



Appeal of Zoning Determination
For
6235 E. Catesby Road

June 3, 2026 5:30 pm

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Order of Witnesses by Applicant

1. Nick Prodanov
2. Brent Kendle
3. Anita Grantham

From: Chad Weaver <cweaver@paradisevalleyaz.gov>

Sent: Friday, March 13, 2026 6:18

To: Keith Galbut <kgalbut@advocate-rca.com>; Brandon McMahon <bmcmahon@paradisevalleyaz.gov>

Cc: George Burton <gburton@paradisevalleyaz.gov>; Paul Michaud <pmichaud@paradisevalleyaz.gov>; Andrew McGuire <amcguire@paradisevalleyaz.gov>

Subject: Re: 6235 E Catesby Rd Variance Pre-Application Comments (PA-25-60)

NOTICE: Any information provided in a format other than a formal written determination by the Town of Paradise Valley Zoning Administrator is preliminary in nature and may not be relied upon for any purpose by the recipient or any other person or entity. By participating in any correspondence, telephone conversation, discussion, meeting, or any other communication with a Town employee, the person agrees and acknowledges that the Town employee is not authorized to bind the Town in any manner, except by formal Zoning Administrator determination, and that any errors, omissions, or incorrect or false information provided by the employee shall not give rise to any liability on behalf of the Town.

Mr. Galbut,

Apologies for the delay, but I wanted to provide our Town Attorney the chance to review since he was included in the original correspondence.

Due to the number of lot sizes and configurations present in PV, the task of assigning yard designations can be complicated.

While we did review the addresses you provided, few were truly comparable in our opinion. Many in question were actually designated on the original plat and may indeed not comply to our current standard of review. We further evaluated your lot as a team and agreed on the interpretation you're inquiring about. Aside from other criteria, the current lot assignments align well with all surrounding lots, which is always a goal as it provides equity and predictability for the area. You are able to appeal this determination and I believe that process may have been provided.

Please let me know if you have further questions.



Chad Weaver
Community Development Director
Town of Paradise Valley
cweaver@paradisevalleyaz.gov
480-348-3522

From the Zoning Ordinance, Article II:

“Yard, Rear: ¹⁹⁶ A yard extending across the rear width of a lot and being the minimum horizontal distance between the rear lot line and the rear setback line. On both corner lots and interior lots the rear yard shall in all cases be at the opposite end of the lot from the front yard.”

<https://www.paradisevalleyaz.gov/DocumentCenter/View/107/Article-02---Definitions>

District	Minimum Lot Size, sq ft	Minimum Lot Width, ft	Minimum Front Setback, ft	Minimum Side Setback, ft	Minimum Rear Setback, ft	Minimum Side/Rear with Frontage	Maximum Floor Area Ratio	Minimum Floor Area, sq ft ¹	Number of Stories
R-175 with a Primary Building built prior to June 13, 1991	175,000	165	40	20 ²	40	40	25%	2,000	2
R-175 with no Primary Building built prior to June 13, 1991	175,000	165	100	20 ²	100	100	25%	2,000	2
R-43	43,560	165	40	20	40	40	25%	2,000	2
R-35	35,000	150	40	20 ³	40	40	25%	1,800	2
R-35A	35,000	150	40	15 ³	40	40	25%	1,800	1
R-18	18,000	120	40	20	40	40	25%	1,500	1
R-18A	18,000	120	35	10	35	35	25%	1,500	1
R-10	10,000	100	20 ⁴	7 ⁴	25 ⁴	20 ⁴	None	1,500	1

The Property is zoned R-43, which includes the above.



Setback with previous property.

The Town's current interpretation of the Zoning Ordinance treats the southern boundary of the Property as a second "rear yard". A second "rear yard" is not a designation of R-43 parcels, and when applied to this irregularly shaped lot, the resulting buildable and usable area is disproportionately restricted in a manner that does not occur on other R-43 parcels:

- A typical rectangular lot of the same size (46,010 sq. ft.) has clearly defined front, side, and back setbacks, and an approximate (depending on length and width) buildable envelope of 24,856 sq. ft., representing 54.02% of the total lot area (See Figure 1).
- As interpreted by the Town, the Property's buildable envelope is only 20,621.97 sq. ft., which is only 44.82% of the lot, and a reduction of 4,235 sq. ft. from the standard lot (more than 17% of the standard lot's buildable area) (See Figure 2).
- As a matter of comparison, the Applicant's position of one rear yard setback on the western property line yields a buildable envelope of 23,191 sq. ft. (See Figure 3)

LOT COVERAGE	
TYPICAL R-43 AREA	43,900 SQ FT
TOTAL AREA OF EXAMPLE LOT DEPICTED	46,010 SQ FT
FRONT YARD SETBACK	40 FT
REAR YARD SETBACK	40 FT
SIDE YARD SETBACKS	20 FT
MAXIMUM BULDABLE AREA	24,896 SQ FT

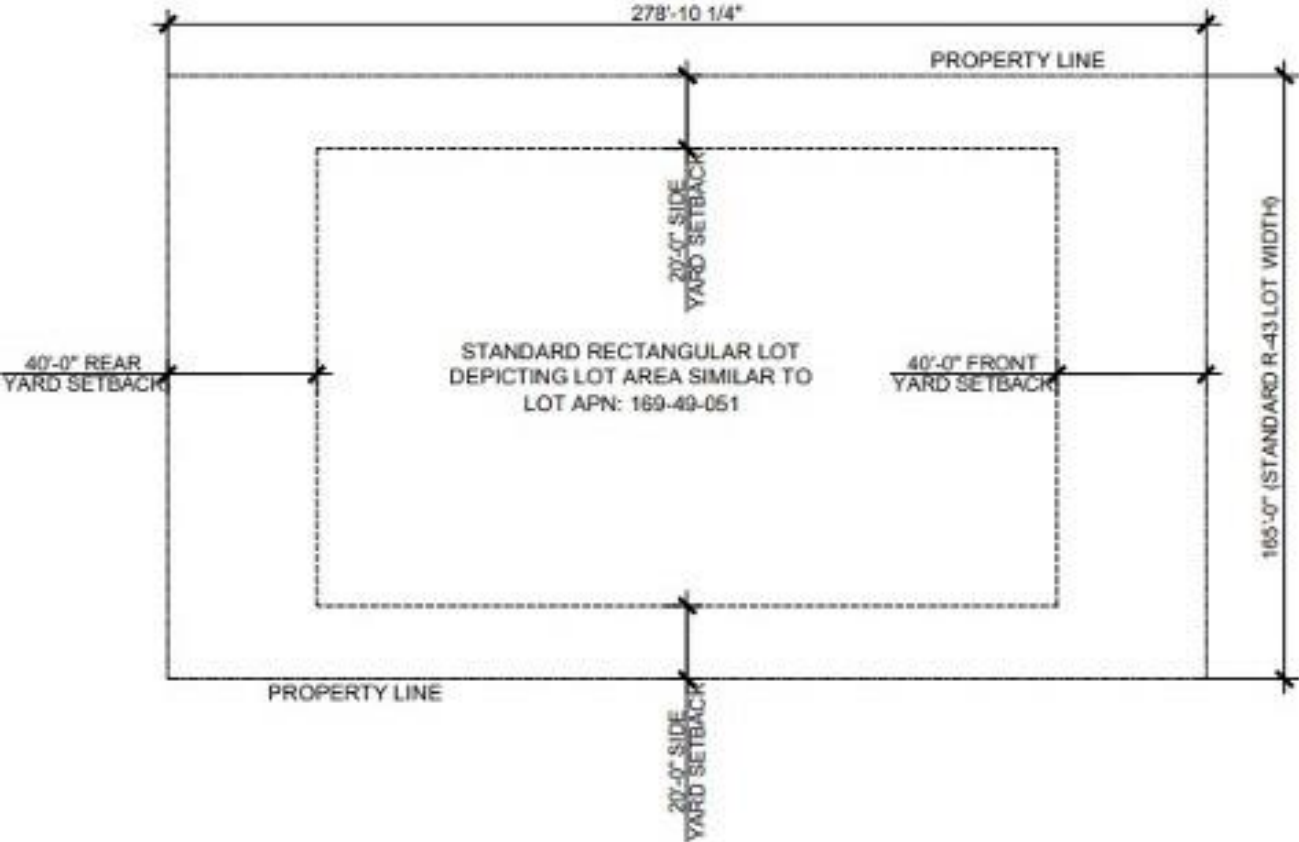


Figure 1 – Standard Rectangular Lot

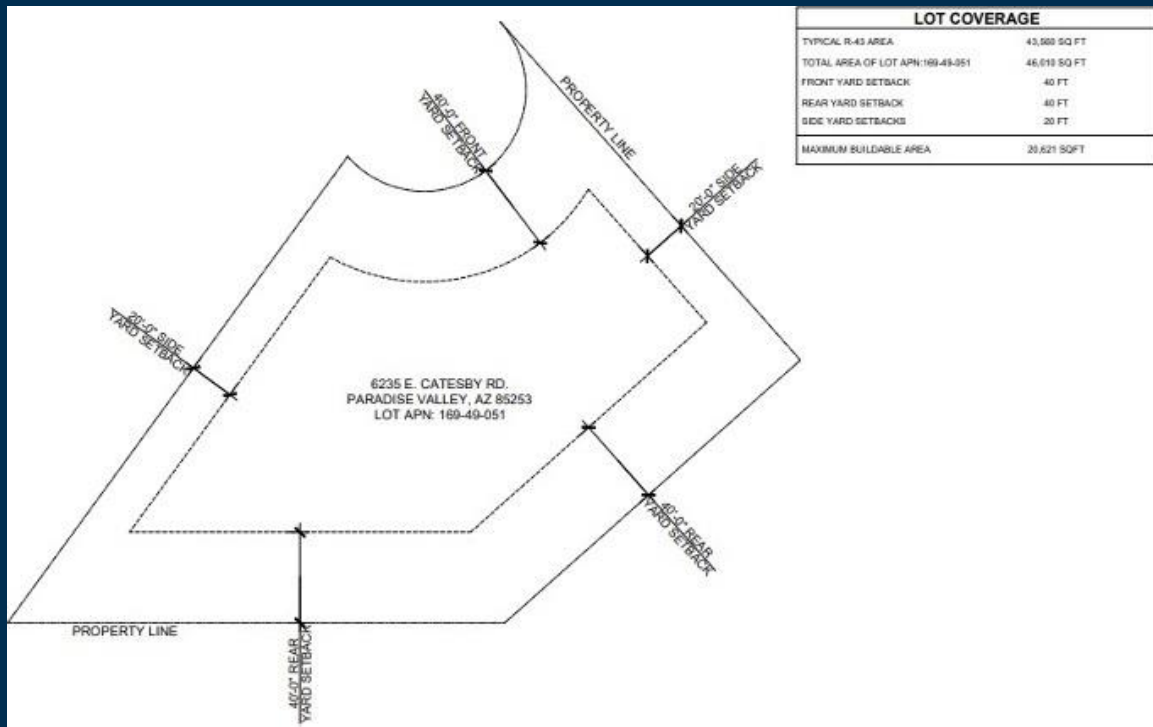


Figure 2 - 6235 E. Catesby Road

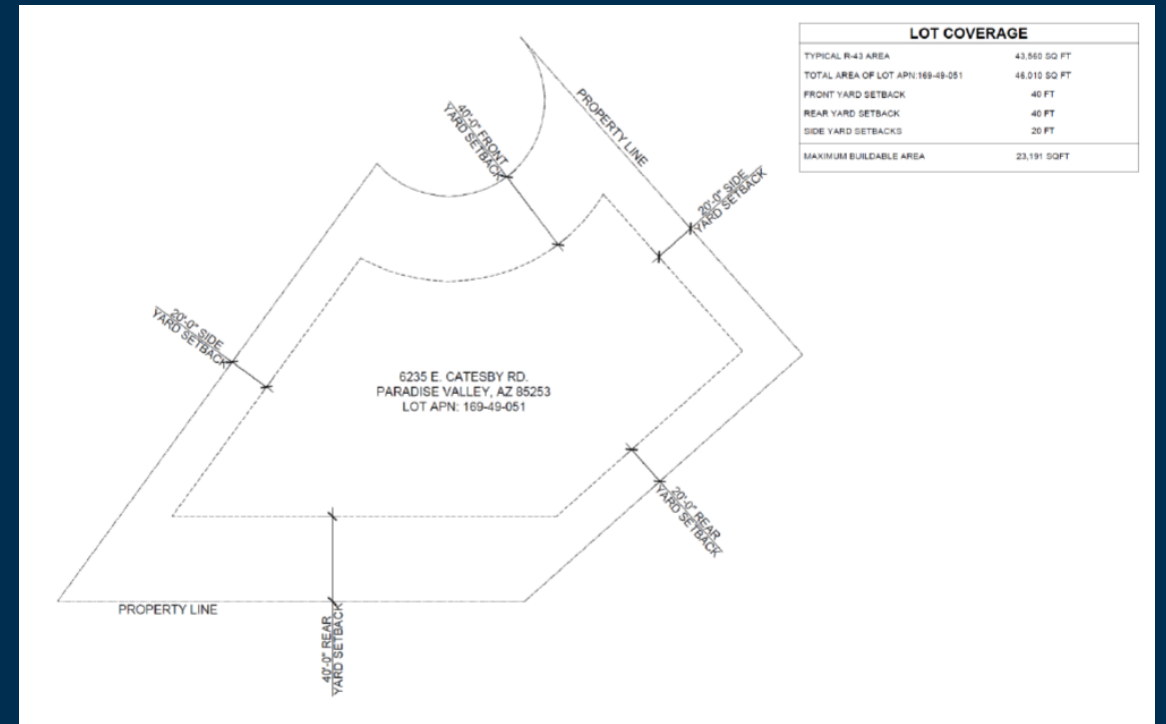


Figure 3 – One Rear Yard Setback

Property	Subdivision	Description
6671 E Judson Rd	Judson	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback; three designated side yards
6352 E Belmont	Lavitt Manor	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded and approved in 2019; This property is less than 10 houses away as the bird flies from the Property.
6421 E Ironwood Dr	Camelback Country Club Estates	Six-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback; four designated side yards; Year built 2016
8216 N 62nd Pl	Jarson Estates	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 1984
6901 E Bronco Dr	Cheney Heights	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 1971; Year built 2024
6715 E Cuarenta Ct	El Norte Cuarenta	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 1973; Year built 2002
6900 E Bronco Dr	Cheney Heights	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 1971; Year built 2001

Property	Subdivision	Description
5740 E Cactus Wren Rd	None	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Year built 2005
5739 E Cactus Wren Rd	Club Estates	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Year built 2014; Subdivision does not establish setback
3545 E Nita Rd	Viewland	Seven-sided Lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and five designated side yards; Year built 2022; Plat approved 1964
6817 N 46th Pl	Enclave in Paradise Valley	Five-sided Lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 2001; Year built 2010
6816 N Joshua Tree Ln	Paradise Hills Lot 68-99	Five-sided Lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Plat recorded in 1953; Year built 2005
6726 N Desert Hills Rd	Egyptian Hills	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Year built 2021
8502 N. 59th Pl.	Equestrian Trails	Five-sided lot with cul-de-sac; cul-de-sac frontage considered front; one rear setback and three designated side yards; Year built 2014

Previous Application of Similarly Situated Parcels

Owner Information

Owner Name: 6671 JUDSON LLC
In Care Of:
Property Address: 6671 E JUDSON RD PARADISE VALLEY 85253
Mailing Address: 6386 SILENT HARBOR DR HUNTINGTON BEACH CA USA 92648
Deed Number: 20200226507
Sale Date:
Sale Price: \$

Property Information

Lat/Long: 33.536180, -111.936214
S/T/R: 10 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0171
Lot Size (sq ft): 66439.000000
MCR #: 541-26
Subdivision: JUDSON
Lot #: 32
Tract/Block: /
Floor: 1
Construction Year: 2002
Living Space (sq ft): 8,997

Valuation Information

Tax Year: 2026 2025
FCV: \$ 5,346,600 \$ 5,342,000
LPV: \$ 2,735,964 \$ 2,605,680
Legal Class: 4.1 4.1



Zoom to ...

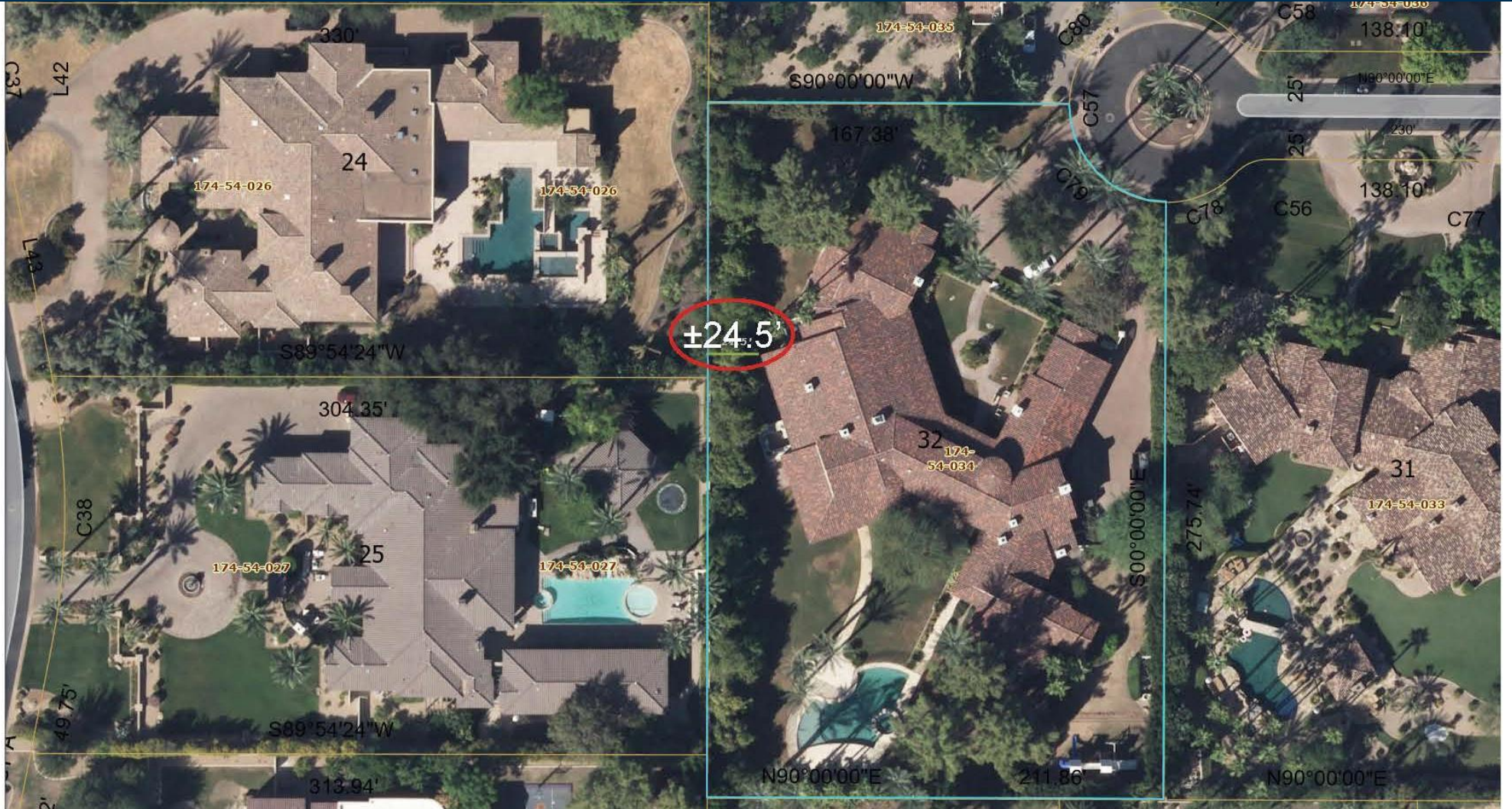


Exhibit A - 6671 E. Judson Road

Owner Information

Owner Name: WHITE FAMILY REVOCABLE TRUST
In Care Of:
Property Address: 6352 E BELMONT DR, PARADISE VALLEY 85253
Mailing Address: 6352 E BELMONT DR, PARADISE VALLEY AZ USA, 85253
Deed Number: 20240170112
Sale Date: 01/01/2022
Sale Price: \$5983320

Property Information

Lat/Long: 33.548542, -111.944242
S/T/R: 4 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0171
Lot Size (sq ft): 49448.000000
MCR #: 1499-50
Subdivision: LAVITT MANOR 2
Lot #: 2
Tract/Block: /
Floor: 1
Construction Year: 2022
Living Space (sq ft): 6,791

Valuation Information

Tax Year: 2026 2025
FCV: \$ 7,904,200 \$ 6,318,300
LPV: \$ 3,482,618 \$ 3,316,779
Legal Class: 3.1 3.1



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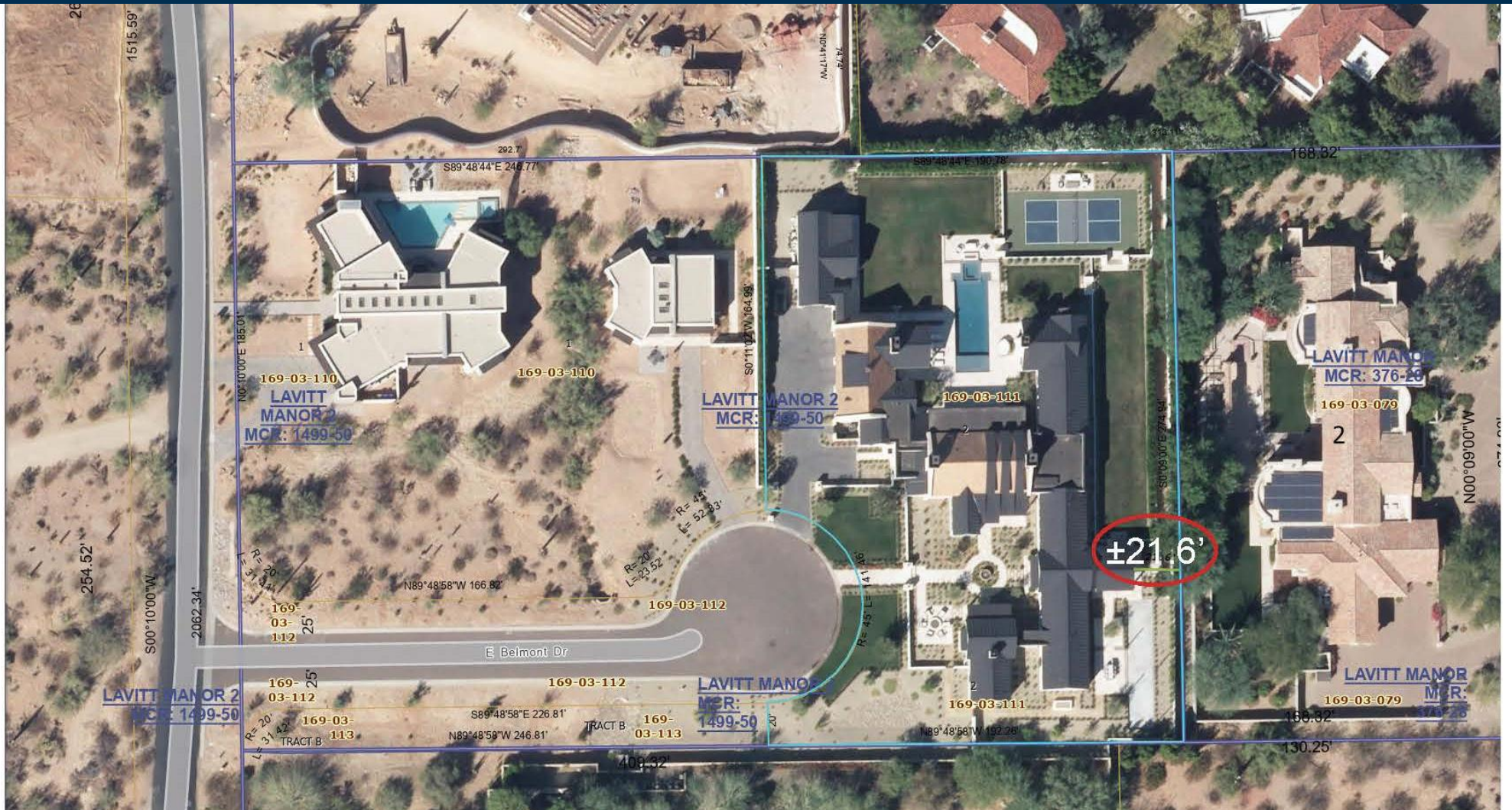


Exhibit A - 6352 E. Belmont Drive

168-61-007

Owner Information

Owner Name: KKT PROPERTIES L L C
 In Care Of:
 Property Address: 8216 N 62ND PL PARADISE VALLEY 85253
 Mailing Address: 8216 N 62ND PL PARADISE VALLEY AZ USA 85253
 Deed Number: 20240684850
 Sale Date:
 Sale Price: \$

Property Information

Lat/Long: 33.557110, -111.947196
 S/T/R: 33 3N 4E
 Jurisdiction: PARADISE VALLEY
 PUC: 0171
 Lot Size (sq ft): 49498.000000
 MCR #: 274-07
 Subdivision: JARSON ESTATES
 Lot #: 4
 Tract/Block: /
 Floor: 1
 Construction Year: 2006
 Living Space (sq ft): 7,350

Valuation Information

Tax Year: 2026 2025
 FCV: \$ 5,149,700 \$ 4,412,700
 LPV: \$ 3,189,702 \$ 3,037,811
 Legal Class: 3.1 3.1



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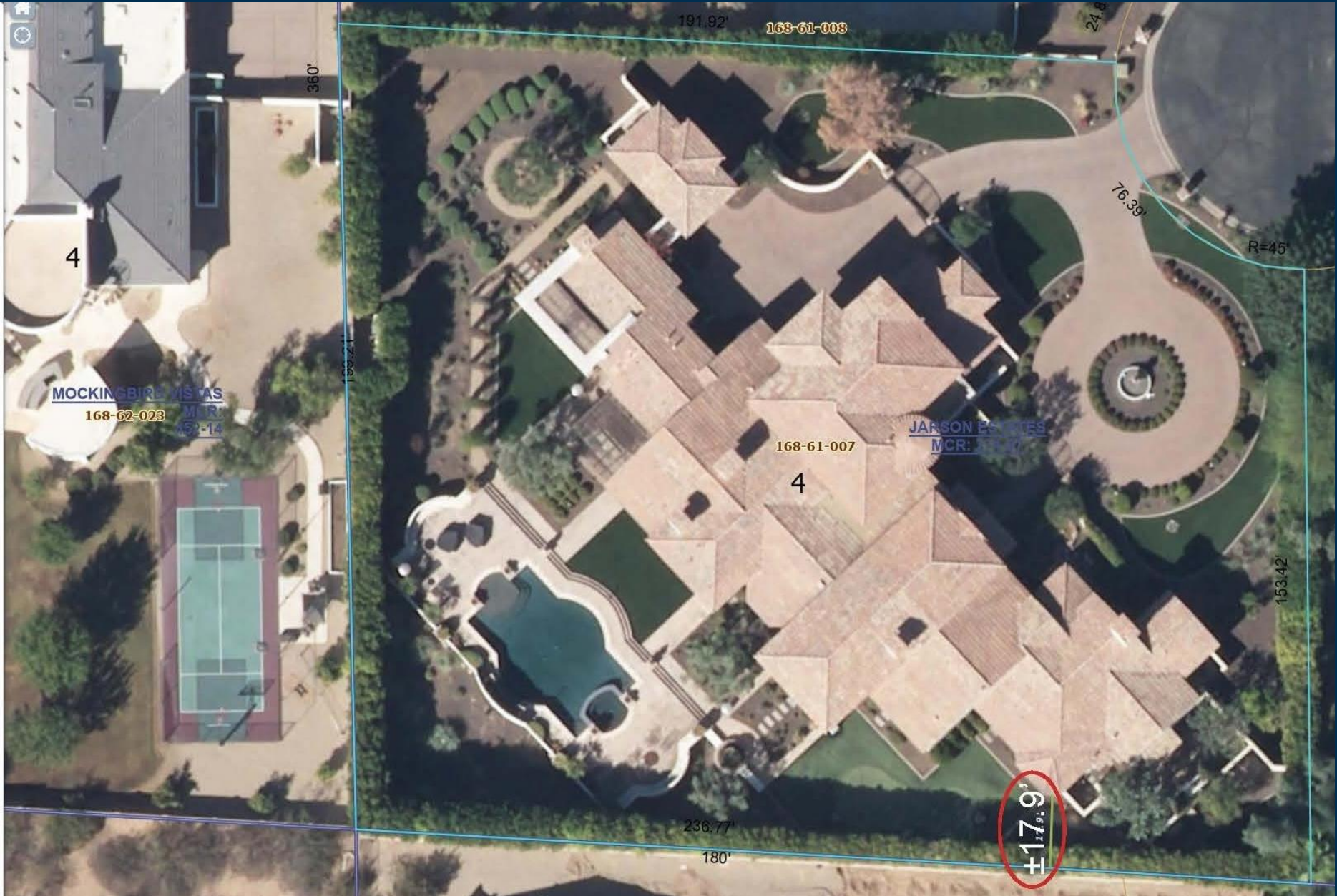


Exhibit A - 8216 N. 62nd Place

Owner Information

Owner Name: MARTORI STEPHEN A III/ERIKA
In Care Of:
Property Address: 6901 E BRONCO DR PARADISE VALLEY 85253
Mailing Address: 6901 E BRONCO DR PARADISE VALLEY AZ USA 85253
Deed Number: 20250216137
Sale Date: 04/01/2025
Sale Price: \$9467500

Property Information

Lat/Long: 33.549818, -111.932247
S/T/R: 3 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 47153.000000
MCR #: 135-17
Subdivision: CHENEY HEIGHTS
Lot #: 5
Tract/Block: /
Floor: 1
Construction Year: 2024
Living Space (sq ft): 7,884

Valuation Information

Tax Year: 2026 2025
FCV: \$ 7,047,500 \$ 3,279,700
LPV: \$ 3,735,175 \$ 1,803,835
Legal Class: 3.1 M



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Exhibit A - 6901 E. Bronco Drive

Owner Information

Owner Name: WILLIAM S WINER 2008
REVOCABLE LIVING TRUST
In Care Of:
Property Address: 6715 E CUARENTA CT
PARADISE VALLEY 85253
Mailing Address: 7180 E KIERLAND BLVD UNIT
1116 PHOENIX AZ USA
85254
Deed Number: 20250636741
Sale Date:
Sale Price: \$

Property Information

Lat/Long: 33.551152, -111.936560
S/T/R: 3 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 43326.000000
MCR #: 158-02
Subdivision: EL NORTE CUARENTA
Lot #: 6
Tract/Block: /
Floor: 1
Construction Year: 2002
Living Space (sq ft): 7,402

Valuation Information

Tax Year: 2026 2025
FCV: \$ 4,959,700 \$ 4,496,700
LPV: \$ 2,926,487 \$ 2,787,131
Legal Class: 3.1 3.1



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Exhibit A - 6715 E. Cuarenta Court

Owner Information

Owner Name: CHAL ARTHUR H/KAREN K TR
In Care Of:
Property Address: 6900 E BRONCO DR PARADISE VALLEY 85253
Mailing Address: 6900 E BRONCO DR PARADISE AZ USA 852533123
Deed Number: 20110598173
Sale Date:
Sale Price: \$

Property Information

Lat/Long: 33.550796, -111.932272
S/T/R: 3 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 47995.000000
MCR #: 135-17
Subdivision: CHENEY HEIGHTS
Lot #: 4
Tract/Block: /
Floor: 1
Construction Year: 2001
Living Space (sq ft): 6,077

Valuation Information

Tax Year: 2026 2025
FCV: \$ 4,253,700 \$ 3,951,700
LPV: \$ 2,496,898 \$ 2,377,998
Legal Class: 3.1 3.1



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Exhibit A - 6900 E. Bronco Drive

Owner Information

Owner Name: EDWIN D GONZALES AND KENDA B GONZALES TR
In Care Of:
Property Address: 5740 E CACTUS WREN RD PARADISE VALLEY 85253
Mailing Address: 5740 E CACTUS WREN RD PARADISE VALLEY AZ USA 85253
Deed Number: 20051544664
Sale Date:
Sale Price: \$

Property Information

Lat/Long: 33.535602, -111.956495
S/T/R: 9 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 45583.000000
MCR #: 174-49
Subdivision: SLUB ESTATES
Lot #: 1
Tract/Block: /
Floor: 1
Construction Year: 2005
Living Space (sq ft): 8,271

Valuation Information

Tax Year: 2026 2025
FCV: \$ 6,464,600 \$ 5,578,600
LPV: \$ 3,374,226 \$ 3,213,549
Legal Class: 3.1 3.1



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Exhibit A - 5740 E. Cactus Wren Road

Owner Information

Owner Name: STOLESON MARK/KATHERINE
In Care Of:
Property Address: 5739 E CACTUS WREN RD PARADISE VALLEY AZ 85253
Mailing Address: 5739 E CACTUS WREN RD PARADISE VALLEY AZ USA 85253
Deed Number: 20250080849
Sale Date: 02/01/2025
Sale Price: \$9600000

Property Information

Lat/Long: 33.534985, -111.956488
S/T/R: 9 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 42722.000000
MCR #: 74-49
Subdivision: CLUB ESTATES
Lot #: 1
Tract/Block: /
Floor: 1
Construction Year: 2014
Living Space (sq ft): 6,333

Valuation Information

Tax Year:	2026	2025
FCV:	\$ 6,703,800	\$ 6,108,500
LPV:	\$ 2,924,925	\$ 2,785,643
Legal Class:	4.2	4.2



Zoom to ...



Exhibit A - 5739 E. Cactus Wren Road

Owner Information

Owner Name: MICHELON RICHARD
IAN/AMY
In Care Of:
Property Address: 3545 E NITA RD PARADISE VALLEY 85253
Mailing Address: 3545 E NITA RD PARADISE VALLEY AZ USA 85253
Deed Number: 20230425721
Sale Date: 12/01/2021
Sale Price: \$6975000

Property Information

Lat/Long: 33.520719, -112.005277
S/T/R: 13 2N 3E
Jurisdiction: PARADISE VALLEY
PUC: 0161
Lot Size (sq ft): 51083.000000
MCR #: 106-48
Subdivision: VIEWLAND
Lot #: 4
Tract/Block: /
Floor: 1
Construction Year: 2022
Living Space (sq ft): 6,558

Valuation Information

Tax Year:	2026	2025
FCV:	\$ 5,488,300	\$ 5,473,800
LPV:	\$ 3,012,557	\$ 2,869,101
Legal Class:	4.1	4.1



Zoom to



Exhibit A - 3545 E. Nita Road

Owner Information

Owner Name: PICCINATI ARTHUR J/KIRCH MARGARET E TR
In Care Of:
Property Address: 6816 N JOSHUA TREE LN PARADISE VALLEY AZ USA 85253
Mailing Address: 6816 N JOSHUA TREE LN PARADISE VALLEY AZ USA 85253
Deed Number: 20080666241
Sale Date:
Sale Price: \$

Property Information

Lat/Long: 33.537390, -111.977226
S/T/R: 8 2N 4E
Jurisdiction: PARADISE VALLEY
PUC: 0171
Lot Size (sq ft): 51424.000000
MCR #: 57-11
Subdivision: PARADISE HILLS LOT 68-99
Lot #: 140
Tract/Block: /
Floor: 1
Construction Year: 2005
Living Space (sq ft): 7,352

Valuation Information

Tax Year:	2026	2025
FCV:	\$ 5,206,700	\$ 4,579,300
LPV:	\$ 2,666,033	\$ 2,539,079
Legal Class:	3.1	3.1



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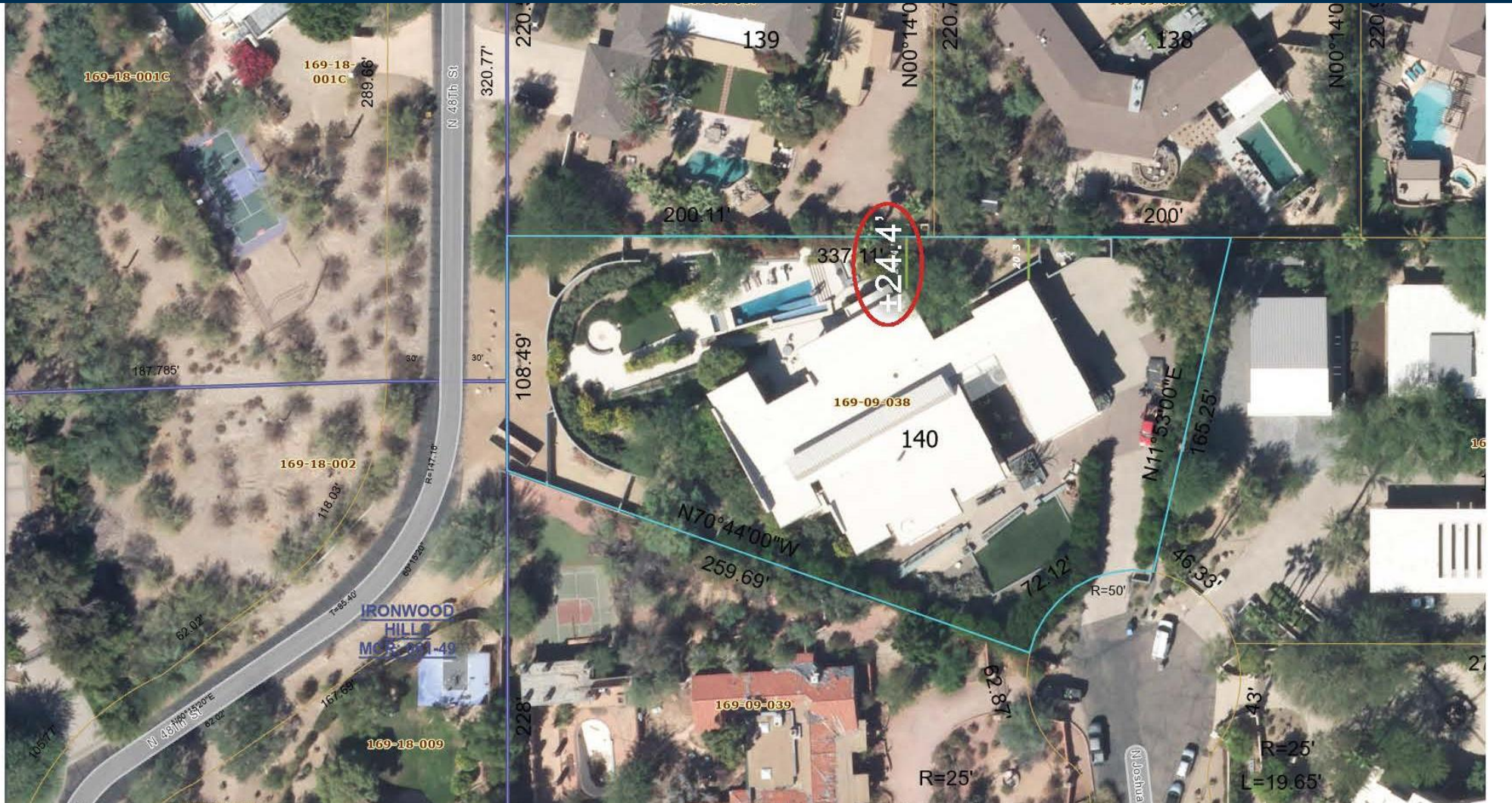


Exhibit A - 6816 N. Joshua Tree Lane

169-35-002A

Owner Information

Owner Name: LEWIS D GHIZ FAMILY TRUST
 In Care Of:
 Property Address: 6726 N DESERT HILLS RD PARADISE VALLEY 85253
 Mailing Address: 6726 N DESERT HILLS RD PARADISE VALLEY AZ USA 85253
 Deed Number: 20200146213
 Sale Date:
 Sale Price: \$

Property Information

Lat/Long: 33.535782, -111.949348
 S/T/R: 9 2N 4E
 Jurisdiction: PARADISE VALLEY
 PUC: 0171
 Lot Size (sq ft): 50172.000000
 MCR #: 69-18
 Subdivision: EGYPTIAN HILLS
 Lot #: 2
 Tract/Block: /
 Floor: 1
 Construction Year: 2021
 Living Space (sq ft): 6,712

Valuation Information

Tax Year:	2027	2026
FCV:	\$ 8,275,600	\$ 7,861,100
LPV:	\$ 3,457,610	\$ 3,292,962
Legal Class:	4.1	4.1



Exhibit A - 6726 N. Desert Hills Road

168-58-030A

Owner Information

Owner Name:	ABWELL LLC
In Care Of:	
Property Address:	8502 N 59TH PL PARADISE VALLEY 85253
Mailing Address:	8502 N 59TH PL PARADISE VALLEY AZ USA 85253
Deed Number:	20220643521
Sale Date:	08/01/2022
Sale Price:	\$6100000

Property Information

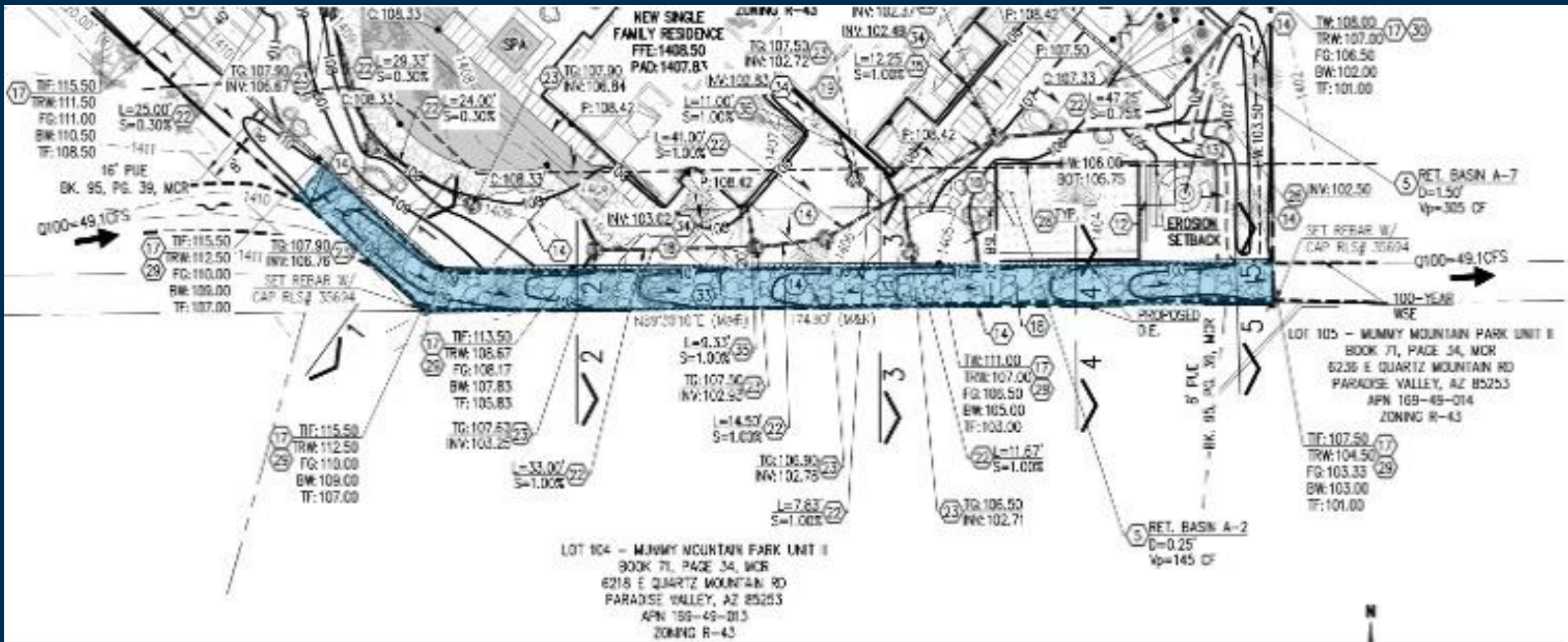
Lat/Long:	33.560861, -111.952834
S/T/R:	33 3N 4E
Jurisdiction:	PARADISE VALLEY
PUC:	0151
Lot Size (sq ft):	45158.000000
MCR #:	97-19
Subdivision:	EQUESTRIAN TRAILS
Lot #:	28
Tract/Block:	/
Floor:	1
Construction Year:	2014
Living Space (sq ft):	4,817

Valuation Information

Tax Year:	2027	2026
FCV:	\$ 4,670,300	\$ 4,596,300
LPV:	\$ 2,120,849	\$ 2,019,856
Legal Class:	3.1	3.1



Exhibit A - 8502 N. 59th Place



Easements for drainage requirements and site constraints



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