

TOWN OF PARADISE VALLEY

Finisterre Subdivision – Raised Wall Height (MI-18-02)

Town Council
Public Meeting
June 14, 2018

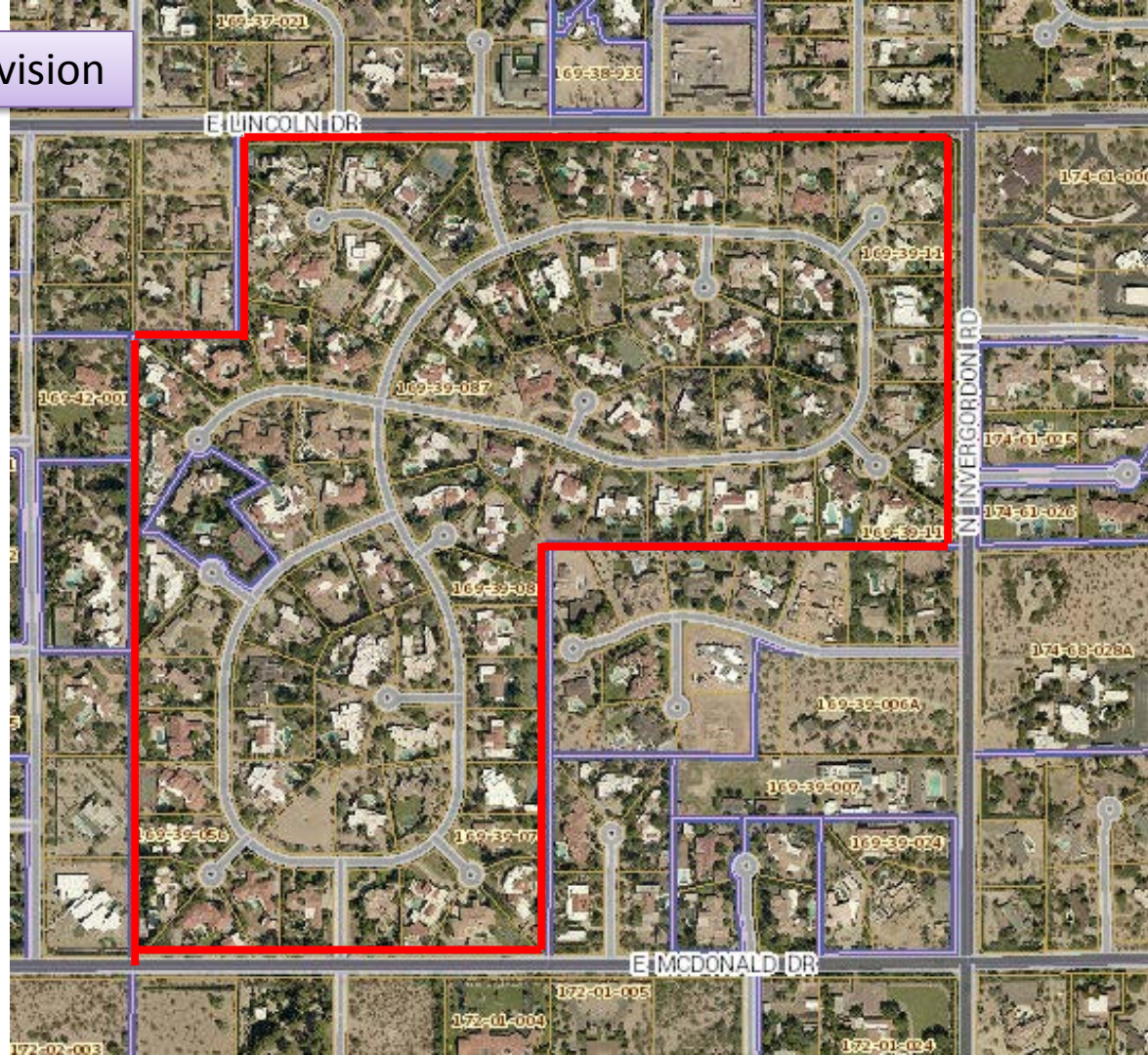


REQUEST

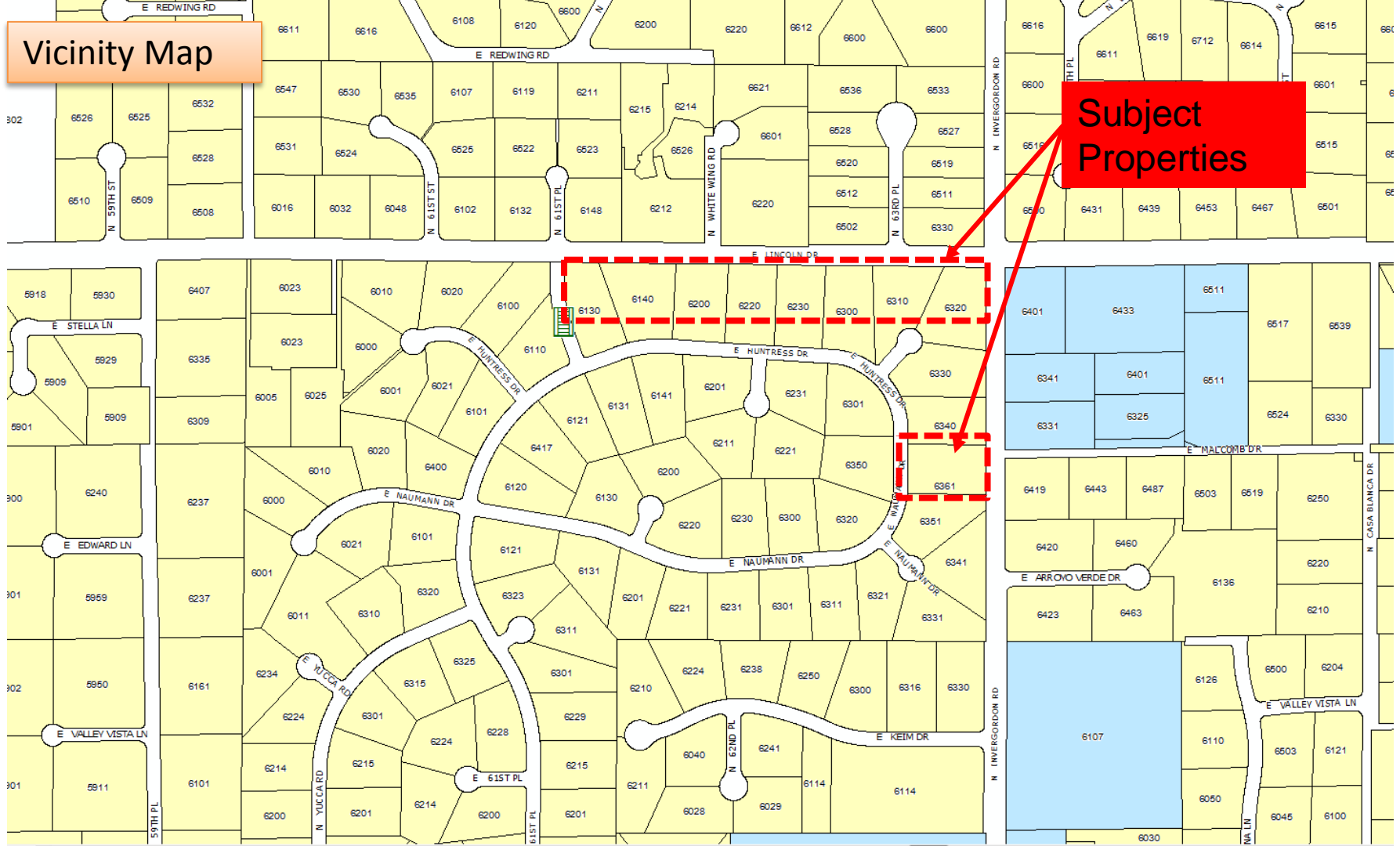
- Raise height of subdivision wall on 9 lots



Finisterre Subdivision



Vicinity Map



Subject Properties

Aerial Photo

Subject Properties



HISTORY

- Subdivision and wall approved in 1977
- Subdivision wall located on property line of perimeter lots
- Varying height - 4'6" tall to 6' tall
- Lincoln Drive Sidewalk Project (2005):
 - 3 western property adjoining Lincoln Drive raised height of wall
 - Not all owners on east side in agreement to raise wall at that time



BACKGROUND

- PC Review:
 - April 17th Work Session
 - May 1st Public Meeting:
 - Forwarded with a recommendation of approval subject to stipulations
- TC Review:
 - May 24th Work Session:
 - No changes requested



SCOPE OF REQUEST

▪ Existing Wall

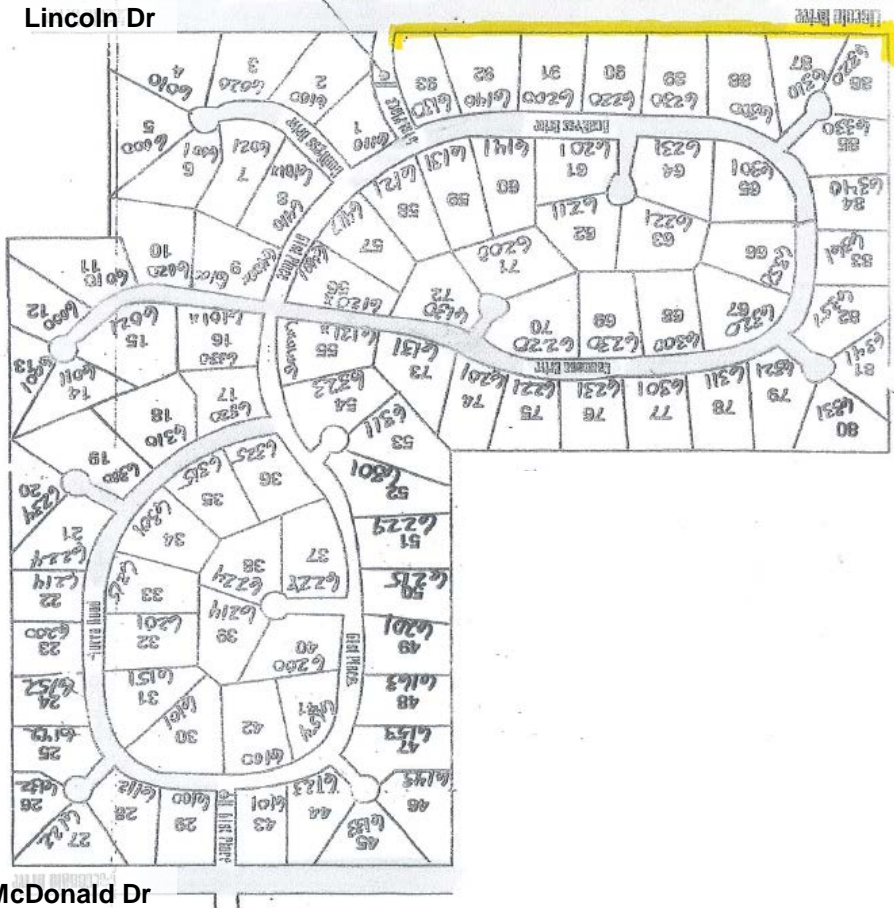
- Lots 86 – 93 (Lincoln Dr):
 - 4'6" tall
- Lot 83 (Invergordon Rd):
 - 4'8" tall

▪ Modified Wall

- Lots 86 – 93:
 - 6' tall
- Lot 83:
 - 5'7" tall



Lots 86 - 93



Invergordon Rd

McDonald Dr



Aerial Photo

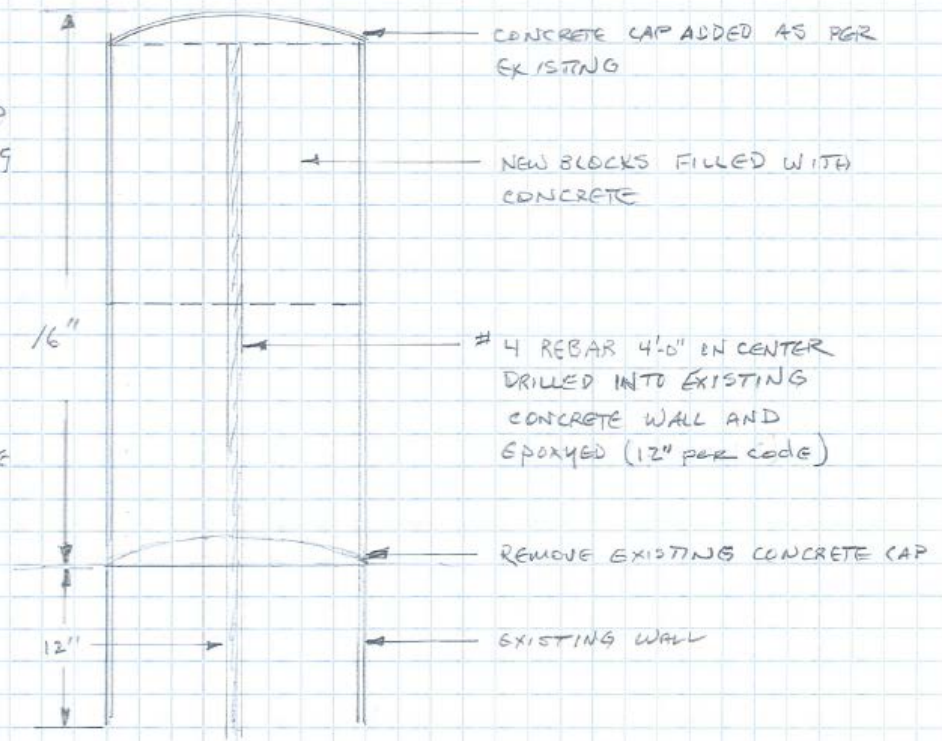
Subject Properties



WALL ADDITION DESIGN

NOTES:

- WALL ADDITION STUCCOED AND PAINTED TO EXISTING TEXTURE AND COLOR
- LITTLE OR NO CURVING REQUIRED TO MAINTAIN FINAL WALL HEIGHT AT OR BELOW 6'0"
- LINEAR STEP DOWNS AS REQUIRED BY SLOPE OF TERRAIN
- ANY PLANTING OR LIGHTING DAMAGE TO BE REPAIRED

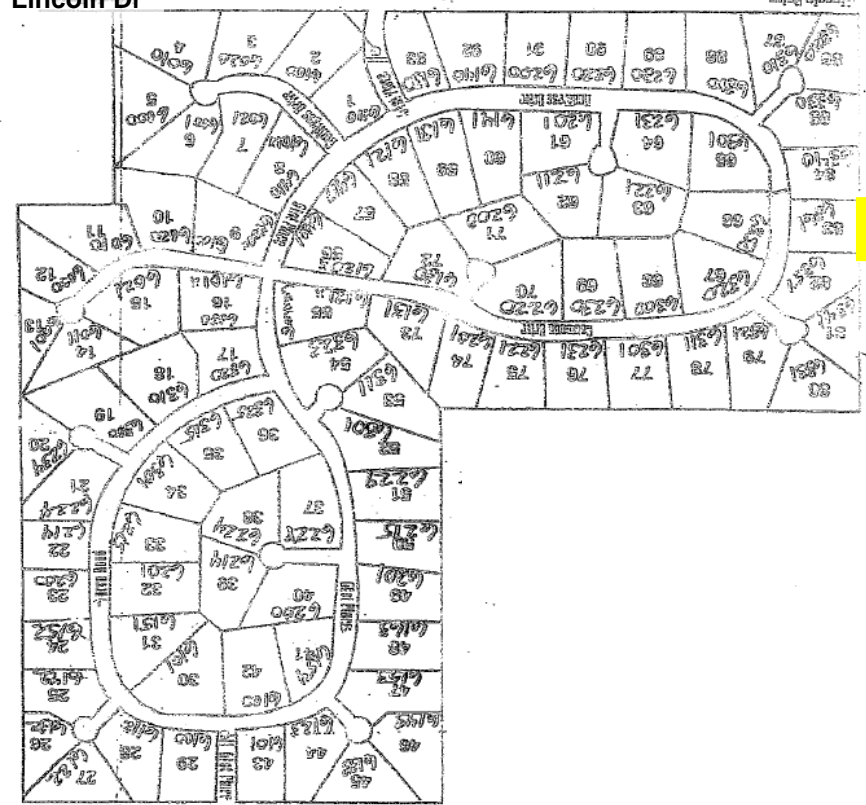


Photos – Lincoln Dr



Lincoln Dr

Invergordon Rd

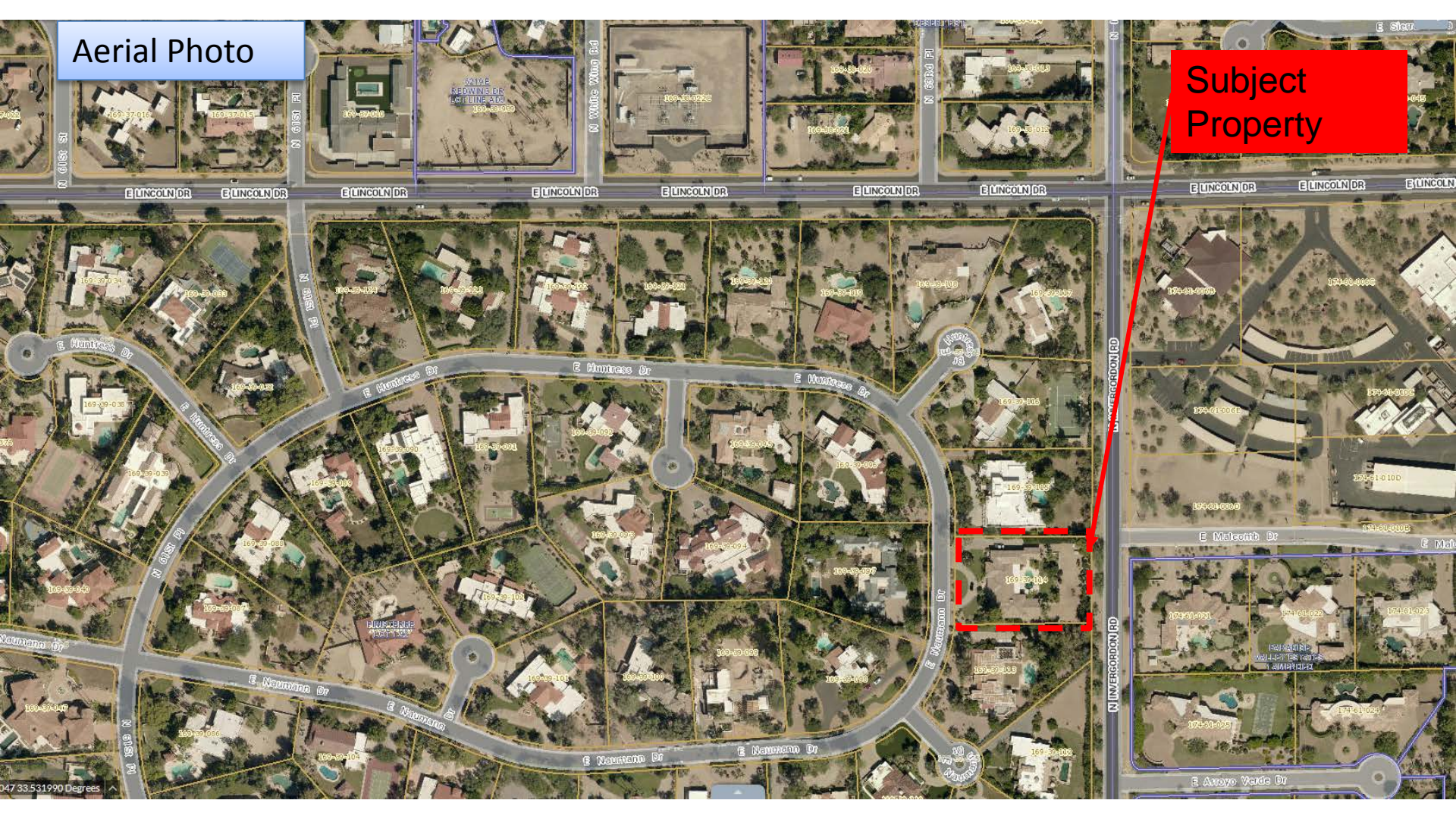


McDonald Dr



Aerial Photo

Subject Property



Stucco & Paint Finish

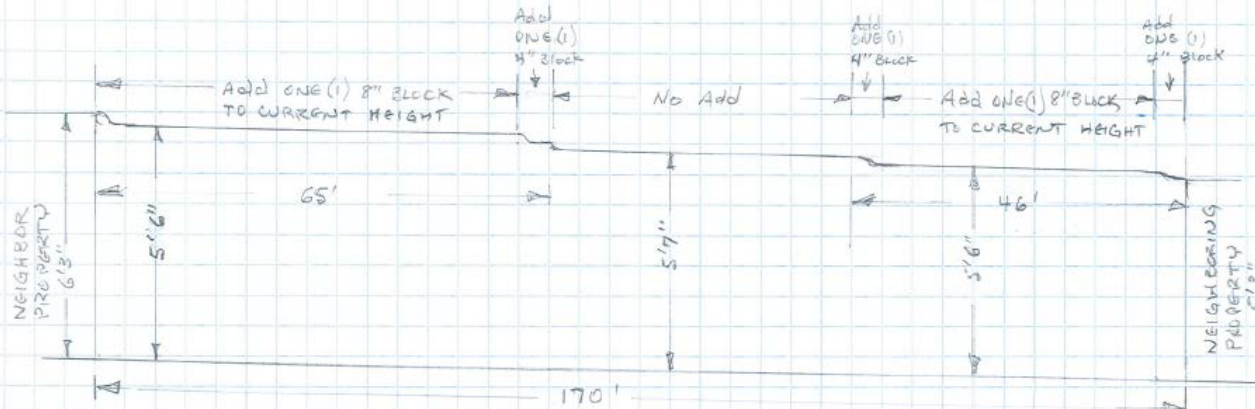
WALL RAISING PROJECT

LOCATION: INVERGORDON PERIMETER WALL TO 6361 E. NAUMANN DR.

PROJECT: RAISE WALL IN TWO PLACES BY 8" (ONE BLOCK)

PURPOSE: REDUCE NOISE; IMPROVE SECURITY AND PRIVACY FOR RESIDENCE

PARAMETERS: CONSTRUCTED TO TOWN CODE (ATTACHED), NO BURM REQUIRED
BLENDS TO NEIGHBORING PROPERTIES, FINISH AND PAINT TO EXISTING



- INVERGORDON RD. PERIMETER WALL
- NOTE NATURAL GRADE DESCENT
- NO BURM NOW OR PLANNED

- DIMENSIONS ARE AFTER RAISED WALL
- PRIOR HEIGHT IN RAISED AREAS BELOW 5'
- FINISHED WALL IS BELOW 6' LIMIT.

Photos – Invergordon Rd



RECOMMENDATION

- Recommend approval - subject to stipulations:
 1. Wall improvements in substantial compliance with following:
 - a. Narrative
 - b. Site plans
 - c. Exterior wall elevations/details
 2. Exterior of wall finished and painted to match existing wall
 3. Any exterior landscaping destroyed or removed during construction of improvement must be replaced with similar plant



QUESTION?

Subject Properties

