

- VICINITY MAP**

North 40th Street, E. Flynn, E. Lamar, Taylor Blvd.

Site Plan Dimensions and Features:

 - North Boundary: 298.74', N 1° 50' 42" W
 - East Boundary: 211.85', N 89° 50' 09" E
 - South Boundary: 275.09', S 10° 17' 40" E
 - West Boundary: 582° 23' 45" W
 - Setbacks: 20' (North, East), 40' (South)
 - Features: Existing Residence, New 2nd Story Guest Room, Pool, Parking, Gate, Concrete Driveway, Ridge + 22' Fr. L.N.G., Long. Per Survey, Ridge + 22' Fr. L.N.G., 8.56' Per Survey, 213.16', 25', 40'.
 - Notes: INDICATES BOUNDARY OF DISTURBED AREAS

INTERNATIONAL BUILDING CODE	
Spectral Response Acceleration:	0.2 sec = 28.9%g 1.0 sec = 8.5%g
At rest Soil Press (Equivalent fluid weight):	60 psf/ft w/o soils report
Active Soil Press (Equivalent fluid weight):	35 psf/ft w/o soils report

NEW LIVABLE = +836

% OF DISTURBED AREA
 DISTURBED AREA

$$\div \frac{16,272 \text{ DISTURBED}}{62,633 \text{ LOT AREA}}$$
 25.9 %

* PLANS COMPLY W/
2015 INT'L. RESIDENTIAL
BUILDING CODES

Addition and Remodel
Firestone Residence
7001 N. 40th Street
Paradise Valley, Az. 85253

Site Plan

SCALE: 1" = 20'-0"

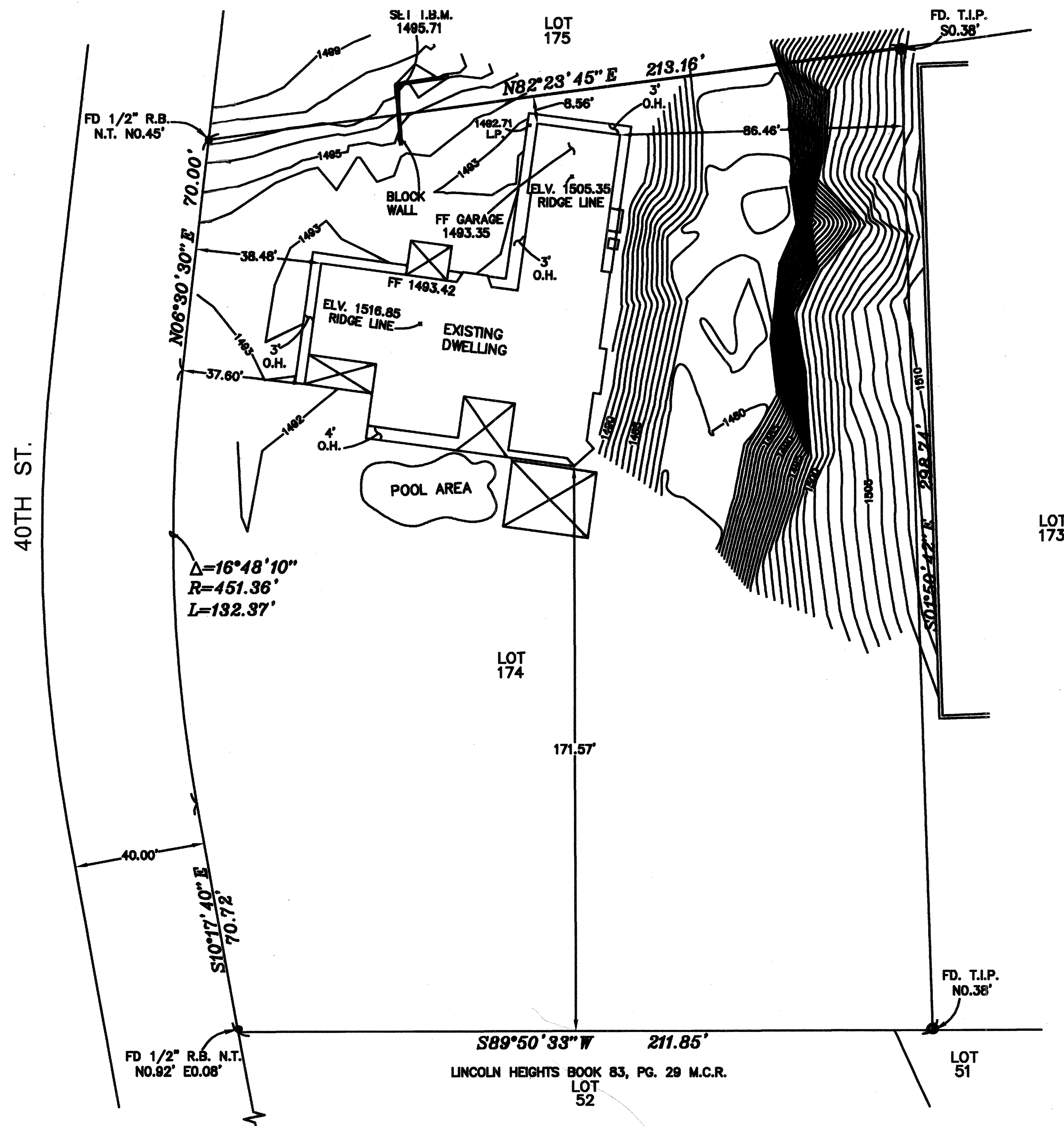
8560 East Wood Drive Scottsdale

Bruce Bender Design Studio

480-620-1680

RESULTS OF SURVEY

OF LOT 174 OF CLEARWATER HILLS No 2 IN A PORTION OF THE SW1/4 OF SECTION 6,
T2N, R4E OF THE G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA
AS RECORDED IN BOOK 84 OF MAPS, PAGE 25 M.C.R.



889°50'33\" W 211.85'
LINCOLN HEIGHTS BOOK 83, PG. 29 M.C.R.
LOT 52

AREA

62,881 SQ. FT. NET
1.4435 ACRES NET

BENCHMARK:

GDAC # 24035-1 MHD BC Elev. 1403.453 (88)



EXPIRES 03-31-18

LAND SURVEYOR'S CERTIFICATION:

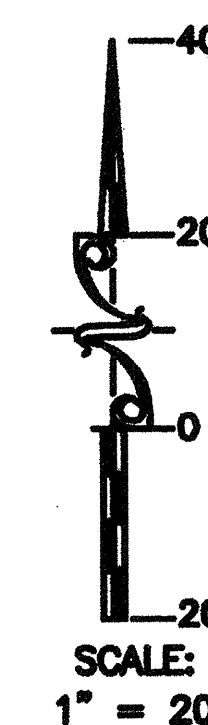
I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA. THIS PLAT WAS MADE UNDER MY DIRECTION AND MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS." THIS SURVEY WAS MADE DURING THE MONTH OF DECEMBER, 2017.

THE WORD "CERTIFICATION" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

REGISTERED LAND SURVEYOR # RLS 14187

LEGEND

FD.	FOUND
N.T.	NO TAG
L.P.	LOW POINT
R.B.	REINFORCING BAR
T.I.P.	TAGGED IRON PIN
•	REBAR
○	TAGGED IRON PIN



Addition and Remodel
Firestone Residence
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CLIENT: SCOTT THOITS
7001 N 40TH ST.
PARADISE VALLEY 85253

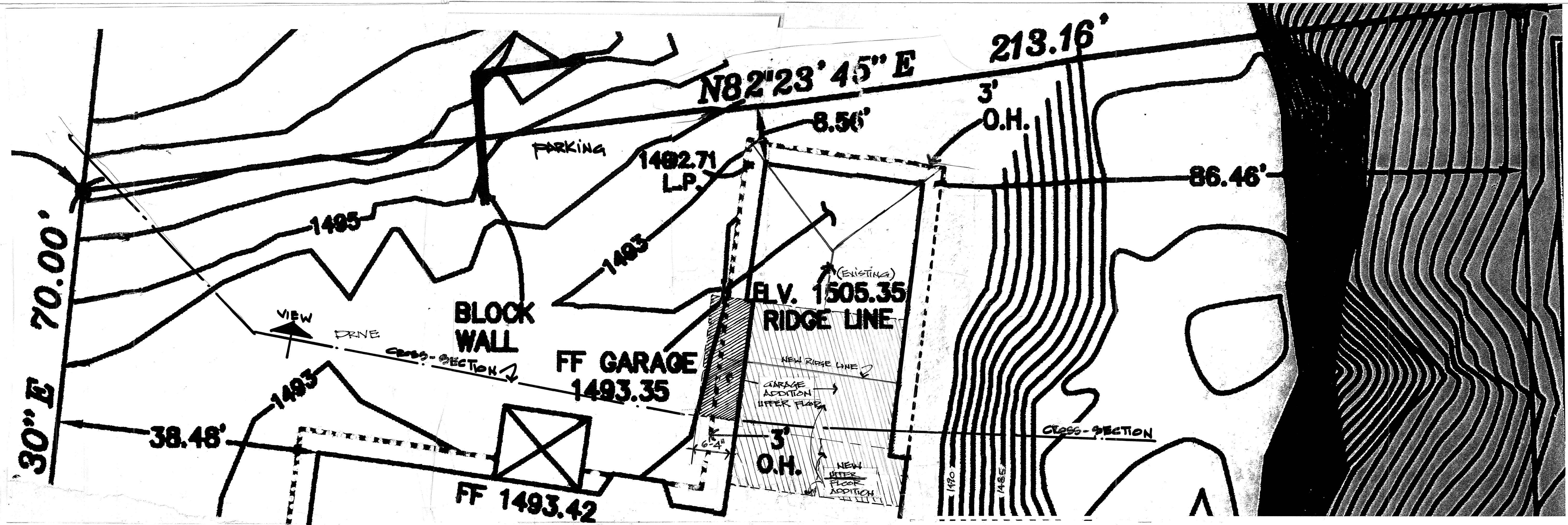
DATE: 11-20-17
DRAWN BY JMB
Sheet 1

1A

JOB No. 2170511

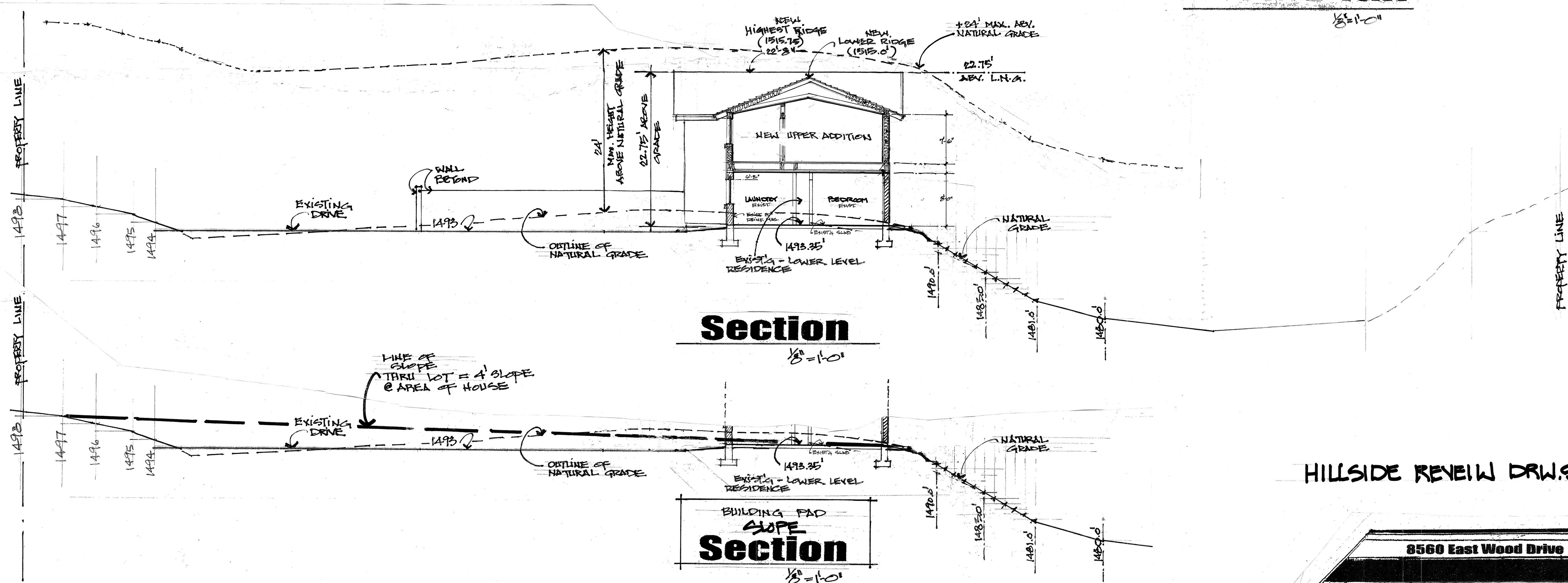
Revisions:
01-22-18

PROFESSIONAL LAND SURVEYS OF ARIZONA L.L.C.
10505 N. 69TH Street, Suite 101, Scottsdale, AZ 85253
phone: 480.905.1126 fax: 480 905 1859



Site Plan

1/8" = 1'-0"



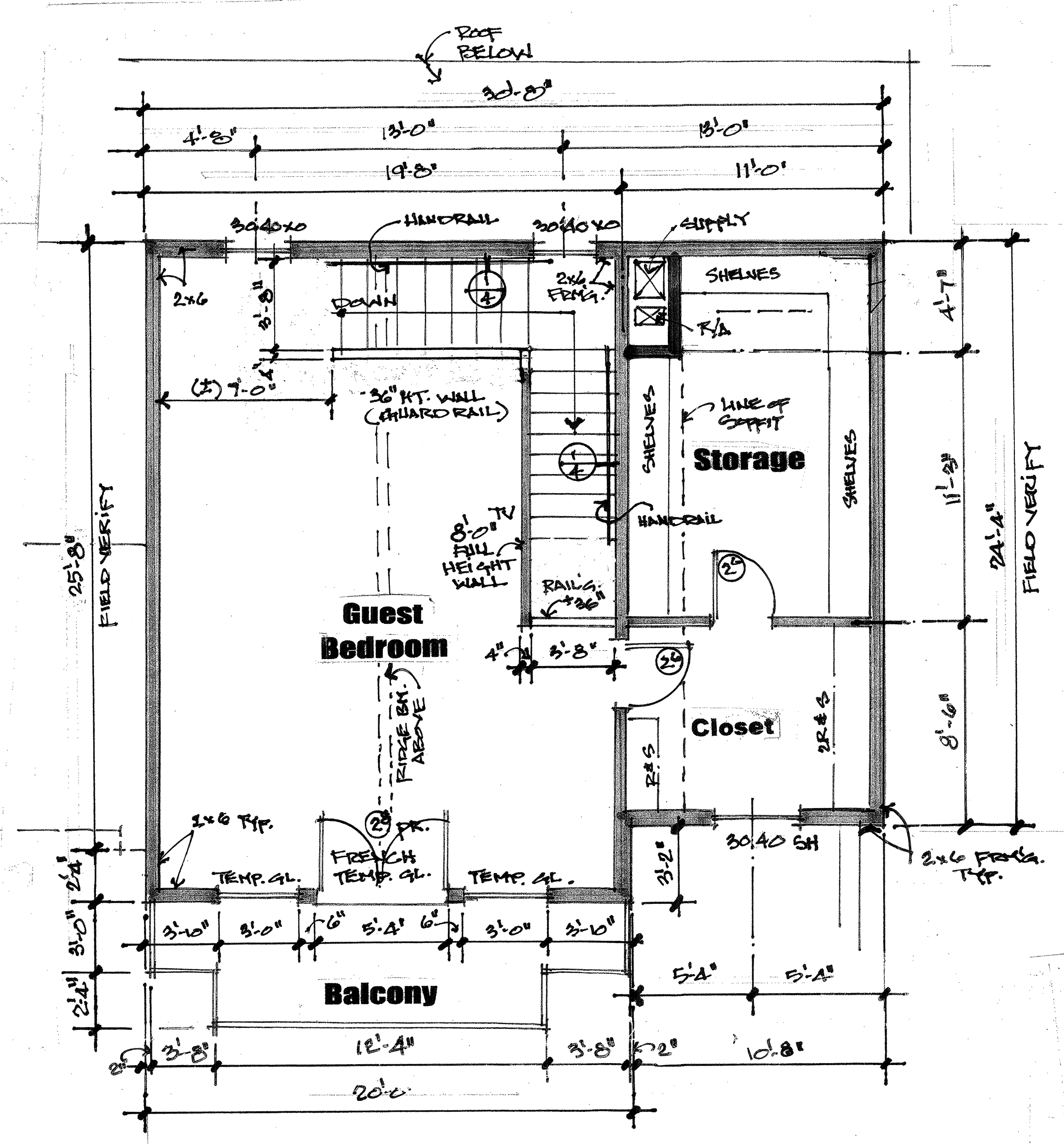
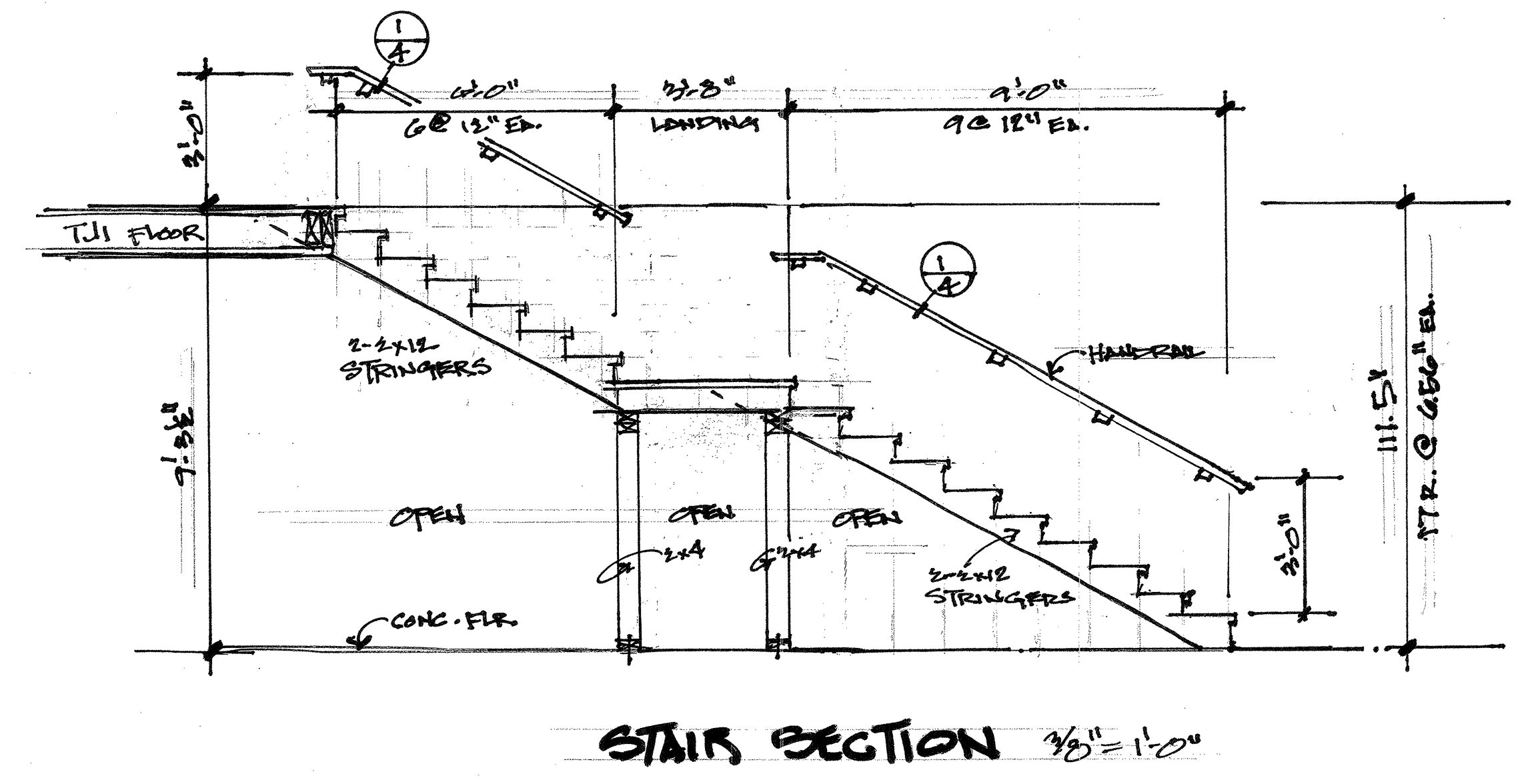
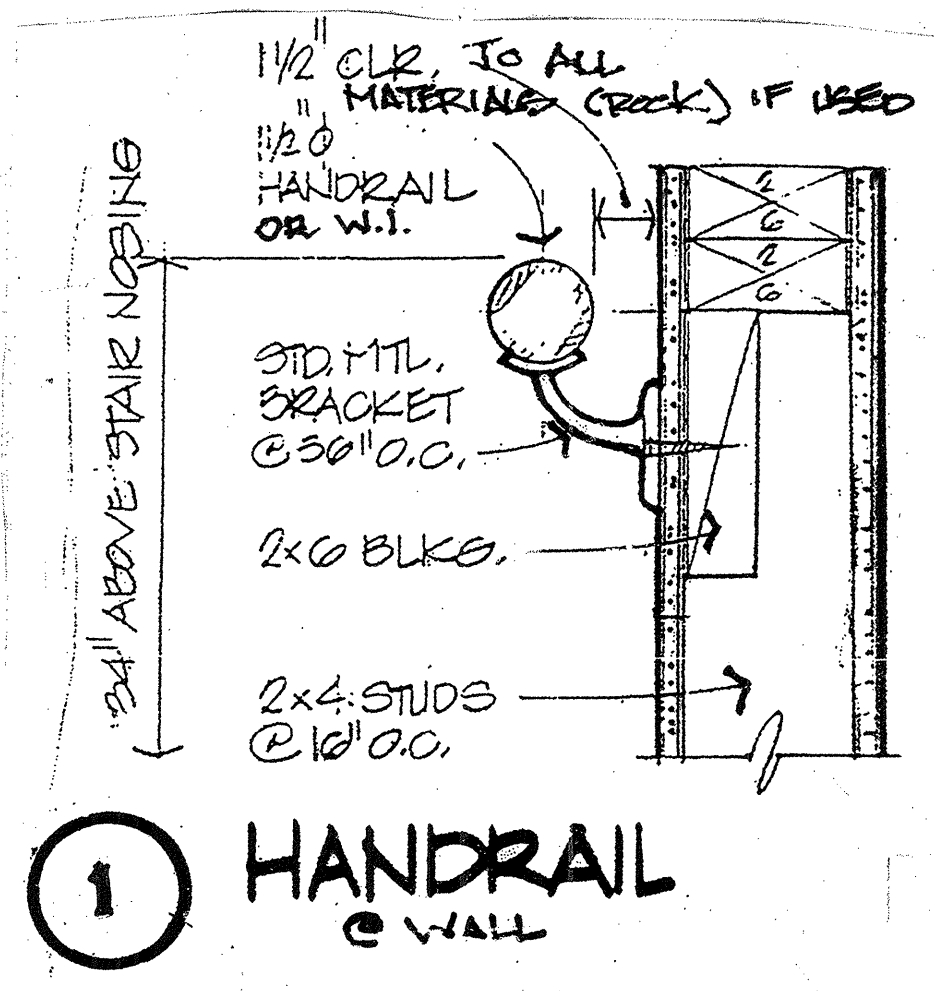
HILLSIDE REVIEW DRWS

8560 East Wood Drive Scottsdale

Bruce Bender Design Studio

480-620-1680

1B

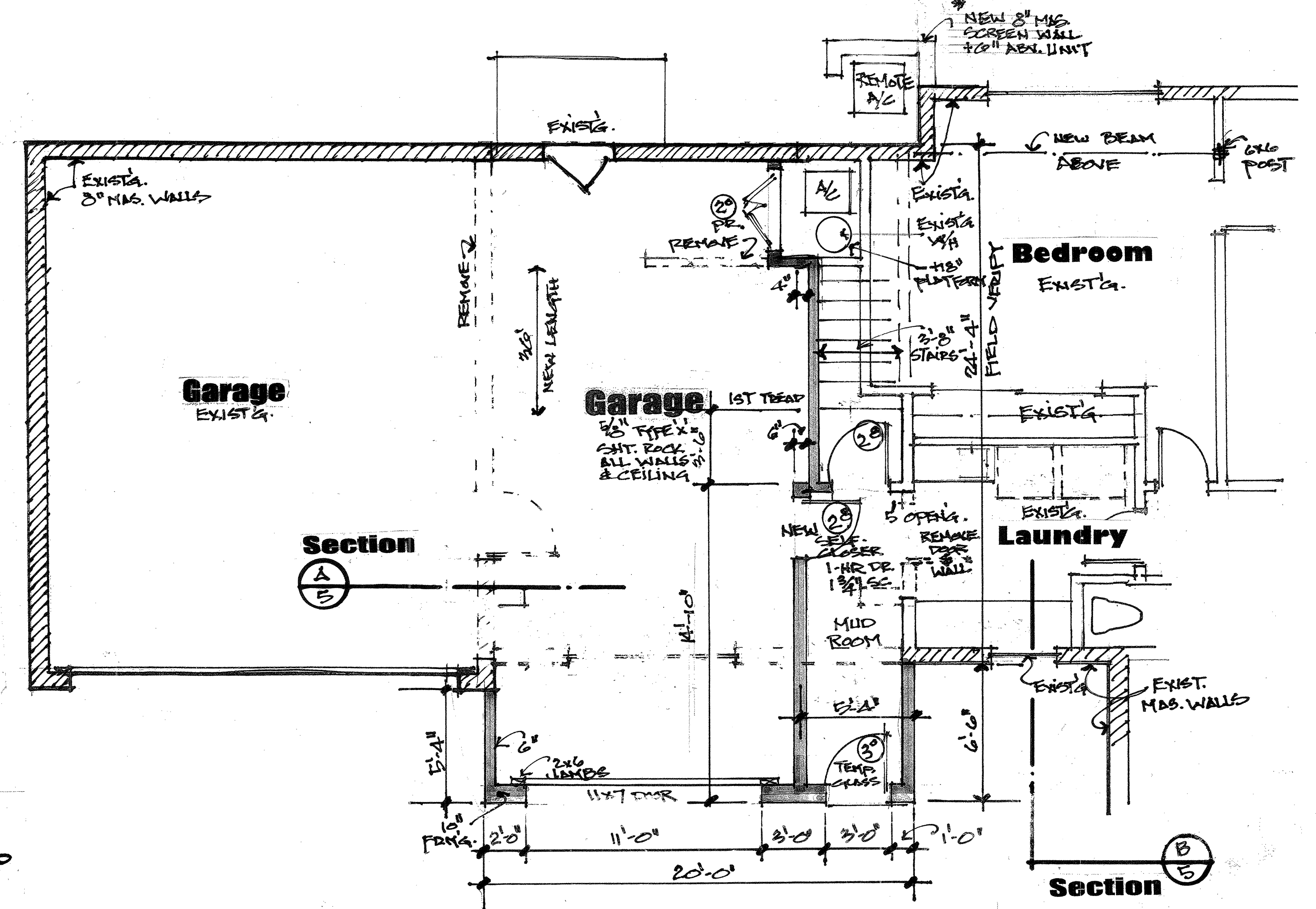


DIMENSIONS
Floor Plan
UPPER FLOOR

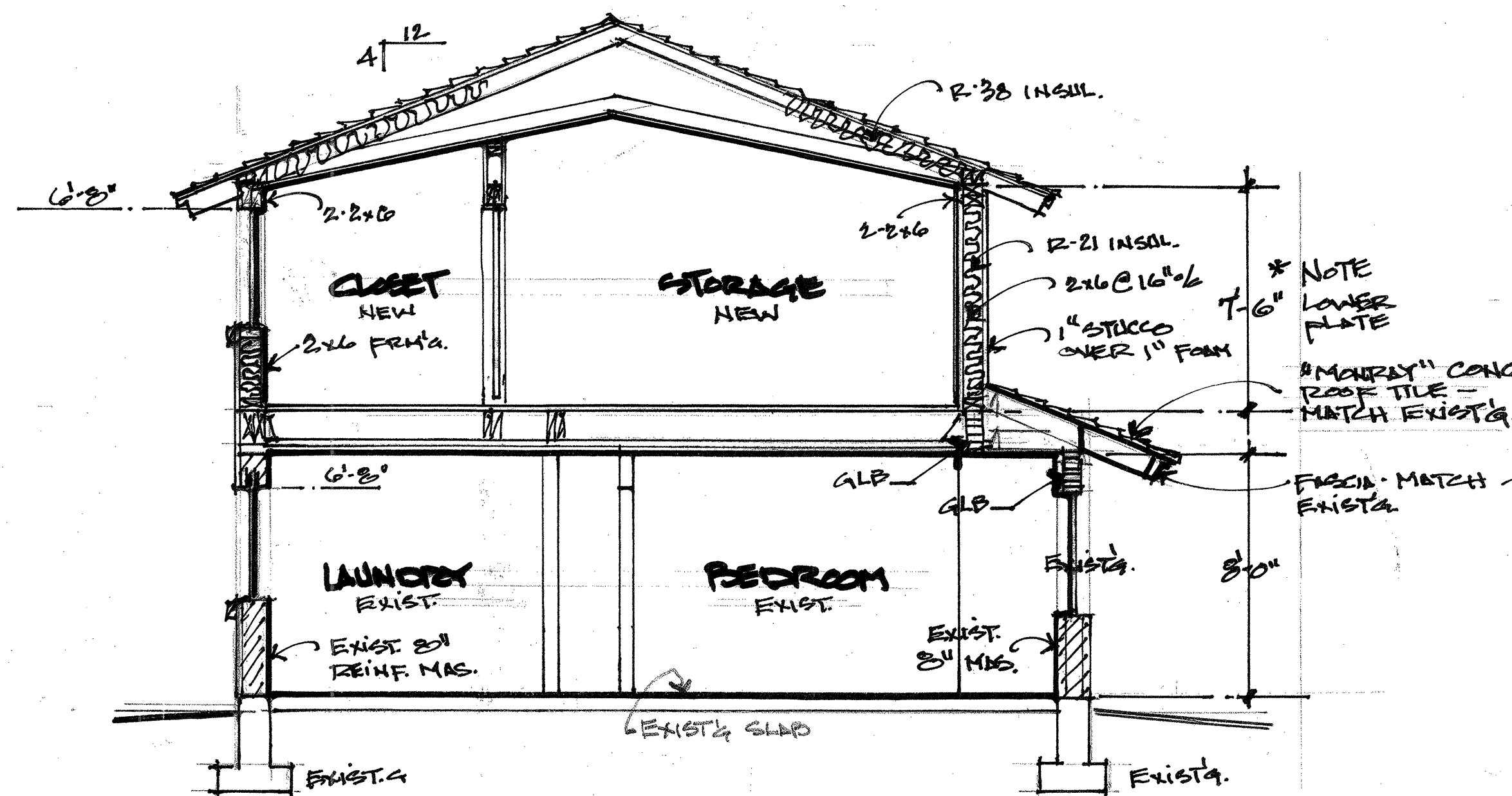
RES. CHECK HOUSE IS DESIGNED FOR PERMISSIVE CODE:
R-8 Ceilings
R-21 walls
0.15 window U-factor
0.25 window SHGC

INTERIOR FINISH:
1/2" GYPSUM BOARD, TYPICAL
PROVIDE 5/8" TYPE 'X' GYP. BD. AT GARAGE WALLS AND CEILING.
ALL WET AREAS SHALL RECEIVE 1/2" M.R. GYP. BD. TYPICAL UNLESS NOTED OTHERWISE.

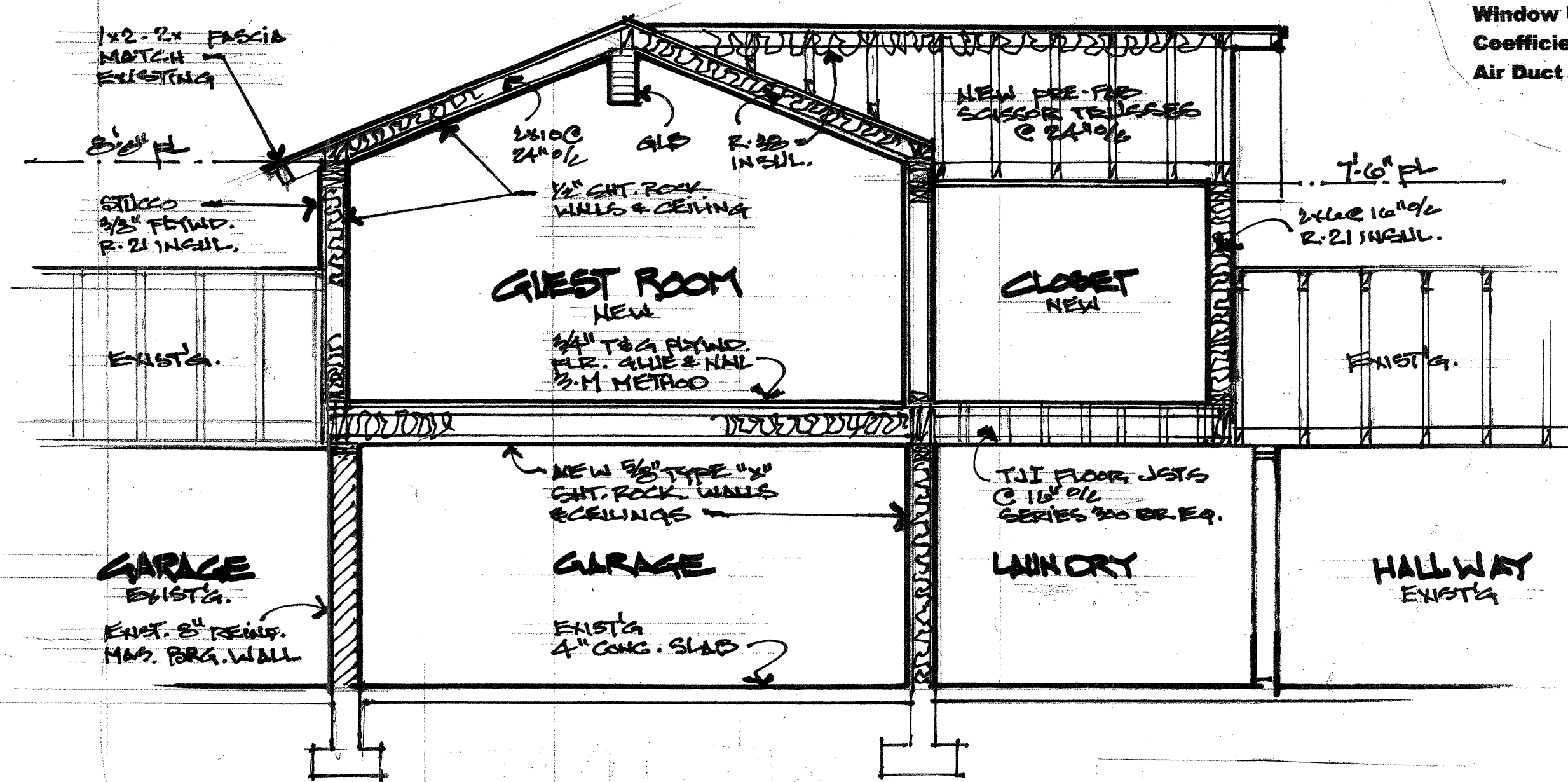
TYPICAL WALL CONSTRUCTION:
EXTERIOR WALLS: 2 X 6 AT 24" O.C.
INTERIOR WALLS, NON-BEARING: 2 X 4 AT 24" O.C.
INTERIOR WALLS, BEARING: 2X4 AT 16" O.C.



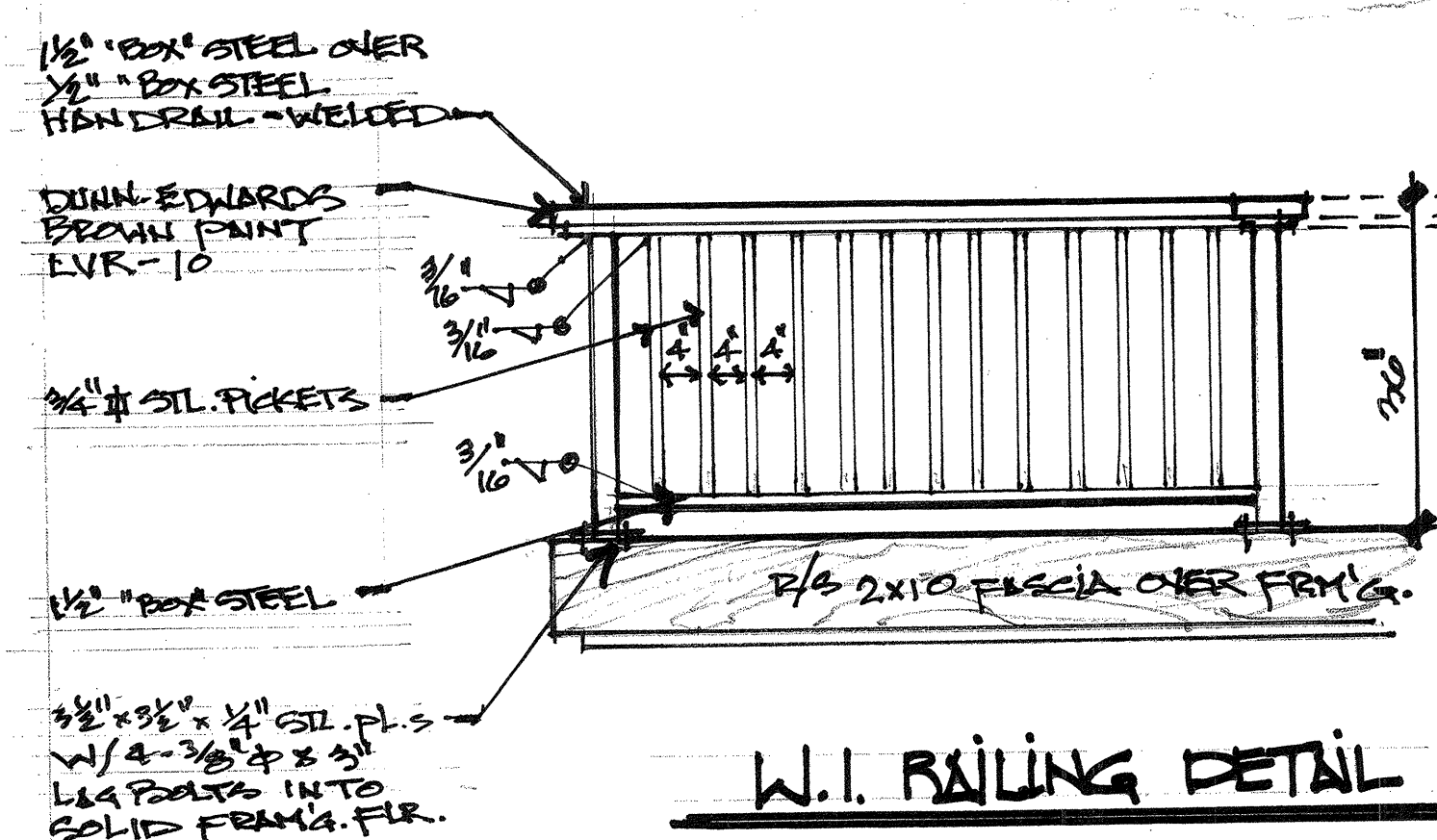
DIMENSIONS
Floor Plan



B Section

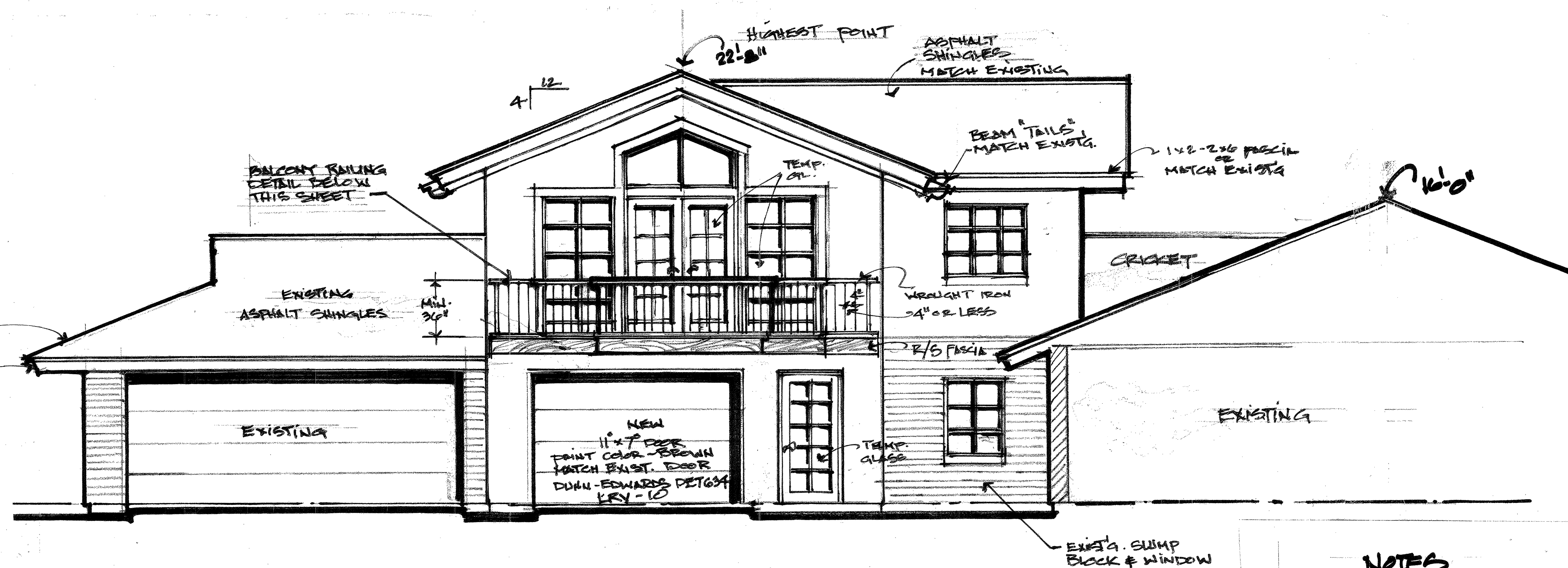


A Section



Notes:

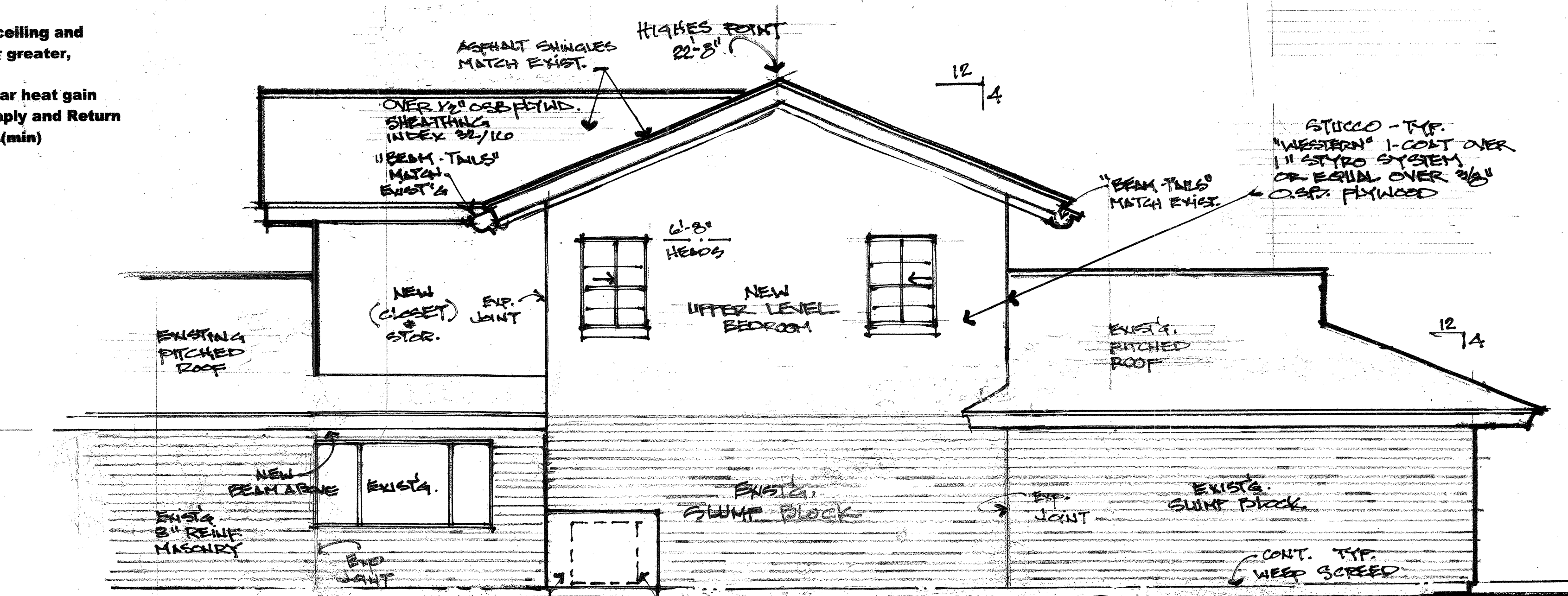
- 1) All ceilings to have 1/2" Sag-resistant Gyp. Bd.
- 2) All Exterior exit doors to have a min. 36" deep conc. stoop or larger
- 3) International Energy Code; A permanent Energy Certificate will be required at the time of final to be posted in the electrical distribution panel.
- 4) Insulation requirements; R-38 ceiling and attic, Frame walls have R-21 or greater, Masonry wall R-4. Window U-value 0.75, (max) Solar heat gain Coefficient of 0.4 (max) and supply and Return Air Duct insulation value of R-8 (min)



Front Elevation

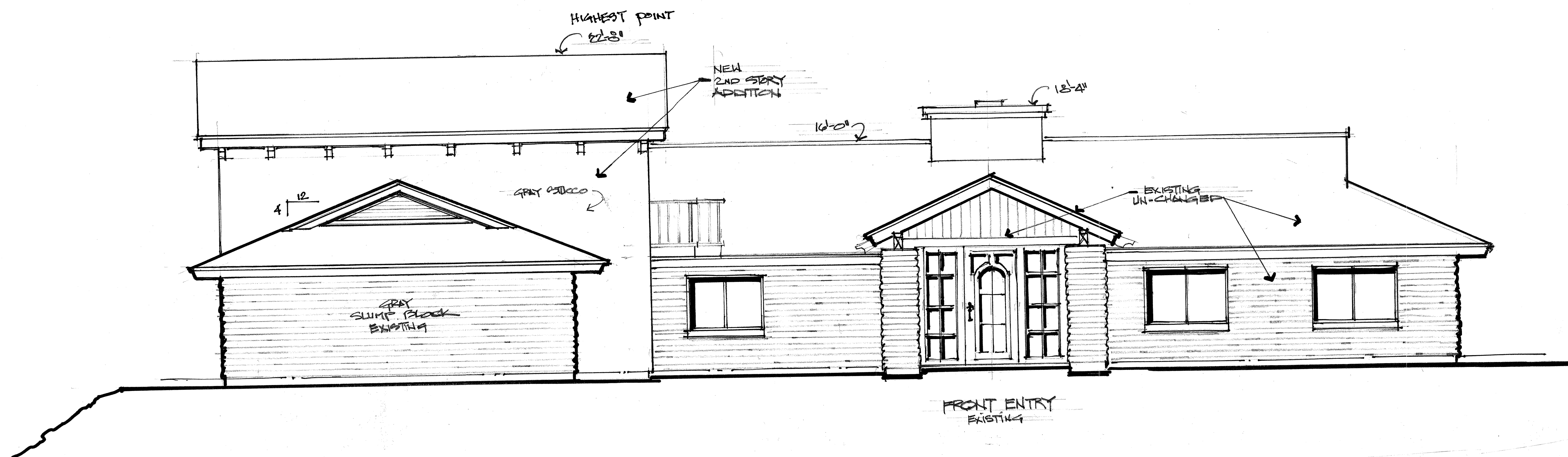
NOTES

- 1) NO HIRDER TINT ON WINDOWS
- 2) NO ADDITIONAL GROUND DISTURBANCE WITHIN THIS ADDITION
- 3) NO NEW LANDSCAPE LIGHTING



Rear Elevation

Addition and Remodel
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 Paradise Valley, Az. 85253



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Exterior Elevations

8560 East Wood Drive Scottsdale

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Sec. N1104 – Lighting Systems Requires a Minimum of Fifty Percent (50%) of the Lamps in Permanently Installed Lighting Fixtures shall be High-Efficiency Lamps.

N1104.1 (R404.1) Lighting equipment (Mandatory). A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficiency lamps.

Exceptions:

1. Low-voltage lighting shall not be required to utilize high-efficiency lamps.

N1104.1.1 (R404.1.1) Lighting equipment (Mandatory).

Fuel gas lighting systems shall not have continuously burning pilot lights.

Sec. R315 – Carbon monoxide alarms are required in all new dwelling units with a "fuel-burning" appliance.

R315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-burning appliances are installed and in dwelling units that have attached garages.

NOTE:

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15-20 AMP OUTLETS INSTALLED IN FAMILY, DINING, LIVING, BEDS, RECREATION ROOMS, CLOSETS AND HALLS SHALL BE PROTECTED BY A COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

NOTE:

15- AND 20-AMPERE RECEPTACLES MUST BE LISTED AS TAMPER-RESISTANT (E4002.14)

ELECTRICAL NOTES

Sec. E3902.12 – Arc-Fault Protection is expanded to include all habitable spaces (except Kitchens).

E3902.12 Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

Sec. E3905.6 – Any box used at a luminaire must be marked with the maximum weight it can support if other than 50#.

E3905.6 Boxes at luminaire outlets. Outlet boxes used at luminaire or lampholder outlets shall be designed for the support of luminaires and lampholders and shall be installed as required by Section E3904.3.

E3905.6.1 Wall Outlets. Boxes used at luminaire or lampholder outlets in a wall shall be marked on the interior of the box to indicate the maximum weight of the luminaire or lamp holder that is permitted to be supported by the box in the wall, if other than 50 pounds (22.7 kg).

Exceptions:

1. A wall-mounted luminaire or lampholder weighing not more than 6 pounds (2.7 kg) shall be permitted to be supported on other boxes or plaster rings that are secured to other boxes, provided that the luminaire or its supporting yoke is secured to the box with not fewer than two No. 6 or larger screws.

E3905.6.2 Ceiling outlets. At every outlet used exclusively for lighting, the box shall be designed or installed so that a luminaire or lampholder can be attached. Such boxes shall be capable of supporting a luminaire weighing up to 50 pounds (22.7 kg). A luminaire that weighs more than 50 pounds (22.7 kg) shall be supported independently of the outlet box, unless the outlet box is listed and marked for the maximum weight to be supported.

Sec. 4002.14 – Tamper-resistant receptacles are required on all 125 volt 15 and 20 ampere circuits.

E4002.14 Tamper-resistant receptacles. In areas specified in Section E3901.1, 125-volt, 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles.

JUNO Down-Lites | IC926LED9G3 (Letter C)
6" Standard Slope LED Housing IC Rated
MAX. 750 LUMEN

(2 SPOTS UPPER FLOOR OVERHAUL)



Features

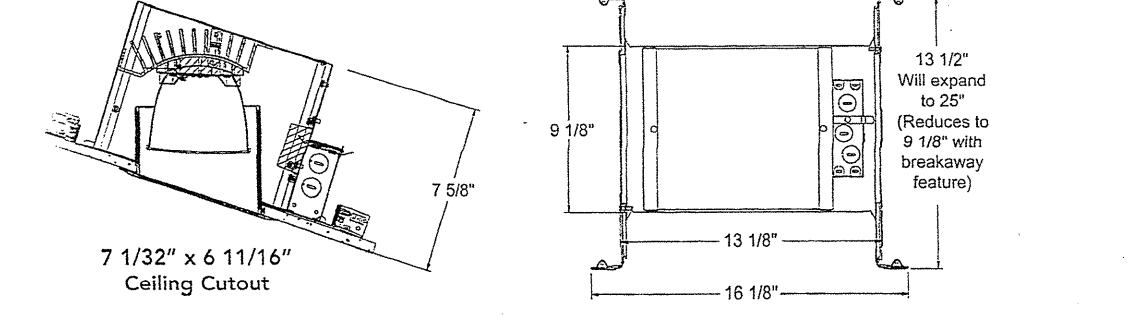
- 6" Standard slope LED housing
- Environmentally friendly, energy efficient
- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Over 900 lumens using less than 15W*
- 2700K, 3000K, 3500K or 4100K color temperatures available
- Extruded heat sink and cast aluminum slider plate integrated directly with housing provides superior thermal management to ensure the long life of the LED
- Adjustable slider plate to position LEDs/reflector perpendicular to floor
- Replaceable light engine mounts directly to slider plate and incorporates the latest generation high lumen output LED array
- Computer-optimized internal reflector with high reflectance finish coupled with a high transmission diffusing lens conceals the LEDs and produces uniform aperture luminance
- Choice of dedicated 120V driver with forward phase and ELV dimming or universal 120-277V driver with 0-10V dimming
- Real Nail® 3 bar hangers: telescoping system with pre-installed removable nail for easy repositioning of housing in joist construction
- Integral T-bar mounting feature for secure installation in suspended ceilings
- Housing is vertically adjustable to accommodate up to a 1" ceiling thickness
- Pre-wired junction box with (6) 1/2" and (1) 3/4" knockouts with pryout slots, (4) non-metallic sheathed cable connectors, and ground wire
- Angle-cut baffles ensure grooves remain parallel to the floor to provide proper optics
- UL and cUL Listed for through-branch wiring
- Push-in electrical connectors included
- Trim selection follows IC926LED9G3 and IC928LED9G3

*Nominal input wattage at 120 volt operation with dedicated 120 volt driver under stable operating conditions

Ordering Information Example: IC926LED9G3-27K-1

Catalog No.	Color Temp.	Input Voltage
IC926LED9G3	27K 2700K 3K 3000K 35K 3500K 41K 4100K	1 Dedicated 120V Only (Forward Phase and ELV dimming) U Universal Voltage, 120-277V (0-10V dimming)

Dimensions



JUNO Down-Lites | IC22LEDG3 (Letter A, B)
6" LED Downlight Housing IC Rated
600 Lumen



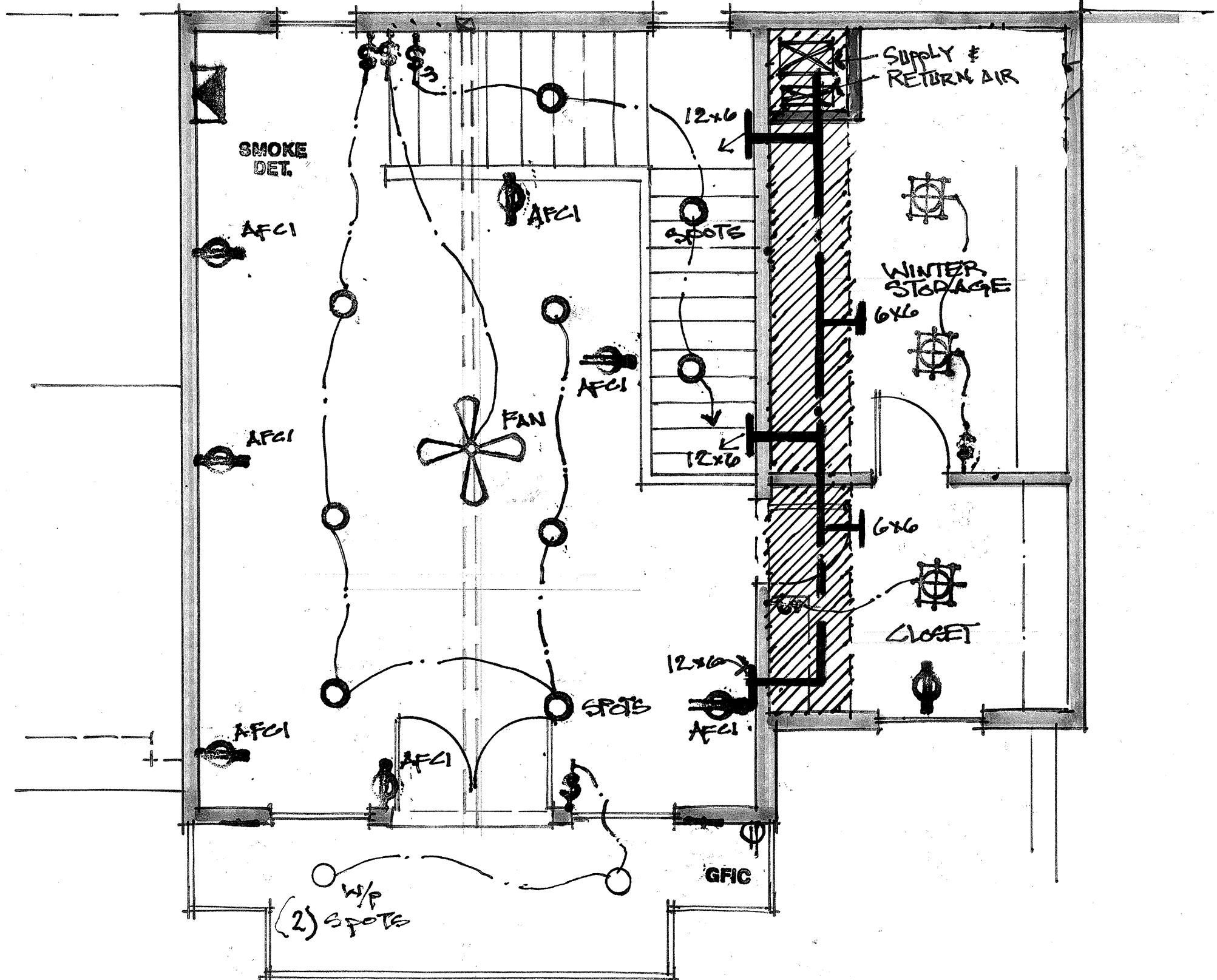
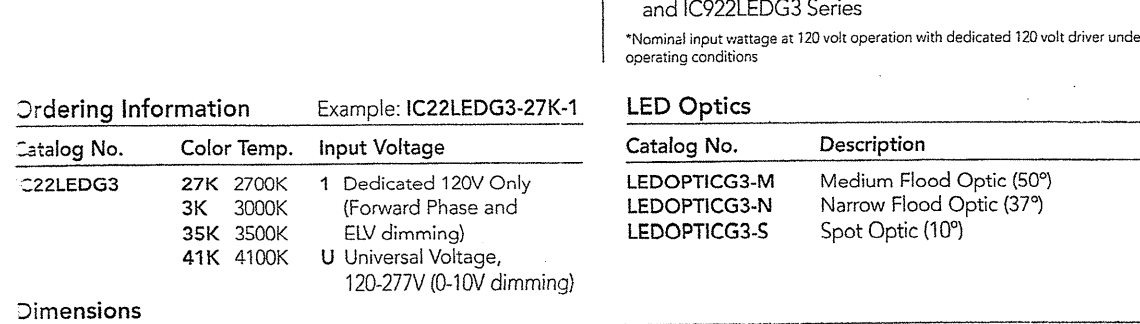
Description

- Used dedicated LED, Air-Loc® sealed new construction
- Housing with integral light engine • Shallow housing design
- Housing for fit in 2x4 construction • No extra gasket required
- Housing is completely covered with insulation • Fully sealed
- Housing stops infiltration and exfiltration of air
- Housing heating and cooling costs • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims
- Strips
- Used for through-branch wiring, damp and wet locations
- UL and cUL • RoHS compliant • Wet location listed when used with 20, 21, 22, 23, 24, 243, 2300 and 0101 trims
- ENERGY STAR® Qualified to luminaires V1.1 requirements
- Can be used with select trims • Certified to the high efficiency requirements of California T24-2008 with select trims

Ordering Information Example: IC22LEDG3-27K-1

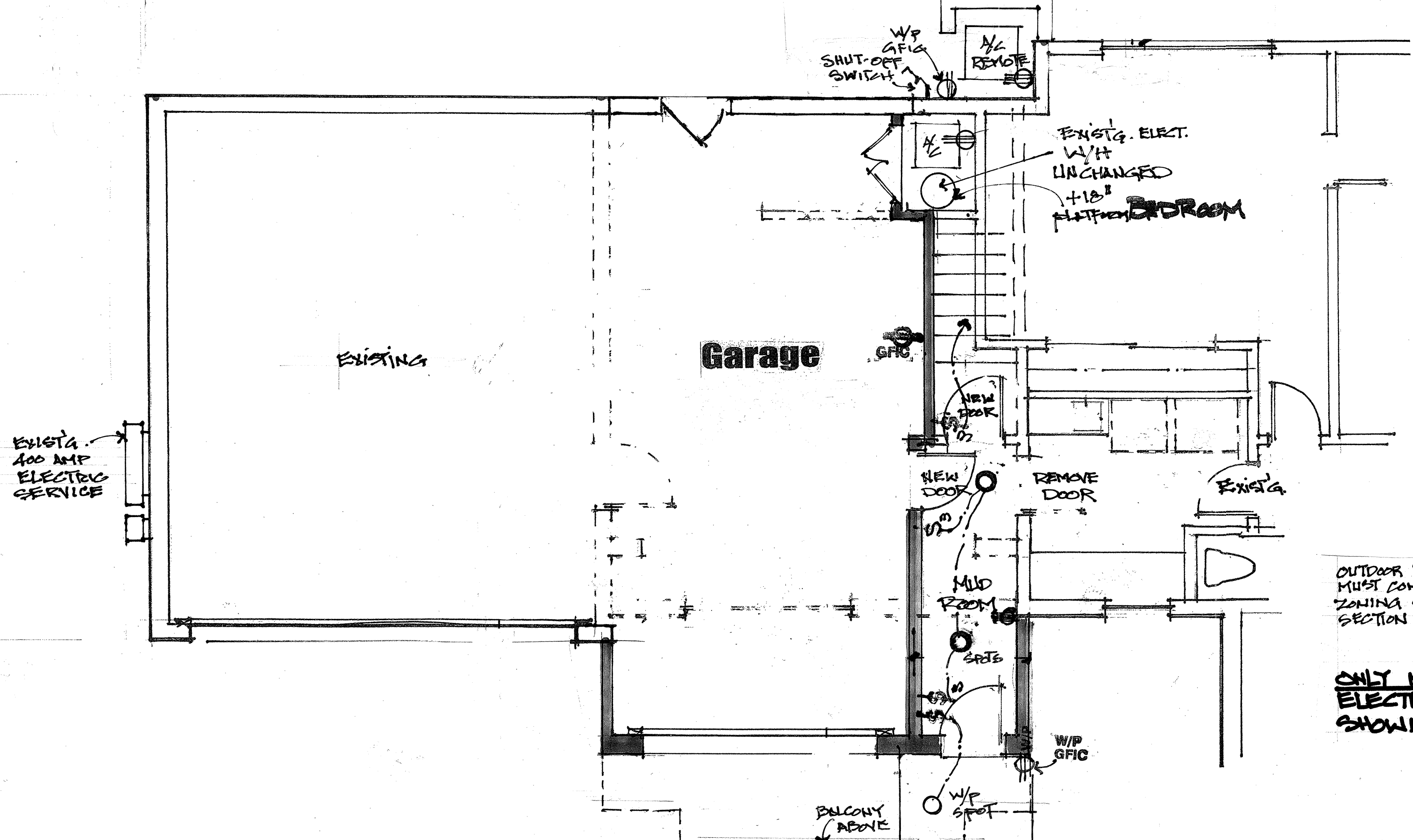
Catalog No.	Color Temp.	Input Voltage
IC22LEDG3	27K 2700K 3K 3000K 35K 3500K 41K 4100K	1 Dedicated 120V Only (Forward Phase and ELV dimming) U Universal Voltage, 120-277V (0-10V dimming)

Dimensions



Electrical Second Story Plan

1/4" = 1'-0"
SHOWS MECHANICAL



Electrical Floor Plan

8560 East Wood Drive Scottsdale

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OUTDOOR LIGHTING - MUST COMPLY WITH ZONING ORDINANCE SECTION 102B

ONLY NEW ELECTRICAL SHOWN