SM01

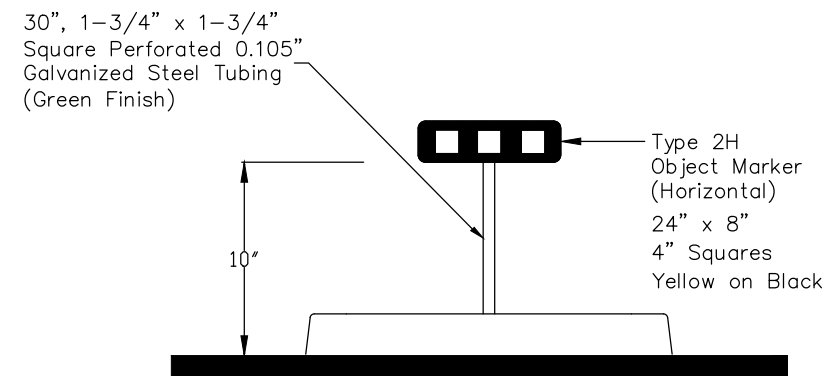


SHEET NO:	TOTAL SHEETS
12	21



SIGN POST INSTALLATION DETAIL

N.T.S.



OBJECT MARKER ASSEMBLY

N.T.S.

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TOWN OF PARADISE VALLEY ARIZONA

RITZ CARLTON STREET IMPROVEMENTS TATUM BLVD & LINCOLN DRIVE PROJECT NO. 2016-14

DR: SP DES: SP CK: JW DWG SERIES NO. DATE: 02/16/17 DATE: 02/16/17 DATE: 02/16/17

SIGNING & MARKING DETAILS SM02



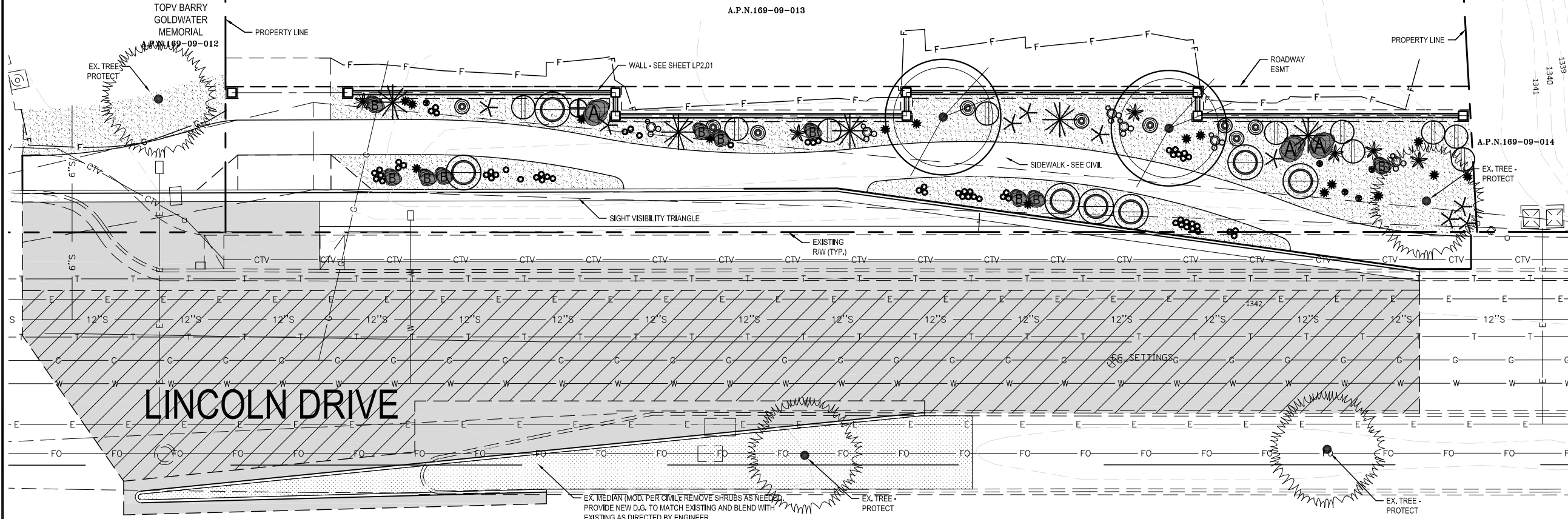


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13	21

SCALE: 1"=10'

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PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	EXISTING TREE		EXISTING	4
	OLNEYA TESOTA	DESERT IRONWOOD	24"BOX	2
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACACIA REDOLENS 'DESERT CARPET' TM	BANK CATCLAW	FLAT	7
	AGAVE AMERICANA	CENTURY PLANT	5 GAL	6
	AGAVE BOVICORNUTA	COW'S HORN AGAVE	5 GAL	16
	ASCLEPIAS SUBULATA	RUSH MILKWEED	5 GAL	9
	BAILEYA MULTIRADIATA	DESERT MARIGOLD	5 GAL	61
	ENCELIA FARINOSA	BRITTLE BUSH	5 GAL	10
	FOUQUIERIA SPLENDENS	OCOTILLO	12 CANE MIN.	5
	JUSTICIA CALIFORNICA 'CHUPEROSA'	BELOPERONE	15 GAL	9
CACTI	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CARNEGIEA GIGANTEA	SAGUARO	10' SPEAR	1
	FEROCACTUS WISLIZENII	FISH HOOK BARREL CACTUS	15 GAL	5
	OPUNTIA X 'KELLY'S CHOICE'	PRICKLY PEAR	15 GAL	6

INERT MATERIAL

TYPE	QTY
DG1: 3" MINUS (EXPRESS NATURAL) ROCK MULCH "EXPRESS CARMEL"	2639 SF
DG2: MATCH EXISTING ROCK MULCH IN IN SIZE AND COLOR.	962 SF
BOULDER: 3'X3'X5' 2500 LBS. 'EXPRESS CARMEL'	3
BOULDER: 2'X3'X3' 1800 LBS. 'EXPRESS CARMEL'	9

THE TERM "ENGINEER" AS USED IN THE LANDSCAPE ARCHITECTURE DRAWINGS REFERS TO TOWN STAFF OR THEIR LANDSCAPE ARCHITECTURE CONSULTANT ACTING DIRECTLY AS OR FOR THE TOWN ENGINEER FOR SUCH WORK.

LANDSCAPE/PLANTING NOTES

- LANDSCAPE BERMS, DEPRESSIONS, AND SWALES SHALL BE GRADED TO A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LANDFORM CONTINUITY. ROUGH GRADE IS TO BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO THE TOP DRESSING TO ESTABLISH FINAL GRADE.
- CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITES, AND ENSURE POSITIVE DRAINAGE.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS, WALLS, UTILITY EQUIPMENT, ETC.
- CONTRACTOR SHALL MEET EXISTING GRADES UNIFORMLY WITH A SMOOTH TRANSITION AT PROJECT BOUNDARIES. FINISH GRADES SHALL BE 1" BELOW THE TOP TRANSITION OF ADJACENT WALKS AND HEADERS UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL FINE GRADE AND COVER AREAS DISTURBED BY CONSTRUCTION WITH AN APPROVED TOP DRESSING AS SPECIFIED IN THE PLANS OR SPECIFICATIONS.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL GOVERN.
- THE ENGINEER RESERVES THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS, OR IMPROPER CARE BOTH AT THE NURSERY AND ON THE SITE FOLLOWING DELIVERY, UNLOADING OF PLANT MATERIAL AND PLANTING.
- PLANT MATERIALS BEST SIDE SHALL BE ALIGNED TO ROAD AND WALKS UNLESS OTHERWISE SHOWN ON THESE PLANS. SPACING SHALL BE ADJUSTED AS NECESSARY, SUBJECT TO REVIEW BY ENGINEER.
- PLANTINGS AT MATURITY SHALL MAINTAIN 3'-0" CLEARANCE AROUND FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.
- PLANTINGS SHALL NOT INTERFERE WITH TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 2'-0" WITHIN SIGHT DISTANCE TRIANGLES.
- UNLESS OTHERWISE APPROVED BY ENGINEER, TREES SHALL MAINTAIN A MINIMUM 10'-0" CLEARANCE FROM WATER OR SEWER LINES AND A MINIMUM 6'-0" CLEARANCE FROM OTHER UTILITY LINES. PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE TO SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.
- SHRUBS SHALL BE INSTALLED FROM BACK OF CURB, EDGE OF WALK, OR EDGE OF PAVING A MINIMUM OF 2' CLEAR AT MATURE SIZE.
- PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.

REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY / CKD BY

TOWN OF PARADISE VALLEY ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	PLANTING PLAN
			LP1.01

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS

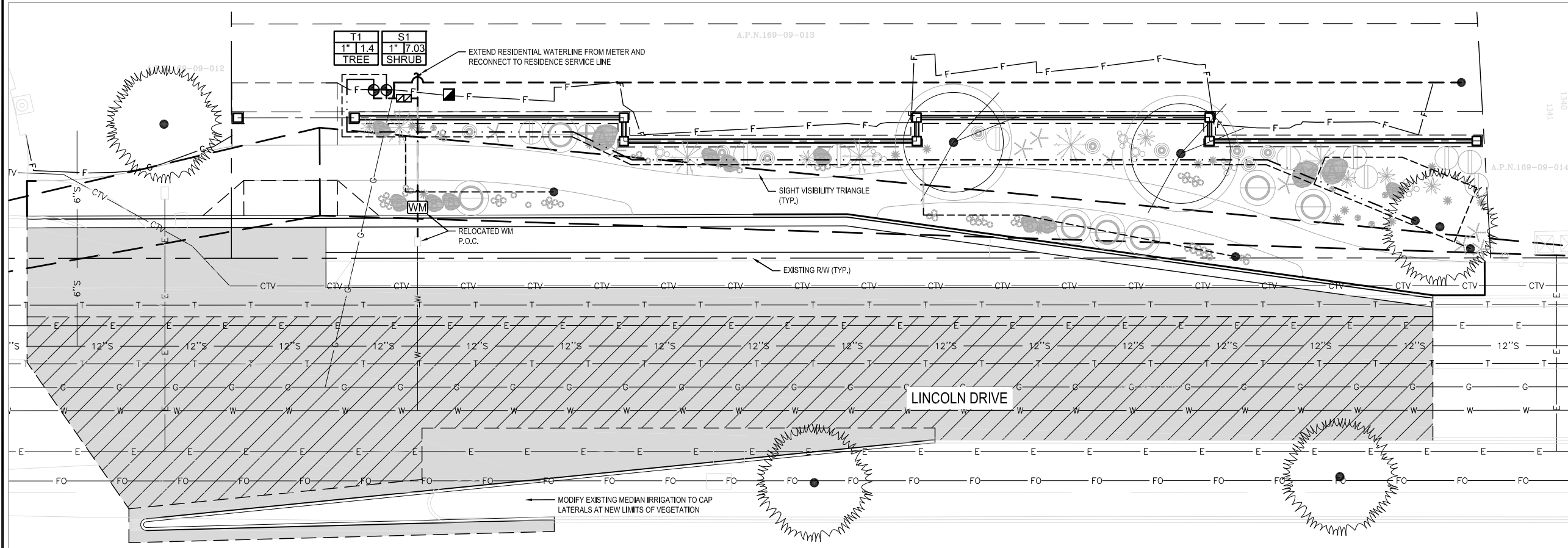


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SHEET NO:	TOTAL SHEETS
14	21

SCALE: 1"=10'

100%
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Irrigation Legend:

- | SYMBOL | DESCRIPTION |
|--------------------|---|
| [Symbol] | BACKFLOW PREVENTER AND ENCLOSURE - 1" FEBCO 825YA, GUARDSHACK GS-2 |
| [Symbol] | CONTROLLER - LEIT X20 |
| [Symbol] | DRIP VALVE ASSEMBLY - RAIN BIRD 100-PEB 1" CONTROL VALVE WITH DC LATCHING SOLENOID (LEMA 1600HE W-30-921 ADAPTER), RAIN BIRD RBY100MPTX WYE FILTER, RAIN BIRD PRESSURE REGULATOR PSI-L30X-075 (FOR FLOWS LESS THAN 2.0 GPM), RAIN BIRD PSI-M30X-075 (FOR FLOWS FROM 2.0 TO 10.0 GPM), SPEARS 1" SXS ECON (BV2622-010) |
| [Symbol] | BALL VALVE |
| [Symbol] | FLUSH CAP |
| [Symbol] | MAINLINE - 1" SCH 40 PVC |
| [Symbol] | DRIP LINE LATERAL (TREES) - 3/4" SCH 40 PVC |
| [Symbol] | DRIP LINE LATERAL (SHRUBS) - 3/4" SCH 40 PVC |
| [Symbol] | PIPE SLEEVING - SEE SLEEVING SCHEDULE FOR SIZE AND TYPE |
| VALVE LABEL | |
| [Symbol] | ZONE NUMBER |
| [Symbol] | GALLONS PER MINUTE (GPM) |
| [Symbol] | ZONE TYPE |
| [Symbol] | ELECTRIC CONTROL VALVE SIZE |
| NOT SHOWN | DRIP EMITTER |
| NOT SHOWN | ACCENTS - BOWSMITH ML210 |
| NOT SHOWN | GROUNDCOVERS - BOWSMITH ML210 |
| NOT SHOWN | SHRUBS - BOWSMITH ML210 |
| NOT SHOWN | TREES - BOWSMITH ML220 |
| NOT SHOWN | CONTROL WIRE - UF DIRECT BURIAL SOLID COPPER, 12 GA. COMMON, 12 GA. PILOT |

- NOTES:**
- SOME PIPE AND/OR EQUIPMENT IS SHOWN IN HARDSCAPE AREAS FOR VISUAL CLARITY. INSTALL IRRIGATION EQUIPMENT AND/OR PIPING SHOWN IN HARDSCAPE (WITHOUT SLEEVES) IN ADJACENT LANDSCAPE AREA.
 - POLY TUBE SHALL NOT EXCEED 5' IN LENGTH OFF PVC LATERALS.
 - SEE SHEETS L2.5 - L2.8 FOR IRRIGATION DETAILS.
 - INSTALL SPARE CONTROL WIRES PER SPECIFICATIONS.
 - SEE SHEET L0.1 FOR GENERAL IRRIGATION NOTES.

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RITZ CARLTON STREET IMPROVEMENTS TATUM BLVD & LINCOLN DRIVE PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	IRRIGATION PLAN
			IR1.10

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS

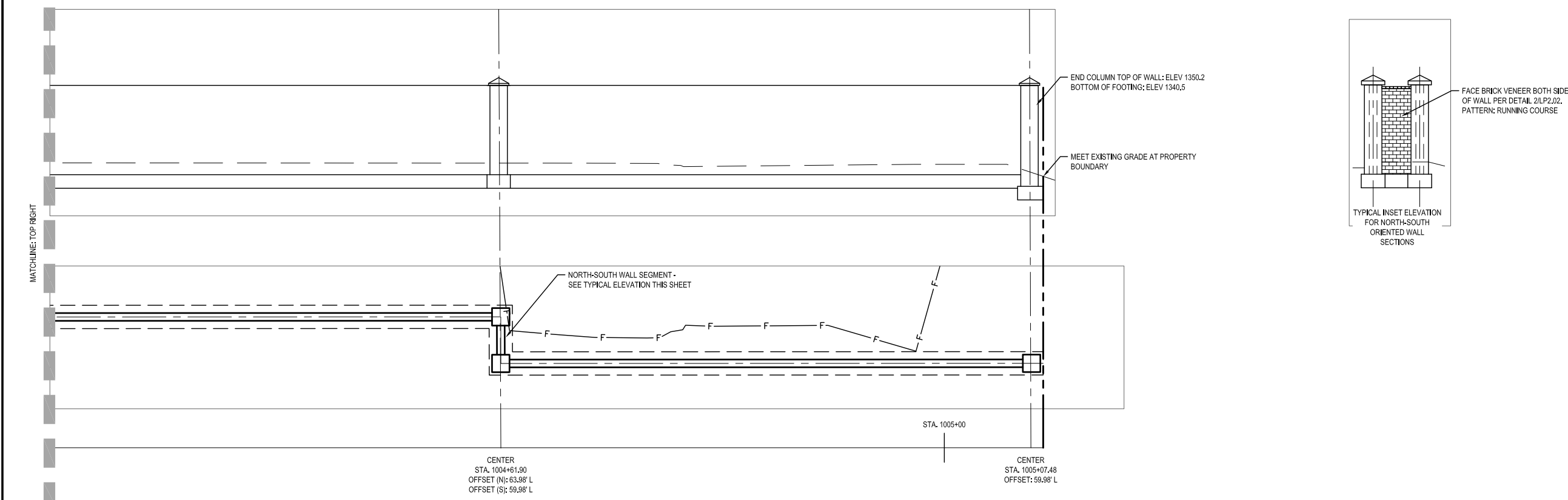
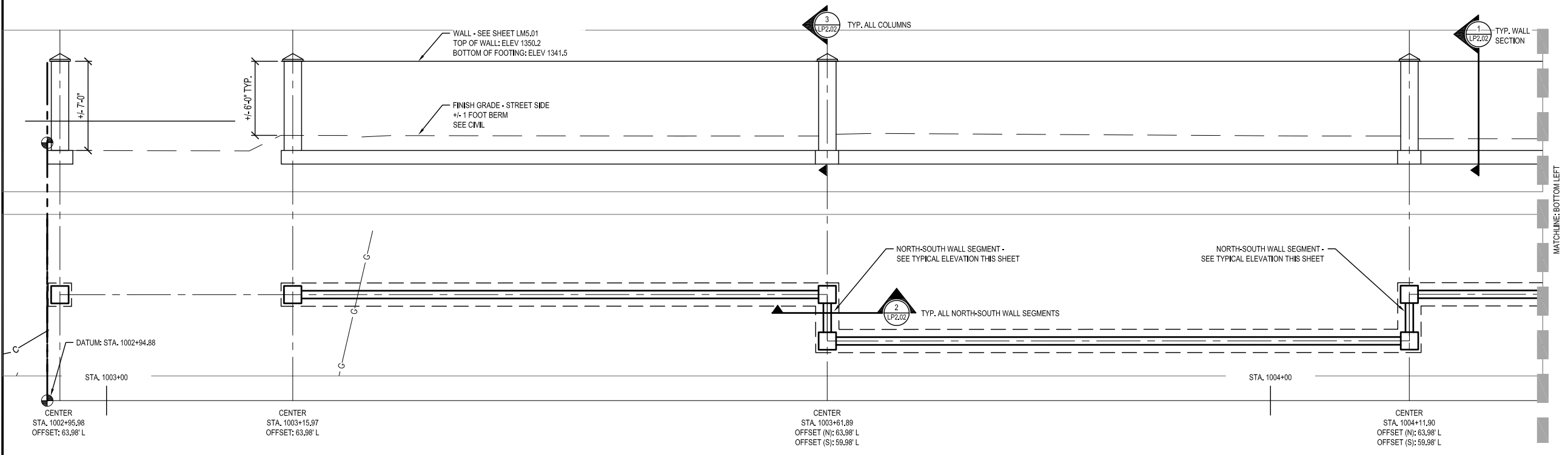


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SCALE: 1"= 5'

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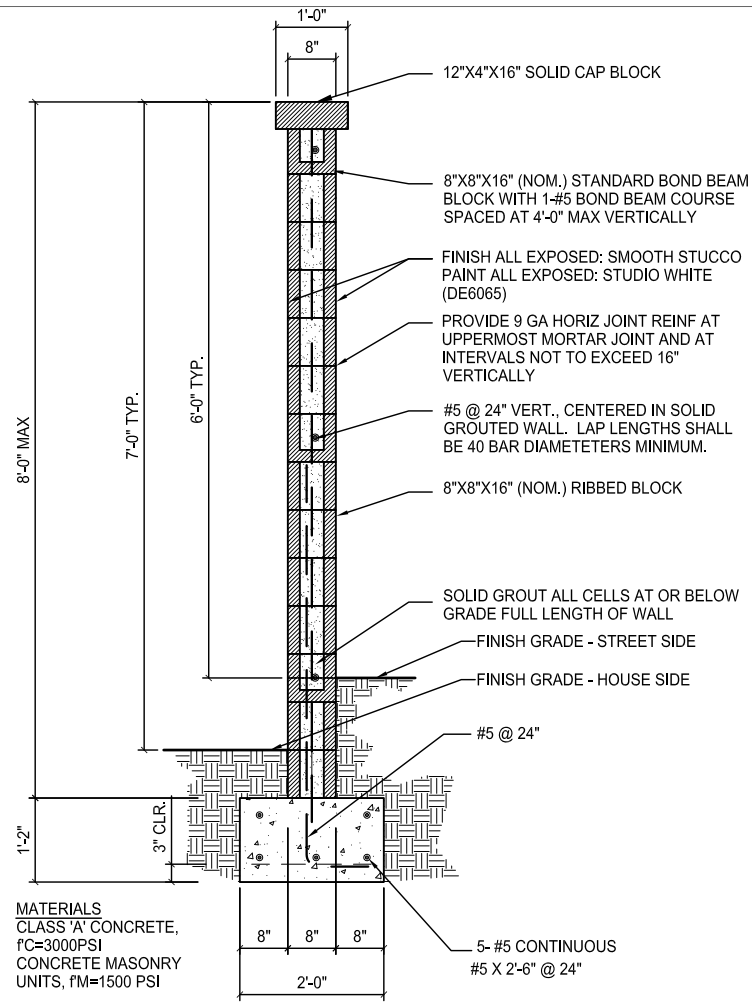
RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	
WALL ELEVATION/PLAN			LP2.01

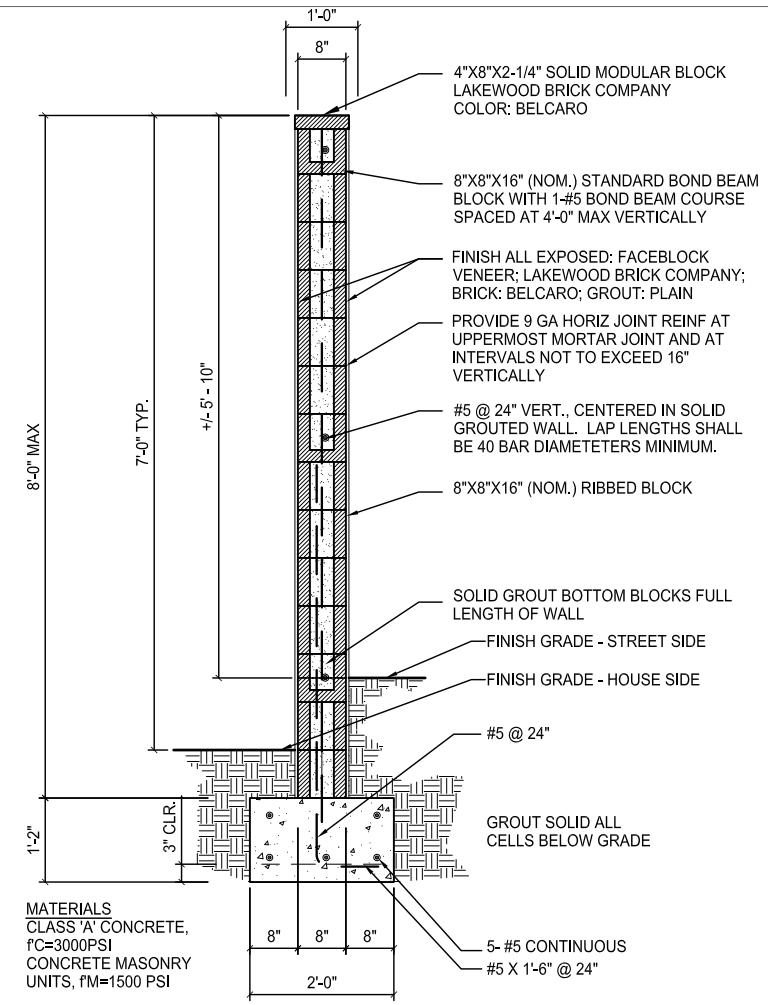
PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS

SHEET NO:	TOTAL SHEETS
16	21

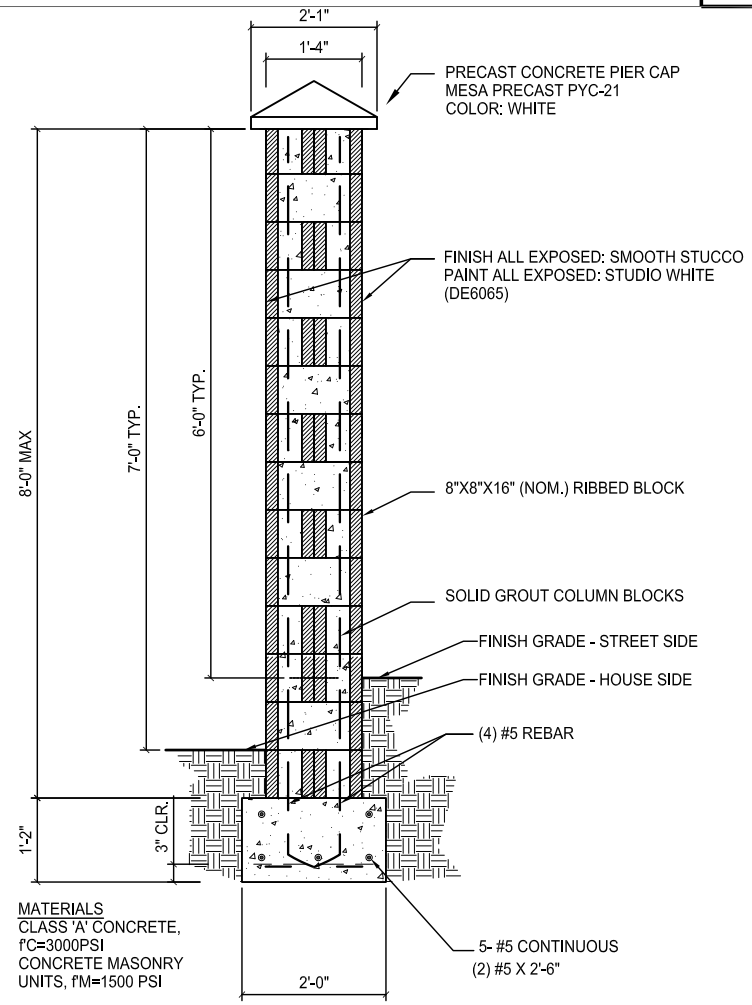
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1 CMU WALL
 SCALE: 3/4" = 1' - 0"



2 CMU WALL W/ BRICK VENEER
 SCALE: 3/4" = 1' - 0"



3 CMU COLUMN
 SCALE: 3/4" = 1' - 0"

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RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	LP2.02

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS



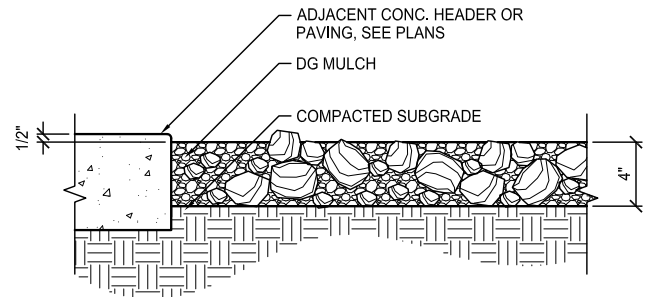
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17	21

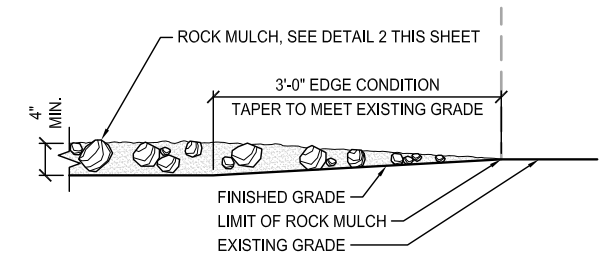
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PLANTING TABLETS							
CONTAINER SIZE	1 GAL	2 GAL	3 GAL	5 GAL	7 GAL	15 GAL	≥ 24" BOX
APPLICATION RATE	1 TAB	1-2 TABS	2-3 TABS	2-3 TABS	3-5 TABS	7-10 TABS	15-24 TABS

- INSTALLATION:
1. POSITION PLANT IN THE HOLE.
 2. BACKFILL HALF WAY UP THE ROOTBALL.
 3. PLACE TABLET(S) BESIDE THE ROOTBALL ABOUT 1 INCH FROM ROOT TIPS.
 4. COMPLETE BACKFILL, TAMP AND WATER.



- NOTES:
1. SEE LEGEND ON PLANS FOR SIZE AND COLOR OF DG.
 2. PRE-EMERGENT SHALL BE APPLIED TO SUBGRADE BEFORE INSTALLATION OF DG.
 3. FINAL APPLICATION OF PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE AFTER INSTALLATION OF DG IS RAKED SMOOTH AND UNIFORM.



1 PLANT TABS
SCALE: NTS

2 ROCK MULCH PLACEMENT
SCALE: NTS

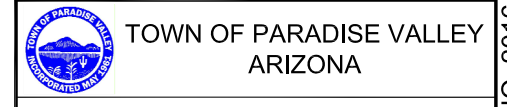
3 ROCK MULCH TRANSITION
SCALE: NTS

GENERAL IRRIGATION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR IRRIGATION COVERAGE TO PLANT MATERIAL.
2. IRRIGATION PLAN IS SCHEMATIC. PIPING, VALVES, CONTROLS, OUTLET DEVICES (SPRINKLERS, EMITTERS, ETC.), AND RELATED MATERIAL SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, ASTM STANDARDS, THE IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS AND SHALL BE LOCATED AS SHOWN ON THE DETAILS. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN ACTUAL AND PROPOSED SITE CONDITIONS TO THE ENGINEER. DO NOT PROCEED WITH WORK UNTIL SAID DISCREPANCIES ARE RESOLVED.
3. THERE SHALL BE NO IRRIGATION SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
4. THE MAINLINE AND LATERAL PIPE, VALVES, ETC. ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREAS.
5. CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH THE WORK OF OTHER CONTRACTORS AND PROTECT THE WORK OF OTHER CONTRACTORS/TRADES. CONTRACTOR IS RESPONSIBLE FOR DAMAGES RESULTING FROM HIS ACTIONS.
6. CONTRACTOR SHALL VERIFY THAT THE WORK OF OTHER CONTRACTORS/TRADES IS SUFFICIENTLY COMPLETE TO ALLOW COMMENCEMENT OF IRRIGATION INSTALLATION PRIOR TO BEGINNING WORK.
7. CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SLEEVEING WITH OTHER CONTRACTORS PRIOR TO CONSTRUCTION OF PAVEMENT, WALKS, AND OTHER HARDSCAPE FEATURES.
8. CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL FIELD LOCATE EXISTING IRRIGATION COMPONENTS TO BE RETAINED, SALVAGED, OR RELOCATED.
10. IF IT BECOMES NECESSARY TO RELOCATE EXISTING IRRIGATION HEADS, VALVES, PIPING, ETC. DUE TO CONSTRUCTION INTERFERENCE, THE CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM THE ENGINEER.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING (IN KIND OR AS APPROVED BY THE ENGINEER) EXISTING IRRIGATION EQUIPMENT DISTURBED AND/OR DAMAGED DURING CONSTRUCTION.
12. THE POINT OF CONNECTION (POC) WILL BE SPECIFIED ON IRRIGATION PLANS. THE CONTRACTOR SHALL COORDINATE POC AND VERIFY COMPLIANCE WITH APPLICABLE LOCAL PLUMBING CODES.
13. THE IRRIGATION STANDARDS AND SYSTEM ARE DESIGNED FOR A MINIMUM STATIC PRESSURE OF 45 PSI. CONTRACTOR SHALL PROVIDE IN WRITING TO THE ENGINEER A STATIC PRESSURE READING BEFORE STARTING WORK. CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION PRIOR TO ORDERING MATERIALS OR STARTING IRRIGATION INSTALLATION AND NOTIFY ENGINEER OF DIFFERENCE FROM STATED PRESSURE. IF THE STATIC PRESSURE IS MORE THAN 85 PSI, INSTALL A WILKINS 91 SERIES PRESSURE REGULATOR (OR APPROVED EQUAL) AND SET AT 75 PSI. IF CONTRACTOR FAILS TO NOTIFY ENGINEER THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR SYSTEM ALTERATIONS AS DIRECTED BY THE ENGINEER.
14. LOW-VOLTAGE (24 VOLT) REMOTE CONTROL WIRING FROM THE CONTROLLER TO THE SOLENOID VALVES WILL BE UL APPROVED DIRECT BURIAL SINGLE-STRAND COPPER WIRE. AWG-JF-600 VOLT COMMON WIRE TO BE WHITE. WIRE

15. ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES AND CONTROLLER ENCLOSURES.
16. CONNECTIONS TO REMOTE CONTROL VALVES AND SPLICES SHALL BE MADE WITH DBY-6 DIRECT BURY SPLICE KITS AS MANUFACTURED BY RAIN BIRD PENITTE CONNECTORS OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
17. PIPING TO BE SCHEDULE 40 PVC, WITH SOLVENT WELDED JOINTS UNLESS OTHERWISE NOTED. THE IRRIGATION MAINLINE SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS UNLESS OTHERWISE NOTED. DRIP LINE LATERALS SHALL BE 3/4" DIAMETER, UNLESS OTHERWISE NOTED. CONTROL WIRING SHALL BE ADJACENT TO THE MAINLINE.
18. PVC SOLVENT WELD FITTINGS SHALL BE LASCO, SPEARS, DURA, OR APPROVED EQUAL. PRIME SOLVENT WELD FITTINGS BEFORE GLUING. SOLVENT CEMENT SHALL BE CHRISTY'S BRAND RED HOT BLUE AND PRIMER SHALL BE CHRISTY'S PURPLE PRIMER.
19. BACKFILL TRENCHES WITH CLEAN FILL FREE OF DEBRIS.
20. MAIN LINE PIPING AND LATERAL PIPING MAY BE PLACED IN SAME TRENCH WHEN POSSIBLE. MAIN LINE PIPING SHALL BE INSTALLED IN BOTTOM OF TRENCH WITH LATERALS ABOVE AS DETAILED.
21. PVC THREADED JOINTS SHALL BE WRAPPED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE A NON-HARDENING PIPE DOPE, SUCH AS PEMATEX #2, OR EQUAL, ON ALL PLASTIC TO METAL THREADED JOINTS.
22. VALVE COVERS, VAULT BOXES, ETC. SHALL BE PLACED SO THE EDGES ARE PARALLEL OR PERPENDICULAR TO ADJACENT HARD EDGES. TOP OF BOXES ARE TO BE FLUSH WITH GRADE. TOP SURFACE OF BOXES SHALL BE INSTALLED SO THAT A SMOOTH SURFACE IS CREATED IN RELATION TO EXISTING GRADES.
23. VALVE BOXES SHALL BE TAN IN COLOR UNLESS OTHERWISE NOTED.
24. FLUSHING OF LINES PRIOR TO INSTALLATION AND EMITTERS IS REQUIRED.
25. SLEEVEING TO BE INSTALLED WHEREVER PIPES RUN UNDER HARDSCAPE FEATURES SUCH AS SIDEWALKS, DRIVEWAYS, STREETS, ETC.
26. NO PVC PIPING SHALL BE LOCATED UNDER TREE ROOTBALLS.
27. EXISTING THROUGH IRRIGATION REQUIREMENTS SHALL BE MAINTAINED. THE CONTRACTOR SHALL REVISE EXISTING IRRIGATION AS NEEDED TO PROVIDE 100% COVERAGE TO THE EXISTING IRRIGATED LANDSCAPE.
28. CONTRACTOR SHALL COMPLETE INITIAL PUNCH LIST ITEMS AND OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO SUBSTANTIAL COMPLETION.
29. PRIOR TO THE ACCEPTANCE OF IRRIGATION SYSTEM BY THE ENGINEER, A PERSON QUALIFIED TO REPRESENT THE IRRIGATION CONTRACTOR SHALL DEMONSTRATE THE SYSTEM AND PROVE ITS PERFORMANCE, AND WORK SHALL HAVE BEEN COMPLETED, TESTED, ADJUSTED AND PLACED IN OPERATION.
30. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SPARE ITEMS REQUIRED IN THE PROJECT SPECIFICATIONS SECTION 440 UPON COMPLETION OF THE PROJECT.

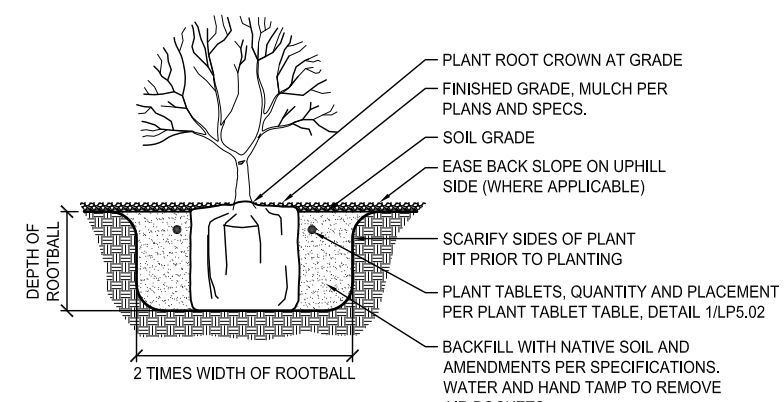
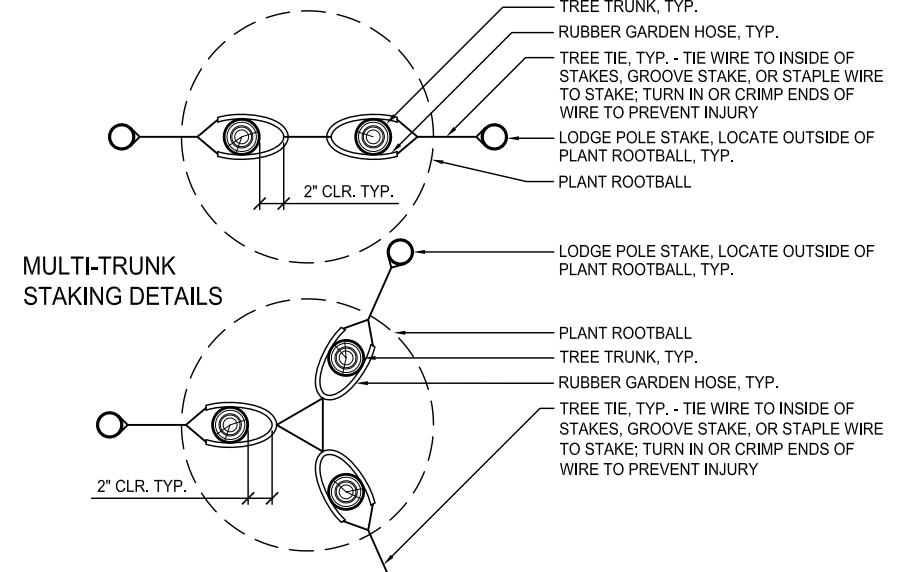
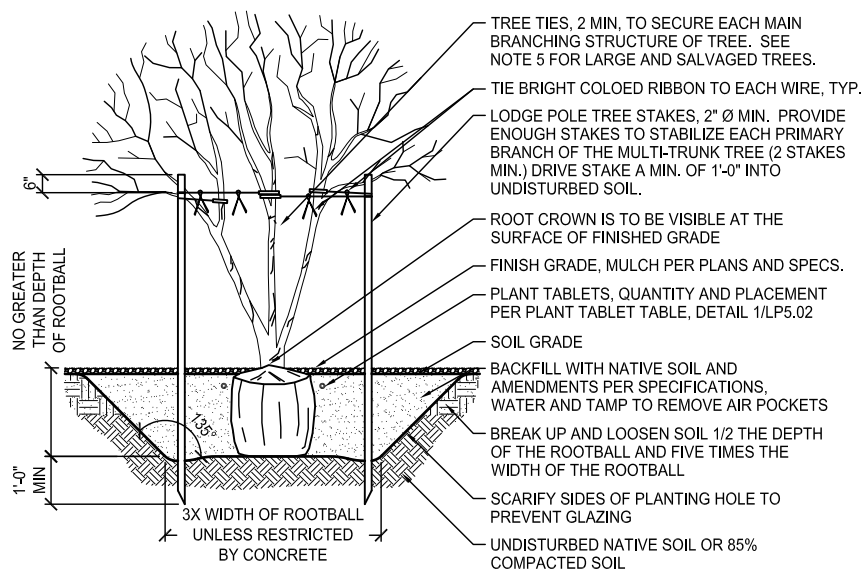
REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY/CKD BY



RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	LP2.03

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS



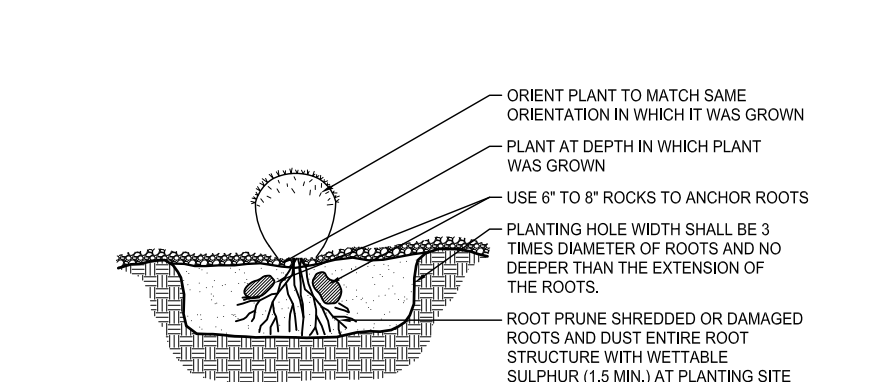
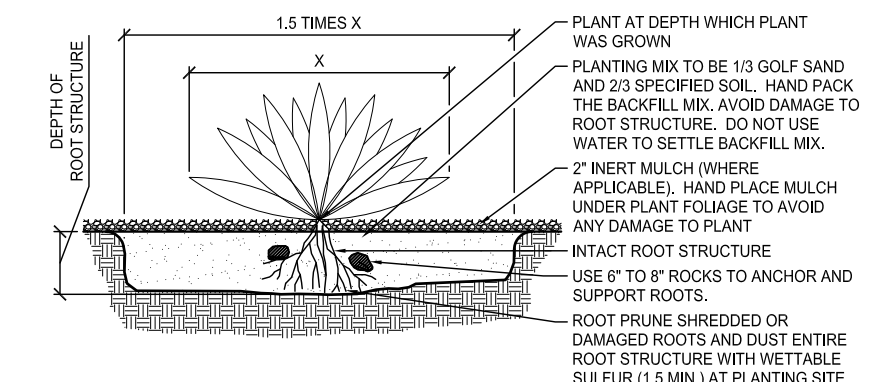
- GENERAL TREE PLANTING NOTES:**
1. WHEN TREE PITS ARE DUG, WATER TEST THEM BY COMPLETELY FILLING PIT WITH WATER AND ALLOWING TO DRAIN FOR 48 HOURS. IF WATER DOES NOT DRAIN, REFER TO ENGINEER AND PERFORM MEASURES IDENTIFIED IN THE IMPERMEABLE SOILS TREE PLANTING DETAIL.
 2. POSITION PLANT FOR "BEST SIDE" VIEW AND ORIENT SUN-BURN SUSCEPTIBLE PLANTS PER ORIGINAL ROTATION.
 3. SCORE THE ROOTBALL. MAKE A VERTICAL CUT 1/4- TO 1/2-INCH DEEP AT FOUR QUADRANTS AROUND SIDES AND TWICE ACROSS THE BOTTOM.
 4. TOP OF ROOTBALL SHALL BE FLUSH WITH OR UP TO 1" ABOVE SOIL GRADE. DO NOT BURY ROOT CROWN OF PLANT.
 5. DO NOT STAKE SALVAGED TREES. DO NOT STAKE TREES WITH A LARGER THAN 2" CALIPER TRUNK.
 6. PROVIDE SUPPLEMENTAL STAKING IF REQUIRED TO PROPERLY SUPPORT THE PLANT MATERIAL PER TREE STAKING DETAILS.
 7. TREE TIES SHALL BE 12-GUAGE GALVANIZED ZINC-COATED WIRE ENCASED IN 1-INCH DIA, 2-PLY RUBBER GARDEN HOSE (GREEN).
 8. TREE STAKES SHALL BE 2-INCH DIA. LODGE POLES, LENGTH AS REQUIRED (10-FOOT MIN.), DRIVEN OUTSIDE OF ROOTBALL INTO SUBGRADE (12-INCH MIN).
 9. ARRANGE STAKES AND TIE WIRES AROUND TREE CANOPY TO PREVENT ABRASION WOUNDS TO BRANCHES.

- NOTE:**
1. TOP OF ROOT CROWN SHALL BE FLUSH WITH FINISH GRADE.
 2. ROOTBALL SHALL SIT ON EXISTING UNDISTURBED SOIL. DO NOT OVER EXCAVATE PITS.
 3. POSITION PLANT FOR "BEST SIDE" VIEW AND ORIENT SUNBURN SUSCEPTIBLE PLANTS PER ORIGINAL ORIENTATION.
 4. SCORE THE ROOTBALL, MAKE VERTICAL CUTS 1/4" TO 1/2" DEEP AT FOUR QUADRANTS AROUND SIDES AND TWICE ACROSS THE BOTTOM.

1 TREE PLANTING - MULTI-TRUNK
 SCALE: NTS

2 TREE STAKING
 SCALE: NTS

3 SHRUB PLANTING
 SCALE: NTS

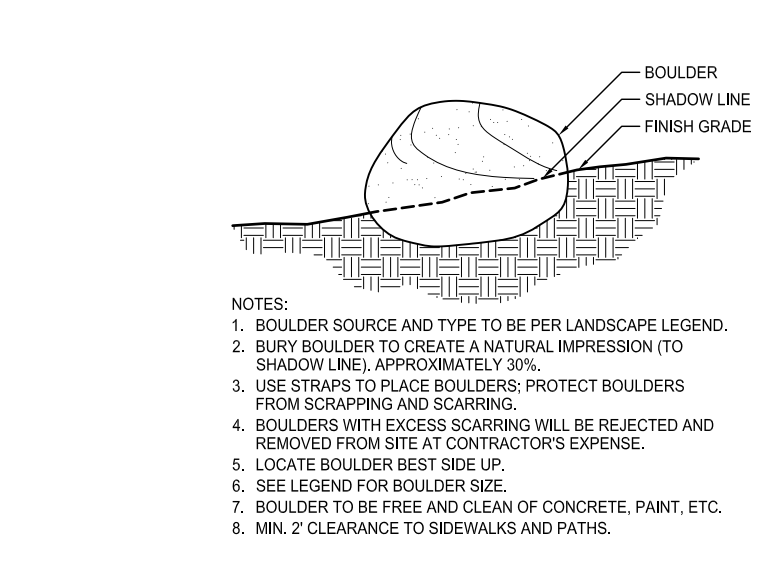


- NOTE:**
1. PITS SHALL BE EQUAL TO 1 1/2 TIMES THE DIAMETER OF THE PLANT CANOPY. DEPTH SHALL EQUAL THE DEPTH OF THE ROOT STRUCTURE.
 2. ARRANGE PLANT'S ROOT CROWN SO DEPTH OF BURY MATCHES ORIGINAL GROWING CONDITION.
 3. ROOT STRUCTURE SHALL SIT ON EXISTING UNDISTURBED SOIL.
 4. ORIGINAL GROWING ORIENTATION SHALL BE MARKED ON THE PLANT AND MAINTAINED TO DEMONSTRATE PROPER PLACEMENT.
 5. ARRANGE PLANT TO MAINTAIN ORIGINAL GROWING ORIENTATION.
 6. BARE BOOTS SHALL NOT BE OUT OF THE GROUND FOR MORE THAN FIVE DAYS BEFORE PLANTING.
 7. MIN. 4' CLEARANCE TO SIDEWALK AND PATH.

- NOTES:**
1. PITS SHALL BE EQUAL TO 3 TIMES THE WIDTH OF THE ROOTBALL. DEPTH SHALL EQUAL THE DEPTH OF THE ROOT BALL.
 2. TOP OF ROOTBALL SHALL BE 1" BELOW FINISH GRADE.
 3. ROOTBALL SHALL SIT ON EXISTING UNDISTURBED SOIL.
 4. WATER WEEKLY THROUGH THE SUMMER. MAINTAIN ORIGINAL GROWING ORIENTATION
 5. MIN. 4' CLEARANCE TO SIDEWALKS AND PATHS.

4 AGAVE PLANTING
 SCALE: NTS

5 BARREL CACTUS PLANTING
 SCALE: NTS



6 BOULDER
 SCALE: NTS

- NOTES:**
1. BOULDER SOURCE AND TYPE TO BE PER LANDSCAPE LEGEND.
 2. BURY BOULDER TO CREATE A NATURAL IMPRESSION (TO SHADOW LINE), APPROXIMATELY 30%.
 3. USE STRAPS TO PLACE BOULDERS; PROTECT BOULDERS FROM SCRAPPING AND SCARRING.
 4. BOULDERS WITH EXCESS SCARRING WILL BE REJECTED AND REMOVED FROM SITE AT CONTRACTOR'S EXPENSE.
 5. LOCATE BOULDER BEST SIDE UP.
 6. SEE LEGEND FOR BOULDER SIZE.
 7. BOULDER TO BE FREE AND CLEAN OF CONCRETE, PAINT, ETC.
 8. MIN. 2' CLEARANCE TO SIDEWALKS AND PATHS.

REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY / CKD BY

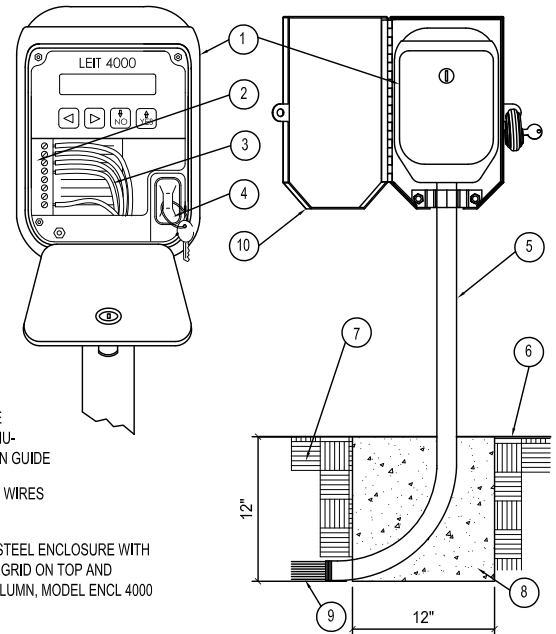
TOWN OF PARADISE VALLEY
 ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

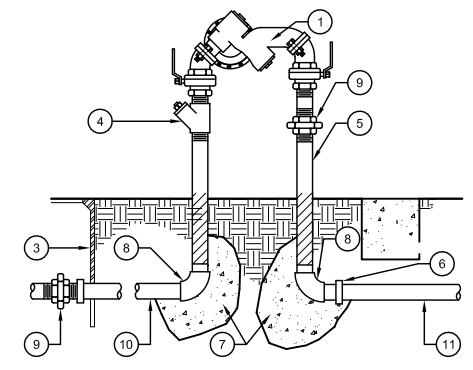
DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	LP2.04

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS

- LEGEND**
- 1 AMBIENT LIGHT POWERED IRRIGATION CONTROLLER
 - 2 TERMINAL STRIP
 - 3 12 OR 14 GAUGE WIRE
 - 4 PROGRAMMING KEY
 - 5 62" STEEL MOUNTING COLUMN
 - 6 FINISH GRADE
 - 7 6-1/2" OF BACKFILL SOIL
 - 8 POURED CONCRETE BASE 1 CU.FT. INSTALL PER MANUFACTURER'S INSTALLATION GUIDE
 - 9 DIRECT BURIAL CONTROL WIRES TO CONTROL VALVES
 - 10 HEAVY-DUTY STAINLESS STEEL ENCLOSURE WITH LIGHT ACCESS THROUGH GRID ON TOP AND INTERNAL CLAMP FOR COLUMN, MODEL ENCL 4000 FOR LEIT 4000



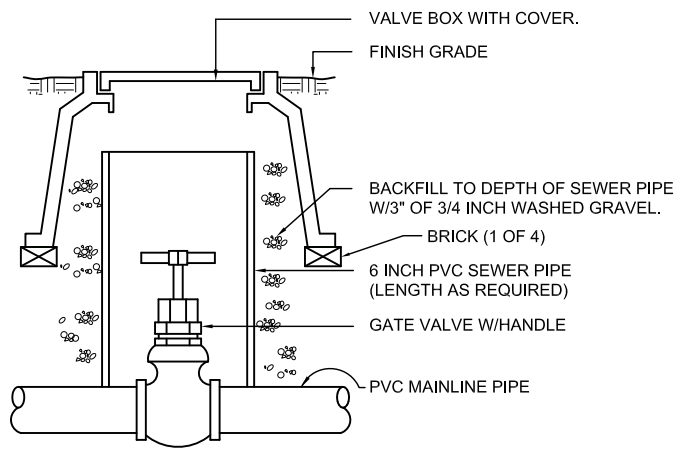
- 1 REDUCED PRESSURE BACKFLOW PREVENTION UNIT (BRASS)
- 2 NOT USED
- 3 METER BOX (SEE CIVIL)
- 4 PROVIDE CMB MODEL 3131 BRONZ "Y" STRAINER W/100 MESH SCREEN (WRAP BELOW FIN. GRADE PER M.A.G. SEC. 753.2)
- 5 COPPER RISERS (LENGTH AS REQ'D) (FOR CORROSION PROTECTION WRAP BELOW FINISH GRADE PER M.A.G. SEC. 753.2)
- 6 SCHED. 80 P.V.C. TOE NIPPLE
- 7 1/2 CUBIC FOOT (MIN.) CONC. THRUST BLOCK
- 8 BRASS 90 DEG. ELBOW
- 9 BRONZE UNION
- 10 TYPE "K" HARD COPPER
- 11 P.V.C. MAINLINE



1 AMBIENT LIGHT CONTROLLER
 SCALE: NTS

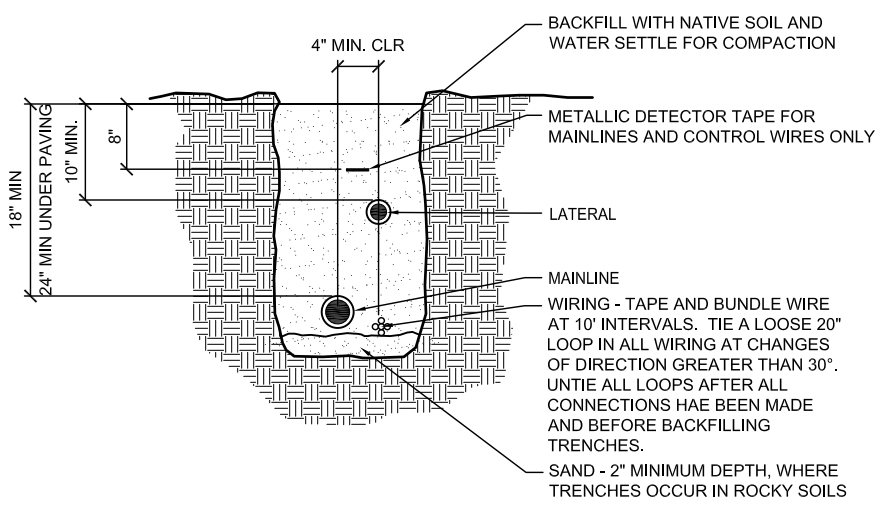
2 REDUCED PRESSURE BACKFLOW ASSEMBLY
 SCALE: NTS

3 NOT USED
 SCALE: NTS

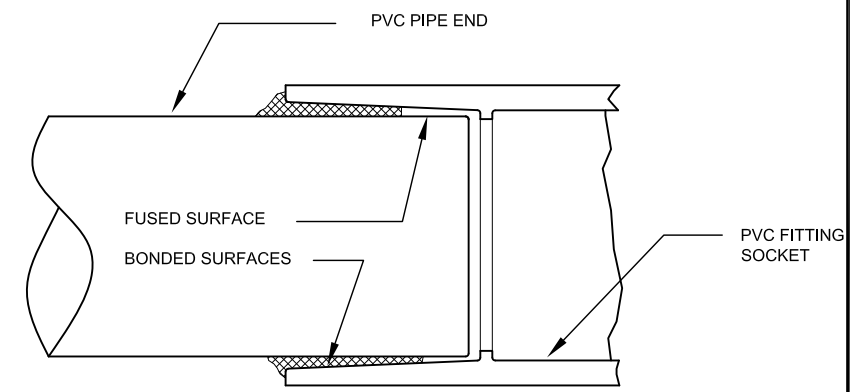


- NOTE:**
- NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL SIZE OF MAINLINE PIPE.

4 ISOLATION GATE VALVE ASSEMBLY
 SCALE: NTS



5 TRENCH
 SCALE: NTS



- NOTES:**
- SOLVENT WELDED JOINTS SHALL BE MADE IN ACCORDANCE TO ASTM D-2855, AND TYPE OF SOLVENT AND PRIMER RECOMMENDED BY PIPE MANUFACTURER SHALL BE USED.
 - APPLICATOR DAUBER SHALL BE 1/2 THE DIAMETER OF THE PIPE BEING JOINED. 2" PIPE = 1" DAUBER..
 - FOLLOW THE FOLLOWING SEQUENCE OF APPLYING PRIMER AND CEMENT.
 - PRIME BOTH PIPE AND FITTING SOCKET TO BE JOINED.
 - IMMEDIATELY APPLY A COAT OF CEMENT TO THE PIPE END.
 - APPLY A LIGHT COAT OF CEMENT TO THE FITTING SOCKET.
 - ADD A SECOND COAT OF CEMENT TO THE PIPE.
 - PUSH THE PARTS TOGETHER, ROTATING ONE-EIGHTH TO ONE-QUARTER TURN, AND HOLD FOR 15 TO 30 SECONDS. THE SECOND COAT OF CEMENT ON THE PIPE IS THE KEY TO SUCCESS BECAUSE IT PUTS THE MOST ADHESIVE WHERE IT WILL BE MOST BENEFICIAL. ANY EXCESS CEMENT WILL BE PUSHED BACK OUT ALONG THE PIPE, FILLING THE GAP BETWEEN THE PIPE AND FITTING AT THE SOCKET OPENING. ABNORMAL AMOUNTS OF CEMENT WILL NOT BE TRAPPED WITHIN THE JOINT, AND CAN BE WIPED OFF AT THIS POINT.
 - THE CONTRACTOR SUPERINTENDENT SHALL CONDUCT A FIELD CLASS INSTRUCTING HIS EMPLOYEES ON THE PROPER METHOD SOLVENT WELDING PIPE. THE SEMINAR SHALL BE HELD ON SITE. THE TOWN'S REPRESENTATIVE SHALL BE INVITED TO ATTEND.

6 SOLVENT WELDED PVC JOINTS
 SCALE: NTS

REVISION BY TOWN OF PARADISE VALLEY		
NO.	DESCRIPTION	REV BY / CKD BY

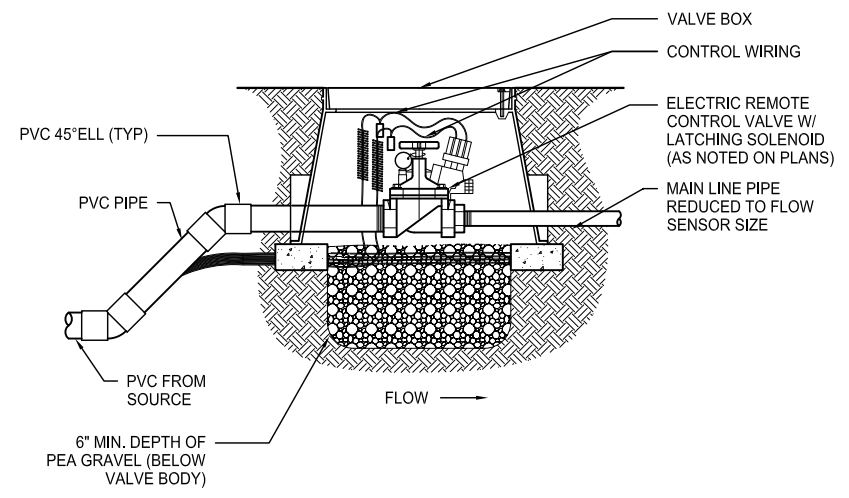
TOWN OF PARADISE VALLEY
 ARIZONA

RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	IRRIGATION DETAILS
			IR5.01

SHEET NO:	TOTAL SHEETS
20	21

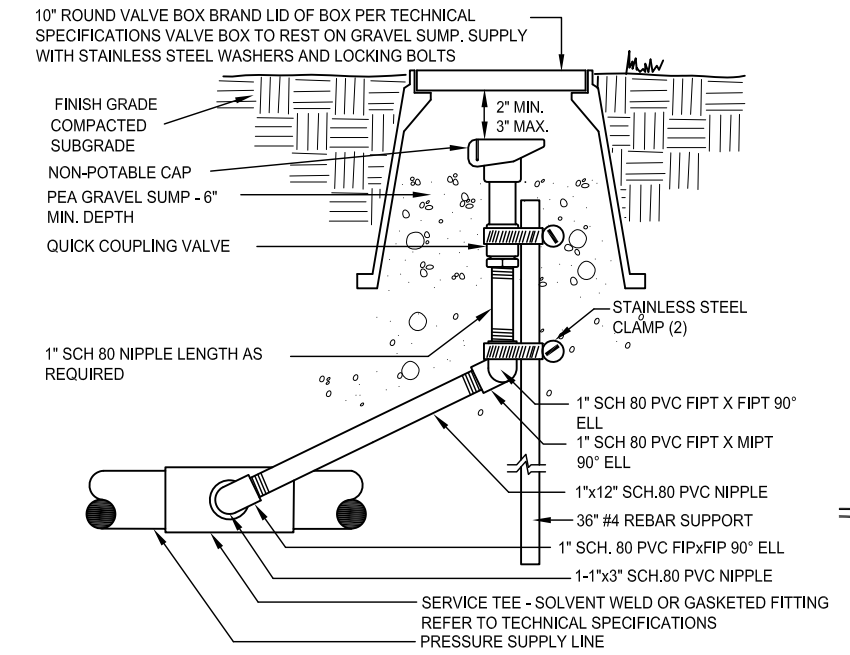
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- NOTES:
 1. PROVIDE 30" SLACK WIRE IN 3/4" COILS FOR EACH WIRE ENTERING VALVE BOX.
 2. MAINTAIN 2" MIN.-4" MAX. DISTANCE BETWEEN TOP OF CONTROL VALVE AND BOTTOM OF BOX LID.
 3. CONTROL AND SIGNAL WIRE FROM MASTER VALVE TO CONTROLLER TO BE SEPARATE COLOR FROM OTHER VALVE WIRE. (CONTROL AND SIGNAL COMMONS TO BE SEPARATE FROM ANY OTHERS COMMONS IN THE SYSTEM.)

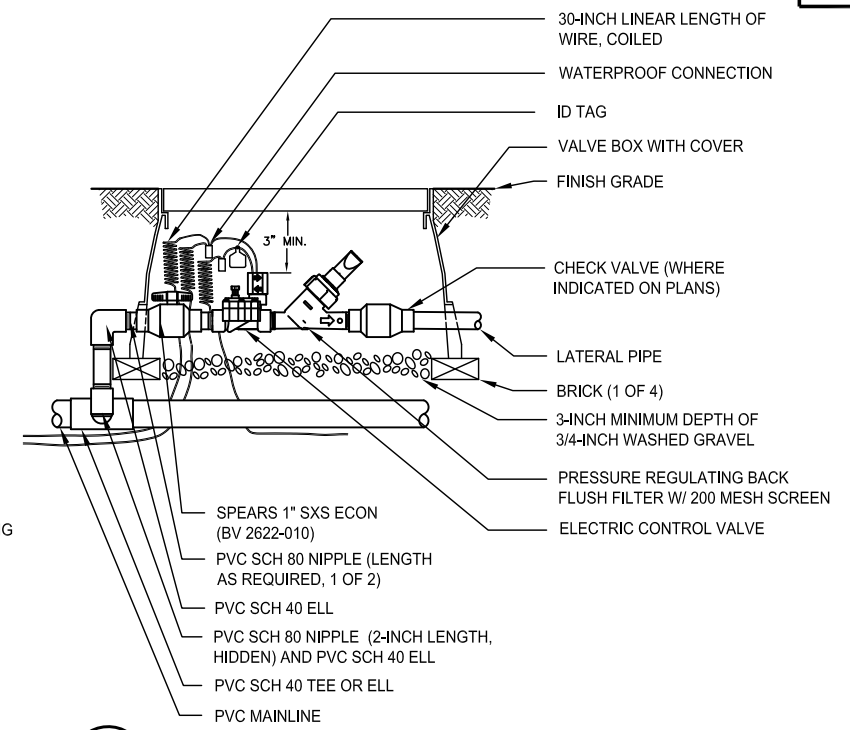
1 MASTER VALVE ASSEMBLY

SCALE: NTS



2 QUICK COUPLER ASSEMBLY

SCALE: NTS



3 DRIP CONTROL VALVE ASSEMBLY

SCALE: NTS

INSTALL IRRIGATION PIPING PER THE FOLLOWING SCHEDULE:

PIPE SIZE	FLOW (GPM)
1/2"	0-5
3/4"	6-10
1"	11-15
1 1/4"	16-25
1 1/2"	26-35

- NOTE:
 1. VELOCITY OF FLOW SHALL NOT EXCEED FIVE FEET PER SECOND.

4 PIPE SIZE SCHEDULE

SCALE: -

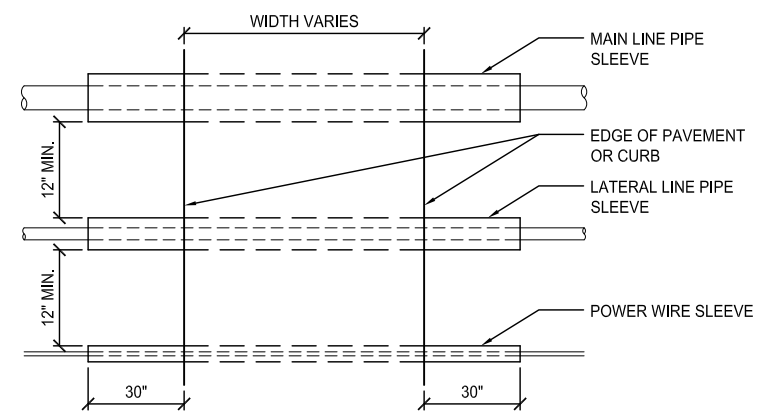
INSTALL IRRIGATION SLEEVES UNDER ALL PAVED SURFACES PER THE FOLLOWING SCHEDULE:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVE(S)
3/4" LATERAL	(1) 2" SCH 40 PVC
1" LATERAL	(1) 2" SCH 40 PVC
1 1/4" LATERAL	(1) 2" SCH 40 PVC
1 1/2" LATERAL	(1) 4" SCH 40 PVC
2" LATERAL	(1) 4" SCH 40 PVC
2 1/2" LATERAL	(1) 6" SDR 35 PVC
1" PRESSURE SUPPLY LINE	(1) 2" SCH 40 PVC
2" PRESSURE SUPPLY LINE	(1) 4" SDR 35 PVC
3" PRESSURE SUPPLY LINE	(1) 6" SDR 35 PVC
4" PRESSURE SUPPLY LINE	(1) 6" SDR 35 PVC
1-20 CONTROL WIRES	(1) 2" SCH 40 PVC
21-40 CONTROL WIRES	(2) 2" SCH 40 PVC

- NOTE:
 1. IRRIGATION CONTRACTOR TO COORDINATE THE PLACEMENT OF SLEEVES WITH OTHER TRADES TO ENSURE SLEEVES ARE PLACED PRIOR TO THE INSTALLATION OF HARDSCAPE ELEMENTS.
 2. IRRIGATION CONTRACTOR TO COORDINATE WITH OTHER TRADES TO ENSURE BACKFILL MEETS ENGINEERING REQUIREMENTS. SLEEVES UNDER ROADWAYS SHALL HAVE A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") TO TOP OF SLEEVE.
 3. EXTEND ENDS OF SLEEVES A MINIMUM OF 30 INCHES BEYOND THE EDGE OF HARDSCAPE.
 4. PROVIDE DETECTOR TAPE MARKER FROM BOTH ENDS OF SLEEVE TO FINISH GRADE FOR FUTURE IDENTIFICATION OF SLEEVE LOCATIONS.

5 SLEEVING SIZE SCHEDULE

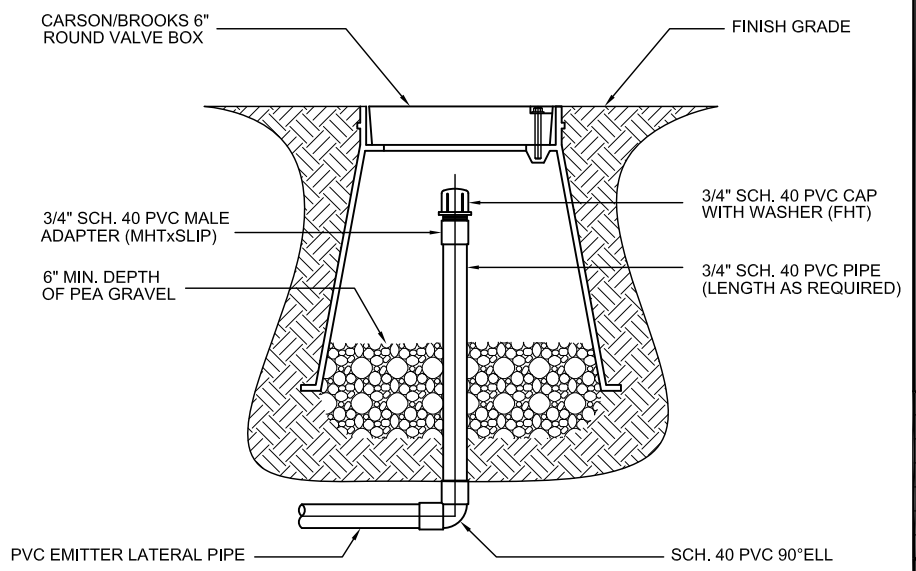
SCALE: NTS



- NOTES:
 1. INSTALL IRRIGATION SLEEVES UNDER ALL PAVED SURFACES. SLEEVE SIZE AND TYPE PER SLEEVE SCHEDULE.
 2. INSTALL SLEEVES UNDER ROADWAYS A MINIMUM DEPTH OF 24" TO TOP OF SLEEVE, INSTALL OTHER SLEEVES A MINIMUM OF 18" BELOW GRADE TO TOP OF SLEEVE.
 3. EXTEND ENDS OF SLEEVES A MINIMUM OF 30" BEYOND THE EDGE OF HARDSCAPE. ONCE HARDSCAPE IS INSTALLED, SLEEVES MAY BE SHORTENED IF NEEDED IN NARROW LANDSCAPE AREAS.
 4. PROVIDE DETECTOR TAPE MARKER FROM BOTH ENDS OF SLEEVE TO FINISH GRADE FOR FUTURE IDENTIFICATION OF SLEEVE LOCATIONS.
 5. ENSURE BACKFILL MEETS ENGINEERING REQUIREMENTS.
 6. DO NOT INSTALL LATERAL PIPE WITH MAIN LINE PIPE IN THE SAME SLEEVE.
 7. DO NOT INSTALL WIRE WITH LATERAL OR MAIN LINE PIPE IN THE SAME SLEEVE.

6 SLEEVING

SCALE: NTS



7 FLUSH CAP

SCALE: NTS

REVISION BY TOWN OF PARADISE VALLEY		
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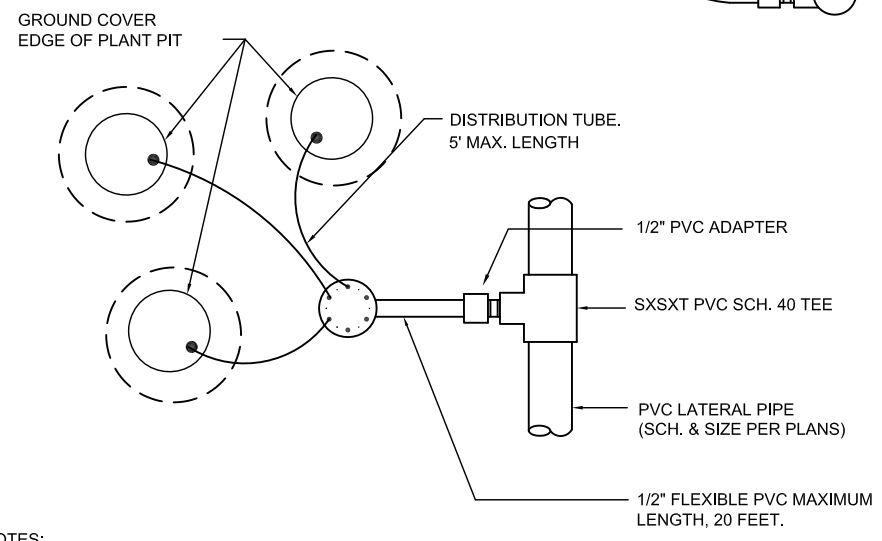
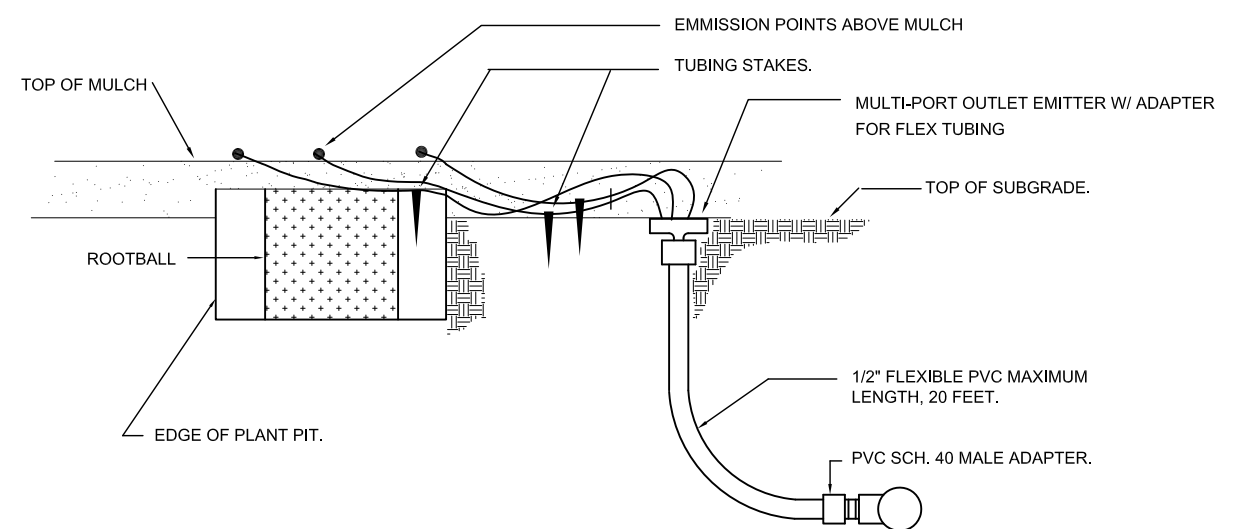
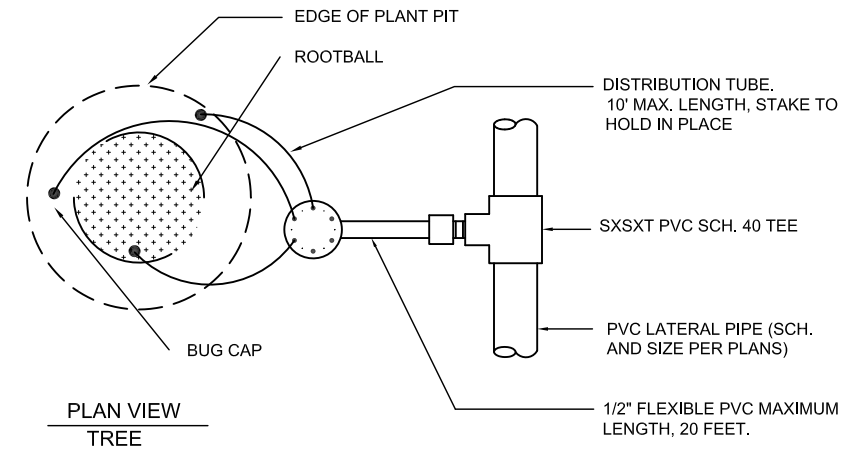
TOWN OF PARADISE VALLEY ARIZONA
 RITZ CARLTON STREET IMPROVEMENTS
 TATUM BLVD & LINCOLN DRIVE
 PROJECT NO. 2016-14
 DR: CD/JJG DES: JJG CK: JJG DWG SERIES NO.
 DATE: 2/21/17 DATE: 2/22/17 DATE: 2/22/17 IRRIGATION DETAILS IR5.02



TY LIN INTERNATIONAL
engineers | planners | scientists
60 East Rio Salado Parkway
Tempe, AZ 85281

SHEET NO:	TOTAL SHEETS
21	21

100%
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CONSTRUCTION
OR RECORDING



NOTES:

1. PLACE EMITTER OUTSIDE OF ROOTBALL ON UPHILL SIDE OF PLANT.
2. REFER TO PLANTING PLAN, SPECIFICATIONS, AND PLANT EMITTER SCHEDULE FOR PLANTING REQUIREMENTS.

1 MULTI-PORT EMITTER ASSEMBLY
SCALE: NTS

REVISION BY TOWN OF PARADISE VALLEY			
NO.	DESCRIPTION	REV BY	CKD BY

TOWN OF PARADISE VALLEY ARIZONA

**RITZ CARLTON STREET IMPROVEMENTS
TATUM BLVD & LINCOLN DRIVE
PROJECT NO. 2016-14**

DR: CD/JJG	DES: JJG	CK: JJG	DWG SERIES NO.
DATE: 2/21/17	DATE: 2/22/17	DATE: 2/22/17	
IRRIGATION DETAILS			IR5.03

PROJECT NO. 2016-14, RITZ CARLTON STREET IMPROVEMENTS

EXHIBIT D

Graphic of Gate Area:

[Attach the Gate Area Graphic]



"Exhibit D to Insalata Agreement"