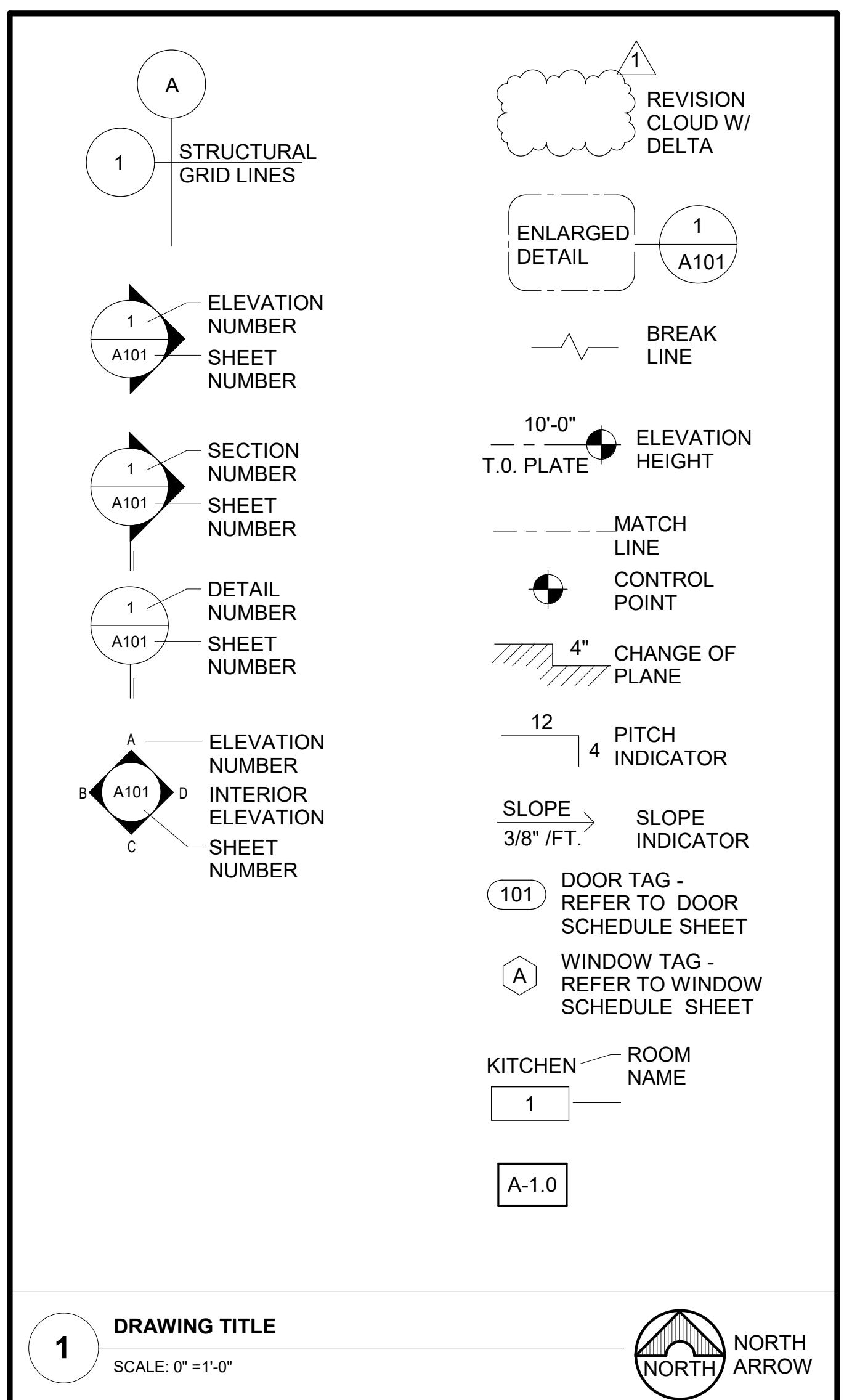


VIEW FRONT



SYMBOLS



SHEETS INDEX

NO.	SHEETS	SHT ISSUE DATE	REV/DELTA	REV ISSUED	REV DATE
TC-1.0	COVER SHEET	10.22.2025		No	
S-1.0	SITE PLAN SECTION KEY	10.22.2025		No	
S-1.1	SITE PLAN SECTIONS	10.22.2025		No	
E-1.0	EXTERIOR LIGHTING	10.22.2025		No	
E-3.1	EXTERIOR LIGHTING CUT SHEETS	10.22.2025		No	

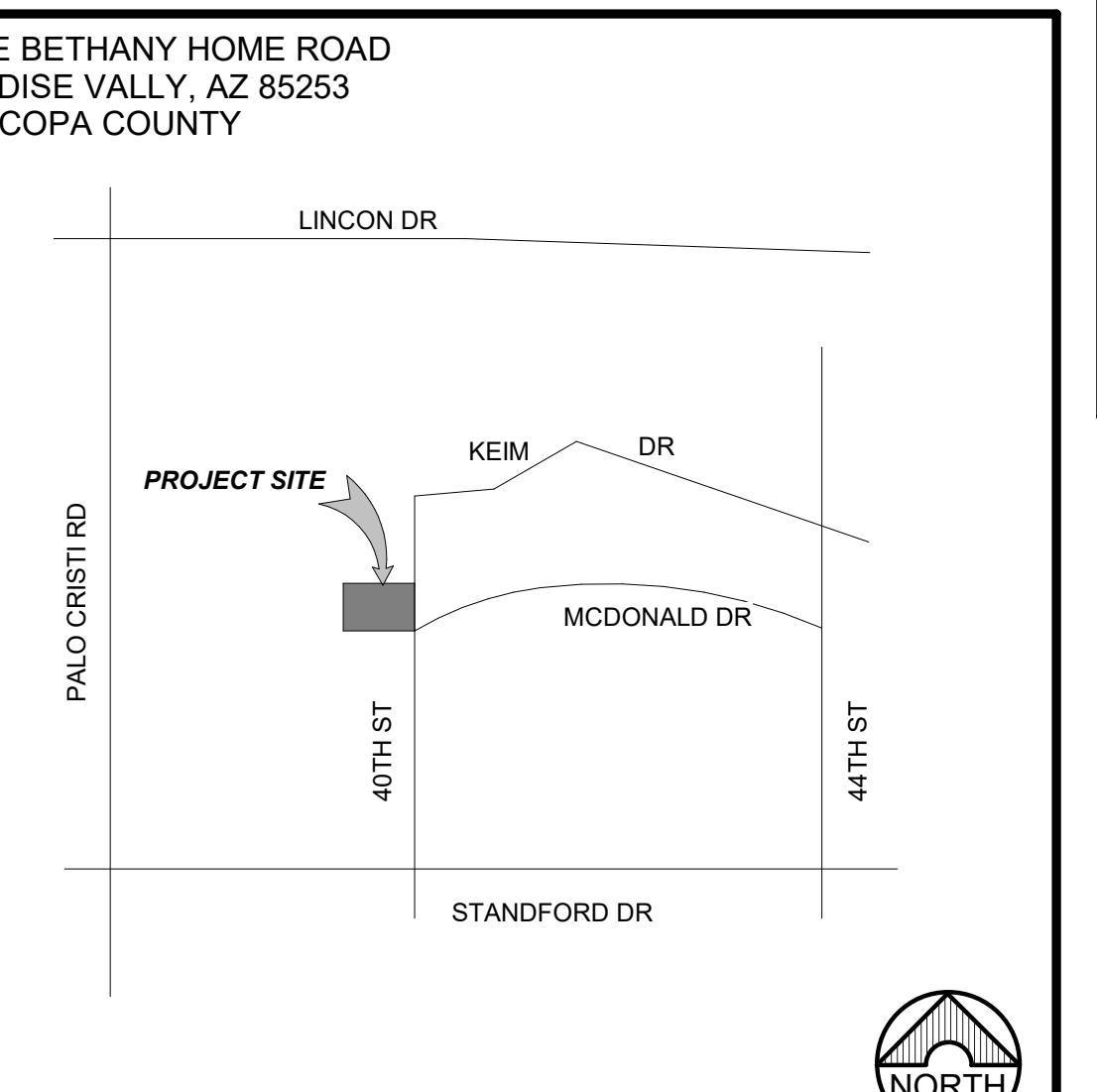
DEFERRED SUBMITTALS

1. MANUFACTURED ROOF TRUSSES
2. FIRE SPRINKLERS

SPECIAL INSPECTIONS

SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.

VICINITY MAP



PROJECT INFORMATION

3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

ASSESSOR PARCEL NUMBER: 170-01-006

LEGAL DESCRIPTION:

LOT 5, ARROYO HEIGHTS, ACCORDING TO BOOK 110 OF MAPS,
PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA.

TRACT: --

LOT: 5

GROSS SITE AREA: 43,970SF / 1.00 ACRES

LOT COVERAGE: --

BUILDING HEIGHT: 24' FT <ALLOWED> 24' FT

USE TYPE: R3

NUMBER OF STORIES: 2

FLOOR AREA RATIO (FAR)

1. TOTAL LOT AREA:	43,970SF	Square Feet
2. MAIN HOUSE:		
a. MAIN LVL. LIVABLE	5,334 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
b. UPPER LVL. LIVABLE	429 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
c. MAIN LVL. NON-LIVABLE	1,834 SF	Square Feet (portions of non-f fully subterranean basement)
d. UPPER LVL. NON-LIVABLE	14 SF	Square Feet
e. COVERED PATIOS	587 SF	Square Feet
SUB-TOTAL A	8,198 SF	Square Feet (Add Lines a,b,c,d, & f)

3. DETACHED CASITA:

a. LIVABLE	1,092 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
b. NON-LIVABLE:	56 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
C. COVERED PATIO	0 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
D. MISC. TRELLISES	229 SF	Square Feet
E. ROOF EAVES	0 SF	Square Feet
SUB-TOTAL B	1,377 SF	Square Feet (Add Lines a,b, & d)
F. TOTAL LIVABLE	6,855 SF	Square Feet
G. TOTAL NON-LIVABLE	1,904 SF	Square Feet
H. TOTAL COVRD. PATIO	701 SF	Square Feet
I. TOTAL COVRG.	9,689 SF	Square Feet

4. TOTAL FLOOR AREAS:

TOTAL FLOOR AREA	9,689 SF	Square Feet (Add SUB-TOTAL A & SUB-TOTAL B)
------------------	----------	---

5. TOTAL AREA RATIO (FAR):

FAR	22.03 %	% (Divide Line 4 by Line 1)
-----	---------	-----------------------------

ZONING & BUILDING CODE SUMMARY

CODES	2015 1BC
	2015 IRC
	2015 IMC
	2015 IECC
	2015 IPC
	2014 NEC

PLUS CITY APPLICABLE CODES OR AMENDMENTS

ZONE R-43

PARCEL ZONING R-43

GENERAL PLAN USE RESIDENTIAL

TYPE OF CONSTRUCTION TYPE V-B

SETBACKS PER PER R-43 ZONING

FRONT YARD - 40' FT

SIDE YARD - 20' - 40' FT

REAR YARD - 40' FT

APPROVAL STAMP

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.7577
FAX: 602.841.1244

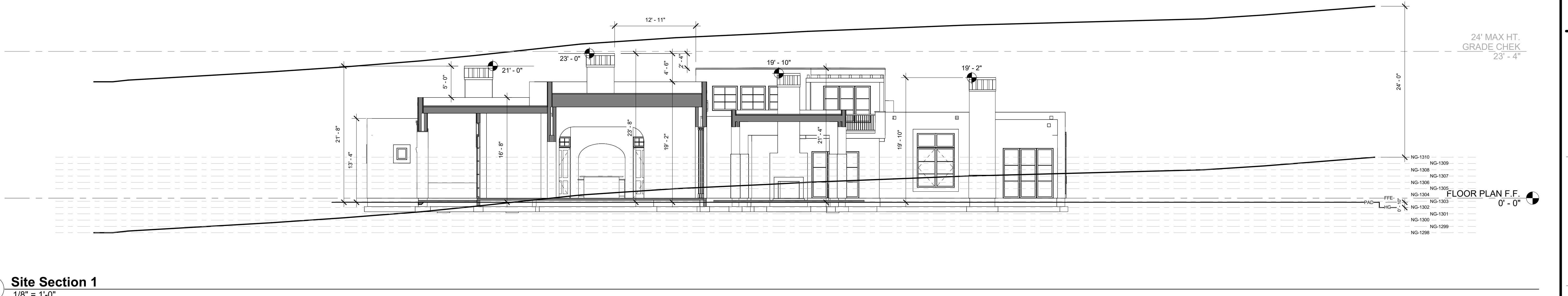
DATE: 10.22.2025
No. Description Date

SHEET NAME: COVER SHEET
SHEET NUMBER:

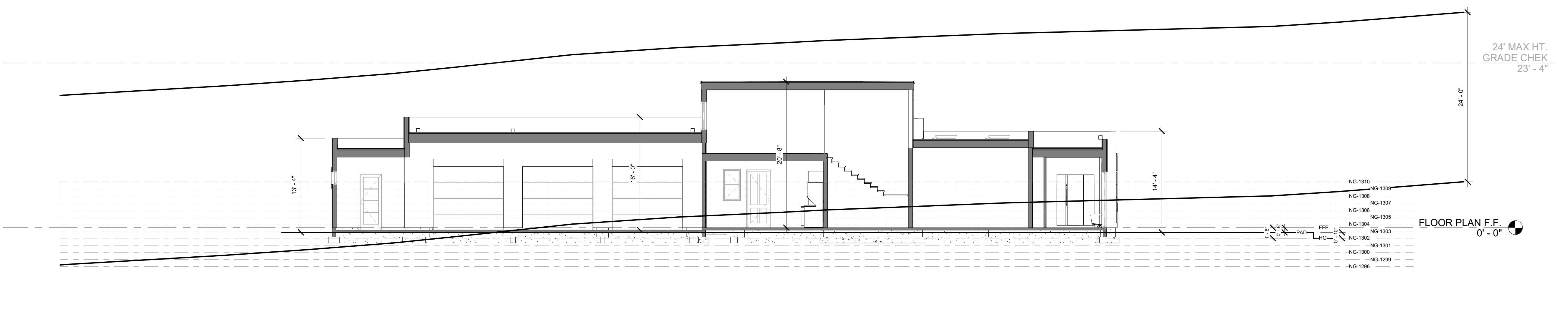
TC-1.0
PROJECT #:
...

THESE DRAWINGS AND SPECIFICATIONS AND DATA SHEETS AND AMENDEMENTS PRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF DUNCAN DESIGN GROUP, LLC. UNLESS CONCERNED WITH THESE DRAWINGS AND SPECIFICATIONS, NO PART OF THIS PROJECT OTHER THAN THE SPECIFIED PRODUCT FOR WHICH IT HAS BEEN DESIGNED AND PRODUCED WITHOUT THE WRITTEN CONSENT OF DUNCAN DESIGN GROUP, LLC. USE OF THESE DRAWINGS AND SPECIFICATIONS IN CONNECTION WITH ANY OTHER PROJECT OTHER THAN THE SPECIFIED PRODUCT FOR WHICH IT HAS BEEN DESIGNED AND PRODUCED, OR USE OF THESE DRAWINGS AND SPECIFICATIONS FOR ANY PURPOSE OTHER THAN THE SPECIFIED PRODUCT FOR WHICH IT HAS BEEN DESIGNED AND PRODUCED, IS PROHIBITED. THESE DRAWINGS AND SPECIFICATIONS AND DATA SHEETS AND AMENDEMENTS SHALL BE COPIED, REPRODUCED, OR ALTERED, AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR ALTERED, EXCEPT AS NOTED ON THE DRAWINGS AND SPECIFICATIONS. COPIES OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE MADE FOR ALL MEMBERS OF THE CONSOLIDATED CONTRACTING TEAM, AND THIS AGREEMENT SHALL NOT BE NOTIFIED TO ANY MEMBERS OF THE CONSOLIDATED CONTRACTING TEAM.

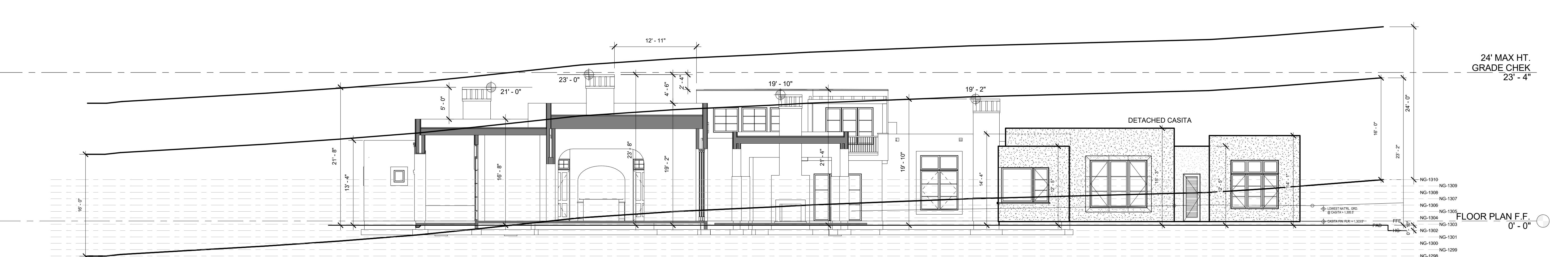
1 Site Section 1
1/8" = 1'-0"



2 Site Section 2
1/8" = 1'-0"



3 SITE SECTION 3
1/8" = 1'-0"



CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE

3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG

DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1244
FAX: 602.841.7577

DATE: 10.22.2025

No.	Description	Date

SHEET NAME:
SITE PLAN SECTIONS

SHEET NUMBER:
S-1.1

PROJECT #:

D:\CW DRAFTING\1CW_JOBS_NEW_CONTRACTS\Duncan Design Group\2-WOLFSWINKEL PV 082224 start\Wolfsinkel_10222025_SITE EXIBE.rvt 10/23/2025 4:43:26 PM

This architectural floor plan illustrates the layout of a large residence, including multiple levels, various rooms, and exterior spaces. The plan is annotated with numerous small, dark circular symbols, likely representing exterior lighting fixtures. These symbols are concentrated along the exterior walls, particularly on the ground floor, and are also placed on the roofline and within the landscape area at the bottom of the drawing. The interior spaces are detailed with furniture, fixtures, and other architectural features, providing a comprehensive view of the building's design.

1 EXTERIOR LIGHTING PLAN

N.T.S

SEC. FLOOR EXTERIOR LIGHTING PLAN

3 SEC.
NET

Description		Date	REMAINS DRAWINGS SHALL HAVE PR

HEET NAME: _____

100

HEET NUMBER: _____

E-1.0

PROJECT #: *** THE

LIGHTING FIXTURE SYMBOLS LEGEND	
Fixture Description	
4" RECESSED ROUND LED WIDE FLOOD FIXTURE - 'Halo' ML4D; 09; FL; 927; E; TIR45WFL55; TL41R; MW; H995ICAT; 120volt	
4" RECESSED ROUND LED WALL WASH FIXTURE - 'Halo' ML4D; 09; NFL; 927; E; TIR50AWW25; TL45R; MW; H995ICAT; 120volt	
4" RECESSED ROUND LED NARROW FLOOD FIXTURE - 'Halo' ML4D; 09; NFL; 927; E; TIR45NFL25; TL41R; MW; H995ICAT; 120volt	
RECESSED MINI LED SPOT FIXTURE - 'Juno' MD1LG2 (RD)-27K-FL-WH; 4.8W, 12V. 2 inch recessed dry location ic-rated miniature LED downlight.	
3" ADJUSTABLE ROUND PLASTER-IN RECESSED LED WIDE FLOOD FIXTURE - 'Element' E3R; LF or WC as occurs; -LH; 927; 6; A-I & E3R; L; F-OW; & E3TREFS3B; 120volt - FLANGELESS TRIM REQ'S. COORD.	
5" RECESSED LED FIXTURE - 'Halo' H550ICAT; ML5612937; 592SC Clear Cone; Dimming:ELV; 17.5W; 120volt; INTEGRAL LED: 2725K, 90CRI	
4" RECESSED ROUND LED SHWR. LENS FIXTURE - 'Halo' ML4D; 09; FL; 927; E; L100 SERIES; TL43R,2G; MWBB; H995ICAT; 120volt	
8" SQR. SURFACE MOUNTED LED CLOSET FIXTURE- 'Philips' - S6S927K10 - White Fin.; 14.2w 120v 2700K Warm White LED integral to fixture.	
PRESSED GLASS 9" SQR. SURFACE MOUNTED LED CLOSET FIXTURE- 'Tech Lighting' - 700BX-L-S-LED - Satin Nickel; 15w 120v 2700K Warm White LED integral to fixture.	
LED STRIP LIGHT e.g. UNDERCABINET, ETC.: 'Environmental Lights'; www2216-240-10-reel - 16.4' peel & stick led ribbon; 5.1w/ft 24vDC; LED: 2700K, 95+CRI INTEGRAL TO FIXTURE CS106 recessed channel + frosted lens; track clips and end caps req'd.; Utilize appropriate remote 48w, 96w or 288w dimmable driver; Install per mfr.	
1'x4' LED PREMIUM PANEL TROFFER - CREE C-TR-A-FP14-HE-50L-35K-WH; 120v; LED: 3500K, INTEGRAL TO FIXTURE	
INGROUND SQR. RECESSED LED UPLIGHT - 'LUXR' flush to grade, M4; LS; I; ABZ (vrfy.); 36; 27; H/ACAN . Req's remote transformer. Coordinate w/ concrete pour & G.C. for level install. 6" from fin. material.	
PLASTERED IN VERTICAL MOUNTED RECESSED WALL LIGHT - 'WAC Lighting' WL-LED200TR-AM-WT. LED Integral to fixture. Vert. mount +15" to +18" A.F.F. as shown on plans; illuminate downward.	
SURFACE MOUNT DUAL FLOOD LIGHT w/ PHOTOCELL - LITHONIA DLF-2RH-40K-120-MO-BZ; Bronze; NON-DIM; 19w 120v; LED: 4000K, 75CRI, INTEGRAL TO FIXTURE	
REINFORCED J-BOX FOR FUTURE CHANDELIER OR CEILING FAN -	
SURFACE MOUNT ADJUSTABLE SPOT FIXTURE - 'Lumiere' 203-50MR16 12V-BZ; TM05-BZ; LVR Louver. Requires remote 12V transformer. Aim fixture downward @ ext. (SORAA #00247 MR16-65-B01-12-927-25)	
WALL MOUNTED PICTURE LIGHTS - provide recessed wall outlet at 'specified' height in inches (VERIFY HGT. w/ OWNER & INT. DESIGNER)	
Decorative wall mounted light fixtures supplied by Owner and assembled / installed by Electrical Contractor. See schedule.	
Decorative ceiling mounted light fixtures supplied by Owner and assembled / installed by Electrical Contractor. See schedule.	

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT, IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY THE CIVIL ENGINEER.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE, NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UTILITY COORDINATION, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR IS RESPONSIBLE.
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS THEY DEEM UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THESE MODIFICATIONS.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT, SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS / FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH INSTALL.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROOT BARRIER PANELS AT ALL TREES WITHIN 7'-0" FEET OF HARDCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE JURISDICTIONS STANDARDS FOR NURSERY STOCK. THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT IF THEY CANNOT FIND THESE, OR REQUIRE CLARIFICATIONS PERTAINING TO THE STANDARDS.
- ALL PLANT MATERIAL NOT IN COMPLIANCE WITH THESE STANDARDS WILL BE DEEMED UNACCEPTABLE. THE CONTRACTOR IS RESPONSIBLE TO REPLACE.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED SALVAGE SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INERT GENERAL NOTES:

- ANGULAR GRANITE RIP-RAP:**
- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
 - THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- DECOMPOSED GRANITE / BARK MULCH:**
- DECOMPOSED GRANITE / BARK MULCH IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP, AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
 - ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE / BARK MULCH, THROUGHOUT (TYPICAL).
 - CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

IRRIGATION GENERAL NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS, INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE BOXES SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGE TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20' OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12' OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 274.
- ALL THREADED JOINTS TO BE COATED WITH TEFON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE-CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE DRENAGE AS DETAILED.
- INSTALL ALL REMOTE-CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX ID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, OUTSIDE R.O.W. AND P.U.E., ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - TWO KEYS FOR EACH OF THE CONTROLLERS.
 - TWO COUPLERS WITH MATCHING HOSE BIBS AND SHUT-OFF VALVE.
 - TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC: SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12') FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 90 DEGREES AND UNBUNDLED UNTIL PRIOR TO TRENCH FILL.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2") INCHES OF PE GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN STATE CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE COUNTY INSPECTOR OR MAIL IT TO THE COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2') FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIVE MARKING.

GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - TURF AND ANNUAL AREAS 6" DEPTH.
 - PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

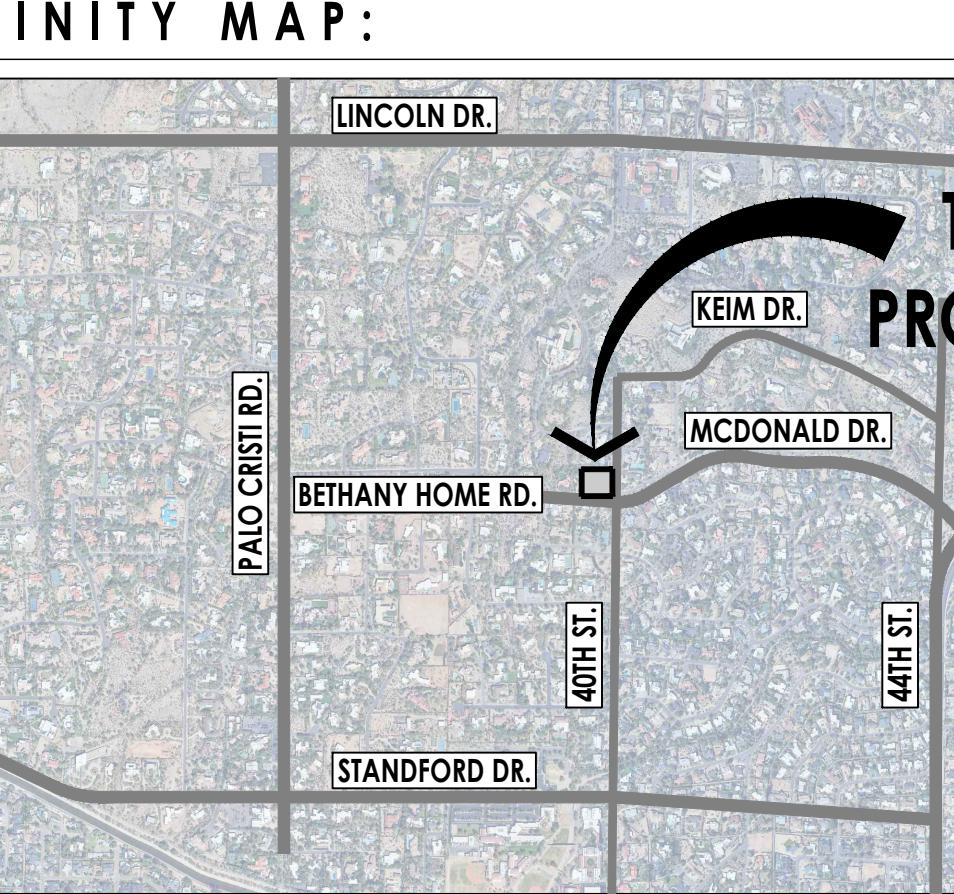
HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4X4 SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E. A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOELED EDGES.
- RADIUS OF SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

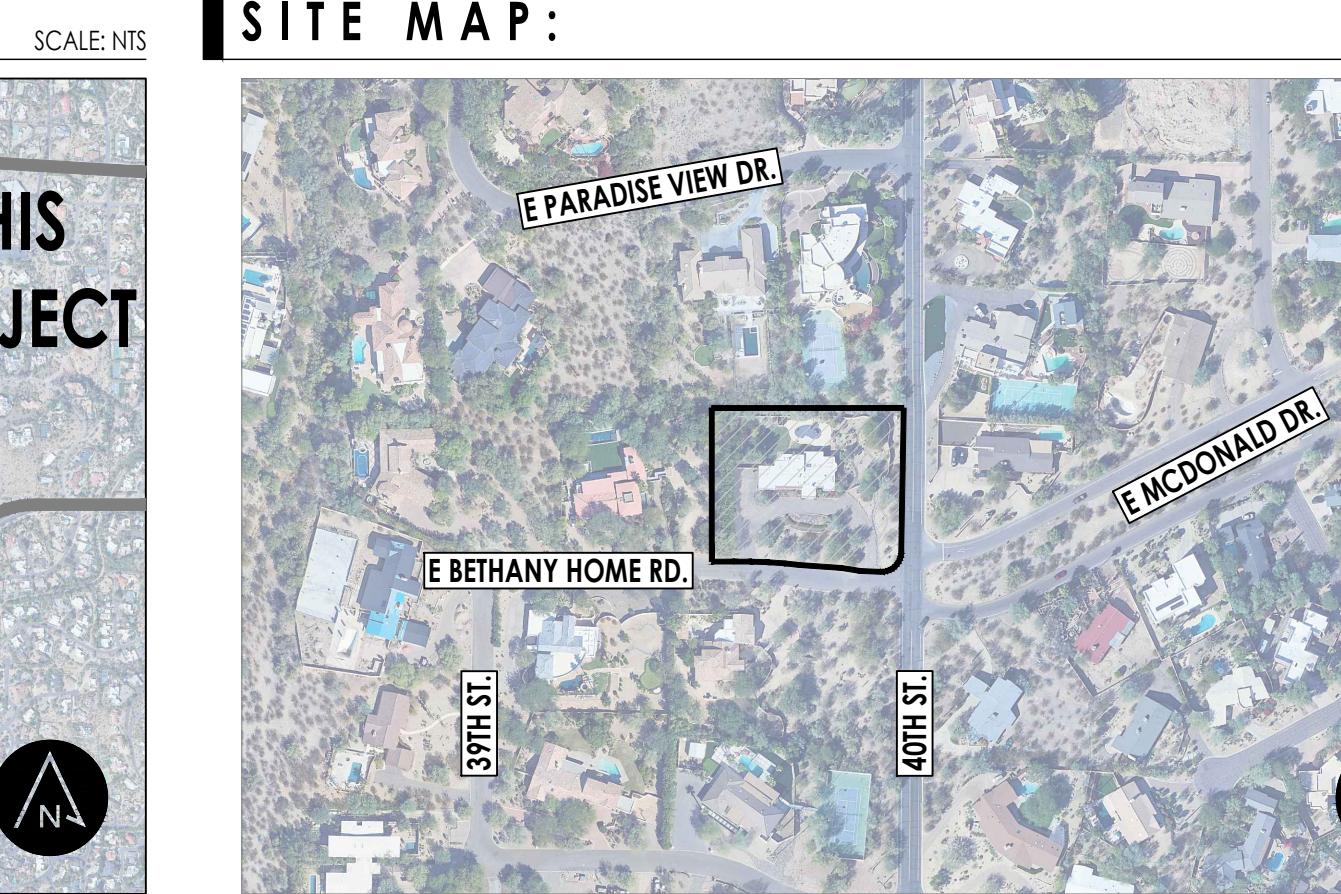
WOLFSWINKEL RESIDENCE

LANDSCAPE CONSTRUCTION DOCUMENTS

VICINITY MAP:



SITE MAP:



PROJECT LEAD:

LANDSCAPE ARCHITECT | PLANNER:
GREY | PICKETT
7144 E. STETSON DRIVE, SUITE 205
SCOTTSDALE, ARIZONA 85251
P: 480-609-0009 F: 480-602-0009
WWW.GREYPICKETT.COM

CONSULTANT TEAM:

LANDSCAPE ARCHITECT | PLANNER:
GREY | PICKETT
7144 E. STETSON DRIVE, SUITE 205
SCOTTSDALE, AZ 85251
480-609-0009

CIVIL ENGINEER:
LDC ENGINEERING
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
602-889-1984

ARCHITECT:
MATTHEW THOMAS ARCHITECTURE
PO BOX 27851
SCOTTSDALE, AZ 85255
602-301-3618

INTERIOR DESIGNER:
NOMAD DESIGN
15875 N GREENWAY HAYDEN LOOP #109
SCOTTSDALE, AZ 85260
480-667-7028

SHEET INDEX:

COVER SHEET	L0.1
MATERIAL SCHEDULE	L0.2
MATERIAL BOARD	L2.1
LAYOUT PLANS	L3.1
PLANTING PLANS	L5.1
LIGHTING PLANS	L6.1-L6.3
HARDSCAPE DETAILS	L7.1
PLANTING DETAILS	L8.1
PLANTING SPECIFICATIONS	L8.2
IRRIGATION SPECIFICATIONS	

GREY | PICKETT
7144 E. STETSON DRIVE, SUITE 205
SCOTTSDALE, ARIZONA 85251
P: 480-609-0009 F: 480-602-0009
WWW.GREYPICKETT.COM

WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253

PROJECT #:
WWHO03
ISSUED FOR:
REVIEW
DRAWN BY:
TEAM
SCALE:
N/A

PLOT DATE:
10/15/2025
DRAWING #:
COVER SHEET

APPROVED
LOGAN S.
SOWERS
08/16/2025
APPROVED
LOGAN S.
SOWERS
08/16/2025

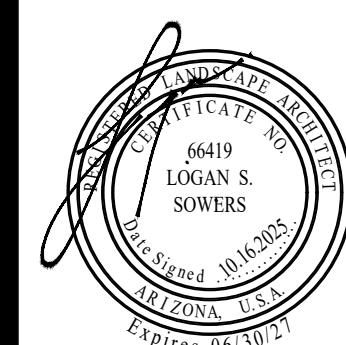
0.0
SHEET #:

PAGE #:

01 OF 12

REFERENCE NOTE / MATERIALS SCHEDULE:

CODE	DESCRIPTION	DETAIL	PROVIDED BY:	MANUFACTURER:	PRODUCT / LINE:	SIZE:	COLOR:	FINISH / PATTERN:	COMMENTS	SUBMITTALS:
PEDESTRIAN										
01-01-01	CONCRETE - STANDARD SIDEWALK	1/L6.1	CONTRACTOR		CONCRETE	4" THICK STANDARD CONCRETE	STANDARD	BROOM FINISH WITH TROWELED EDGE		X
01-01-02	CONCRETE - ACID WASH FINISH	3/L6.1	CONTRACTOR	DAVIS COLORS	INTEGRAL COLOR CONCRETE	4" THICK STANDARD CONCRETE	SIERRA 61078	ACID WASH		X
01-01-03	BRICK PAVER	2/L6.1	CONTRACTOR	MCNEAR BRICK	SANDMOLD SERIES	STANDARD	COTSWOLD	BANDING - SOLDIER COURSE; FIELD - HERRINGBONE		X
01-01-04	FLAGSTONE PAVER		CONTRACTOR					RANDOM W/ 1/2" JOINTS MAX		X
01-01-05	CANTERA STONE PAVER		CONTRACTOR	DE SANATA	CANTERA STONE	12" X 12"	CHOCOLATE	STACKED BOND		X
01-01-06	FEATURE CANTERA STONE AND TILE		CONTRACTOR	DE SANTANA; ECO EARTH	CANTERA STONE; GLAZED LAVA STONE TILE	CANTERA - 12" X 12", TILE - 4" X 4"	CANTERA - NEGRA, TILE - HALLEY GLAZED LAVA STONE	DUTCH PATTERN - REFER TO PLANS		X
01-01-07	GARDEN DECOMPOSED GRANITE		CONTRACTOR							X
01-01-08	RIVER ROCK - OUTDOOR SHOWER		TO BE SELECTED BY INTERIOR DESIGNER							
VEHICULAR										
01-02-01	CONCRETE - ACID WASH FINISH		CONTRACTOR	DAVIS COLORS	INTEGRAL COLORED CONCRETE	6" THICK STANDARD CONCRETE	SIERRA 61078	ACID WASH FINISH		X
01-02-02	CONCRETE PAVERS	2/L6.1	CONTRACTOR	BELGARD	MEGA - BERGERAC	3-PIECE, 80 MM THICK	VICTORIAN	3 PIECE RANDOM		X
LANDSCAPE										
01-03-01	STEEL LANDSCAPE HEADER	6/L6.1	CONTRACTOR		STEEL HEADER	1/4"X6" STEEL BAR	STANDARD			X
CODE DESCRIPTION										
02 VERTICAL-WORK										
02-01-01	RAISED PLANTER - ENTRY WALKWAY	13/L6.1	CONTRACTOR	DC RANCH	DC COBBLE	STANDARD	STANDARD	RANDOM	X	
02-01-02	SMALL RAISED PLANTER	9/L6.1	CONTRACTOR	DC RANCH	DC COBBLE	STANDARD	STANDARD	VENeer FINISH, RANDOM STACKING	X	STACK PATTERN TO MATCH ARCHITECTURE
02-01-03	RAISED PLANTER - GARDEN		CONTRACTOR	CUSTOM	RAISED WOOD GARDEN BED PLANTER	2'-0" TALL	CONTRACTOR TO SUBMIT STAIN SAMPLES FOR APPROVAL	STAIN	X	
02-01-04	VEHICULAR GATE POSTS	11/L6.1	CONTRACTOR	CUSTOM	STONE VENEER GATE POST	7'-0" TALL	DC COBBLE	VENeer FINISH, RANDOM STACKING	X	STACK PATTERN TO MATCH ARCHITECTURE
02-01-05	PRIVACY WALL - 6'-0"		CONTRACTOR		WALLS	8X8X16 CMU BLOCK; 2" CONCRETE CAP	TO MATCH HOUSE COLOR; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT FINISH	X	
02-01-06	FEATURE WALL		CONTRACTOR	TILE - CEMENT TILE SHOP	CMU BLOCK WALL WITH TILE VENEER AND CONCRETE CAP	5'-0" TALL, 8"X8"X16" CMU BLOCK; TILE - 8"X8"; CONCRETE CAP - 2"	STUCCO COLOR - TO MATCH ARCHITECTURE; CEMENT TILE - LOURDES; CAP - DAVIS COLOR SIERRA 61078	TILE VENEER, STACKED PATTERN	X	
02-01-07	RETAINING WALL		CONTRACTOR		WALL	VARIABLES; 8"X8"X16" CMU BLOCK WITH 2" CONCRETE CAP	TO MATCH ARCHITECTURE; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT FINISH		
02-01-08	SHORT RETAINING WALL	14/L6.1	CONTRACTOR		WALLS	8'X8"X16" BLOCK WITH 2" CONCRETE CAP	TO MATCH ARCHITECTURE; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT		
02-01-09	SHORT WALL WITH VIEW FENCE		CONTRACTOR	CUSTOM	HALF WALL, HALF POOL FENCE	FENCE HEIGHT - 6' MINIMUM PLUS WALL BASE; WALL - 8"X8"X16" CMU BLOCK; CONCRETE CAP - 2"	WALL - TO MATCH ARCHITECTURE, FENCE - UMBRA GRAY RAL 7022; CONCRETE CAP - DAVIS COLOR SIERRA 61078	WALL - STUCCO AND PAINT FINISH; FENCE - POWDER COAT	X	
02-01-10	BANCO SEATING - BUILT INTO WALL		CONTRACTOR	CUSTOM	WALL SEAT	8'X8"X16" CMU BLOCK	TO MATCH ARCHITECTURE	STUCCO AND PAINT FINISH		
02-01-11	OUTDOOR KITCHEN ISLAND		REFER TO DRAWINGS BY ARCHITECT						X	
02-01-12	POOL EQUIPMENT ENCLOSURE		CONTRACTOR	CUSTOM	CMU BLOCK WALL	8'X8"X16" BLOCK WITH 2" CONCRETE CAP	TO MATCH HOUSE COLOR; CONCRETE CAP - SIERRA 61078	STUCCO AND PAINT FINISH	X	
FENCES										
02-02-01	POOL FENCE		CONTRACTOR	CUSTOM	STEEL VIEW FENCE	6'-0"	RAL 7022 UMBRA GREY	POWDER COAT FINISH	X	
GATES										
02-03-01	VEHICULAR GATE	7/L6.2	CONTRACTOR	CUSTOM	STEEL GATE	6'-0" TALL	RAL 7022 - UMBRA GRAY	POWDER COAT	X	
02-03-02	PEDESTRIAN GATE	9/L6.2	CONTRACTOR	CUSTOM	STEEL GATE	6'-0" TALL	RAL 7022 - UMBRA GRAY	POWDER COAT	X	
STRUCTURES										
02-05-01	SHADE STRUCTURE	4/L6.2	CONTRACTOR	CUSTOM	WOOD AND METAL STRUCTURE	REFER TO DETAILS	WOOD - CONTRACTOR TO SUBMIT STAIN COLOR FOR APPROVAL; STONE VENEER - DC COBBLE	WOOD - STAIN FINISH; STEEL - RAL 7022 UMBRA GRAY; STONE - RANDOM STACK	X	
02-05-10	SAUNA STRUCTURE AND COLD PLUNGE	15/L6.1	BY OTHERS							
02-05-11	BRICK STEPS WITH TILE RISER	7/L6.1	CONTRACTOR	MCNEAR BRICK; CEMENT TILE SHOP	BRICK PAVER; TILE RISER	6X6 TILE	ATLAS III	SOLDIER COURSE	X	
02-05-12	WALKWAY BRIDGE		CONTRACTOR	CUSTOM					X	
CODE DESCRIPTION										
03 LANDSCAPE-WORK										
03-01-01	PLANTING AREA		CONTRACTOR							
GRASS										
03-02-01	ARTIFICIAL TURF	5/L6.1	CONTRACTOR	TO SUBMIT SAMPLES FOR APPROVAL					X	
CODE DESCRIPTION										
07 WATER ELEMENTS										
07-01-01	WATER FEATURE - COURTYARD	7/L6.3	CONTRACTOR	CUSTOM	CUSTOM					
07-01-02	WATER FEATURE - BACKYARD		CONTRACTOR	DE SANTANA	CUSTOM	NATURAL STONE FINISH	NA	NA		
POOL / SPA										
07-02-01	POOL	4/L6.3	POOL CONTRACTOR	PEBBLETEC	PEBBLE FINA	WATERLINE TILE - ZIA TILE JADE 4X4 SQUARE ZELLIGE	PEBBLE FINA - STEEL GREY	ZIA TILE JADE 4X4 SQUARE ZELLIGE		
07-02-03	SPA	6/L6.3	POOL CONTRACTOR	PEBBLETEC	PEBBLE FINA	WATERLINE TILE - ZIA TILE JADE 4X4 SQUARE ZELLIGE	PEBBLE FINA - STEEL GREY	ZIA TILE JADE 4X4 SQUARE ZELLIGE		
07-02-04	OUTDOOR SHOWER		BY OTHERS							
CODE DESCRIPTION										
08 SITE FURNITURE-FIXTURES-EQUIPMENT										
08-02-01	MISC. POTS	8/L6.1	TBD						X	



SHEET

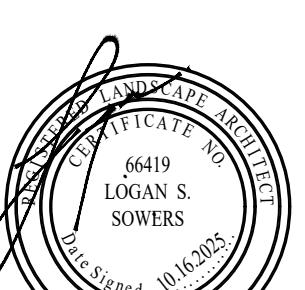
L0.1

REFERENCE NOTE LEGEND:

CODE	DESCRIPTION	DETAIL
PEDESTRIAN		
01-01-01	CONCRETE - STANDARD SIDEWALK	
01-01-02	CONCRETE - ACID WASH FINISH	
01-01-03	BRICK PAVER	
01-01-04	FLAGSTONE PAVER	
01-01-05	CANTERA STONE PAVER	
01-01-06	FEATURE CANTERA STONE AND TILE	
01-01-07	GARDEN DECOMPOSED GRANITE	
01-01-08	RIVER ROCK - OUTDOOR SHOWER	
VEHICULAR		
01-02-01	CONCRETE - ACID WASH FINISH	
01-02-02	CONCRETE PAVERS	
LANDSCAPE		
01-03-01	STEEL LANDSCAPE HEADER	
02 VERTICAL-WORK		
02-01-01	RAISED PLANTER - ENTRY WALKWAY	
02-01-02	SMALL RAISED PLANTER	
02-01-03	RAISED PLANTER - GARDEN	
02-01-04	VEHICULAR GATE POSTS	
02-01-05	PRIVACY WALL - 6'-0"	
02-01-06	FEATURE WALL	
02-01-07	RETAINING WALL	
02-01-08	SHORT RETAINING WALL	
02-01-09	SHORT WALL WITH VIEW FENCE	
02-01-10	BANCO SEATING - BUILT INTO WALL	
02-01-11	OUTDOOR KITCHEN ISLAND	
02-01-12	POOL EQUIPMENT ENCLOSURE	
FENCES		
02-02-01	POOL FENCE	
GATES		
02-03-01	VEHICULAR GATE	
02-03-02	PEDESTRIAN GATE	
STRUCTURES		
02-05-01	SHADE STRUCTURE	
02-05-10	SAUNA STRUCTURE AND COLD PLUNGE	
02-05-11	BRICK STEPS WITH TILE RISER	
02-05-12	WALKWAY BRIDGE	
03 LANDSCAPE-WORK		
03-01-01	PLANTING AREA	
GRASS		
03-02-01	TURF	
07 WATER ELEMENTS		
07-01-01	WATER FEATURE - COURTYARD	
07-01-02	WATER FEATURE - BACKYARD	
POOL / SPA		
07-02-01	POOL	
07-02-03	SPA	
07-02-04	OUTDOOR SHOWER	
REVISIONS:		
△	REVISION 1	
△	REVISION 2	
△	REVISION 3	
△	REVISION 4	
△	REVISION 5	
△	REVISION 6	
△	REVISION 7	
△	REVISION 8	
△	REVISION 9	
△	REVISION 10	
△	REVISION 11	
△	REVISION 12	
△	REVISION 13	
△	REVISION 14	
△	REVISION 15	
△	REVISION 16	
△	REVISION 17	
△	REVISION 18	
△	REVISION 19	
△	REVISION 20	
△	REVISION 21	
△	REVISION 22	
△	REVISION 23	
△	REVISION 24	
△	REVISION 25	
△	REVISION 26	
△	REVISION 27	
△	REVISION 28	
△	REVISION 29	
△	REVISION 30	
△	REVISION 31	
△	REVISION 32	
△	REVISION 33	
△	REVISION 34	
△	REVISION 35	
△	REVISION 36	
△	REVISION 37	
△	REVISION 38	
△	REVISION 39	
△	REVISION 40	
△	REVISION 41	
△	REVISION 42	
△	REVISION 43	
△	REVISION 44	
△	REVISION 45	
△	REVISION 46	
△	REVISION 47	
△	REVISION 48	
△	REVISION 49	
△	REVISION 50	
△	REVISION 51	
△	REVISION 52	
△	REVISION 53	
△	REVISION 54	
△	REVISION 55	
△	REVISION 56	
△	REVISION 57	
△	REVISION 58	
△	REVISION 59	
△	REVISION 60	
△	REVISION 61	
△	REVISION 62	
△	REVISION 63	
△	REVISION 64	
△	REVISION 65	
△	REVISION 66	
△	REVISION 67	
△	REVISION 68	
△	REVISION 69	
△	REVISION 70	
△	REVISION 71	
△	REVISION 72	
△	REVISION 73	
△	REVISION 74	
△	REVISION 75	
△	REVISION 76	
△	REVISION 77	
△	REVISION 78	
△	REVISION 79	
△	REVISION 80	
△	REVISION 81	
△	REVISION 82	
△	REVISION 83	
△	REVISION 84	
△	REVISION 85	
△	REVISION 86	
△	REVISION 87	
△	REVISION 88	
△	REVISION 89	
△	REVISION 90	
△	REVISION 91	
△	REVISION 92	
△	REVISION 93	
△	REVISION 94	
△	REVISION 95	
△	REVISION 96	
△	REVISION 97	
△	REVISION 98	
△	REVISION 99	
△	REVISION 100	
△	REVISION 101	
△	REVISION 102	
△	REVISION 103	
△	REVISION 104	
△	REVISION 105	
△	REVISION 106	
△	REVISION 107	
△	REVISION 108	
△	REVISION 109	
△	REVISION 110	
△	REVISION 111	
△	REVISION 112	
△	REVISION 113	
△	REVISION 114	
△	REVISION 115	
△	REVISION 116	
△	REVISION 117	
△	REVISION 118	
△	REVISION 119	
△	REVISION 120	
△	REVISION 121	
△	REVISION 122	
△	REVISION 123	
△	REVISION 124	
△	REVISION 125	
△	REVISION 126	
△	REVISION 127	
△	REVISION 128	
△	REVISION 129	
△	REVISION 130	
△	REVISION 131	
△	REVISION 132	
△	REVISION 133	
△	REVISION 134	
△	REVISION 135	
△	REVISION 136	
△	REVISION 137	
△	REVISION 138	
△	REVISION 139	
△	REVISION 140	
△	REVISION 141	
△	REVISION 142	
△	REVISION 143	
△	REVISION 144	
△	REVISION 145	
△	REVISION 146	
△	REVISION 147	
△	REVISION 148	
△	REVISION 149	
△	REVISION 150	
△	REVISION 151	
△	REVISION 152	
△	REVISION 153	
△	REVISION 154	
△	REVISION 155	
△	REVISION 156	
△	REVISION 157	
△	REVISION 158	
△	REVISION 159	
△	REVISION 160	
△	REVISION 161	
△	REVISION 162	
△	REVISION 163	
△	REVISION 164	
△	REVISION 165	
△	REVISION 166	
△	REVISION 167	
△	REVISION 168	
△	REVISION 169	
△	REVISION 170	
△	REVISION 171	
△	REVISION 172	
△	REVISION 173	
△	REVISION 174	
△	REVISION 175	
△	REVISION 176	
△	REVISION 177	
△	REVISION 178	
△	REVISION 179	
△	REVISION 180	
△	REVISION 181	
△	REVISION 182	
△	REVISION 183	
△	REVISION 184	
△	REVISION 185	
△	REVISION 186	
△	REVISION 187	
△	REVISION 188	
△	REVISION 189	
△	REVISION 190	
△	REVISION 191	
△	REVISION 192	
△	REVISION 193	
△	REVISION 194	
△	REVISION 195	
△	REVISION 196	
△	REVISION 197	
△	REVISION 198	
△	REVISION 199	
△	REVISION 200	
△	REVISION 201	
△	REVISION 202	
△	REVISION 203	
△	REVISION 204	
△	REVISION 205	
△	REVISION 206	
△	REVISION 207	
△	REVISION 208	
△	REVISION 209	
△	REVISION 210	
△	REVISION 211	
△	REVISION 212	
△	REVISION 213	
△	REVISION 214	
△	REVISION 215	
△	REVISION 216	
△	REVISION 217	
△	REVISION 218	
△	REVISION 219	
△	REVISION 220	
△	REVISION 221	
△	REVISION 222	
△	REVISION 223	
△	REVISION 224	
△	REVISION 225	
△	REVISION 226	
△</		

WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253

REVISIONS:
PROJECT #: WWH003
ISSUED FOR: REVIEW
DRAWN BY: TEAM
SCALE: 1=10'-0"
PLOT DATE: 10/15/2025
DRAWING: PLANTING PLAN



L3.1

PAGE #:

05 OF 12

PLANT MATERIALS LEGEND:

TREES		BOTANICAL / COMMON NAMES		SIZE	QTY
		<i>Caesalpinia coccinea 'Smoothie'</i>		48" Box	6
		<i>Chilopsis linearis 'Bubba'</i>		48" Box	2
		<i>Bubba Desert Willow</i>		48" Box	
		<i>Citrus x sinensis 'Sweet Orange'</i>		48" Box	1
		<i>Clea europaea 'Swan Hill'</i>		60" Box	8
		<i>Swan Hill Olive</i>		60" Box	3
		<i>Olea europaea 'Swan Hill'</i>		60" Box	8
		<i>Swan Hill Olive</i>		60" Box	3
		<i>Desert Ironwood</i>		36" Box	6
		<i>Prosopis glandulosa 'Maverick'</i>		36" Box	
		<i>Maverick Thornless Honey Mesquite</i>		36" Box	
		<i>Sophora secundiflora</i>		48" Box	2
		<i>Texas Mountain Laurel</i>		48" Box	
SHRUBS		BOTANICAL / COMMON NAMES		SIZE	QTY
		<i>Bougainvillea x 'Torch Chip'</i>		10 Gal.	10
		<i>Torch Glow Bougainvillea</i>		5 Gal.	26
		<i>Bougainvillea 'Blonde Ambition'</i>		5 Gal.	11
		<i>Blue Gaura 'Blue Gaura'</i>		5 Gal.	11
		<i>Convolvulus cheiranthoides 'Bush Morning Glory'</i>		10 Gal.	3
		<i>Dodeon viscosa 'Hopped Bee'</i>		10 Gal.	15
		<i>Encelia lancerifolia</i>		5 Gal.	9
		<i>Turpentine Bush</i>		5 Gal.	14
		<i>Justicia spicigera</i>		5 Gal.	27
		<i>Mexican Honeyuckle</i>		5 Gal.	22
		<i>Loreea tridentata</i>		5 Gal.	24
		<i>Cresote Bush</i>		5 Gal.	35
		<i>Leucophyllum frutescens</i>		5 Gal.	16
		<i>Texas Sage</i>		5 Gal.	68
		<i>Leucophyllum frutescens 'Compacta'</i>		5 Gal.	
		<i>Compact Texas Sage</i>		5 Gal.	
		<i>Muhlenbergia capillaris 'Regal Mist'</i>		5 Gal.	
		<i>Muhlenbergia rigens</i>		5 Gal.	
		<i>Deer Grass</i>		5 Gal.	
		<i>Olea europaea 'Montra'</i>		5 Gal.	
		<i>Little Olive 'Olive'</i>		1 Gal.	15
		<i>Pansy's Beardtongue</i>		1 Gal.	7
		<i>Portulaca oleracea</i>		1 Gal.	1
		<i>Elephant Bush</i>		1 Gal.	28
		<i>Rosa x 'KORbin'</i>		5 Gal.	
		<i>Iceberg Floribunda Rosa</i>		5 Gal.	
		<i>Rosmarinus officinalis 'Tuscan Blue'</i>		5 Gal.	
		<i>Tuscan Blue Rosemary</i>		5 Gal.	
		<i>Ruellia brittoniana</i>		5 Gal.	
		<i>Mexican Petunia</i>		5 Gal.	
		<i>Salvia greggii</i>		5 Gal.	
		<i>Autumn Sage</i>		5 Gal.	
		<i>Simmondsia chinensis</i>		5 Gal.	
		<i>Jojoba</i>		5 Gal.	
		<i>Sphaeralcea ambigua</i>		5 Gal.	
		<i>Desert Globemallow</i>		5 Gal.	
		<i>Tecoma stans</i>		5 Gal.	
		<i>Yellow Bells</i>		5 Gal.	
GROUND COVER		BOTANICAL / COMMON NAMES		SIZE	QTY
		<i>Lantana montevidensis</i>		1 Gal.	37
		<i>Purple Trailing Lantana</i>		1 Gal.	2
		<i>White Trailing Lantana</i>		1 Gal.	16
		<i>Tradescantia pallida 'Pale Puma'</i>		1 Gal.	9
		<i>Pale Puma Purple Trailing Heart</i>		1 Gal.	
		<i>Verbena rigida</i>		1 Gal.	
		<i>Sandpaper Verbena</i>		1 Gal.	
CACTI		BOTANICAL / COMMON NAMES		SIZE	QTY
		<i>Agave americana</i>		5 Gal.	10
		<i>Century Plant</i>		5 Gal.	7
		<i>Agave Weberi</i>		5 Gal.	4
		<i>Blue Glow Agave</i>		5 Gal.	41
		<i>Aloe dawei</i>		1 Gal.	52
		<i>Aloe x Blue Elf</i>		1 Gal.	3
		<i>Aloe Hercules</i>		4' Min.	11
		<i>Asclepias subulata</i>		1 Gal.	5
		<i>Rush Milkweed</i>		5 Gal.	10
		<i>Carnegiea gigantea</i>		5 Gal.	29
		<i>Saguaro</i>		Bare	6
		<i>Dasyflor acropitche</i>		1 Gal.	41
		<i>Toothless Sotol</i>		5 Gal.	
		<i>Dasylirion wheeleri</i>		5 Gal.	
		<i>Grey Desert Spoon</i>		5 Gal.	
		<i>Fouquieria splendens</i>		5 Gal.	
		<i>Ocotilla</i>		5 Gal.	
		<i>Hesperaloe parviflora 'Perpo'</i>		5 Gal.	
		<i>Brakebills Red Yucca</i>		5 Gal.	
		<i>Opuntia engelmannii</i>		5 Gal.	
		<i>Opuntia violacea</i>		5 Gal.	
		<i>Purple Prickly Pear</i>		5 Gal.	
		<i>Pachycereus schottii monstruosus</i>		5 Gal.	
		<i>Tetrahit Paddle Cactus</i>		5 Gal.	
		<i>Pedilanthus bracteatus</i>		1 Gal.	2
		<i>Tall Slipper Plant</i>		5 Gal.	
		<i>Pedilanthus macrocarpus</i>		1 Gal.	
		<i>Lady's Slipper</i>		1 Gal.	18

NOTES:
Boulder symbols are shown for reference only.
Size boulders based on tonnage only, but
include a variety of shapes and sizes. Surface
select boulders to be selected / tagged by
Landscape Architect and field located.
Landscape Contractor to set boulders with
crane using steel cables. Provide necessary
crane for weight.

TINGS
CRIPTION / MATERIAL REFERENCE
thetic Turf
er to Materials Schedule

RAILS
CRIPTION / MATERIAL REFERENCE
Composite Granite (DG) - 2" Depth
'Minus Decomposed Granite, Color to match
ting surrounding area in color and size in all
ting areas inside of walls;

Cobble
The top 6" of desert soil is to be
aged and stockpiled for re-vegetation areas.
Contractor to mix and spread cobble mix on site of
the character of the native surrounding
a 2" Depth. Supplemental Cobble to be D.C.
Cobble, 6" Minus.

GEND
NOTES:
Boulder symbols are shown for reference only.
Size boulders based on tonnage only, but
include a variety of shapes and sizes. Surface
select boulders to be selected / tagged by
Landscape Architect and field located.
Landscape Contractor to set boulders with
crane using steel cables. Provide necessary
crane for weight.

TINGS
CRIPTION / MATERIAL REFERENCE
thetic Turf
er to Materials Schedule

RAILS
CRIPTION / MATERIAL REFERENCE
Composite Granite (DG) - 2" Depth
'Minus Decomposed Granite, Color to match
ting surrounding area in color and size in all
ting areas inside of walls;

Cobble
The top 6" of desert soil is to be
aged and stockpiled for re-vegetation areas.
Contractor to mix and spread cobble mix on site of
the character of the native surrounding
a 2" Depth. Supplemental Cobble to be D.C.
Cobble, 6" Minus.

GEND
NOTES:
Boulder symbols are shown for reference only.
Size boulders based on tonnage only, but
include a variety of shapes and sizes. Surface
select boulders to be selected / tagged by
Landscape Architect and field located.
Landscape Contractor to set boulders with
crane using steel cables. Provide necessary
crane for weight.

APN 170-01-007

PROPERTY LINE
S

E BETHANY HOME RD.

25' R/W

APN 170-01-007

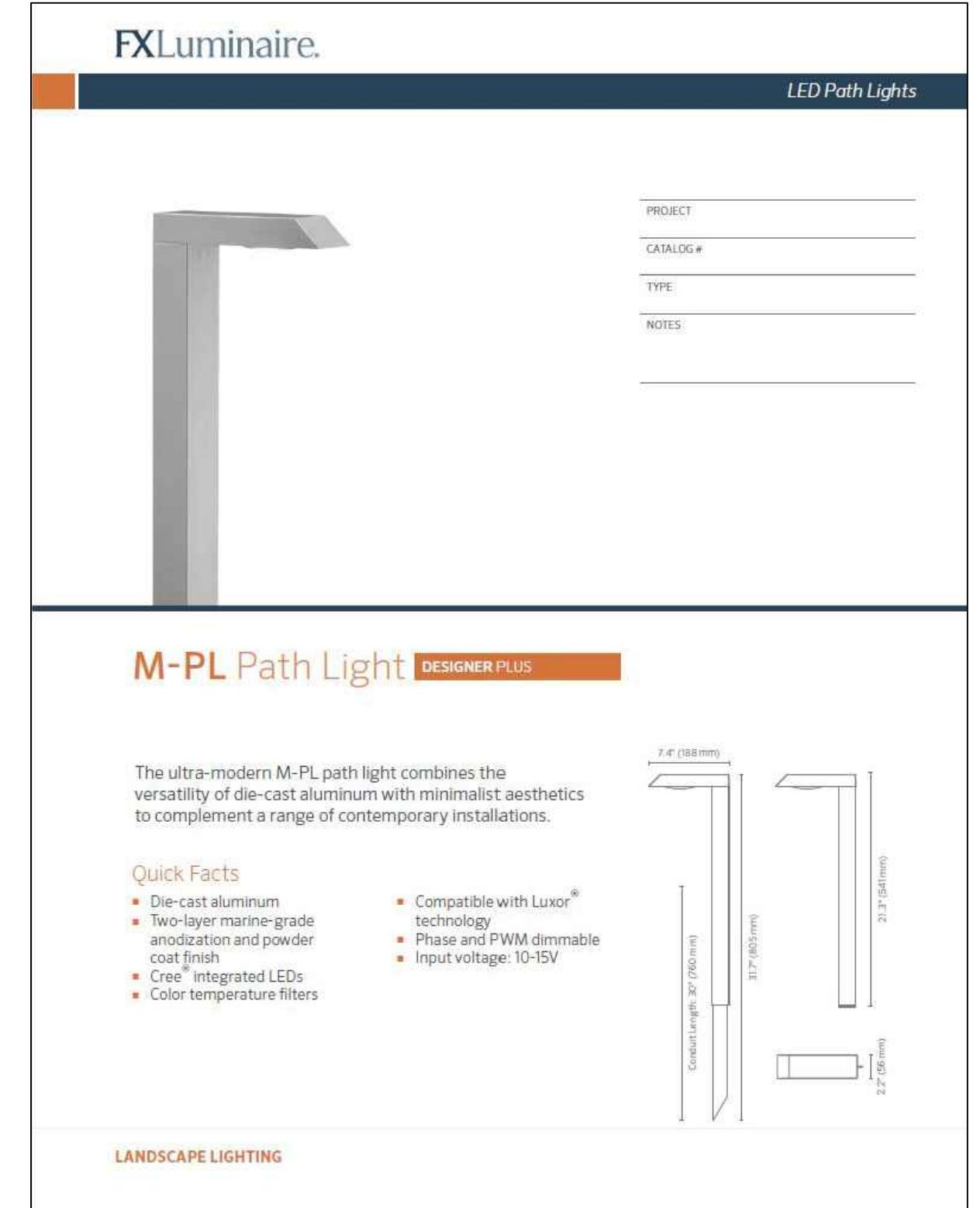
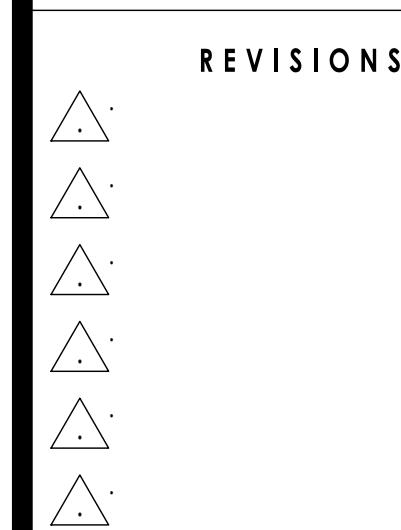


LIGHT FIXTURE SCHEDULE:

SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LAMP	LED	WATAGE	LUMENS	COLOR TEMP.
■	7	FX LUMINAIRE	M-PL-1LED-FB	FLAT BLACK	LOW VOLTAGE PATHLIGHT	LED	1 LED	2.0 W	73	2700K
●	25	FX LUMINAIRE	CC-3LED-LS-AB	ANTIQUE BRONZE	LOW VOLTAGE UP LIGHT WITH LONG SHROUD	LED	3 LED	4.2 W	124	2700K
T-#	TBD	-	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO DETERMINE QUANTITY REQ.)					

LIGHTING NOTES:

1. CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS, COLORS, AND FINISHES WITH OWNER PRIOR TO ORDERING OR INSTALLING.
2. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL LIGHTS.

WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253

PROJECT #: WWH003
ISSUED FOR: REVIEW
DRAWN BY: TEAM
SCALE: 1=10'-0"
PLOT DATE: 10/15/2025
DRAWING: LIGHTING PLAN



HILLSIDE OUTDOOR LIGHTING REQUIREMENTS:
AREA OF LOT: 43,970 S.F.
ALLOWABLE DISTURBED AREA: (60%) 26,382 S.F.
LANDSCAPE UP-LIGHTING: LIMITED TO ONE (1) FIXTURE PER 1,000 S.F. OF ALLOWABLE DISTURBED AREA.
UP-LIGHTS PERMITTED: 26 LIGHTS
UP-LIGHTS PROVIDED: 25 LIGHTS
NOTE: ALL OTHER LIGHTING (LUMINAIRE IS CONSIDERED 'SAFETY LIGHTING') USED TO ILLUMINATE VEHICULAR AND PEDESTRIAN CIRCULATION, AND DOES NOT EMIT LIGHT RAYS ABOVE A HORIZONTAL PLANE.

L5.1

PAGE # 06 OF 12

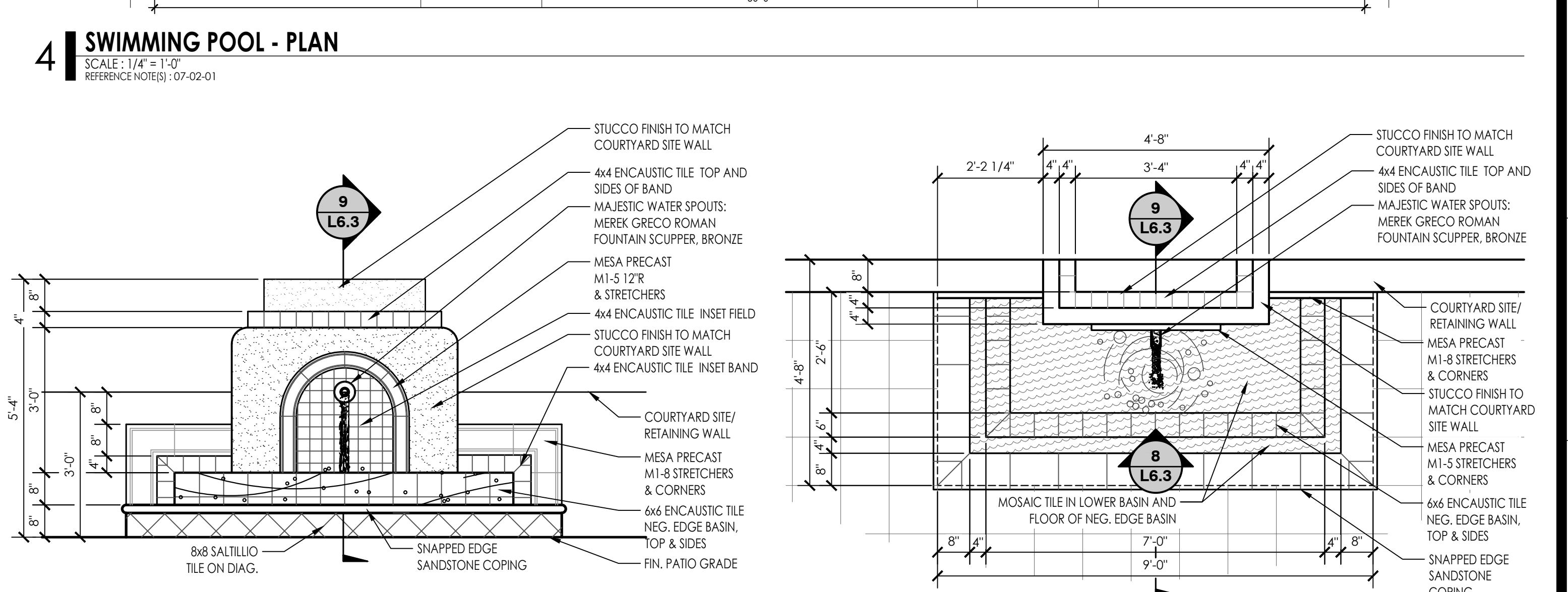
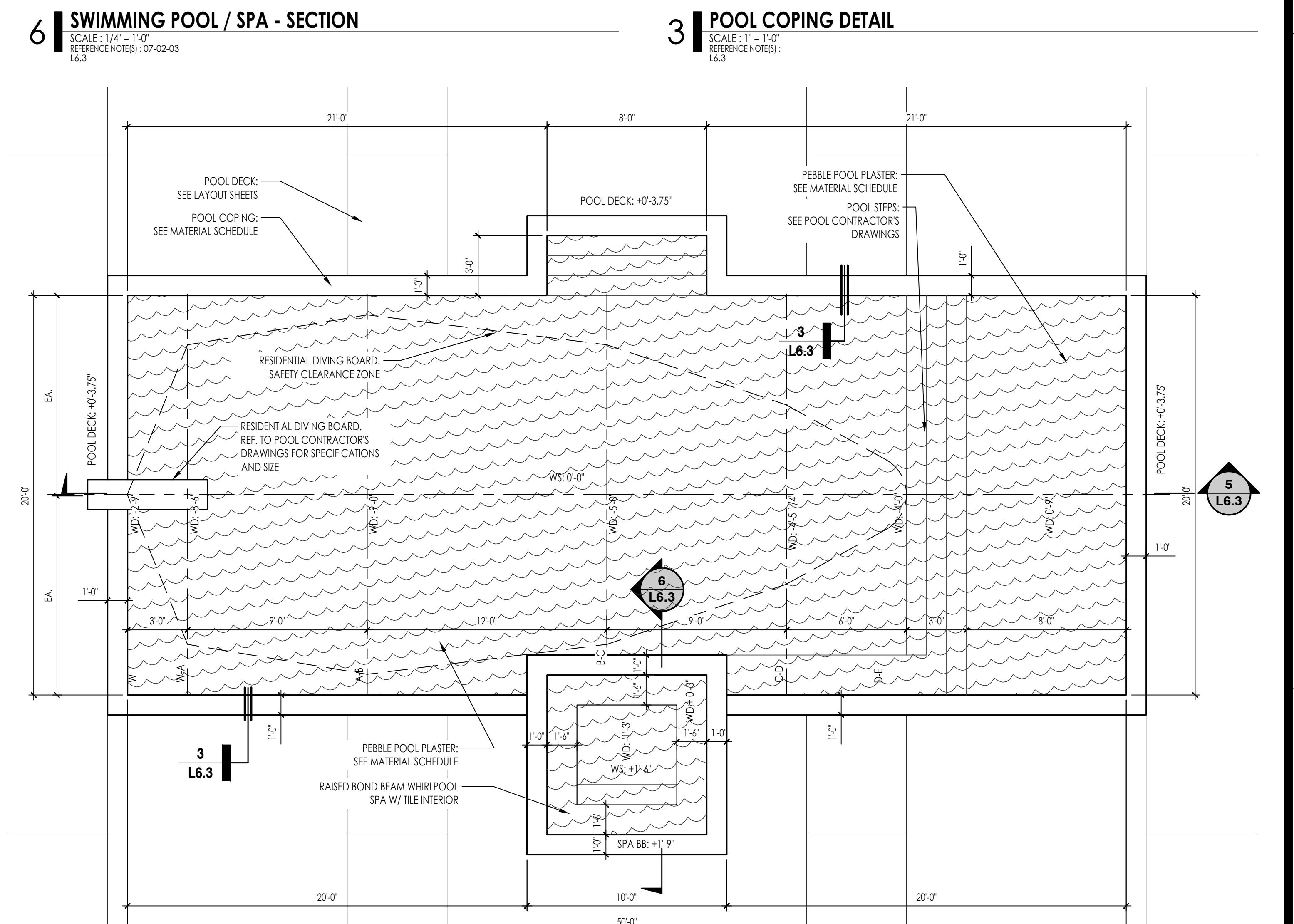
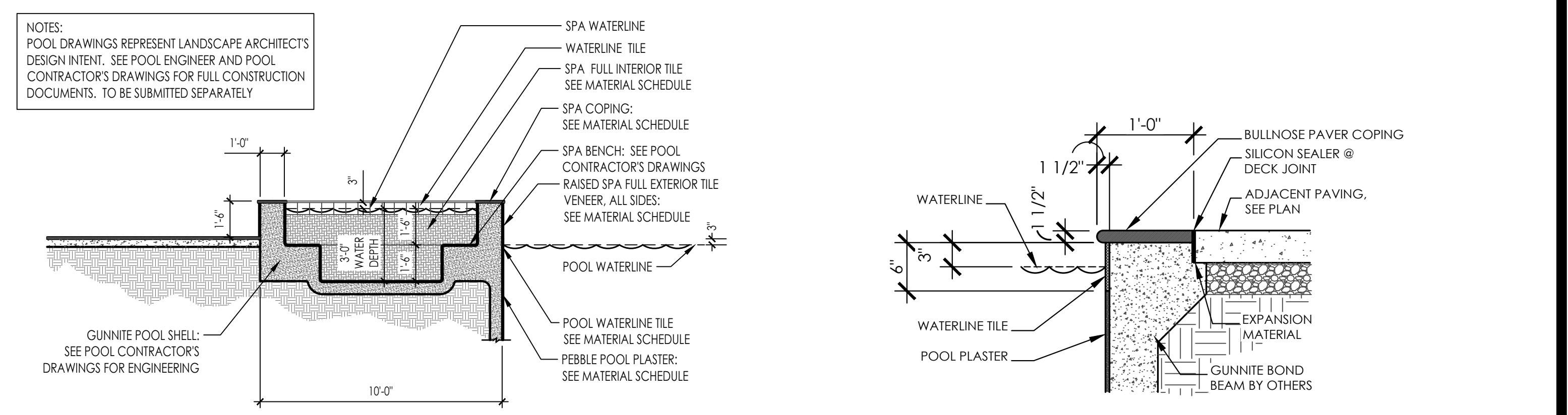
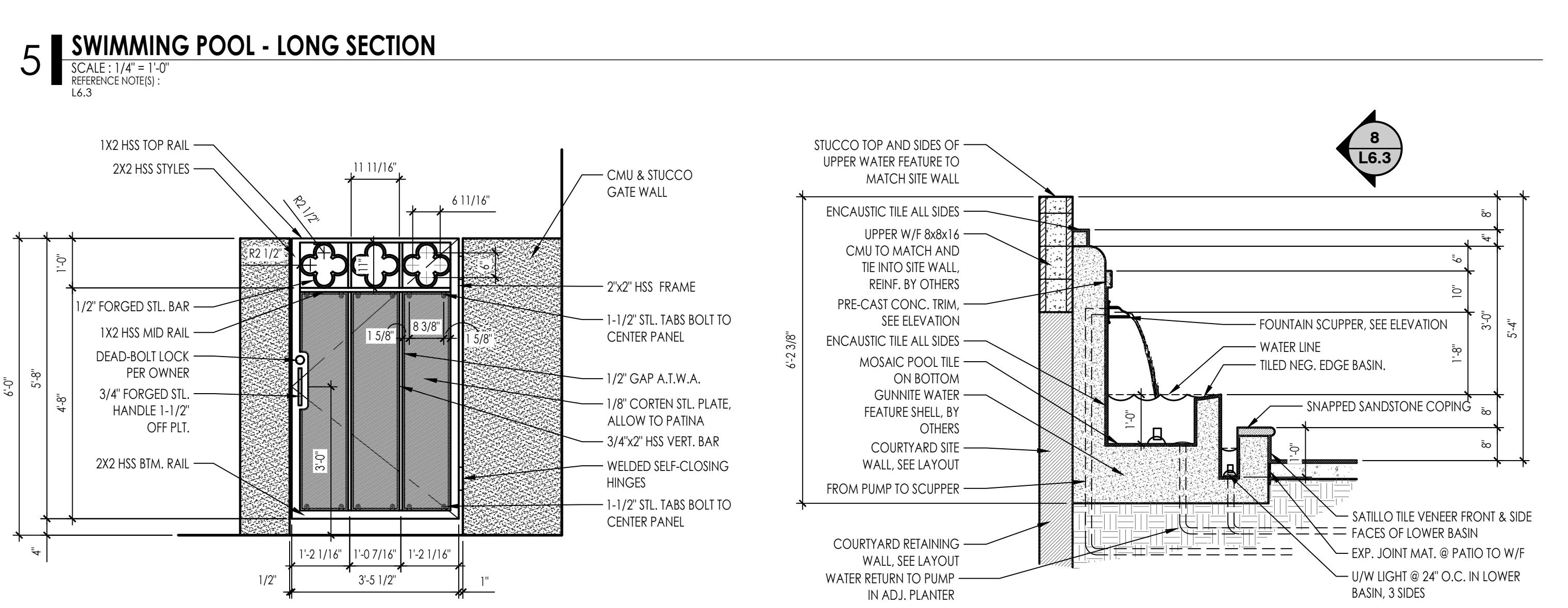
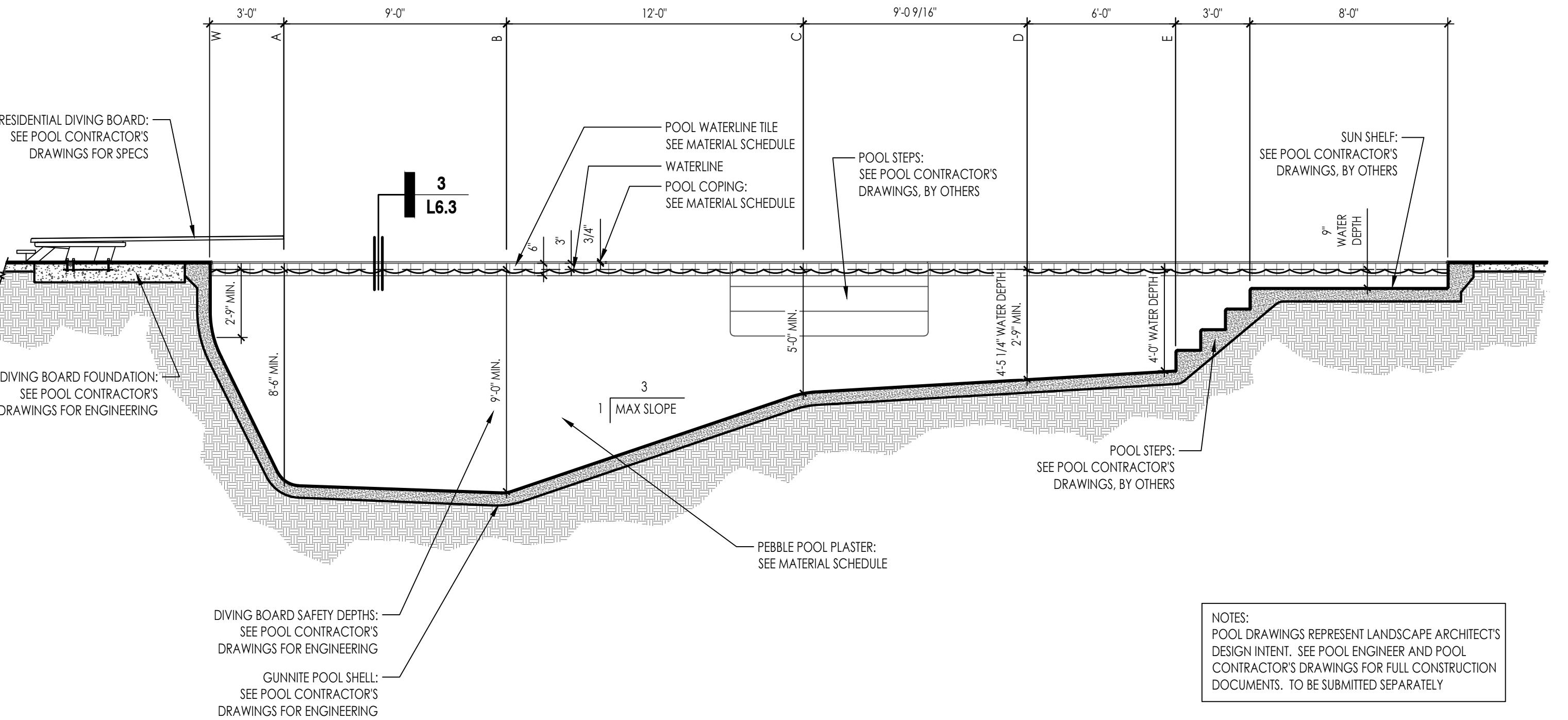


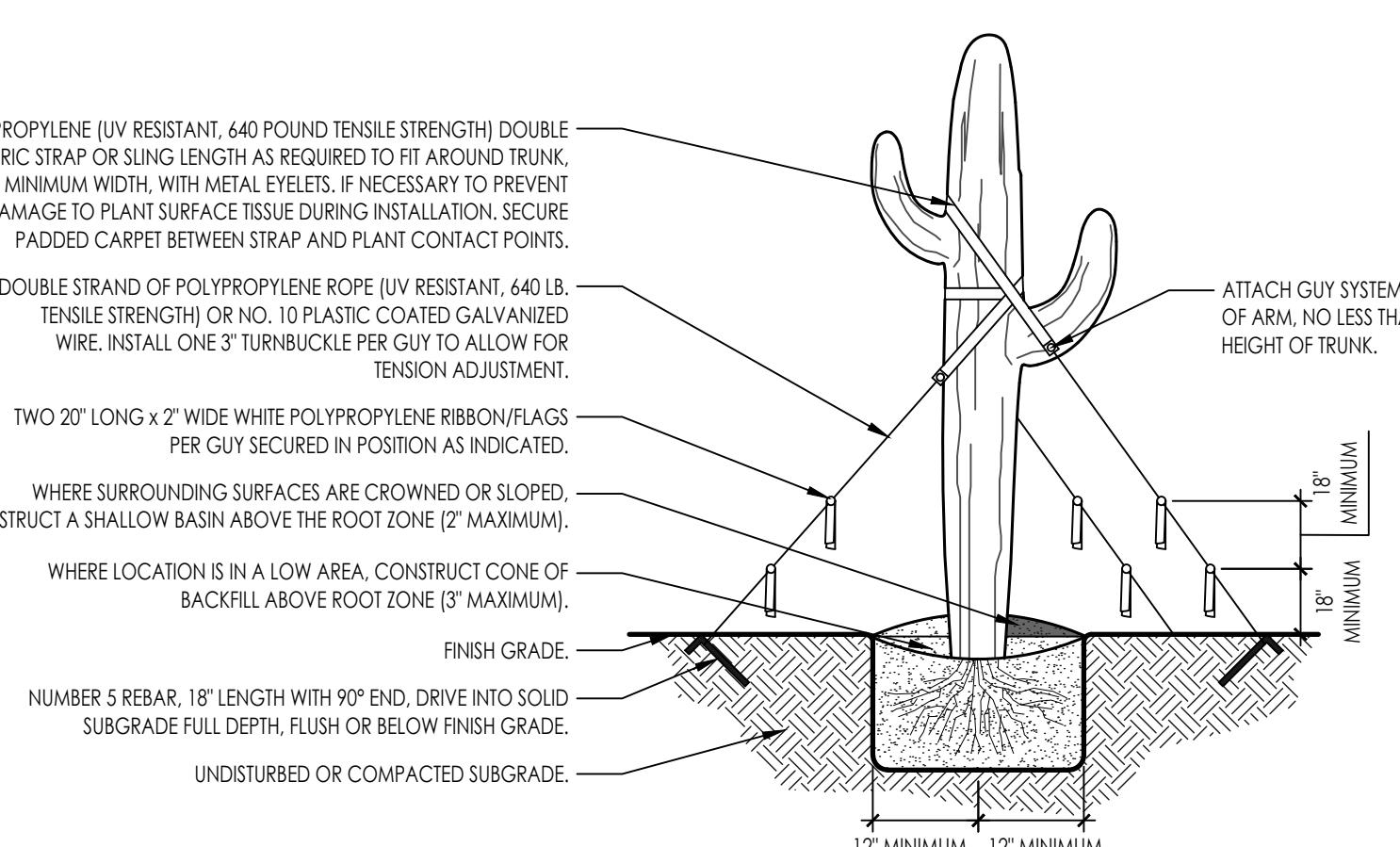
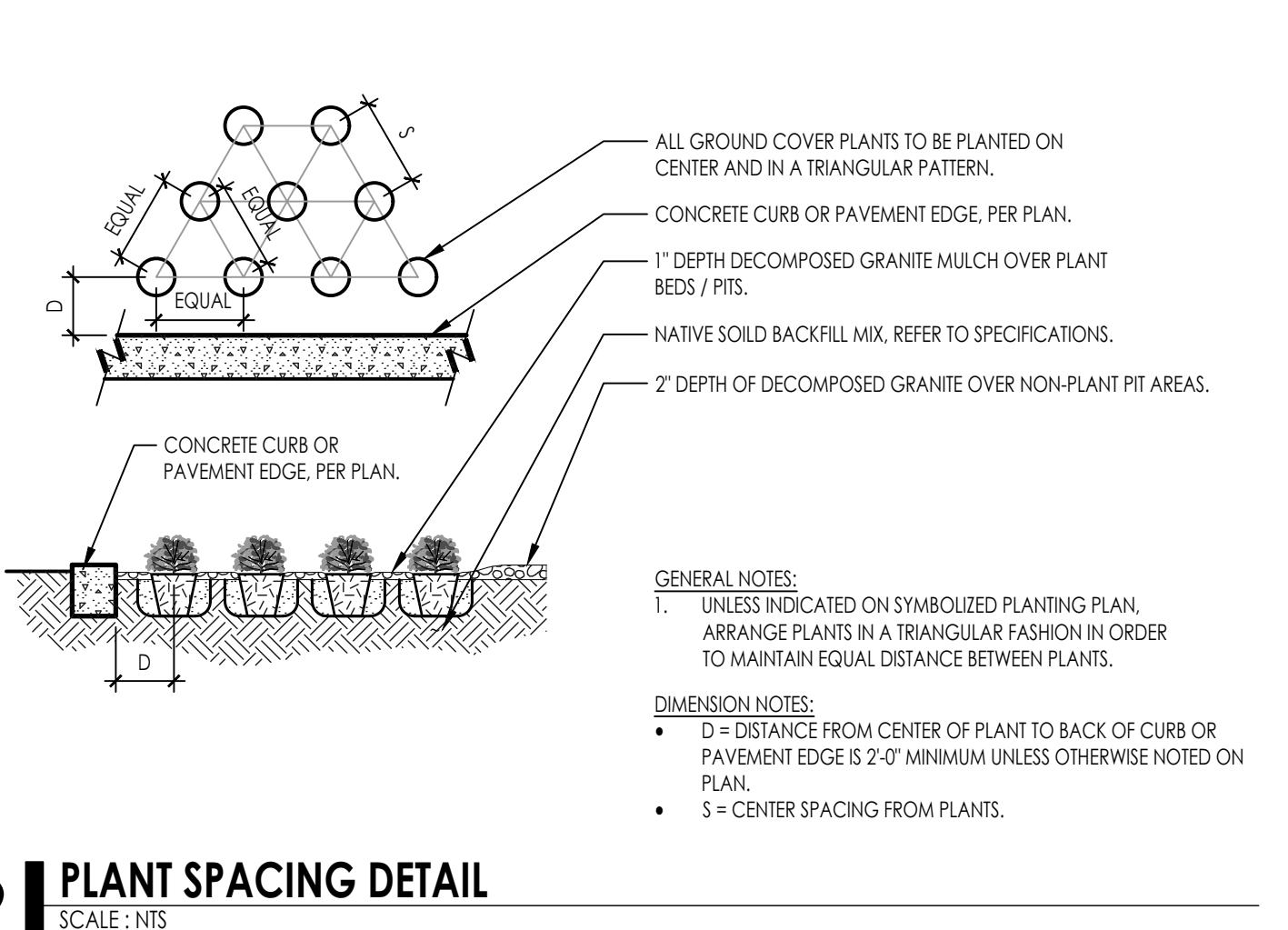
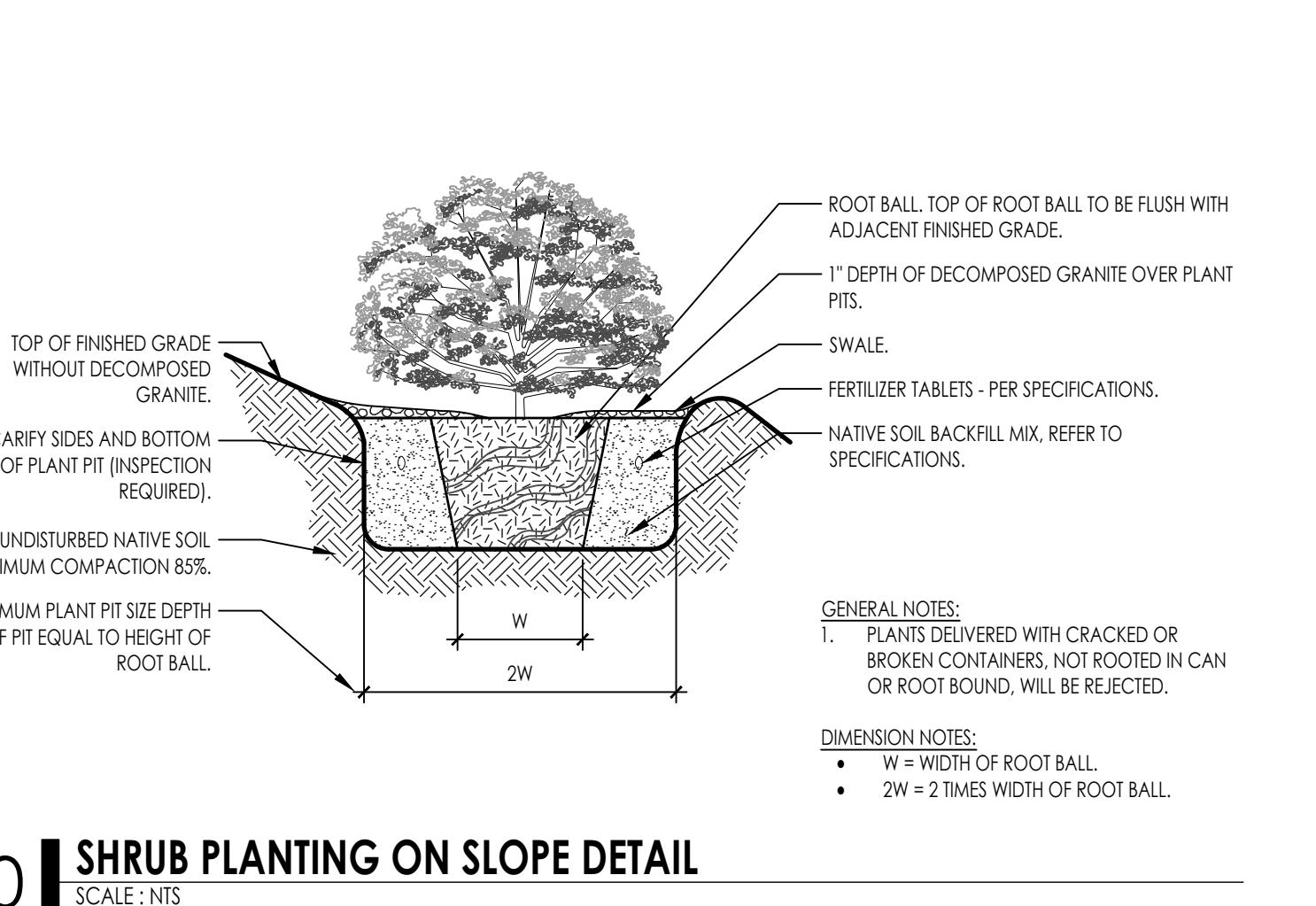
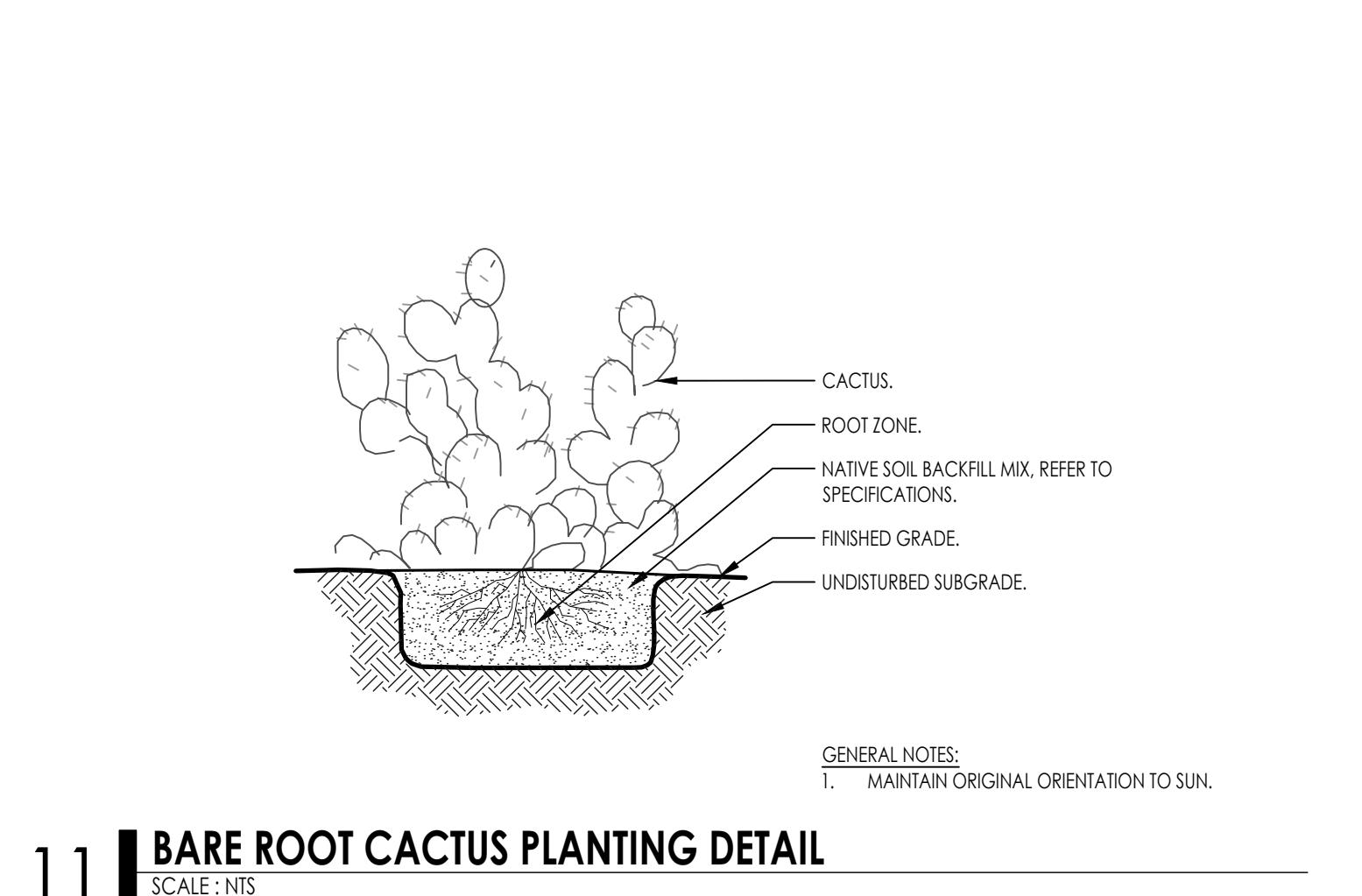
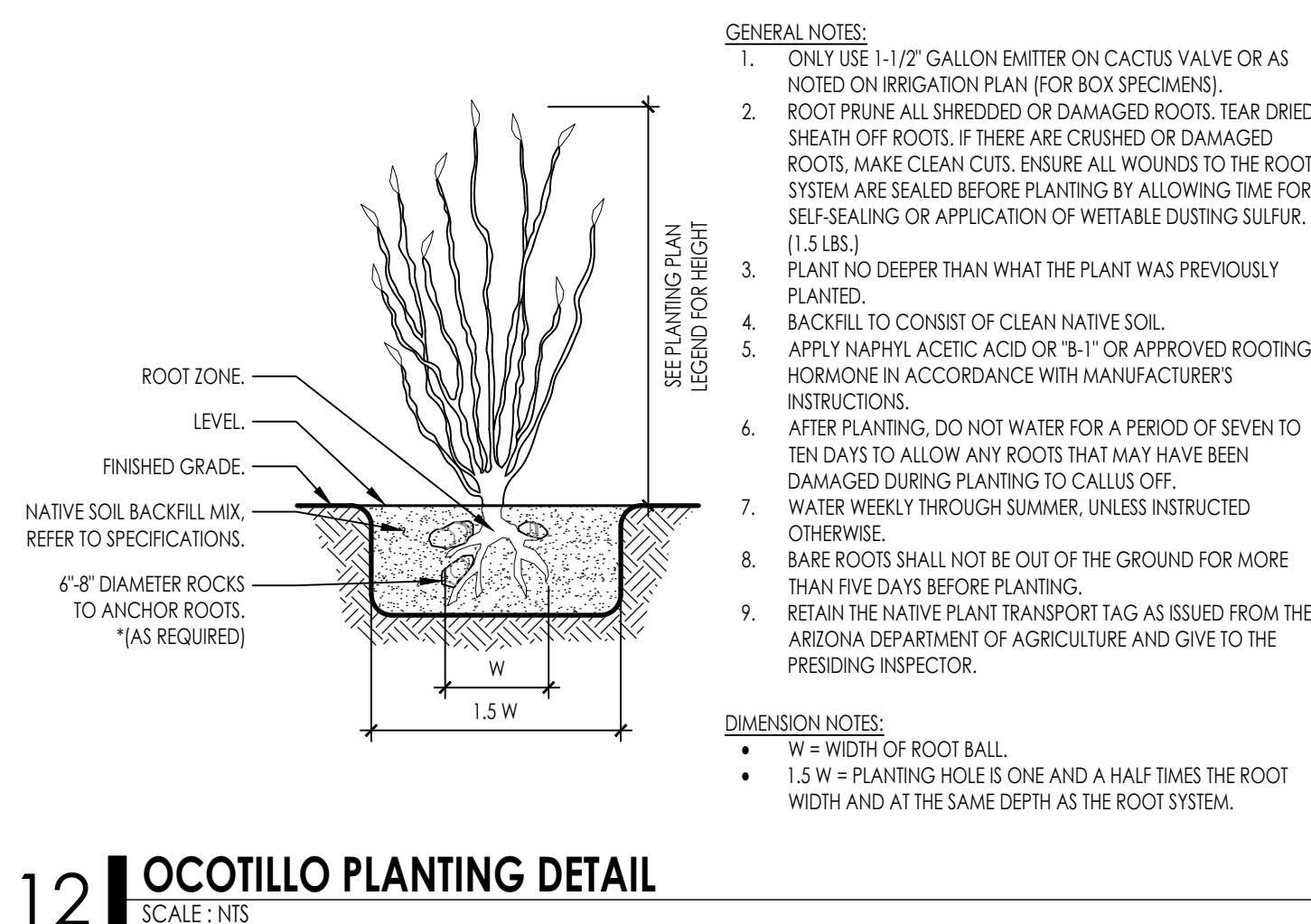
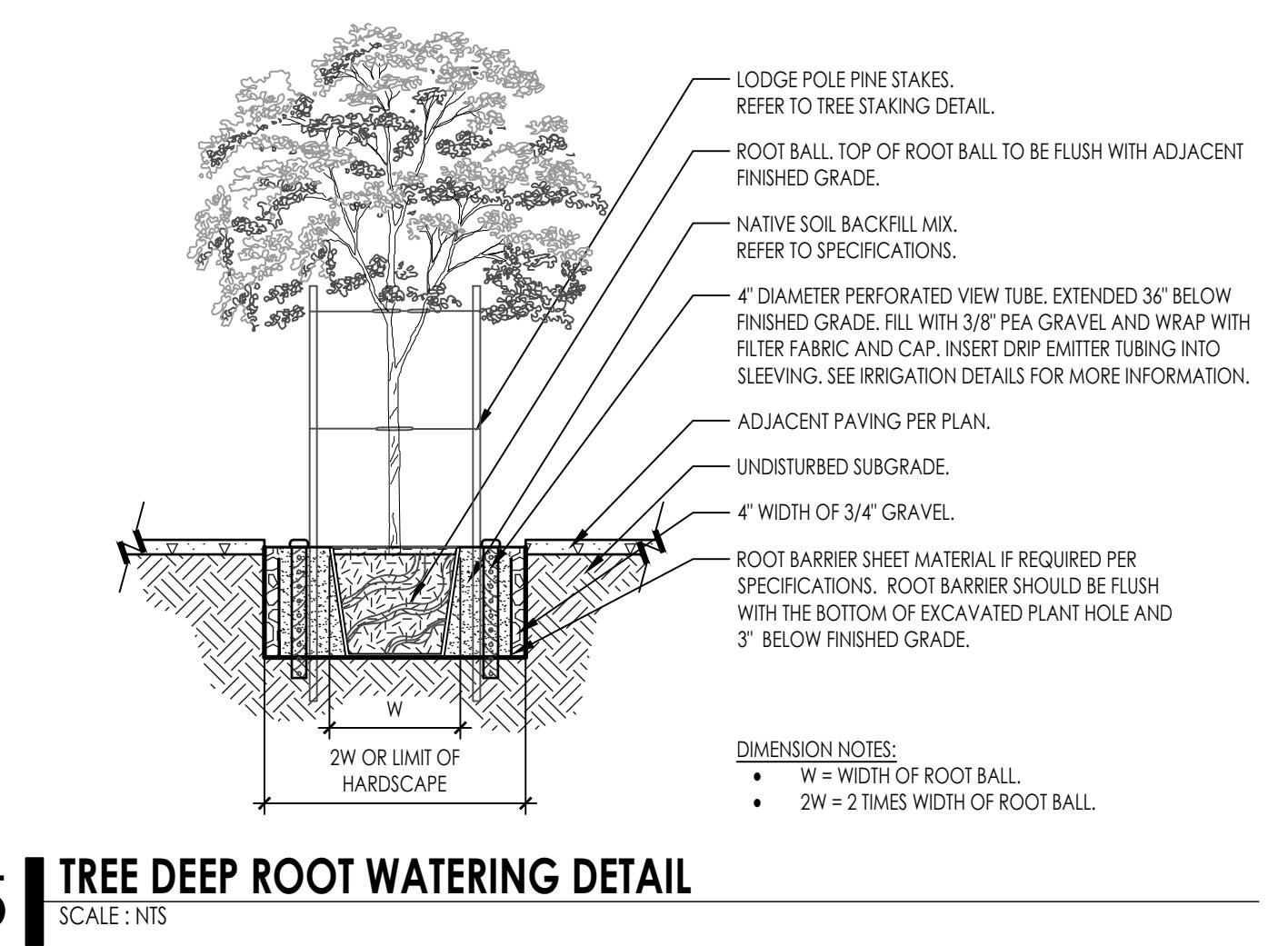
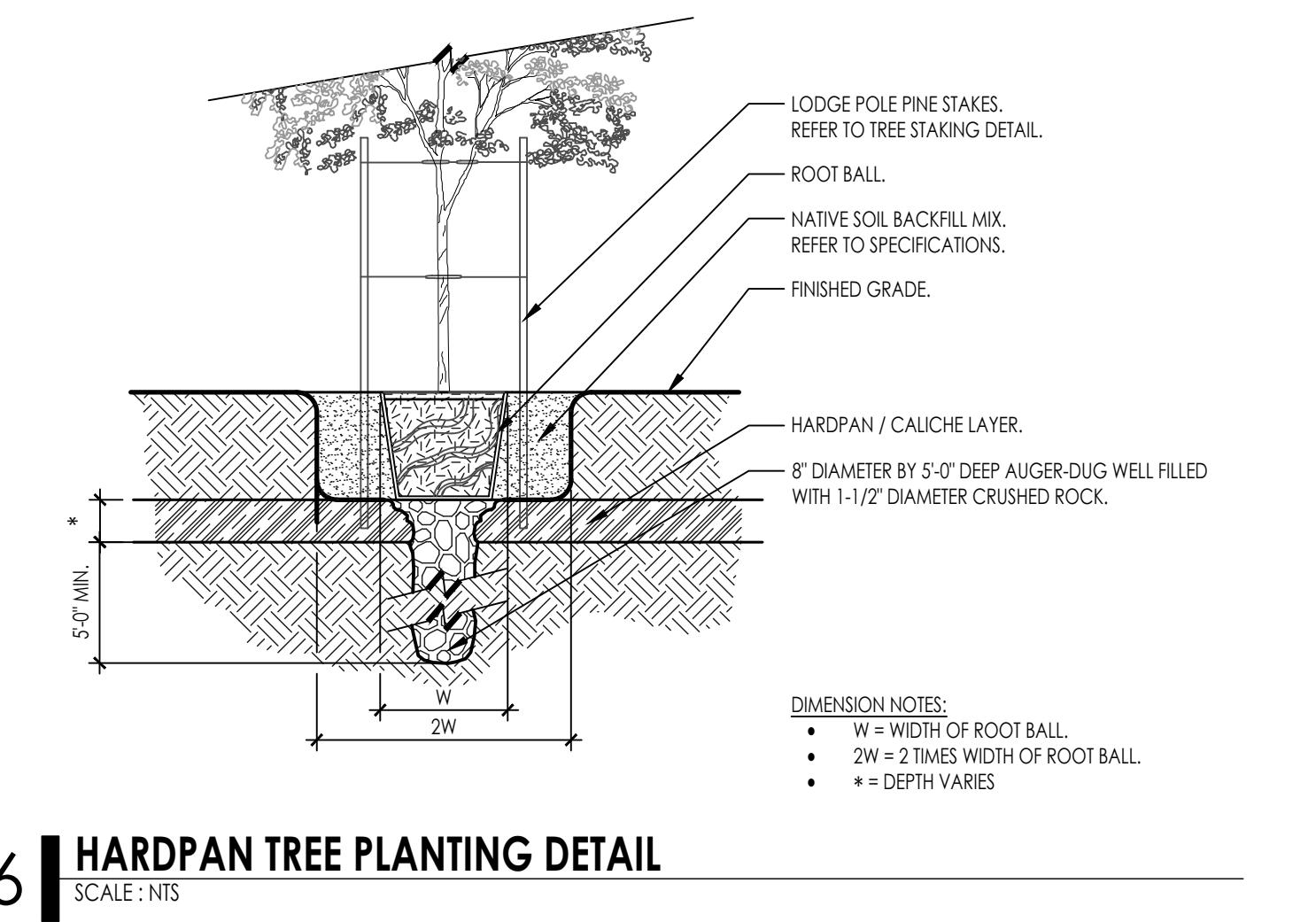
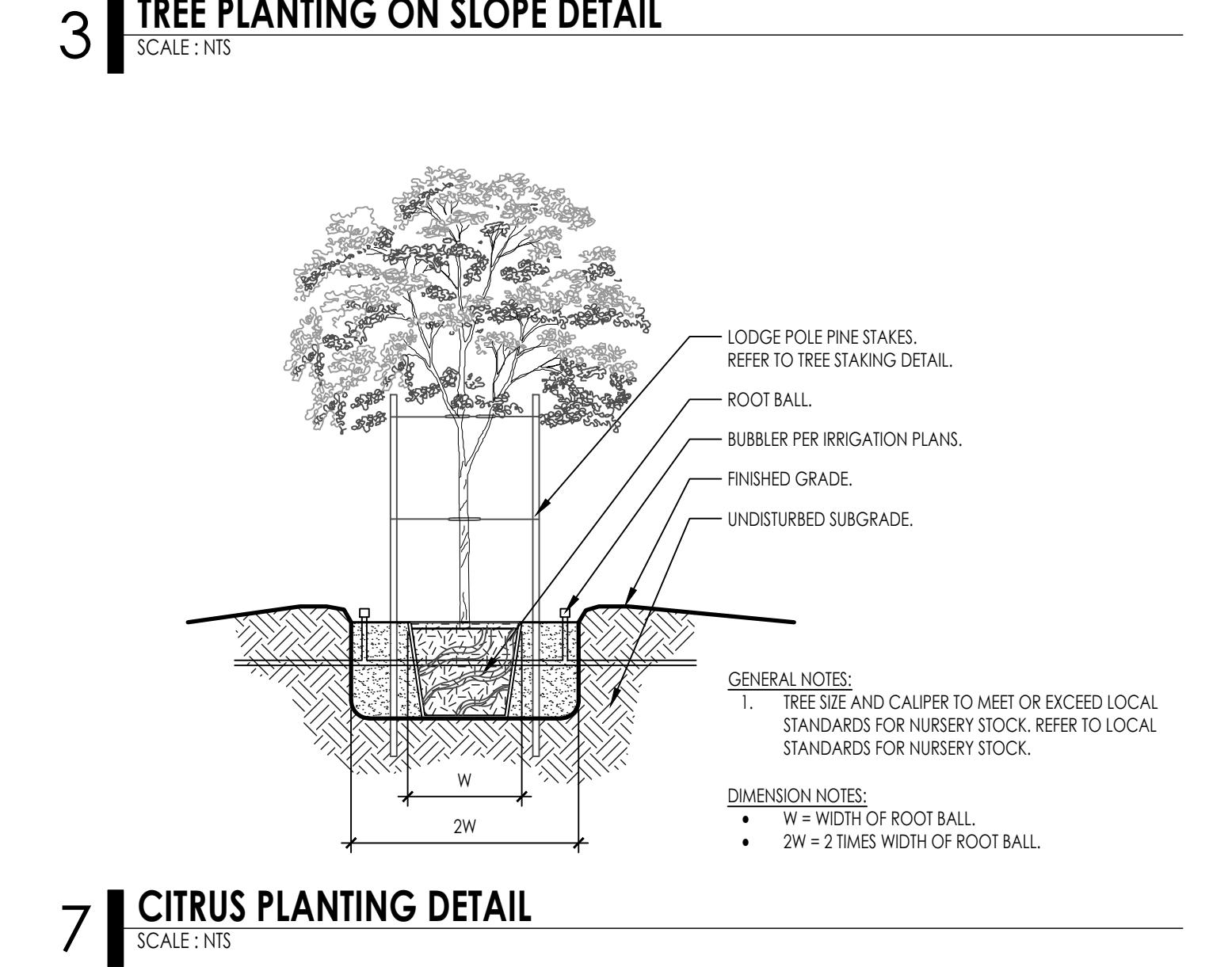
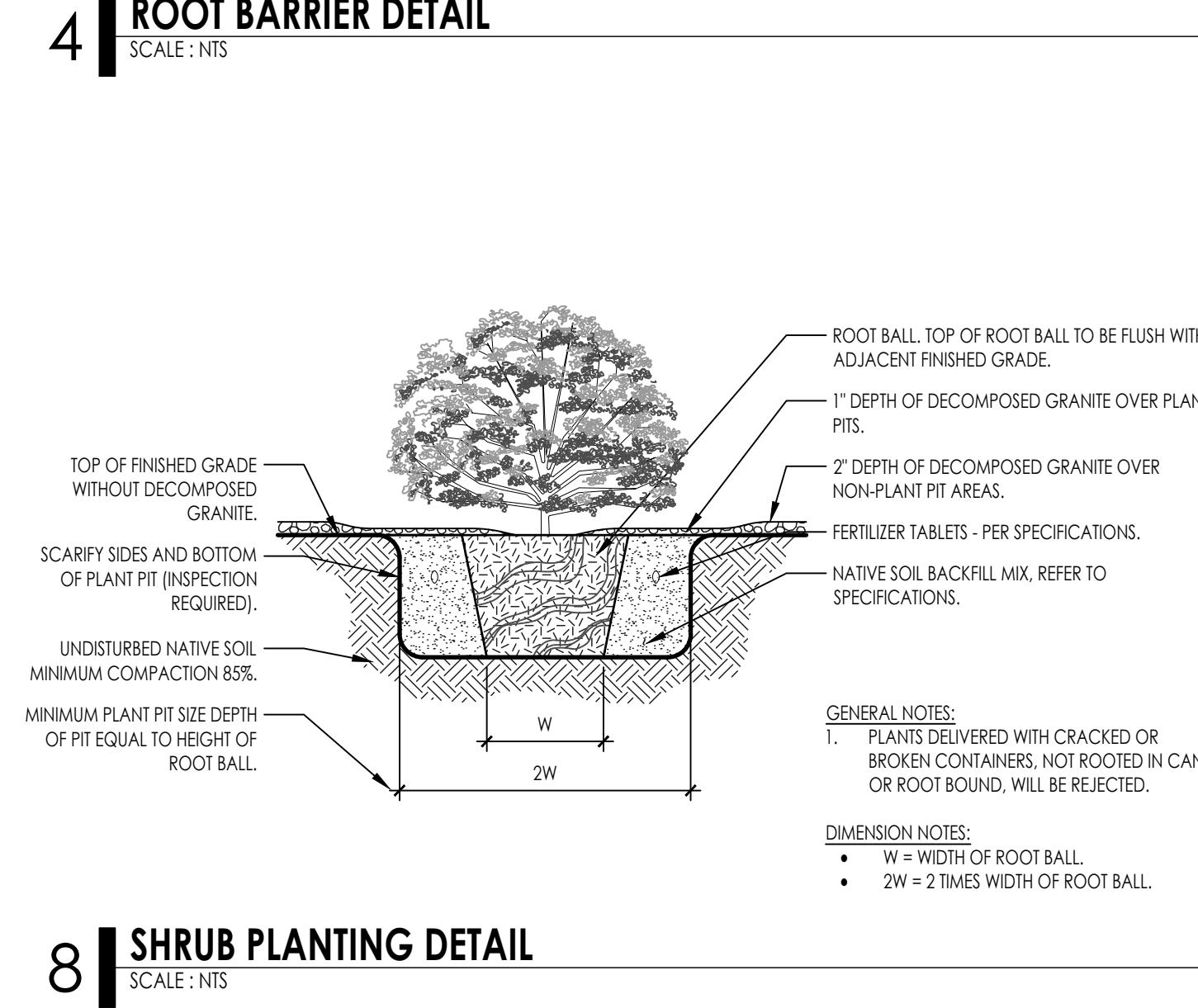
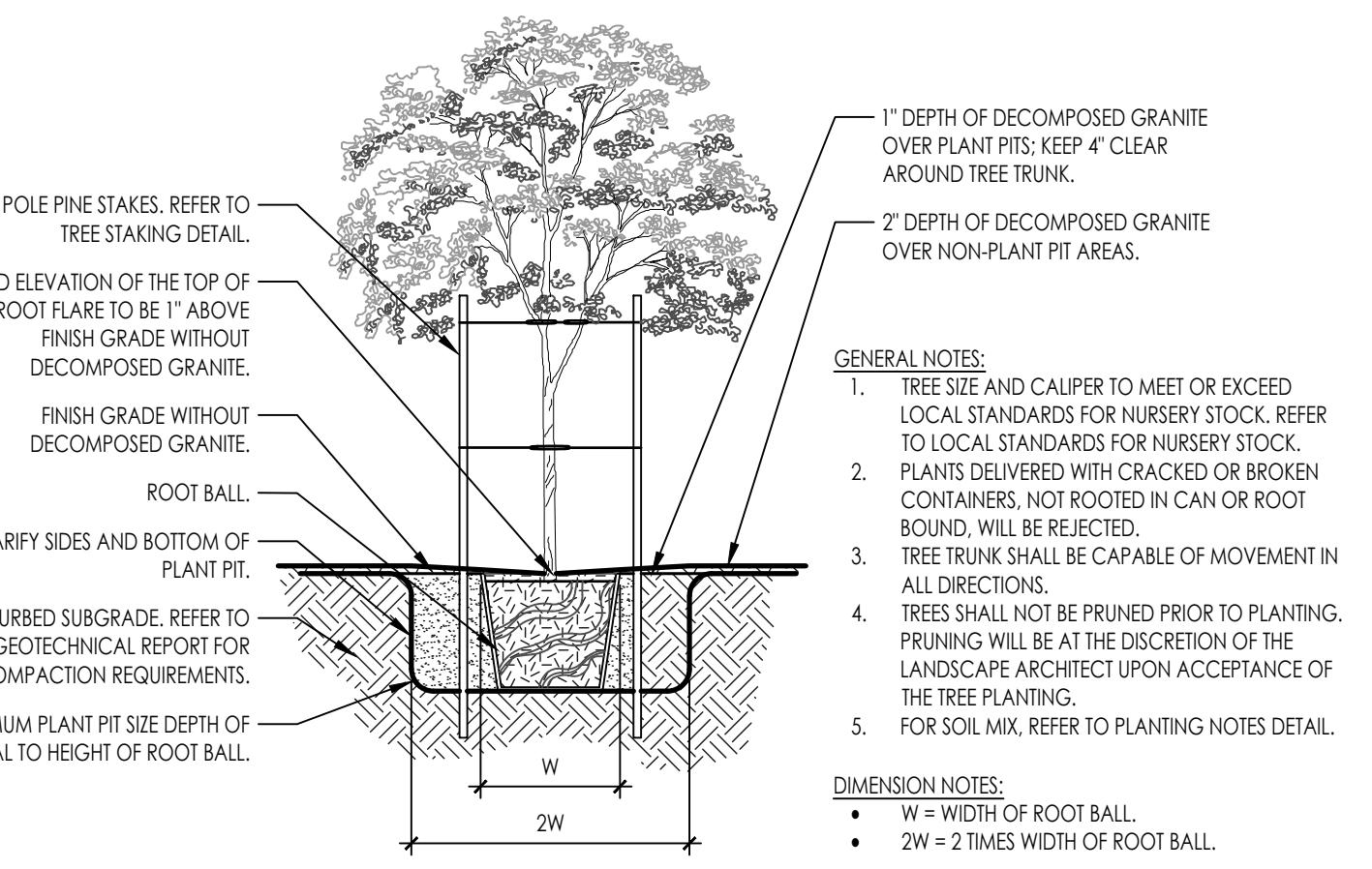
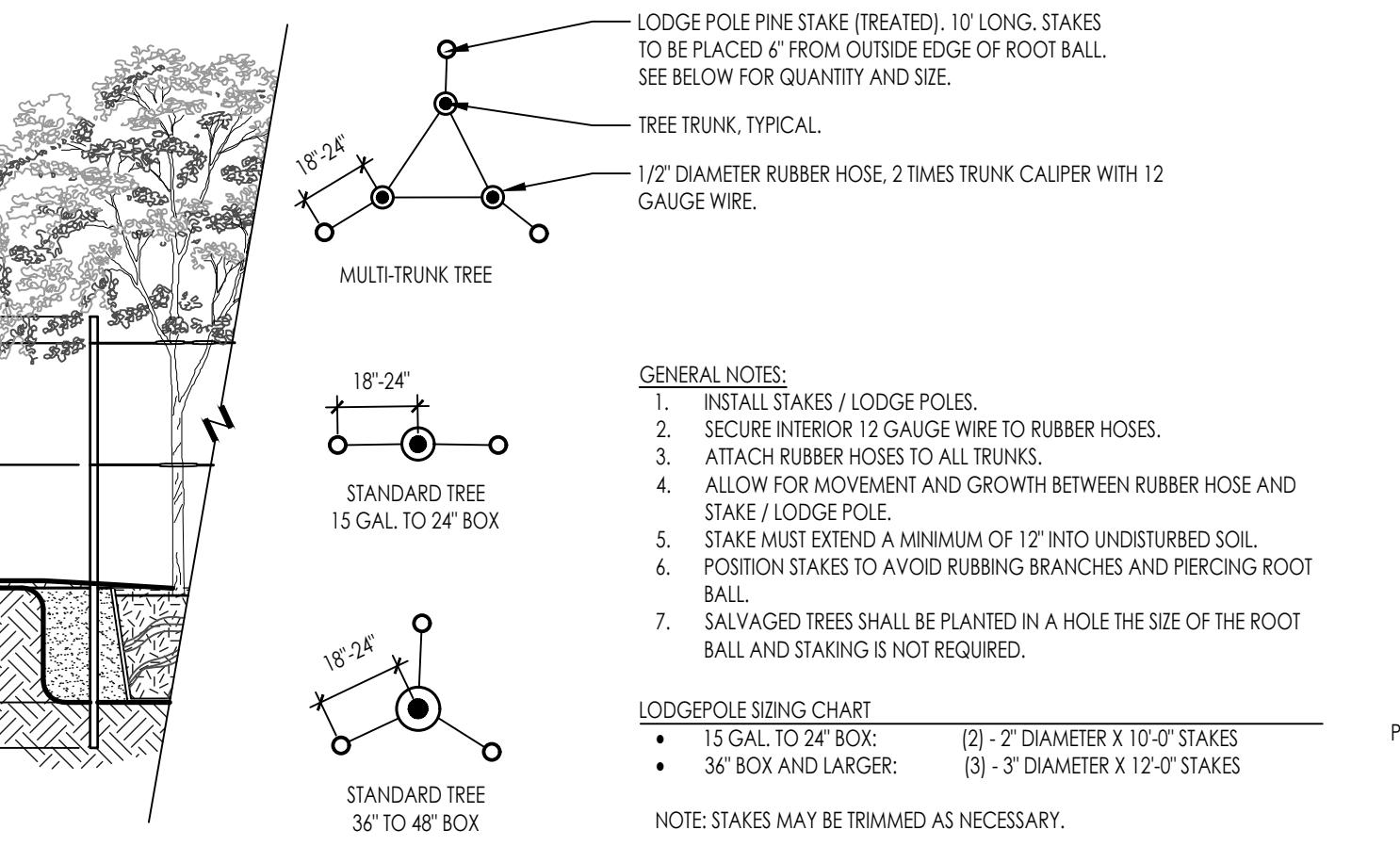
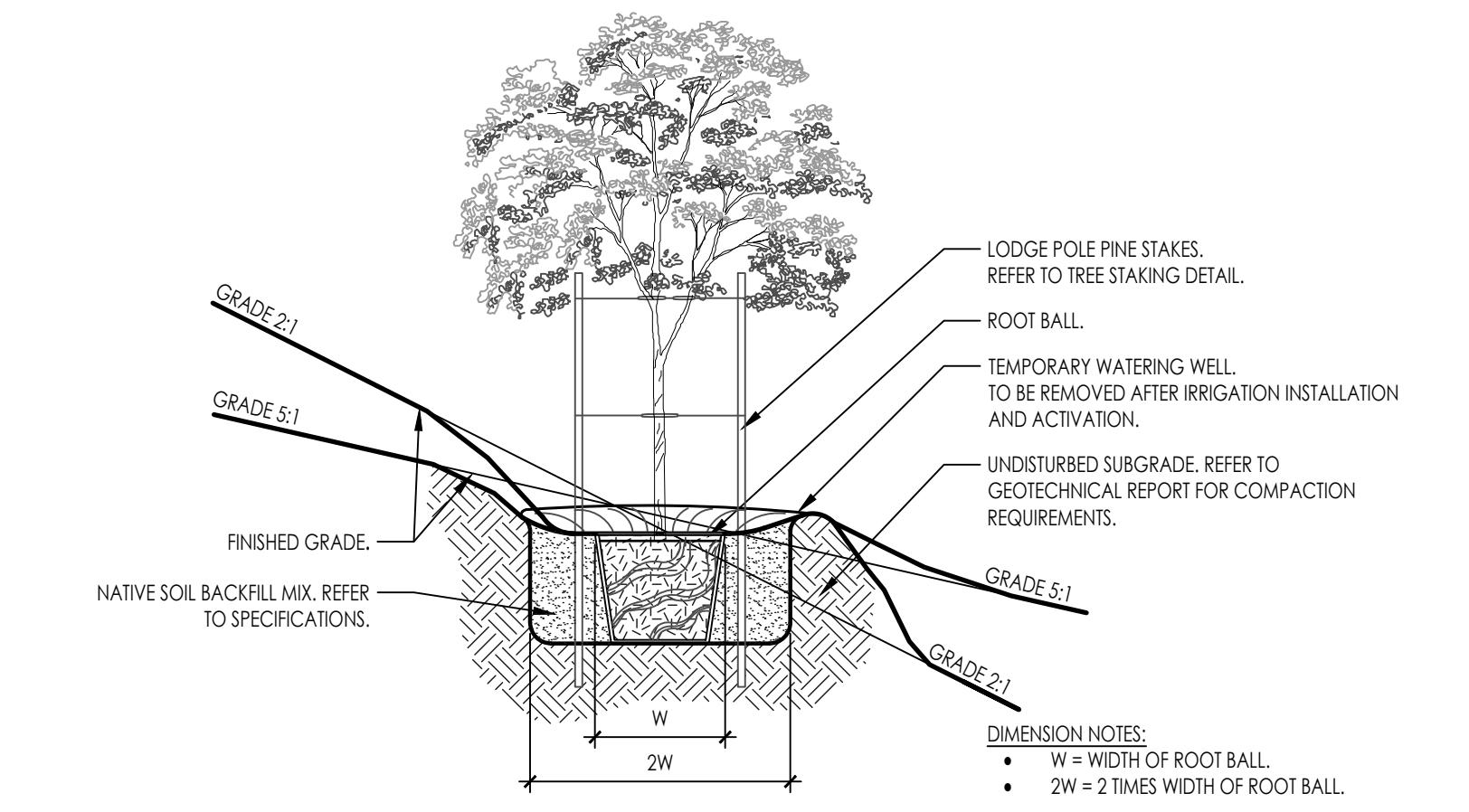
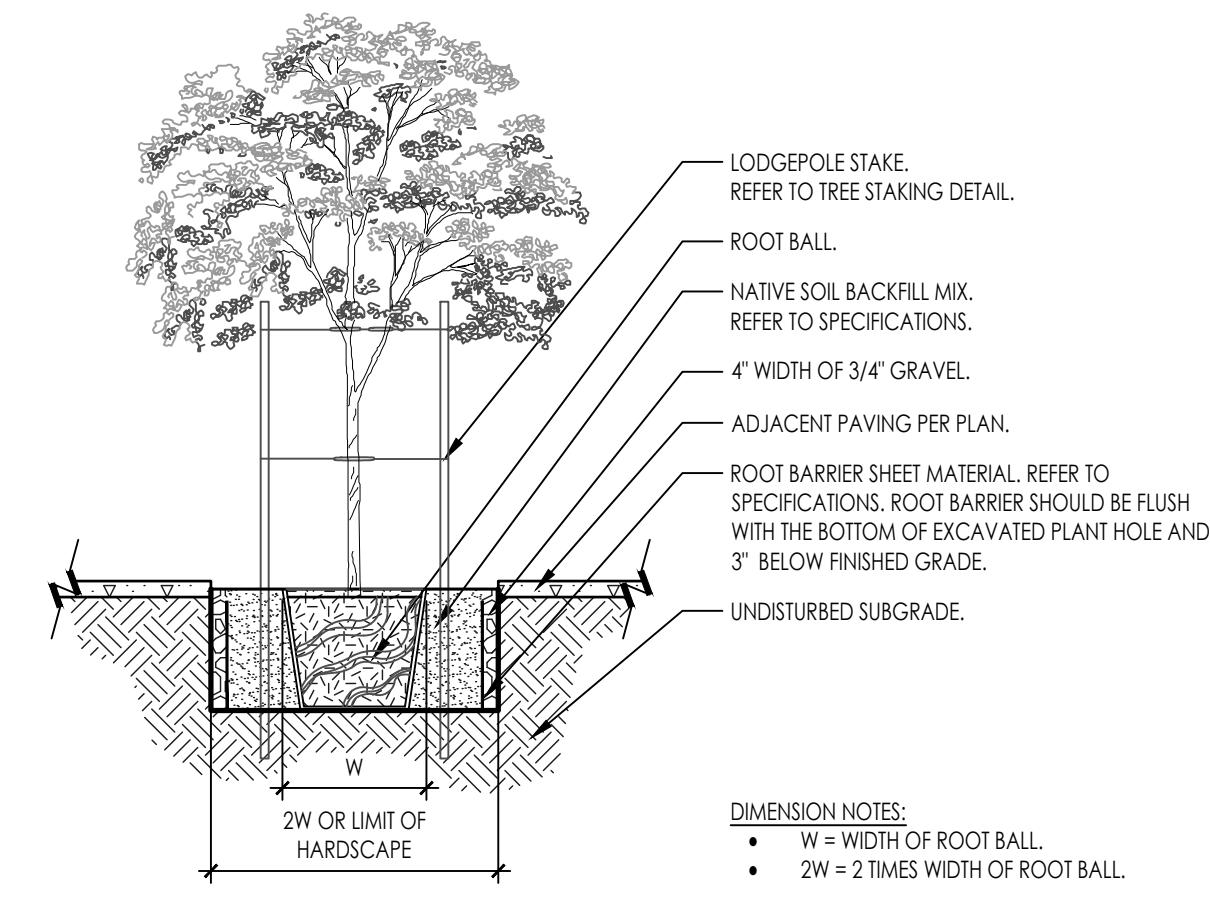
PROJECT #: WW003
ISSUED FOR: REVIEW
DRAWN BY: TEAM
SCALE: AS NOTED
PLOT DATE: 10/15/2025
DRAWING: Hardscape Details



SHEET #:
L6.3

PAGE #:
09 OF 12





PLANTING SPECIFICATIONS:

PART 1 - GENERAL

1.01 - WORK INCLUDED, BUT NOT LIMITED TO:

- LANDSCAPE FINISH GRADING,
- SOIL PREPARATION
- TREE SUPPORTS
- PLANTING
- WATERING
- MAINTENANCE

DEFINITIONS:

OWNER'S REPRESENTATIVE - AN AUTHORIZED AGENT DETERMINED BY OWNER TO ACT ON THEIR BEHALF. IN SOME CASES THE LANDSCAPE ARCHITECT MAY BE THE OWNER REPRESENTATIVE AS OUTLINED IN THESE SPECS.
PLANT MATERIAL - ALL TREES, SAGUAROS, OCOTILLOS, PALMS, SHRUBS, CACTI, GROUND COVER, AND OTHER PLANTS.

1.02 - RELATED WORK

CONTRACTOR: MINIMUM 5 YEARS EXPERIENCE IN SUPPLY AND INSTALLATION OF LANDSCAPE MATERIALS. A FOREMAN WITH A MINIMUM OF 5 YEARS EXPERIENCE IN RELATED WORK SHALL BE ON SITE AT ALL TIMES.

1.03 - SOURCE QUALITY CONTROL

- a. PROVIDE CERTIFICATES OF INSPECTION FOR ALL MATERIALS AS REQUIRED BY LAW OR REGULATION.
- b. PACKAGE STANDARD MATERIALS WITH MANUFACTURERS CERTIFIED ANALYSIS, PROVIDE ANALYSIS BY RECOGNIZED LABORATORY MADE IN ACCORDANCE WITH METHODS ESTABLISHED BY THE ASSOCIATION OF OFFICIAL CHEMISTS FOR ALL OTHER MATERIALS.
- c. PROVIDE TREES AND SHRUBS GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PROVIDE HEALTHY, UNDAMAGED, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS AT PROJECT SITE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS SUN-SCALD, KNOTS, INJURIES, ABRASIONS OR DISFIGUREMENTS. PROVIDE TREES AND SHRUBS OF THE SIZES INDICATED. TREES AND SHRUBS OF SIZES LARGER THAN THOSE INDICATED MAY BE USED PROVIDED ROOTS, ROOT BALL, STAKING AND PLANTING PITS ARE INCREASED PROPORTIONATELY.

1.04 - REFERENCE STANDARDS

- a. PROJECTS CITY / COUNTY / STATE REFERENCED REGULATIONS FOR NURSERY GROWN PLANT MATERIAL, MOST CURRENT EDITION.
- b. STATE OF ARIZONA, ARIZONA NURSERY ASSOCIATION, CONTAINER GROWN TREE GUIDE, MOST CURRENT EDITION.
- c. STATE OF CALIFORNIA, DEPARTMENT OF FOOD AND AGRICULTURE, REGULATIONS FOR NURSERY INSPECTIONS, RULES AND GRADING, MOST CURRENT EDITION.
- d. STATE OF FLORIDA, FLORIDA DEPARTMENT OF AGRICULTURE, GRADES AND STANDARDS FOR NURSERY STOCK, MOST CURRENT EDITION.
- e. STATE OF NEVADA, NEVADA DEPARTMENT OF AGRICULTURE, PLANT HEALTH AND COMPLIANCE NURSERY REGULATIONS, MOST CURRENT EDITION.
- f. STATE OF IDAHO, IDAHO NURSERY AND LANDSCAPE ASSOCIATION, MOST CURRENT EDITION.
- g. ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION.

1.05 - SAMPLES

SUBMIT THE FOLLOWING MATERIAL SAMPLES TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK.

- a. TOPSOIL FOR BACKFILL MIX (TREES AND SHRUBS).
- b. WOOD SHAVINGS/MULCH.
- c. TREE SUPPORTS.
- d. DECOMPOSED GRANITE / MULCH.
- e. BOULDERS.

THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO TAKE AND ANALYZE SAMPLES OF MATERIALS FOR CONFORMITY TO SPECIFICATION AT ANY TIME. FURNISH SAMPLES UPON REQUEST BY OWNER'S REPRESENTATIVE. REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED AT THE CONTRACTOR'S ADDITIONAL EXPENSE.

SUBMIT SAMPLES OF DECOMPOSED GRANITE FOR APPROVAL OF GRADUATION AND COLOR. SAMPLE SHALL BE REPRESENTATIVE OF VARIATIONS WITHIN SIZE AND COLOR TO BE PROVIDED.

1.06 - PRODUCT DATA

SUBMIT TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK MANUFACTURERS COMPREHENSIVE PRODUCT DESCRIPTION, INCLUDING SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

1.07 - CERTIFICATES AND TEST REPORTS

PROVIDE AND PAY FOR ALL MATERIALS TESTING. TESTING AGENCY SHALL BE ACCEPTABLE TO THE LANDSCAPE ARCHITECT. SUBMIT TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK 2 COPIES OF CERTIFICATE OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES, AND MANUFACTURERS VENDORS CERTIFIED ANALYSIS FOR SOIL AMENDMENTS, FERTILIZER MATERIALS, AND CHEMICALS. SUBMIT OTHER DATA SUBSTANTIATION THAT MATERIALS COMPLY WITH SPECIFIED REQUIREMENTS. CERTIFICATES ARE REQUIRED TO DETERMINE THE QUALITY AND QUANTITY OF ALL SPECIFIED SOIL AMENDMENTS.

MATERIALS CERTIFICATION TO BE SUBMITTED INCLUDE, BUT ARE NOT LIMITED TO: TOPSOIL SOURCE AND NUTRIENT ANALYSIS, MULCH, FERTILIZERS/SOIL AMENDMENTS/CHEMICALS, TEST REPRESENTATIVE MATERIAL SAMPLES PROPOSED FOR USE. PROVIDE THE FOLLOWING DATA:

- a. TOPSOIL AND PLANTING BACKFILL.
- b. SOIL PH.
- c. PARTICLE SIZE, PERCENTAGE SOIL TEXTURE.
- d. PERCENTAGE ORGANIC MATERIAL.
- e. PERCOLATION RATE.
- f. NUTRIENT LEVEL ANALYSIS.
- g. ALL MACRO, SECONDARY AND MICRO NUTRIENT SALINITY.
- h. ESP.
- i. FREE LIME.

RECOMMENDATIONS ON TYPE AND QUANTITY OF AMENDMENTS REQUIRED TO BRING LEVELS INTO ACCEPTABLE RANGES AS DETAILED IN PART 2 - PRODUCTS OF MATERIALS OF THESE SPECIFICATIONS.

SEPARATE RECOMMENDATIONS TO BE SUBMITTED FOR EACH CROP. CROP TO BE IDENTIFIED:

- a. IRRIGATED TREES AND SHRUBS.
- b. TURF.

1.08 - MAINTENANCE DATA

SUBMIT TO OWNER'S REPRESENTATIVE 2 COPIES OF TYPEWRITTEN INSTRUCTIONS, PRIOR TO EXPIRATION OF THE INITIAL MAINTENANCE PERIOD, RECOMMENDING PROCEDURES TO BE FOLLOWED BY THE OWNER FOR THE MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR.

1.09 - PRODUCT DELIVERY, STORAGE AND HANDLING

DELIVER PACKAGED MATERIAL IN CONTAINERS SHOWING WEIGHT, ANALYSIS AND IDENTIFICATION OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION AT ALL TIMES.

PROVIDE PROTECTIVE COVERS TO PLANT LIFE AND TREES DURING DELIVERY. DO NOT PRUNE TREES PRIOR TO DELIVERY. DO NOT BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO CAUSE DAMAGE OR DESTROY SHAPE. DELIVER MATERIALS AFTER PREPARATION FOR PLANTING HAVE BEEN COMPLETED. PLANT IMMEDIATELY. IF PLANTING IS DELAYED FOR MORE THAN 6 HOURS AFTER DELIVERY, SET PLANT MATERIAL IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST.

DO NOT REMOVE CONTAINER GROWN STOCK INCLUDING GROUND COVER, FROM CONTAINERS UNTIL PLANTING TIME.

1.10 - SITE CONDITIONS

DETERMINE LOCATION OF UNDERGROUND UTILITIES. EXECUTE WORK AS REQUIRED TO PREVENT DAMAGE.

MAINTAIN GRADE STAKES SET BY OTHERS UNTIL DIRECTED OTHERWISE.

PROTECT ALL EXISTING PLANT LIFE NOT SCHEDLED FOR REMOVAL. IF ANY PLANT MATERIAL THAT IS TO REMAIN IS DAMAGED, THE CONTRACTOR, AT HIS EXPENSE, WILL PAY FOR A REPLACEMENT PLANT OF THE SAME SIZE AND SPECIES (TO BE APPROVED BY OWNER'S REPRESENTATIVE).

PROTECT EXISTING UTILITIES, PAVING AND OTHER FACILITIES FROM DAMAGE DURING LANDSCAPING OPERATION.

COORDINATE WITH OTHER CONTRACTORS.

1.11 - WARRANTY

SUBMIT WARRANTY TO OWNER'S REPRESENTATIVE.

TREES, PALM TREES, SAGUAROS AND OCOTILLOS: WARRANT THAT TREES, PALM TREES, SAGUAROS AND OCOTILLOS WILL BE ALIVE AND IN GOOD HEALTH FOR A PERIOD OF 1 YEAR AFTER ACCEPTANCE EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS.

OWNER MUST FOLLOW CONTRACTOR'S MAINTENANCE SCHEDULE AND PROVIDE CURRENT MAINTENANCE LOG TO OWNER'S REPRESENTATIVE.

REMOVE AND REPLACE DEAD, UNHEALTHY OR GIRDLED TREES, PALM TREES, SAGUAROS AND OCOTILLOS THAT LOSE ORIGINAL FORM AND SIZE DURING WARRANTY PERIOD WITH MATERIAL EQUAL TO THAT SPECIFIED. REPLACE ANY MATERIAL WHICH DOES NOT MEET REQUIREMENTS WITHIN FIFTEEN DAYS OF NOTIFICATION. ALL REPLACEMENT TREES, PALM TREES, SAGUAROS AND OCOTILLOS SHALL BE SUBJECT TO AN ADDITIONAL ONE-YEAR MAINTENANCE PERIOD.

SHRUBS AND OTHER PLANTINGS:

GUARANTEE ALL OTHER PLANTING WILL BE ALIVE AND IN SATISFACTORY CONDITION FOR A PERIOD OF 90 DAYS FROM DATE OF ACCEPTANCE OR WILL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, STURDY CONDITION DURING THE WARRANTY PERIOD BY THE CONTRACTOR.

ALL REPLACEMENT PLANTS, INCLUDING SHRUBS, CACTI, GROUNDCOVERS, VINES AND PERENNIALS SHALL BE SUBJECT TO AN ADDITIONAL 90-DAY MAINTENANCE PERIOD.

PART 2 - PRODUCTS AND MATERIALS

2.01 - FILL MATERIALS

PROVIDE DRY, LOOSE MATERIAL FOR FILL, BACKFILL, PLANTING BACKFILL AND TOPSOIL FOR PLANTER BEDS. FROZEN OR MUDDY SOILS ARE NOT ACCEPTABLE. SALTS NOT TO EXCEED 1500 PPM, AND MATERIAL SHALL BE FREE OF DERIS, NOXIOUS WEEDS, INGREDIENTS OR OBJECTS DETERIMENTAL TO HEALTHY PLANT GROWTH. TOPSOIL: SCREENED, FERTILE, FRIMABLE, FROM WELL DRAINED ARABLE LAND, FREE OF NUT GRASS, REFUSE, ROOTS, HEAVY CLAY, NOXIOUS WEEDS OR ANY MATERIAL TOXIC TO PLANT GROWTH; CONTENTS AS FOLLOWS:

a. SILT: 20-45 %

b. CLAY: 15-20 %

c. SAND: 30-60 %

d. ORGANIC MATERIAL (NATURAL OR OTHERWISE): 2 % MINIMUM

e. PH: 7.0-8.3

f. SOLUBLE SALTS: 1,500 PPM.

g. NUTRIENTS: ENOUGH TO BRING LEVELS UP TO ACCEPTABLE PLANT GROWTH.

PERCOLATION RATE SHALL BE BETWEEN 3 TO 4 INCHES PER HOUR.

EXISTING TOP SOIL MAY BE USED PROVIDED IT MEETS THESE REQUIREMENTS.

2.02 - COMMERCIAL GRADE FERTILIZERS

AGRI-SUL, DISPER-SUL - USE ONLY FOR SULFUR

AGRICULTURE GRADE GYPSUM

2.03 - SOIL AMENDMENTS

WOOD SHAVINGS: NITROGEN STABILIZED FIR OR PINE SHAVINGS CONTAINING 0.75% TOTAL NITROGEN AND 1.1 TO 1.5% TOTAL IRON, AND UNDER 60 PPM TOTAL MANGANESE. COMPOSTED, LEACHED AND AGED FOR A MINIMUM OF 10 TO 12 MONTHS; PH FACTOR: 4.0 TO 4.5. NO SOIL AMENDMENTS ARE REQUIRED FOR SALVAGED PLANT MATERIAL AND CACTI UNLESS OTHERWISE SPECIFIED.

2.04 - TREE SUPPORTS

TREE STAKES: COPPER NAPHTHENATE IMPREGNATED LODGE POLE 10 FEET IN LENGTH FOR 5 GALLON AND 15 GALLON, AND 12 FEET IN LENGTH FOR 24-INCH BOX AND LARGER. NO TREE STAKES ARE REQUIRED FOR SALVAGED PLANT MATERIAL.

TREE TIES: PROVIDE A MINIMUM OF TWO PER TREE; NO. 10 GAUGE, PLIABLE, ZINC COATED IRON WIRE. COVER WIRE WITH HOSE, COVER AS SPECIFIED, WHERE IT CONTACTS TREE.

HOSE COVERING: 1/2-INCH MINIMUM DIAMETER; 2-PLY REINFORCED RUBBER, NEW GARDEN HOSE.

TREE GUARDS: 'ARBORGARD' BY DEEP ROOT, OR EQUAL.

TREE GUYS: MINIMUM 3 PER TREE; NO. 10 GALVANIZED WIRE. COVER WIRE WITH HOSE WHERE IT CONTACTS TREE FOR 24, 30 AND 36 BOX TREES.

ANCHORS (DEADMAN): 2-INCH X 4-INCH X 3 FEET LONG; CONSTRUCTION GRADE REDWOOD.

IGNALS (FLAGS): FOR GUY WIRES, 1/2-INCH DIAMETER, WHITE OR ORANGE PLASTIC TUBING 5 FEET LONG OVER EACH GUY USED.

2.05 - HERBICIDES

PRE-EMERGENT AND CONTACT HERBICIDES: PRE-EMERGENT HERBICIDE SHALL BE SURFLAN AS MANUFACTURED BY DOW/ELANCO CHEMICAL COMPANY. CONTACT HERBICIDE SHALL BE ROUND-UP AS MANUFACTURED BY MONSANTO.

2.06 - PLANTING MATERIAL

-PLANT MATERIAL: HEALTHY, SHAPELY AND WELL ROOTED. ROOTS SHALL SHOW NO EVIDENCE OF HAVING BEEN RESTRICTED OR DEFORMED AT ANY TIME. ALL PLANTS SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND VARIETY. THEY SHALL HAVE NORMALLY DEVELOPED BRANCH SYSTEMS. PLANTS SHALL BE FREE FROM DISFIGURING KNOTS, SUN SCALD INJURIES AND ABRASIONS ON BARK. PLANTS NOT MEETING THESE REQUIREMENTS SHALL BE CONSIDERED DEFECTIVE AND SHALL BE REPLACED IMMEDIATELY. ALL PLANTS SHALL BE TRUE TO NAME AND SHALL BE TAGGED. ONE OF EACH VARIETY. ALL PLANT MATERIAL SHALL BE GROWN IN NURSERIES INSPECTED BY THE STATE DEPARTMENT OF AGRICULTURE UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.

- PROVIDE 'SPECIMEN' PLANTS WITH A SPECIAL HEIGHT, SHAPE OR CHARACTER. TAG AT THE SOURCE OF SUPPLY PRIOR TO NOTIFYING LANDSCAPE ARCHITECT FOR INSPECTION. THE LANDSCAPE ARCHITECT SHALL SELECT SPECIMENS AT SOURCE OF SUPPLY FOR SUITABILITY AND ADAPTABILITY TO SELECTED LOCATION. WHEN SPECIMEN PLANTS CANNOT BE PURCHASED LOCALLY, PROVIDE SUFFICIENT PHOTOGRAPHS OF PROPOSED MATERIAL FOR APPROVAL.

- PLANTS MAY BE INSPECTED AND APPROVED AT PLACE OF GROWTH FOR COMPLIANCE WITH SPECIFICATION REQUIREMENTS FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION UPON DELIVERY AT THE SITE OR DURING THE PROGRESS OF THE WORK.

2.07 - TURF SOD

AS NOTED ON PLANS.

2.08 - DECOMPOSED GRANITE / MULCH

DECOMPOSED GRANITE COVERAGE SHALL BE A MINIMUM 2-INCH THICKNESS UNLESS NOTED OTHERWISE ON PLANS. DECOMPOSED GRANITE SHALL BE THE SIZE AND COLOR AS SPECIFIED ON PLANS, AND SHALL BE TAKEN FROM A SINGLE QUARRY.

MULCH MUST BE 3-INCHES DEEP, UNLESS OTHERWISE NOTED. IN ALL PLANTING AREAS, KEEP THE MULCH AWAY FROM DIRECT CONTACT OF STEMS FROM PLANTS AND TREES TO PREVENT ROT AND PESTS. MULCH SHALL BE THE SIZE AND COLOR AS SPECIFIED ON PLANS, AND SHALL BE ORDERED FROM A SINGLE SOURCE.

2.09 - BOULDERS

BOULDERS ARE TO BE SURFACE SELECT OR AS NOTED ON THE PLANS. BOULDER SIZE AS NOTED ON THE PLANS AND APPROVED BY THE OWNER'S REPRESENTATIVE. BOULDERS ARE TO BE HARVESTED, DELIVERED AND PLACED IN A MANNER TO AVOID MARKING, SCRAPPING OR DAMAGING THE NATURAL CONDITION OF THE BOULDER. ALL SCARRED BOULDERS ARE TO BE TREATED WITH PERMEON (OR EQUAL) TO PROVIDE A NATURAL APPEARANCE OF THE DESERT VARNISH. CONTRACTOR TO PROVIDE SAMPLES OF FINAL PRODUCT CONDITION FOR APPROVAL.

2.09 - SEED MIXTURE

AS NOTED ON PLANS. CONTRACTOR TO VERIFY PROVIDERS SPECIFICATION TO ACHIEVE INTENDED APPEARANCE.

PART 3 - EXECUTION

3.01 - GENERAL

INSTALL IN ACCORDANCE WITH THE METHODS, TECHNIQUES AND SPECIFICATIONS OF EACH REPRESENTATIVE MANUFACTURER. IF A CONFLICT OCCURS BETWEEN MANUFACTURERS AND THESE SPECIFICATIONS, CONSULT WITH OWNER'S REPRESENTATIVE FOR A DECISION.

DO NOT BEGIN PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETELY INSTALLED, IS ADJUSTED FOR FULL COVERAGE AND IS COMPLETELY OPERATIONAL.

3.02 - BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

INSPECT THE INTEGRITY OF ALL DAMP-PROOFING AND WATER-PROOFING MEMBRANES WHICH OCCUR OVER, ON OR AGAINST ANY CONSTRUCTION TO BE FULLY OR PARTIALLY CONCEALED BY EARTHWORK PRIOR TO THE PLACEMENT OF ANY IMPORTED SOIL, BACKFILL, GRAVEL FILL OR SUB-BASE.

CORRECT DEFECTS PRIOR TO PROCEEDING WITH THE WORK.

3.03 - TOPSOIL

IMPORT ADDITIONAL TOPSOIL ONLY AS REQUIRED TO BRING PLANTING AREAS UP TO FINISH GRADE. SPREAD AND CULTIVATE SOIL SO THAT NO SETTLING TAKES PLACE AT ANY TIME.

3.04 - LANDSCAPE FINE GRADING

ALLOW FOR THE ADDITION OF SOIL AMENDMENTS, CONDITIONERS AND ANY SPECIFIED TOP DRESSING WHEN DETERMINING AND EXECUTING FINISH GRADE.

3.13 - CLEAN UP

KEEP ALL AREAS CLEAN AND ORDERLY DURING AND AFTER EXECUTION OF WORK. BURNING OF TRASH IS NOT PERMITTED.

3.14 - ADJUSTMENT
PRUNE EACH TREE AND SHRUB TO PRESERVE THE NATURAL CHARACTER OF THE PLANT PER AMERICAN STANDARDS FOR NURSERY STOCK, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PRUNE ONLY AS DIRECTED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO REMOVE DEADWOOD, SUCKERS, OR BROKEN OR BADLY BRUISED BRANCHES. REPLACE ALL PL

IRRIGATION SPECIFICATIONS:

PART 1 - GENERAL

1.01 - WORK INCLUDED:

- WORK OF THIS SECTION GENERALLY INCLUDES A PROVISION OF AN UNDERGROUND IRRIGATION SYSTEM INCLUDING THE FOLLOWING:
1. TRANCHING, STOCKPILING EXCAVATION MATERIALS, AND REFILLING TRENCHES.
 2. COMPLETE SYSTEMS INCLUDING BUT NOT LIMITED TO PIPING, PUMP STATION, ASSEMBLIES, VALVES, FITTINGS, HEADS, CONTROLLER PAGING, AND FINAL ADJUSTMENTS TO ENSURE EFFICIENT COVERAGE AS DETERMINED BY ARCHITECT.
 3. WATER CONNECTIONS.
 4. REPLACEMENTS OF UNSATISFACTORY MATERIALS.
 5. CLEAN-UP, INSPECTION, AND APPROVAL.
 6. TESTS.

1.02 - REFERENCES:

PERFORM WORK IN ACCORDANCE WITH REQUIREMENT OF CONDITIONS OF THE CONTRACT AND DIVISION 01 - GENERAL REQUIREMENTS AS WELL AS PROVISIONS OF ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES AND REGULATIONS. CONFORM TO REQUIREMENTS OF REFERENCE INFORMATION LISTED BELOW, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED IN CONTRACT DOCUMENTS.

1. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) - SPECIFICATIONS AND TEST METHODS SPECIFICALLY REFERENCED IN THIS SECTION.
2. UNDERWRITERS LABORATORIES (UL) - UL WIRING AND CABLES.

1.03 - QUALITY ASSURANCE

INSTALLER QUALIFICATION - INSTALLER SHALL HAVE HAD CONSIDERABLE EXPERIENCE AND DEMONSTRATED ABILITY IN THE INSTALLATION OF IRRIGATION SYSTEM(S) OF SPECIFIED TYPE(S) IN A NEAT, ORDERLY, AND RESPONSIBLE MANNER IN ACCORDANCE WITH RECOGNIZED STANDARDS OF WORKMANSHIP TO DEMONSTRATE ABILITY, EXPERIENCE, AND FINANCIAL STABILITY NECESSARY FOR THIS PROJECT, SUBMIT IF REQUESTED BY CONSULTANT, PRIOR TO CONTRACT AWARD THE FOLLOWING:

1. LIST OF 3 PROJECTS COMPLETED IN THE LAST 2 YEARS OF SIMILAR COMPLEXITY TO THIS PROJECT. DESCRIPTION OF PROJECTS SHALL INCLUDE:
 - NAME OF PROJECT.
 - LOCATION.
 - OWNER.
 - BRIEF DESCRIPTION OF WORK AND PROJECT BUDGET.
2. CURRENT COMPANY FINANCIAL STATEMENT.

SPECIAL REQUIREMENTS:

- TOLERANCES - SPECIFIED DEPTHS OF PRESSURE SUPPLY LINES AND LATERALS AND PITCH OF PIPES ARE MINIMUMS. SETTLEMENT OF TRENCHES IS CAUSE FOR REMOVAL OF FINISH GRADE TREATMENT, REFILLING, RECOMPACTATION, AND REPAIR OF FINISHED GRADE TREATMENT.
- COORDINATION WITH OTHER CONTRACTS - PROTECT, MAINTAIN, AND COORDINATE WORK WITH TASKS UNDER OTHER SECTIONS.
- DAMAGE TO OTHER IMPROVEMENTS - CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO GRADING, SOIL PREPARATION, SEEDING, SODDING, OR PLANTING DONE UNDER SECTIONS DURING WORK ASSOCIATED WITH INSTALLATION OF IRRIGATION SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- WORK INVOLVING SUBSTANTIAL PLUMBING FOR INSTALLATION OF BACKFLOW PREVENTERS, COPPER SERVICE, AND RELATED WORK SHALL BE EXECUTED BY LICENSED AND BONDED PLUMBER(S) PERFORMED IN ACCORDANCE WITH ALL PREVAILING CODES AND REGULATIONS.
- WORK INVOLVING CONNECTION TO, INSTALLATION, OR EXTENSION OF 120 VOLT OR GREATER ELECTRICAL SERVICE SHALL BE EXECUTED BY A LICENSED AND BONDED ELECTRICIAN, PERFORMED IN ACCORDANCE WITH ALL PREVAILING CODES AND REGULATIONS.

1.04 - SUBMITTALS

PREPARE AND MAKE SUBMITTALS IN ACCORDANCE WITH CONDITIONS OF THE CONTRACT PRIOR TO INSTALLATION.

STAKING, CONSTRUCTION RECORD DRAWINGS, AND PROGRAMMING:

1. IRRIGATION CONSULTANT SHALL STAKE THE LOCATIONS OF ALL SPRINKLERS 25-FEET IN RADIUS OR GREATER WITH THE ASSISTANCE OF THE CONTRACTOR. IRRIGATION CONSULTANT SHALL USE GPS COLLECTION METHOD TO RECORD THE ROTARY SPRINKLERS, MAINLINE ROUTING, ELECTRIC AND GATE VALVES, AND CONTROLLERS; AND PROVIDE PLAN COPY TO CONTRACTOR. CONTRACTOR SHALL DRAW LATERAL PIPING, CONTROLLER STATION NUMBERS, AND ALL OTHER RECORD INFORMATION ON THE FIELD RECORD, AT THE END OF EVERY DAY, REVISE FIELD RECORD FOR ALL WORK ACCOMPLISHED THAT DAY IN RED INK. THE FIELD RECORD PLANS(S) SHALL BE AVAILABLE AT THE PROJECT SITE FOR REVIEW. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL SUBMIT FIELD RECORD PLAN FOR REVIEW, PRIOR TO FINAL ACCEPTANCE.

RECORD PLANS SHALL BE TO SAME SCALE AND IN THE SAME FORMAT AS DESIGNED PLANS.

2. FOLLOWING APPROVAL OF FIELD RECORD PLAN BY THE ARCHITECT AND CONSULTANT, THE CONTRACTOR SHALL SUBMIT THE FIELD RECORD PLAN WITH ALL CHANGES, ADDITIONS, AND MODIFICATIONS PERFORMED DURING THE PROJECT INSTALLATION TO CONSULTANT/IRRIGATION CONTRACTOR. CONSULTANT/IRRIGATION CONTRACTOR SHALL CREATE A DIGITAL CONSTRUCTION RECORD FROM THE INFORMATION PROVIDED BY THE CONTRACTOR. THE DIGITAL CONSTRUCTION RECORD FILE SHALL BE GENERATED AS FOLLOWS:

a. PDF: CONTRACTOR SHALL CONTRACT WITH CONSULTANT/IRRIGATION CONTRACTOR TO COMBINE ALL FIELD RECORD INFORMATION AND GPS DATA FOR LOCATIONS OF WATER SOURCE(S), MAINLINE ROUTING, VALVES, CONTROLLERS, AND BASIC FEATURES TO CORRESPOND WITH THE SITE PLAN. THIS DIGITAL FILE SHALL BE PLACED INTO SHEET FORM AS REQUIRED, AND PORTABLE DOCUMENT FORMAT (PDF) FILES CREATED AS THE CONSTRUCTION RECORD. CONTRACTOR SHALL CONTACT CONSULTANT/IRRIGATION CONTRACTOR PRIOR TO BID FOR FEES FOR GPS DATA COLLECTION AND CREATION OF DIGITAL CONSTRUCTION RECORD.

3. IRRIGATION CONSULTANT WILL NOT PAY ANY REQUEST SUBMITTED BY THE CONTRACTOR IF THE FIELD RECORD DRAWINGS ARE NOT CURRENT, AND PROCESSING OF PAY REQUEST WILL NOT OCCUR UNTIL FIELD RECORDS ARE UPDATED.

4. IRRIGATION CONSULTANT SHALL COLLECT THE FIELD CONTROLLER DATA FOR PROGRAMMING PURPOSES; IF CONTRACTOR IS UNABLE TO COLLECT DATA OR IF THE PROCESS DELAYS PROJECT COMPLETION, CONTRACTOR SHALL CONTACT IRRIGATION CONSULTANT FOR FEES FOR DATA COLLECTION.

5. PRIOR TO SCHEDULING WALK-THROUGH FOR SUBSTANTIAL COMPLETION, CONTRACTOR IS TO SUBMIT ALL FIELD RECORD INFORMATION TO THE CONSULTANT FOR APPROVAL.

6. CONTRACTOR SHALL ALSO PROVIDE BOTH A HARD COPY AND ELECTRONIC FORM VERSION OF THE CONTROLLER DATA SHEETS TO THE CONSULTANT. HARD COPY AND ELECTRONIC FORMS SHALL BE PROVIDED TO THE CONTRACTOR BY THE IRRIGATION CONSULTANT.

CONTROLLER CHARTS - DO NOT PREPARE CONTROLLER CHARTS UNTIL CONSTRUCTION RECORD (AS-BUILT) DRAWINGS HAVE BEEN APPROVED BY THE CONSULTANT.

1. PROVIDE CONTROLLER CHART, AUTOMATIC CONTROLLER.
2. CONTROLLER DRAWING MAY BE SAME SIZE REPRODUCTION OF THE RECORD DRAWING, IF SCALE PERMITS FITTING THEM INSIDE THE CONTROLLER DOOR WITHOUT FOLDING DRAWING. IF PHOTO REDUCTION PRINTS ARE REQUIRED, KEEP REPRODUCTION TO MAXIMUM SIZE POSSIBLE TO RETAIN FULL LEGIBILITY. CHART MAY ALSO BE CONTROLLER DATA SHEET AS FOR CENTRAL-SATELLITE SYSTEMS, IF APPROVED BY CONSULTANT.

3. CONTROLLER CHART SHALL BE BOND PRINT OF ACTUAL AS-BUILT SYSTEM, SHOWING AREA COVERED BY THAT CONTROLLER; OR CONTROLLER DATA SHEET SHOWING INFORMATION ON EACH STATION, AND WITH COMPLETE DESCRIPTION OF EACH STATION'S LOCATION.

4. IDENTIFY AREA OF COVERAGE OF EACH RETROFIT CONTROL VALVE, USING A DISTINCTLY DIFFERENT PASTEL COLOR FOR EACH ZONE, HIGHLIGHT HEADS, LATERAL PIPING, AND CONTROL VALVES.

5. FOLLOWING REVIEW OF CONTROLLER DRAWINGS BY CONSULTANT, HERMETICALLY SEAL EACH CHART BETWEEN TWO LAYERS OF 20 MM THICK CLEAR PLASTIC.

6. CONTROLLER CHART SHALL BE COMPLETED AND APPROVED BY CONSULTANT PRIOR TO FINAL COMPLETION WALK-THROUGH OF IRRIGATION SYSTEM.

7. ATTACH APPROVED CONTROLLER CHART TO INSIDE OF EACH CONTROLLER DOOR USING SELF-ADHESIVE VELCRO STRIPS.

CONTROL SYSTEM PROCEDURES:

1. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL SPECIFIED CONTROL EQUIPMENT TO RESULT IN A COMPLETE AND WORKING SYSTEM, WHETHER OR NOT ALL APPURTENANCES ARE SHOWN ON PLANS. SYSTEM SHALL INCLUDE CONTROLLERS; ALL GROUNDING AND SURGE PROTECTION; AND ELECTRICAL CONTROL WIRING.
2. FOLLOWING INSTALLATION OF EACH CONTROLLER, CONTRACTOR SHALL RECORD ALL STATION DATA ON A "DATA SHEET" PROVIDED BY THE CONSULTANT. THIS DATA SHALL INCLUDE THE TYPE AND QUANTITY OF IRRIGATION DEVICES ON EACH STATION, NOZLE TYPE, ARC AREA OF CONTROL (TURF, TREES, SHRUBS, ETC.), VALVE SIZE, GPM, LOCATION, ETC. AS SHOWN ON THE DATA SHEET.
3. PRIOR TO FINAL WALK-THROUGH FOR EACH AREA OF THE PROJECT, CONTRACTOR SHALL CONFIRM THAT THE FOLLOWING HAS BEEN ACCOMPLISHED:
 - CONSTRUCTION RECORD DRAWINGS PER 1.04.1.
 - DATA SHEETS FOR CONTROLLER.
4. IRRIGATION CONSULTANT SHALL PROVIDE THE FOLLOWING PROGRAMMING SERVICES: STATION DATA, HYDRAULIC TREE, AND PROGRAMS AND SCHEDULES IN THE IRRIGATION COMPUTER. CONSULTANT SHALL NOT PROVIDE A VISUAL, INTERACTIVE MAP CONTRACTOR SHALL CONTACT CONSULTANT FOR FEES FOR PROGRAMMING SERVICES PRIOR TO BID.

1.08 - MAINTENANCE

FURNISH THE FOLLOWING MAINTENANCE ITEMS TO OWNER PRIOR TO FINAL ACCEPTANCE:

1. 2 SETS OF SPECIAL TOOLS REQUIRED FOR MOVING, DISASSEMBLING, AND ADJUSTING EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED ON THIS PROJECT.
2. 2 KEYS FOR EACH AUTOMATIC CONTROLLER.
3. 3 QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS.

1.09 - EXTRA STOCK

IN ADDITION TO INSTALLED SYSTEM FURNISH THE FOLLOWING ITEMS TO OWNER:

1. 4 PER 100 INSTALLED DRIP EMITTERS OF EACH TYPE USED.
2. 2 POP-UP HEADS OF EACH TYPE USED.

PART 2 - PRODUCTS

2.01 - MATERIALS

GENERAL PIPING:

NOTE: ALL PIPING FOR RECLAIMED WATER SYSTEMS SHALL BE PURPLE COLORED, OR WRAPPED WITH RECLAIMED "SOCK" OR RECLAIMED MARKING TAPE, AND MAIN LINES SHALL HAVE DETECTABLE RECLAIMED MARKING TAPE IN TRENCH 12" ABOVE TOP OF PIPE.

2.02 - PREPARATION

STAKING SHALL OCCUR AS FOLLOWS:

1. FOR ALL PROJECTS WITH ROTARY SPRINKLERS SPACED AT TWENTY-FIVE FEET (25') OR GREATER, THE IRRIGATION CONSULTANT SHALL LAY OUT THE SPRINKLERS USING WIRE FLAGS WITH ASSISTANCE FROM CONTRACTOR. CONTRACTOR SHALL CONTACT CONSULTANT PRIOR TO BID FOR CONSULTANT'S STAKING FEES. FOR ALL PROJECTS OR AREA SEGMENTS WITH SMALLER SPRINKLERS, CONTRACTOR SHALL LAY OUT SPRINKLERS AND CONTACT CONSULTANT FOR REVIEW.
2. MARK WITH POWDERED LIME OR MARKING PAINT ROUTING OF PRESSURE SUPPLY LINES, AND FLAG HEADS AND CONTROL VALVE LOCATIONS FOR FIRST SERIES OF ZONES AS DIRECTED BY CONSULTANT. CONTACT CONSULTANT A MINIMUM OF 48 HOURS IN ADVANCE AND REQUEST A REVIEW OF STAKING. CONSULTANT WILL REVIEW STAKING AND DIRECT CHANGES IF REQUIRED. STAKING REVIEW DOES NOT RELIEVE INSTALLER FROM COVERAGE PROBLEMS DUE TO IMPROPER PLACEMENT OF HEADS AFTER STAKING.

PLASTIC PIPE AND FITTINGS:

1. IDENTIFICATION MARKINGS:

1. MANUFACTURER'S NAME.
2. NOMINAL PIPE SIZE.
3. SCHEDULE OR CLASS.
4. PRESSURE RATING.
5. NSF (NATIONAL SANITATION FOUNDATION) SEAL OF APPROVAL.
6. DATE OF EXTRUSION.

b. ALL FITTINGS INCLUDING VALVE TAPS FOR RUBBER-RING PIPE SHALL BE CAST OR DUCTILE IRON. RUBBER-RING JOINT FOR PVC, DUCTILE IRON FITTINGS SHALL HAVE THE FOLLOWING CHARACTERISTICS:

1. ALL DUCTILE IRON FITTINGS AND JOINT RESTRAINTS SHALL HAVE A FUSION BONDED EPOXY COATING ON INTERIOR AND EXTERIOR OF THE PRODUCT SURFACE. AVERAGE OF 10-12MM THICKNESS. EPOXY COATING SHALL CONFORM TO THE REQUIREMENTS OF CSA Z245.20-20 AND NSF 61 FOR WATER SERVICES. TARTARICUMINOUS COATING WILL NOT BE APPROVED.
2. ALL DUCTILE IRON PIPE FITTING, JOINT RESTRAINTS, LATERAL ISOLATION VALVES, AND MAINLINE ISOLATION GATE VALVES SHALL BE OF THE SAME MANUFACTURE WHICH OFFERS A 10-YEAR WARRANTY ON PRODUCTS AND REPLACEMENT LABOR COSTS. PRIOR TO INSTALLATION, MANUFACTURER SHALL PROVIDE DOCUMENTATION STATING THE ABOVE WARRANTY INFORMATION.

2. SOLVENT WELD PIPE - MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE (PVC) COMPOUND IN ACCORDANCE WITH ASTM D2241 AND ASTM D1784; CELL CLASSIFICATION 12245-B, TYPE I, GRADE 1.

3. FITTINGS - STANDARDS WEIGHT, SCHEDULE 40, INJECTION MOLDED PVC; COMPLYING WITH ASTM D1784 AND D2466, CELL CLASSIFICATION 1245A-B.
 1. THREADS - INJECTION MOLDED TYPE (WHERE REQUIRED).
 2. TEES AND ELLS - SIDE GATED.
4. THREADED NIPPLES - ASTM D2464, SCHEDULE 80 WITH MOLDED THREADS.
5. JOINT CEMENT AND PRIMER - TYPE AS RECOMMENDED BY MANUFACTURER OF PIPE AND FITTINGS.

LOW PRESSURE / VOLUME SYSTEMS

1. EMMITTERS AS INDICATED ON DRAWINGS.
2. DRIP PIPING - MANUFACTURED OF POLYVINYL CHLORIDE COMPOUND CONFORMING TO ASTM D2241 AND ASTM D1784 TYPE I, GRADE 1.
3. FITTINGS - SCHEDULE 40 PVC, OR AS RECOMMENDED BY PIPING MANUFACTURER.
4. DRIP VALVE ASSEMBLY - TYPE AND SIZE SHOWN ON DRAWINGS.
5. WYE STRAINER - PLASTIC/FIBERGLASS CONSTRUCTION WITH 150 MESH NYLON SCREEN AND BLOW OUT ASSEMBLY.

b. CONTROL VALVE - 2-WAY, SOLENOID PILOT OPERATED TYPE MADE OF SYNTHETIC, NON-CORROSIve MATERIAL; DIAPHRAGM-ACTIVATED AND SLOW CLOSING.

c. PRESSURE REGULATOR - PLASTIC/FIBERGLASS CONSTRUCTION, PRESET TYPE WITH PRESSURE SETTING PER DRAWINGS.

COPPER PIPE AND FITTINGS:

1. COPPER PIPE - TYPE K HARD TEMPERED.
2. FITTINGS - WROUGHT COPPER, SOLDER JOINT TYPE.
3. JOINTS - SOLDERED WITH SOLDER, 45% SILVER, 15% COPPER, 16% ZINC, AND 24% CADMIUM AND SILADS AT 1125°F AND LIQUIDS AT 1145°F.

BRASS PIPE AND FITTINGS:

1. BRASS PIPE - 85% RED BRASS, MSI SCHEDULE 40 SCREWED PIPE.
 2. FITTINGS - MEDIUM BRASS, SCREWED 125 POUND CLASS.
- QUICK COUPLING VALVES - BRASS TWO-PIECE BODY DESIGNED FOR WORKING PRESSURE OF 150 PSI, OPERABLE WITH QUICK COUPLER. EQUIP QUICK COUPLER WITH LOCKING RUBBER COVER (PURPLE FOR RECLAIMED WATER IF SPECIFIED).

VALVE BOXES:

NOTE: ALL BOX COVERS FOR RECLAIMED WATER SYSTEMS SHALL BE PURPLE COLORED, AND MARKED FOR RECLAIMED. OTHERWISE, VALVE BOX COLOR TO BE SELECTED BASED UPON A REVIEW OF THE LOCATION AND ADJACENT MATERIAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

1. DRIP LINE BLOW-OUT STUBS AND WIRE STUB BOX - CARSON #910-12
2. 1-INCH TWO-CHANNEL CONTROL VALVES - CARSON #1419-138.
3. DRIP VALVE ASSEMBLIES - CARSON #1419-138.
4. CONTROL WIRING SPICES - CARSON #910-12.
5. MAIN LINE GATE VALVES - CARSON #910-12.
6. AIR-RELIEF VALVES - CARSON #1419-138.
7. MANUAL DRAIN VALVES - CARSON #1419-138.
8. PRESSURE REDUCING VALVES - AS SHOWN ON DETAIL.

PROTECTION AND REPAIR OF UNDERGROUND LINES:

1. REQUEST PROPER UTILITY COMPANY TO STAKE EXACT LOCATION (INCLUDING DEPTH) OF ALL UNDERGROUND UTILITIES, TAKE WHATEVER PRECAUTIONS NECESSARY TO PROTECT THESE UNDERGROUND LINES FROM DAMAGE. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGES SHALL BE REPAIRED BY CONTRACTOR UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE.
- REPLACEMENT OF PAVING AND CURBS - WHERE TRENCHES AND LINES CROSS EXISTING ROADWAYS, PATHS, CURBING, ETC., DAMAGE TO THESE SHALL BE KEPT TO A MINIMUM AND SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTROLLER CHARTS - DO NOT PREPARE CONTROLLER CHARTS UNTIL CONSTRUCTION RECORD (AS-BUILT) DRAWINGS HAVE BEEN APPROVED BY THE CONSULTANT.
- CONTROLLER DRAWING MAY BE SAME SIZE REPRODUCTION OF THE RECORD DRAWING, IF SCALE PERMITS FITTING THEM INSIDE THE CONTROLLER DOOR WITHOUT FOLDING DRAWING. IF PHOTO REDUCTION PRINTS ARE REQUIRED, KEEP REPRODUCTION TO MAXIMUM SIZE POSSIBLE TO RETAIN FULL LEGIBILITY. CHART MAY ALSO BE CONTROLLER DATA SHEET AS FOR CENTRAL-SATELLITE SYSTEMS, IF APPROVED BY CONSULTANT.
- CONTROLLER CHART SHALL BE BOND PRINT OF ACTUAL AS-BUILT SYSTEM, SHOWING AREA COVERED BY THAT CONTROLLER; OR CONTROLLER DATA SHEET SHOWING INFORMATION ON EACH STATION, AND WITH COMPLETE DESCRIPTION OF EACH STATION'S LOCATION.
- IDENTIFY AREA OF COVERAGE OF EACH RETROFIT CONTROL VALVE, USING A DISTINCTLY DIFFERENT PASTEL COLOR FOR EACH ZONE, HIGHLIGHT HEADS, LATERAL PIPING, AND CONTROL VALVES.
- FOLLOWING REVIEW OF CONTROLLER DRAWINGS BY CONSULTANT, HERMETICALLY SEAL EACH CHART BETWEEN TWO LAYERS OF 20 MM THICK CLEAR PLASTIC.
- CONTROLLER CHART SHALL BE COMPLETED AND APPROVED BY CONSULTANT PRIOR TO FINAL COMPLETION WALK-THROUGH OF IRRIGATION SYSTEM.
- ATTACH APPROVED CONTROLLER CHART TO INSIDE OF EACH CONTROLLER DOOR USING SELF-ADHESIVE VELCRO STRIPS.

1.07 - WARRANTY/GUARANTEE

CONTRACTOR SHALL WARRANT MATERIALS AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL GUARANTEE WORKMANSHIP FOR SIMILAR PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MATERIAL WARRANTY ITEMS WITH THE MANUFACTURER/DISTRIBUTOR.

SETTLING OF BACKFILLED TRENCHES WHICH MAY OCCUR DURING WARRANTY PERIOD SHALL BE REPAIRED BY CONTRACTOR AT NO EXPENSE TO THE OWNER, INCLUDING COMPLETE RESTORATION OF DAMAGED PROPERTY.

EXPENSES DUE TO VANDALISM BEFORE SUBSTANTIAL COMPLETION SHALL BE BORNE BY CONTRACTOR.

OWNER OR REPRESENTATIVE MAINTENANCE COMPANY WILL MAINTAIN TURF AND PLANTING AREAS DURING WARRANTY PERIOD, SO AS NOT TO HAMPER PROPER OPERATION OF THE IRRIGATION SYSTEM.

CONTROLLER CHARTS - DO NOT PREPARE CONTROLLER CHARTS UNTIL CONSTRUCTION RECORD (AS-BUILT) DRAWINGS HAVE BEEN APPROVED BY THE CONSULTANT.

1.08 - MAINTENANCE

FURNISH THE FOLLOWING MAINTENANCE ITEMS TO OWNER PRIOR TO FINAL ACCEPTANCE:

PLANS.

1. PIPE BEDDING MATERIAL - CONSTRUCTION GRADE SAND APPROVED BY CONSULTANT.
2. AUTOMATIC CONTROLLER - AS SHOWN ON DRAWINGS.
3. MANUAL DRAIN VALVE - AS SHOWN ON DRAWINGS.
4. AIR-RELIEF VALVE - AS SHOWN ON DRAWINGS.
5. PRESSURE REDUCING VALVE - AS SHOWN ON DRAWINGS.

PART 3 - EXECUTION

3.01 INSPECTION

EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION IS TO BE PERFORMED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPAKTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHTS-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTER OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSH TOWNSHIP APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL RELATED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINFOVER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10' U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPAKTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHTS-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTER OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSH TOWNSHIP APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL RELATED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINFOVER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

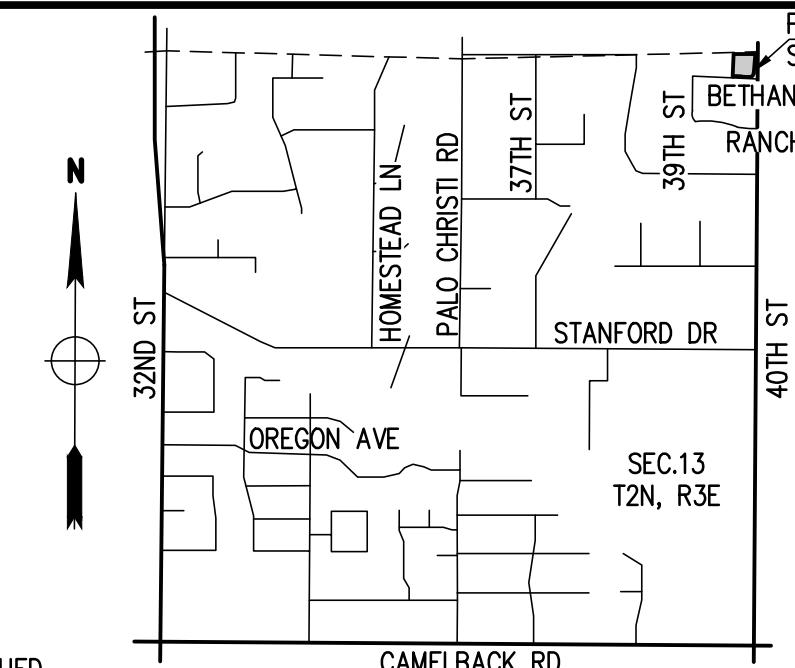
PRELIMINARY GRADING & DRAINAGE PLAN

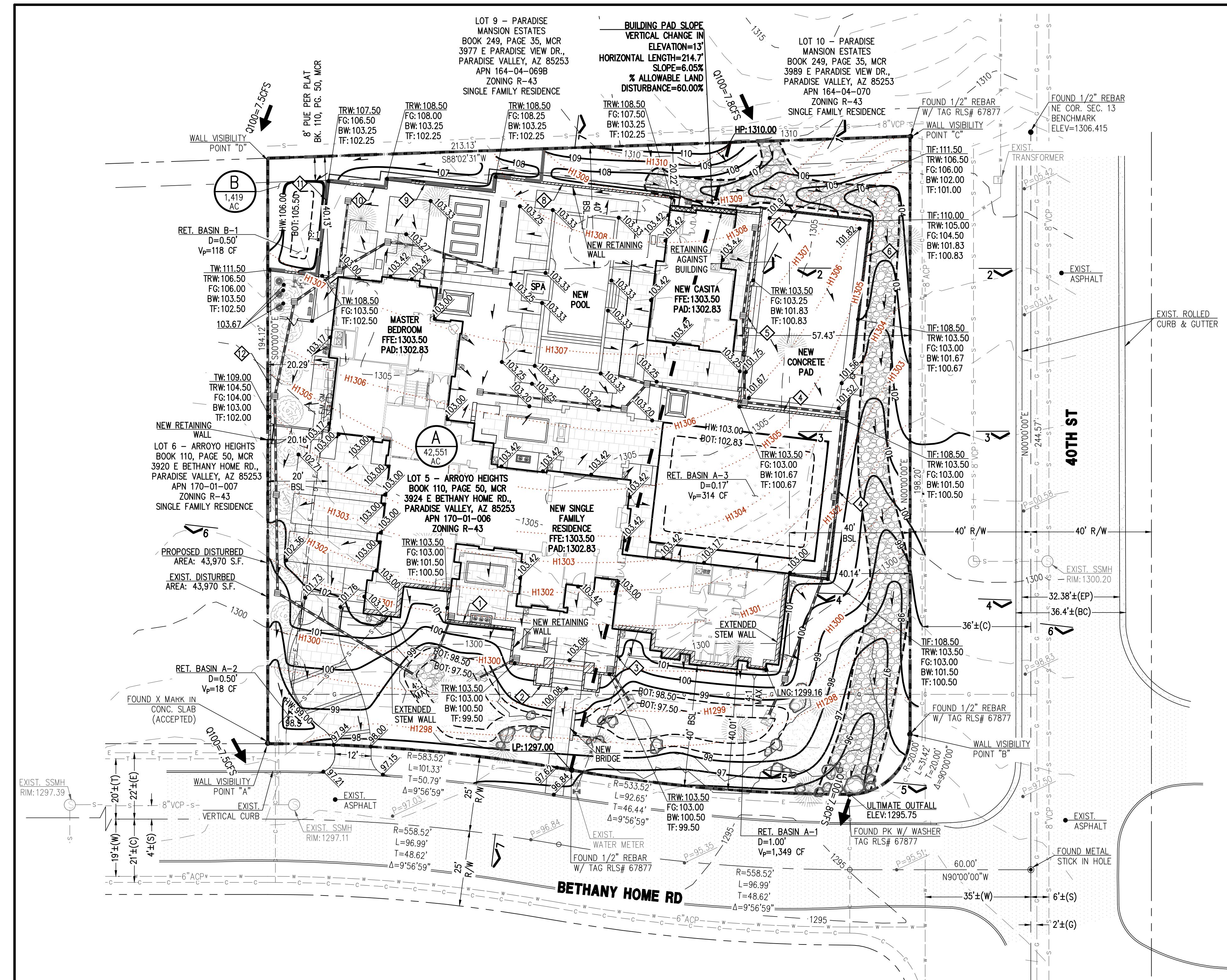
WOLFWINKEL RESIDENCE

3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253

LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA





RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT										
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		DEPTH	VOLUME PROVIDED AS-BUILT	
						S.F.	C.F.			
A	42,551	0.07	551	1,436 (GOVERNS)	A1	HW	98.50	1,850	1.00	1,349
					A2	HW	99.00	61	0.50	18
					A3	HW	103.00	2,197	0.17	314
TOTAL A		551	1,436						1,681	
B	1,419	0.00	0	41 (GOVERNS)	B1	HW	106.00	339	0.50	118
						BOTTOM	105.50	132		118
TOTAL B		0	41							1,798

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

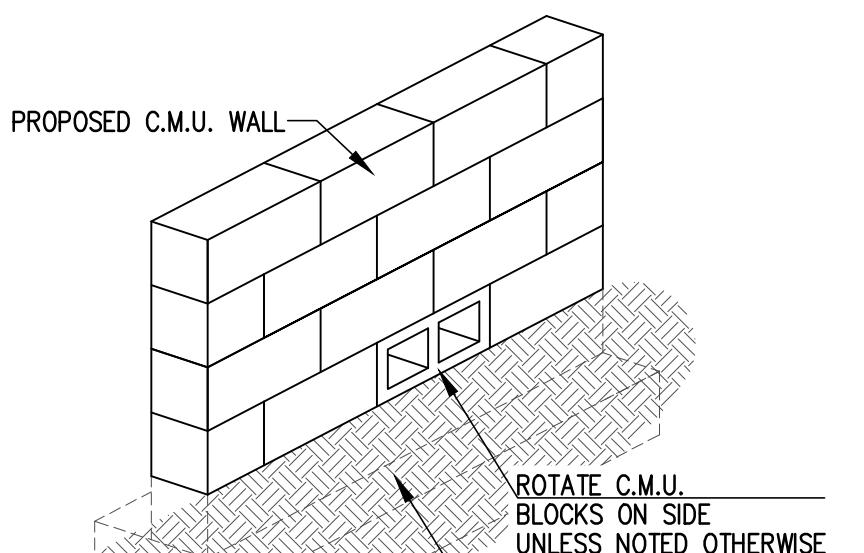
WEIGHTED RUNOFF COEFFICIENT, Cw PRE-DEVELOPMENT AREA A				WEIGHTED RUNOFF COEFFICIENT, Cw POST-DEVELOPMENT AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	7,782	7,393	PAVEMENT & ROOF	0.95	19,384	18,415
NATIVE HILLSIDE	0.70	34,769	24,338	NATIVE HILLSIDE	0.70	23,167	16,217
TOTAL	42,551	31,731		TOTAL	42,551	34,632	
Cw = C * AREA / TOTAL AREA	0.75			Cw = C * AREA / TOTAL AREA	0.81		

WEIGHTED RUNOFF COEFFICIENT, Cw PRE-DEVELOPMENT AREA B				WEIGHTED RUNOFF COEFFICIENT, Cw POST-DEVELOPMENT AREA B			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	0	0	PAVEMENT & ROOF	0.95	0	0
NATIVE HILLSIDE	0.70	1,419	993	NATIVE HILLSIDE	0.70	1,419	993
TOTAL	1,419	993		TOTAL	1,419	993	
Cw = C * AREA / TOTAL AREA	0.70			Cw = C * AREA / TOTAL AREA	0.70		

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	VISIBLE WALL LENGTH				
		FT	FT	A	B	
1	2	32.60	2.80			
2	3	31.50	31.50	31.50		
3	3	31.17		31.17		
4	2	76.17		76.17		
5	1.67	48.50				
6	3.17	52.25		52.25	52.25	
7	4.5	46.40			46.40	
8	5.25	61.67			61.67	61.67
9	5.25	40.67			40.67	40.67
10	4.25	22.10				22.10
11	4.25	47.50				47.50
12	3	80.00	80.00			80.00
TOTAL	570.53	144.10	191.09	200.99	251.94	

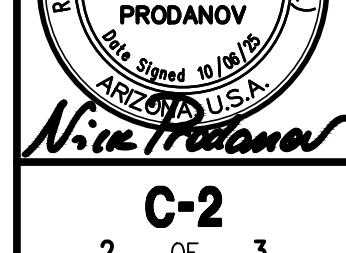
FOR LOCATIONS IDENTIFIED WITH KEYNOTE MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 251.94 < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

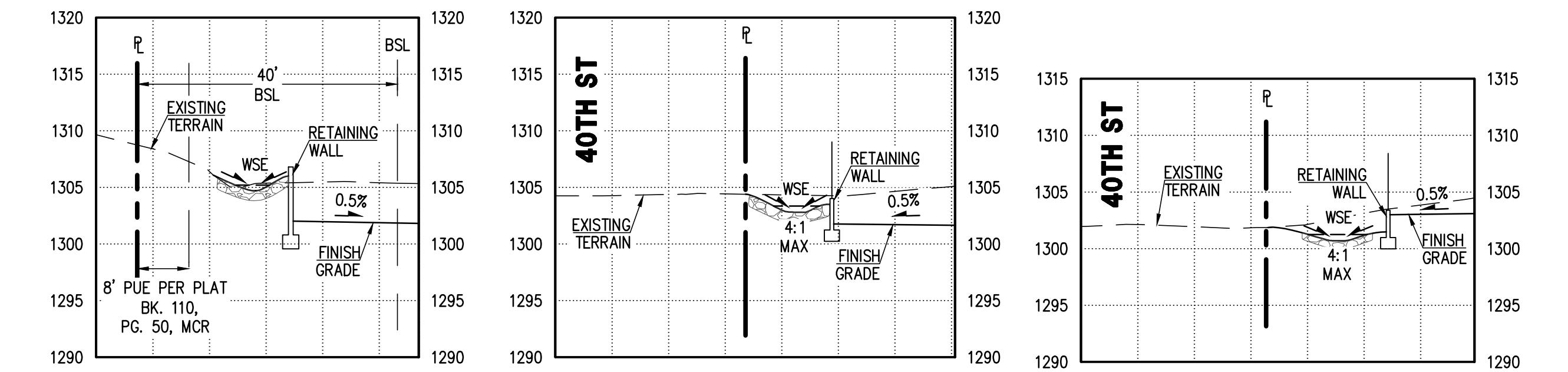


WALL OPENING DETAIL
N.T.S.

PERCENT PASSING	SIZE	D ₅₀	CLASS, INCHES
100 TO 90	2.0 D ₅₀	8	12 16 24
85 TO 30	1.5 D ₅₀	6	8 12 18
50 TO 30	1.0 D ₅₀	4	6 8 12
15 TO 5	0.67 D ₅₀	3	4 5 8
3 TO 0	0.33 D ₅₀	1	2 3 4

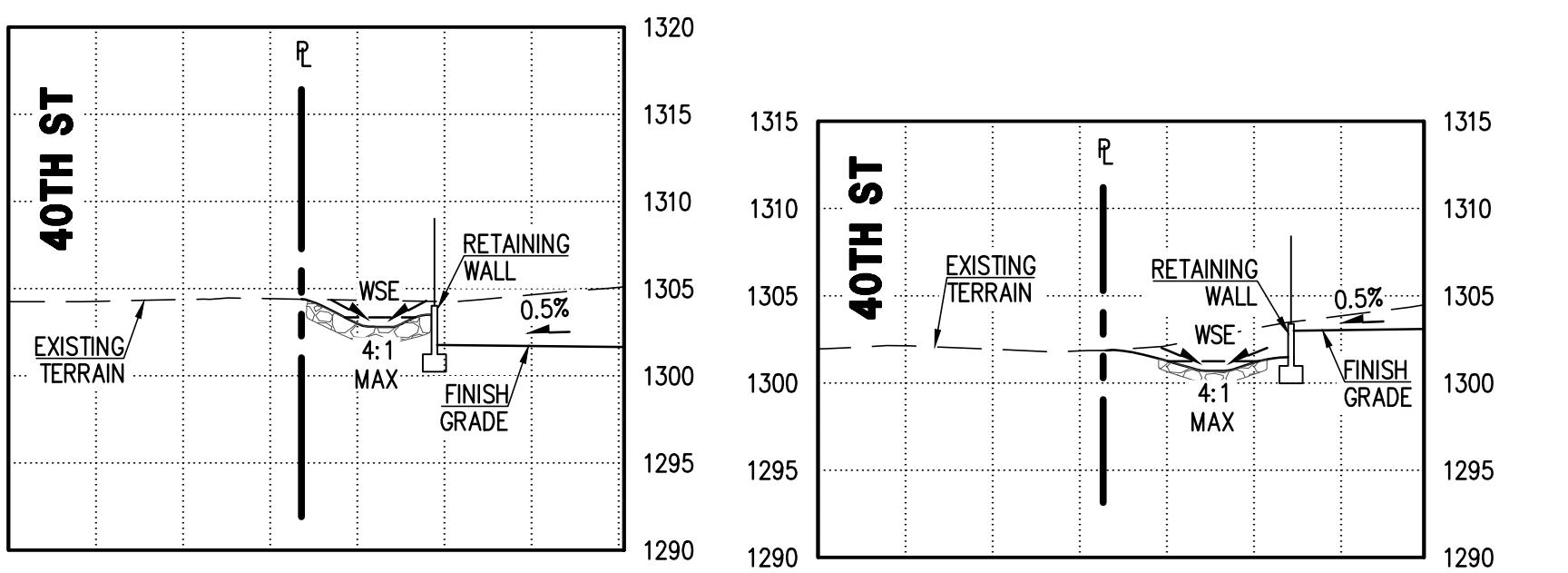
RIP-RAP GRADATION TABLE





CROSS SECTION 1 - 1

SCALE HOR. 1" = 20', VER. 1" = 10'

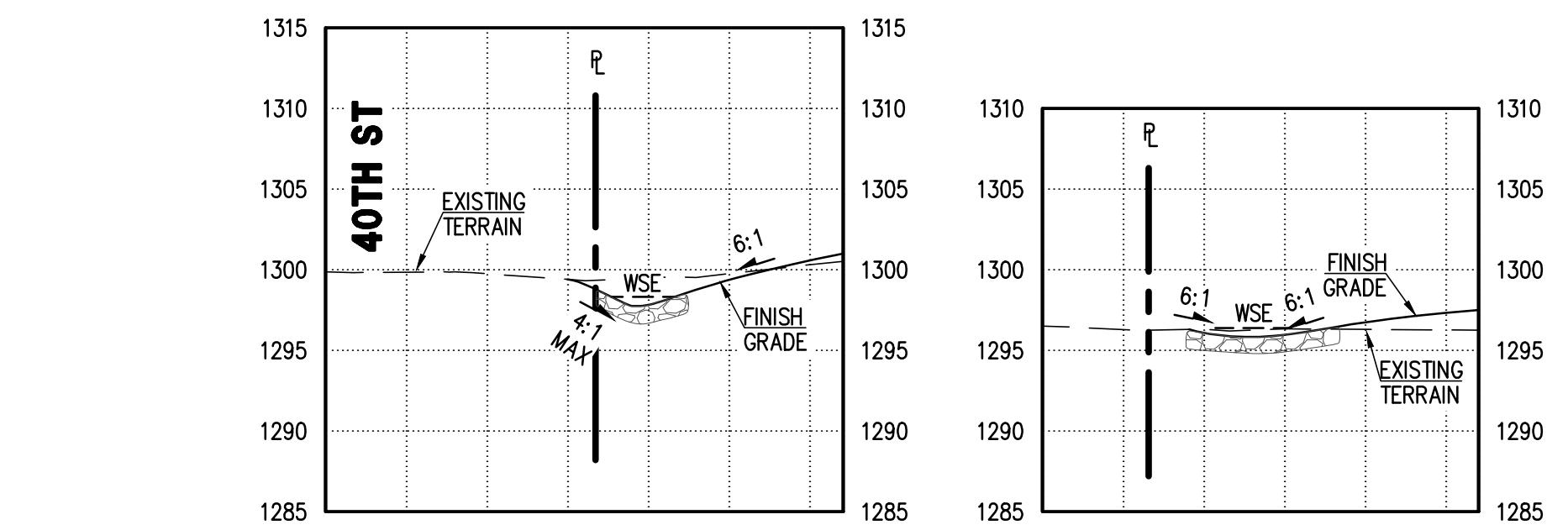


CROSS SECTION 2 - 2

SCALE HOR. 1" = 20', VER. 1" = 10'

CROSS SECTION 3 - 3

SCALE HOR. 1" = 20', VER. 1" = 10'

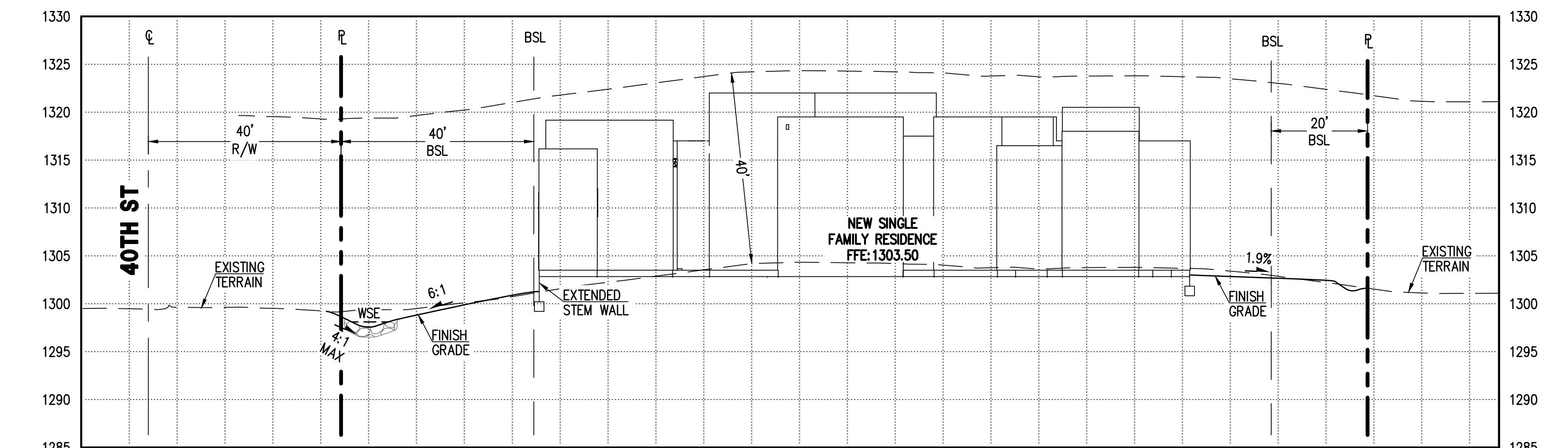


CROSS SECTION 4 - 4

SCALE HOR. 1" = 20', VER. 1" = 10'

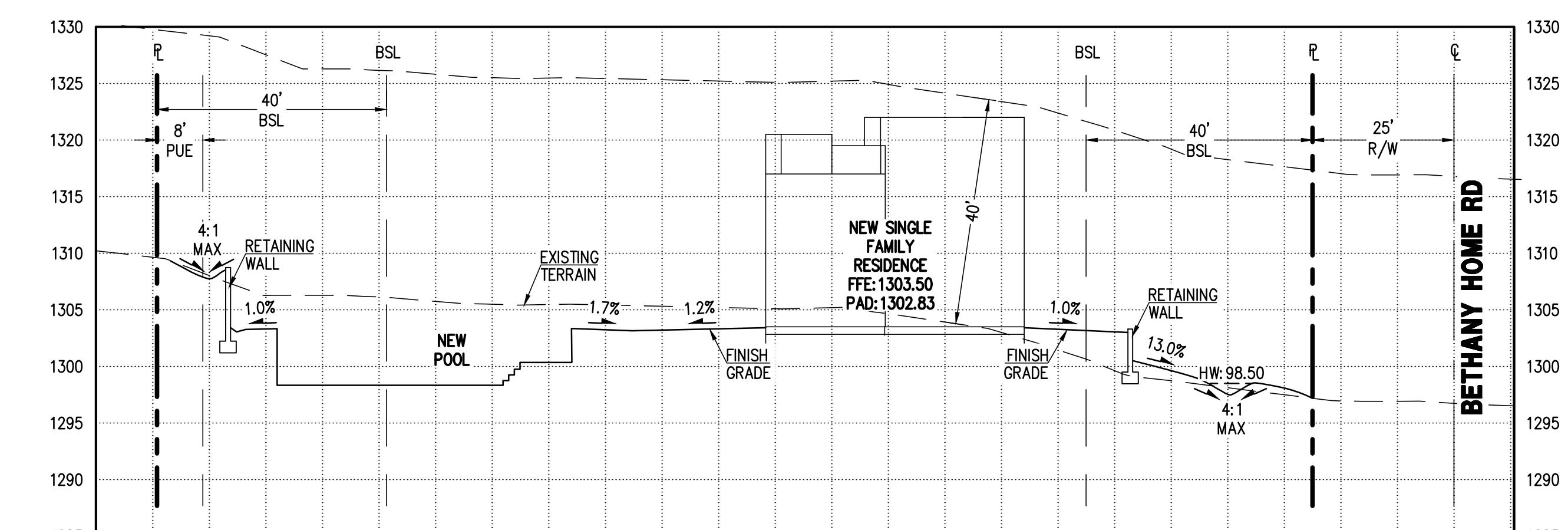
CROSS SECTION 5 - 5

SCALE HOR. 1" = 20', VER. 1" = 10'



CROSS SECTION 6 - 6

SCALE HOR. 1" = 20', VER. 1" = 10'

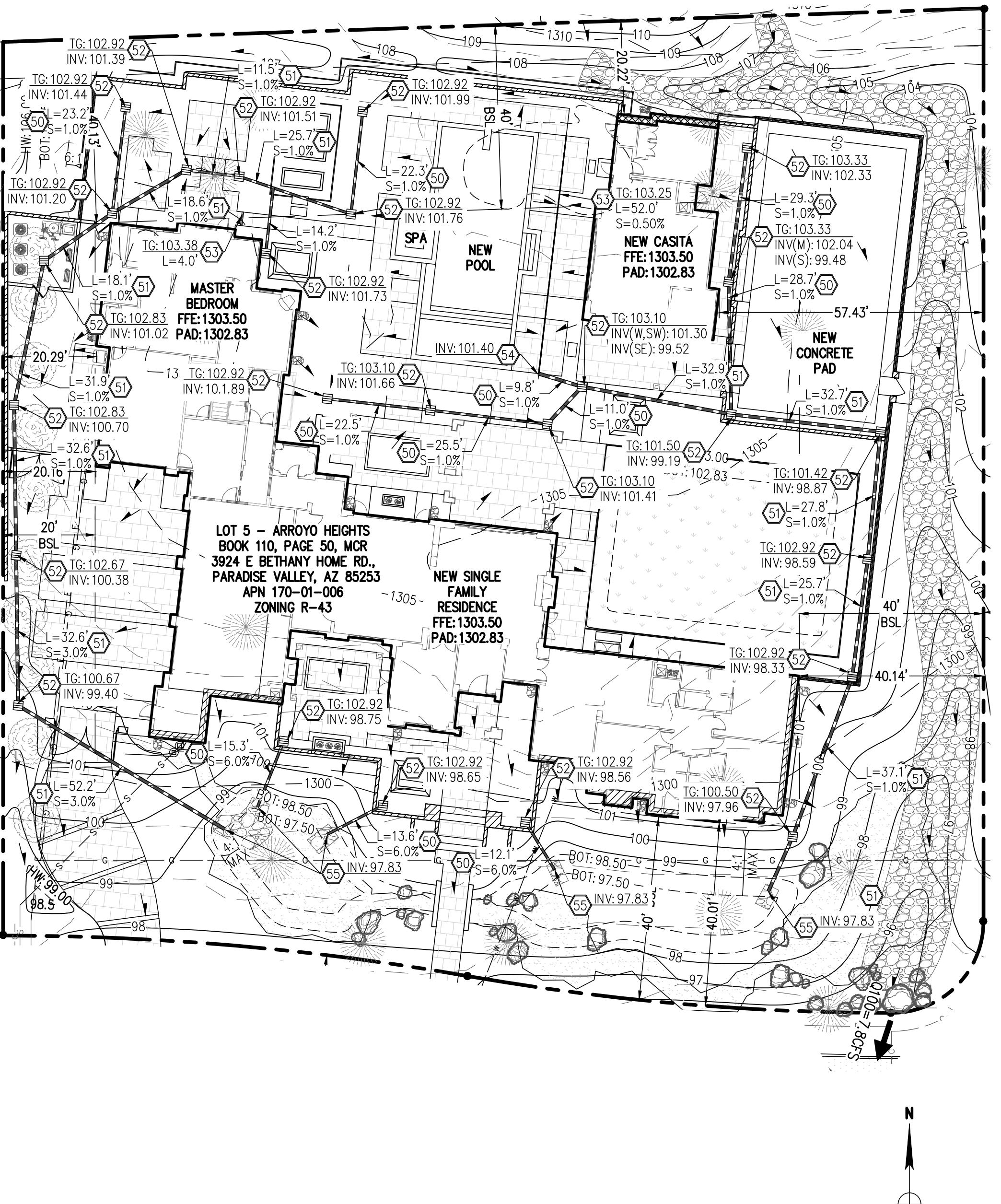


CROSS SECTION 7 - 7

SCALE HOR. 1" = 20', VER. 1" = 10'

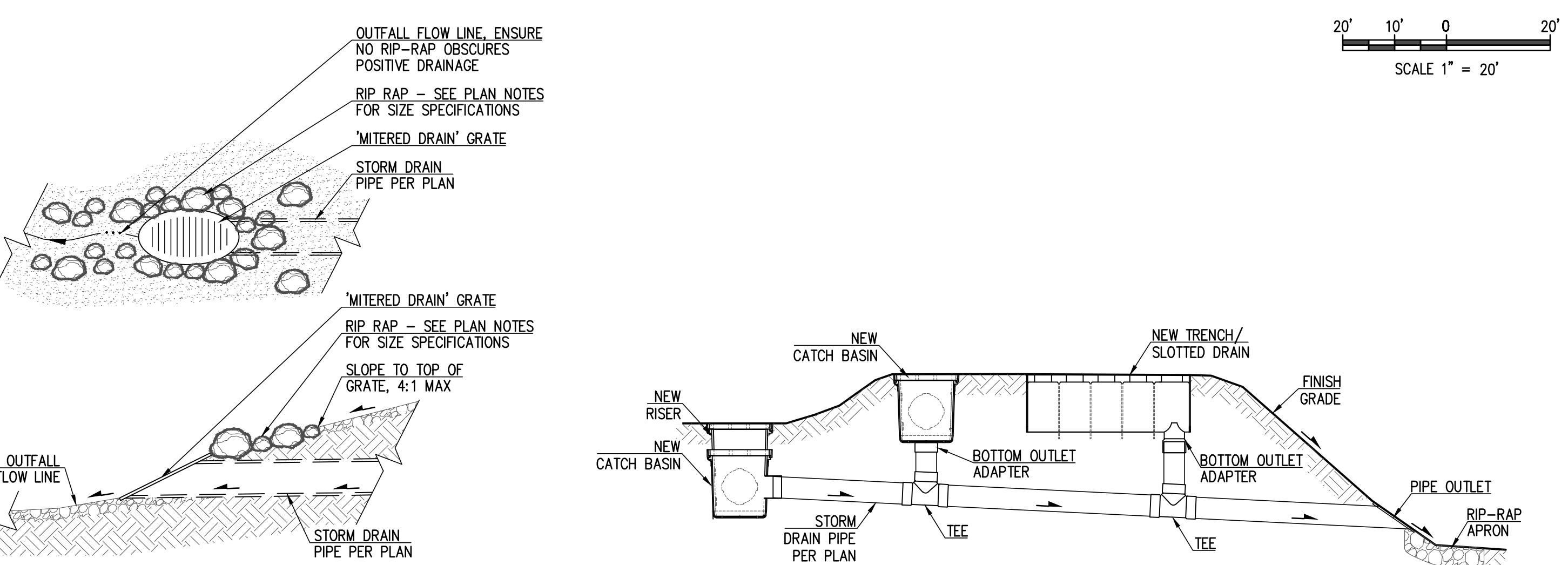
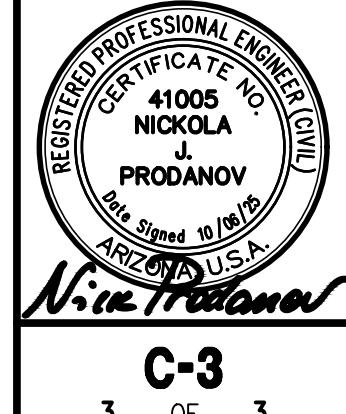
STORM DRAIN KEY-NOTES

- 50 INSTALL 6" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 51 INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 52 INSTALL NDS 1200NGB 12" CATCH BASIN WITH VERTICAL RISER AND 12" GRATE, OR APPROVED EQUAL.
- 53 INSTALL NDS SLIM CHANNEL 9206 TRENCH DRAIN SYSTEM, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT NEW TRENCH DRAIN TO NEW STORM DRAIN PIPE WITH OUTLET ADAPTER AND ALL REQUIRED FITTINGS.
- 54 INSTALL SLOTTED/TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 55 STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON THIS SHEET.



**PRELIMINARY
GRAVING & DRAINAGE PLAN
STORM DRAIN PLAN
CROSS SECTIONS
DETAILS**

**WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253**



PIPE OUTLET DETAIL

N.T.S.

SCHEMATIC STORM DRAIN SYSTEM

N.T.S.

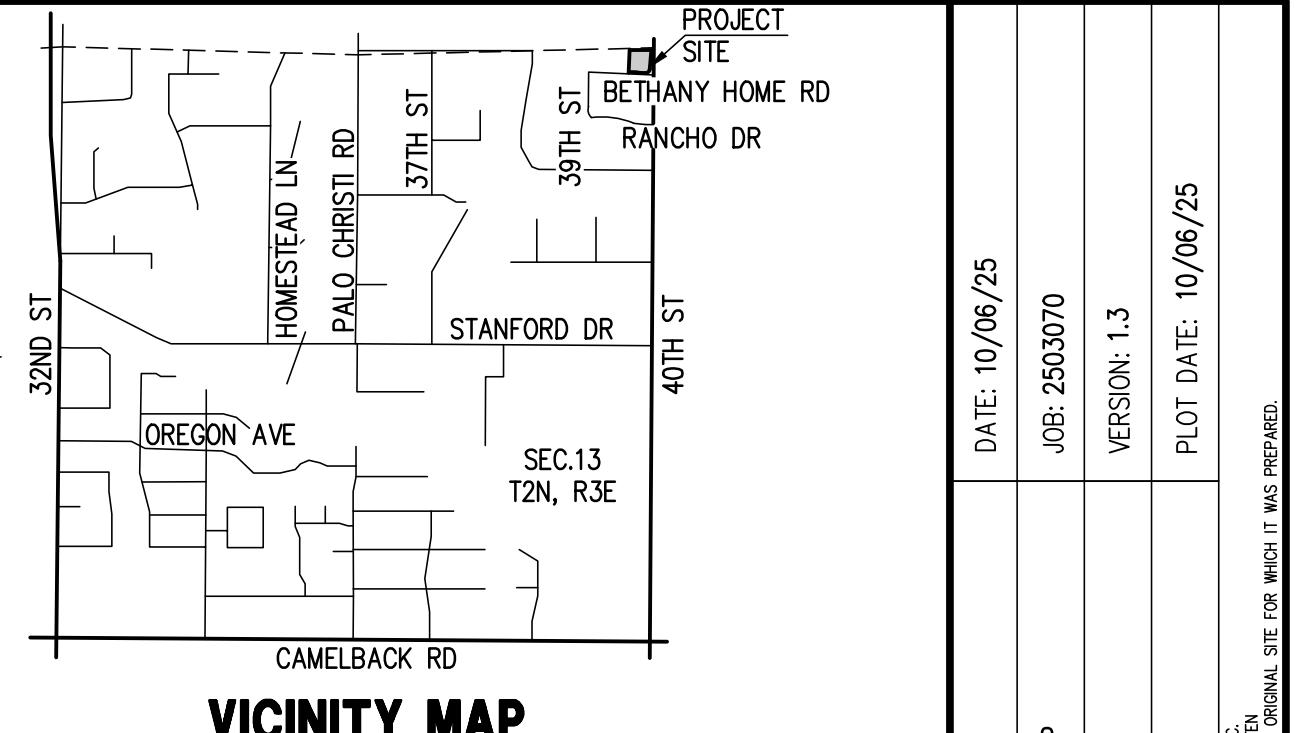
AERIAL MAP/HISTORIC TOPOGRAPHY EXHIBIT

WOLFSWINKEL RESIDENCE

3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253

LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

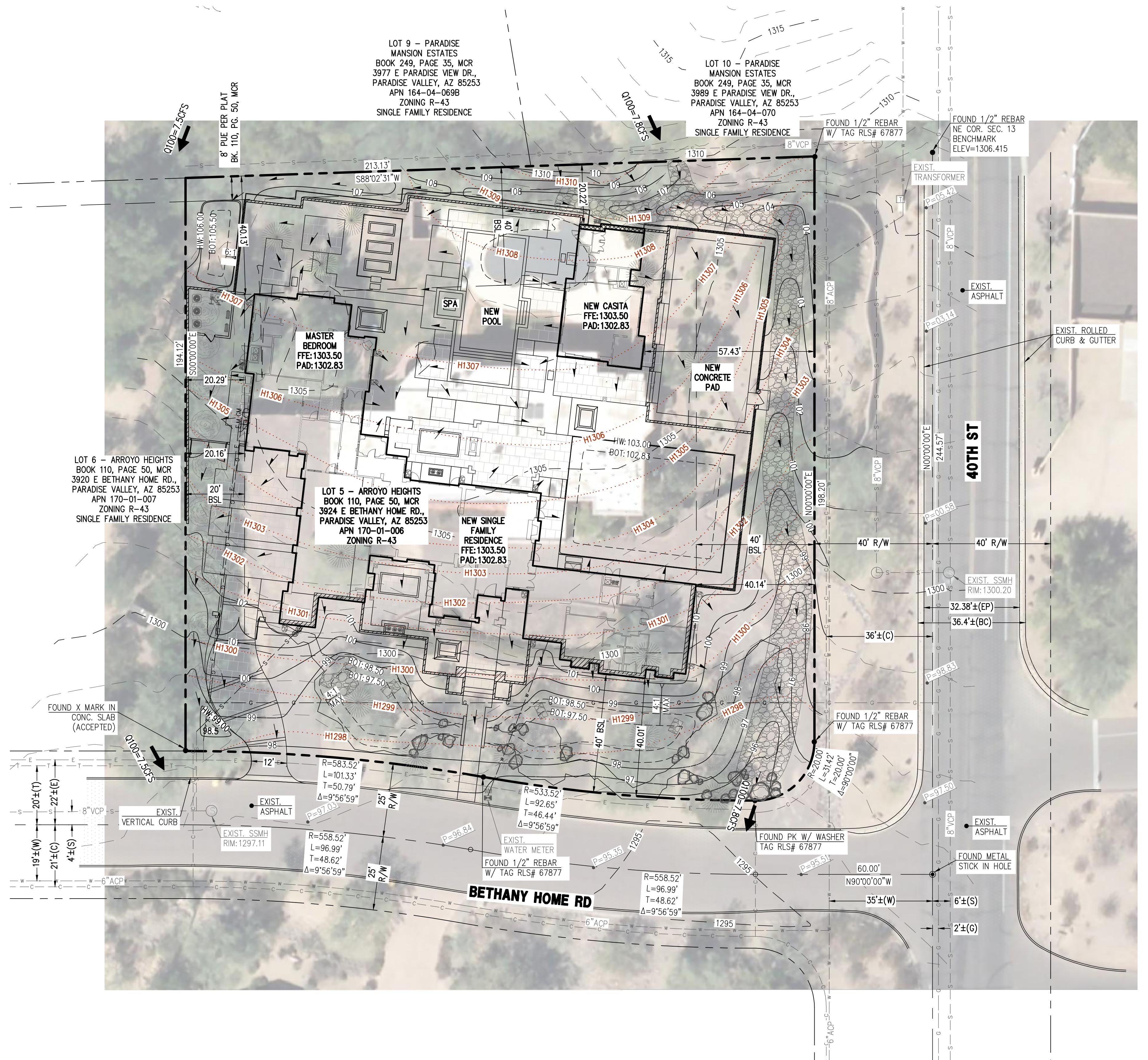


VICINITY MAP
NTS

LEGEND	
●	BRASS CAP FLUSH
●	FOUND REBAR OR AS NOTED
○	CALCULATED POINT
—	PROPERTY LINE
- - -	EASEMENT LINE
—	MONUMENT LINE
WM	WATER METER
MB	MAILBOX
SM	SEWER MANHOLE
TF	TRANSFORMER
CP	CATV, PHONE
SL	SEWER LINE
GL	GAS LINE
WL	WATER LINE
EL	ELECTRIC LINE
TL	TELECOMM. LINE
CL	COMM. LINE
—	EXISTING CONTOUR
—	EXIST. DRAINAGE FLOW
—	EXIST. SPOT ELEVATION
CT	CITRUS TREE
PV	PALO VERDE

ABBREVIATIONS

BC	BACK OF CURB
BSL	BUILDING SETBACK LINE
(C)	CALCULATED
EG	EXISTING GRADE
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
FG	FINISH GRADE
G	GUTTER, GAS
INV	INVERT
(M)	MEASURED
MCR	MARICOPA COUNTY RECORDER
P, PVMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
W	WEST, WATERLINE
WM	WATER METER



OWNER
ASHTON A. WOLFSWINKEL AND
SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.
PARADISE VALLEY, AZ 85253

ARCHITECT
DUNCAN DESIGN GROUP, LLC
3723 W BARNES LN.
PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

SITE DATA
APN: 170-01-006
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
QS #: 20-36

LANDSCAPE
ARCHITECT
GREY PICKETT
7144 E STETSON DR. # 205,
SCOTTSDALE, AZ 85251
CONTACT: KATRYN SQUYRES
P: 480-609-0009
KSQUYRES@GEEYPICKETT.COM

LAND SURVEYOR

JLD. ENGINEERING, PPC
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85286
P: 602-790-7958
CONTACT: REED DALBIR, PE
REED@JLD-ENGINEERING.COM

CIVIL ENGINEER
LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE.
LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF 1306.415, CITY OF PHOENIX DATUM, NAVD 88.

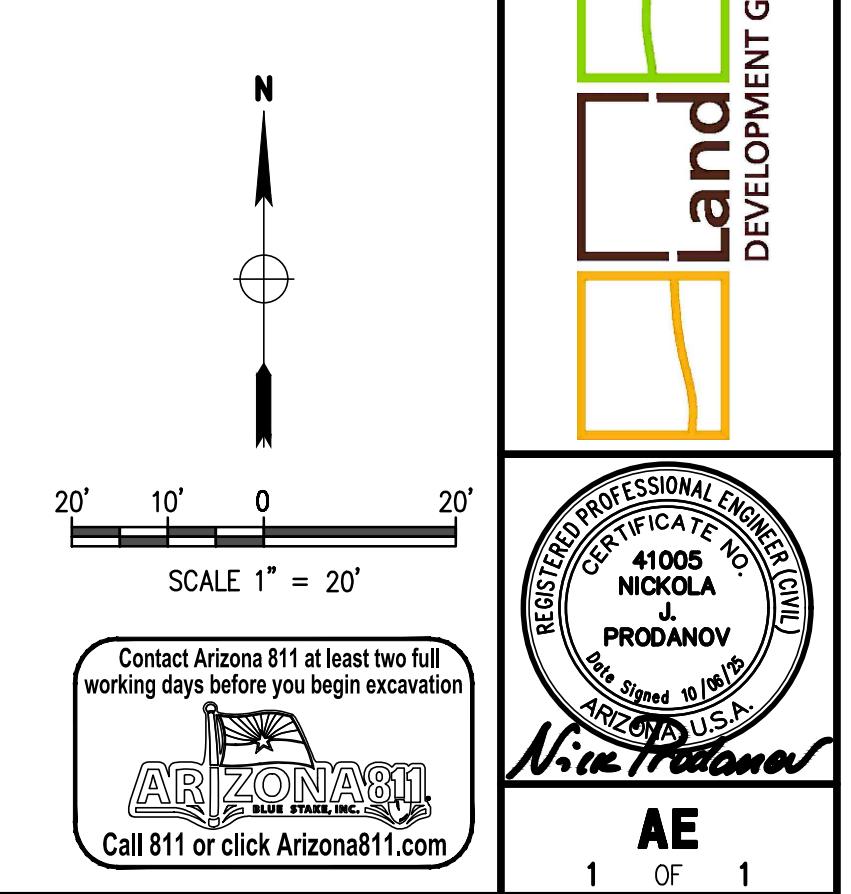
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX
04049	1765 OF 4425	L

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
*AREAS OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: GPF
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS



STORM WATER POLLUTION PREVENTION PLAN

WOLFSWINKEL RESIDENCE

3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253

LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR,

LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

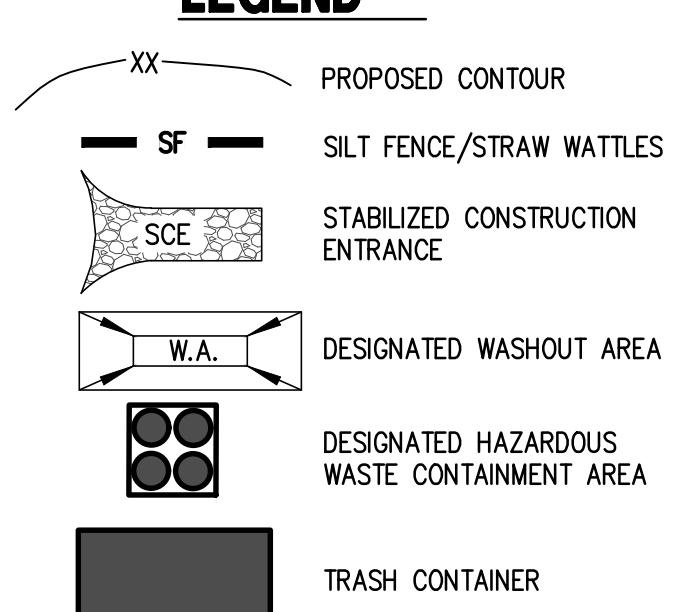
GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS FOR CONSTRUCTION SITES UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) GENERAL PERMIT FOR ARIZONA OWNERS, DEVELOPERS, ENGINEERS, AND/OR CONTRACTORS ARE REQUIRED TO PREPARE ALL DOCUMENTS REQUIRED BY THIS REGULATION, INCLUDING BUT NOT LIMITED TO STORM WATER POLLUTION PROTECTION PLAN (SWPPP), NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
2. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PROTECTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
3. COMMUNITY DEVELOPMENT DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (480) 348-3692.
4. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT, AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST. ALL PERMITTORS MUST SUBMIT A TENTATIVE CONSTRUCTION SCHEDULE AND COMPLETION TIME.
5. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
6. THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
7. THE PERMITTIE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
8. THE PERMITTIE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP, NOT, AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE NOT.
9. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTIE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND NOT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION INSPECTOR.
10. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
11. THE CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE CONTRACTOR THAT WILL BE PULLING THE GRD PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THEIR NAME.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION; THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
13. CONTRACTOR SHALL PROVIDE STABILIZATION FABRIC TO ALL SLOPES EQUAL TO OR GREATER THAN 3H:1V.
14. REFER TO SHEET 2 FOR STANDARD DETAILS OF BEST MANAGEMENT PRACTICES.
15. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC.

SWPPP KEY-NOTES

- 1 USE EXISTING PAVERS DRIVEWAY FOR CONSTRUCTION ENTRANCE.
- 2 DUST CONTROL PER FCDMC BMP-43 THROUGH BMP-46
- 3 SILT FENCE PER FCDMC BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS, AND DETAILS ON SHEET SP-2 OR STRAW WATTLES PER MARICOPA COUNTY EROSION CONTROL MANUAL SPC-1 ORGANIC FILTER BARRIER.
- 4 DESIGNATED CONCRETE WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
- 5 DUMPSTER/TRASH CONTAINER
- 6 DESIGNATED PAINT/SOLVENT WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
- 7 DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA, SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE WASTE. HAZARDOUS WASTES ARE NOT TO BE DISPOSED OF IN DUMPSTER AND SHALL BE HAULED TO AN APPROPRIATE DISPOSAL AND/OR RECYCLING FACILITY.
- 8 DROP INLET PROTECTION.
- 9 RETENTION/SEDIMENTATION BASIN.
- 10 ROCK OUTLET PROTECTION.

LEGEND



ABBREVIATIONS

BC	BACK OF CURB
BSL	BUILDING SETBACK LINE
EG	EXISTING GRADE
EL	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
FG	FINISH GRADE
G	GUTTER, GAS
MCR	MARICOPA COUNTY RECORDER
P, PVMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
W	WEST, WATERLINE
WM	WATER METER

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: SRP
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

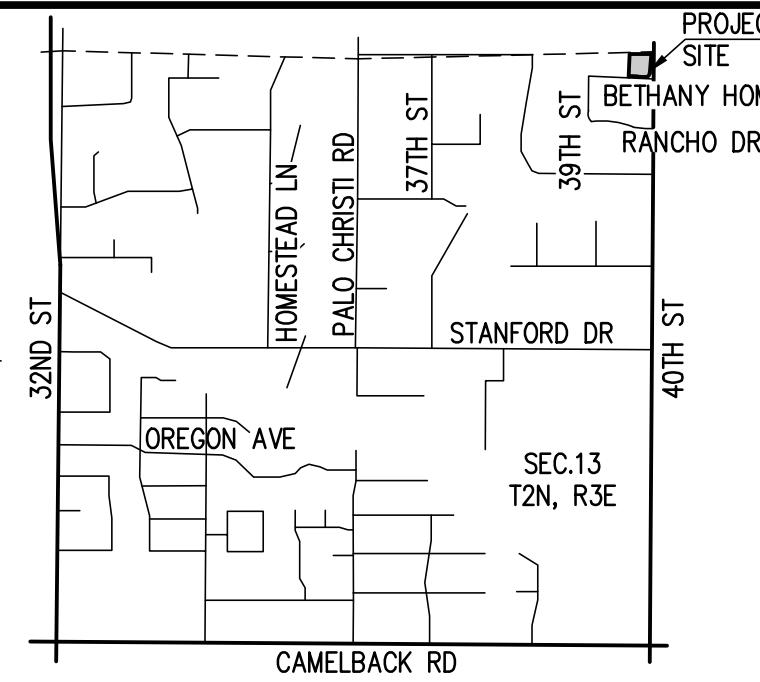
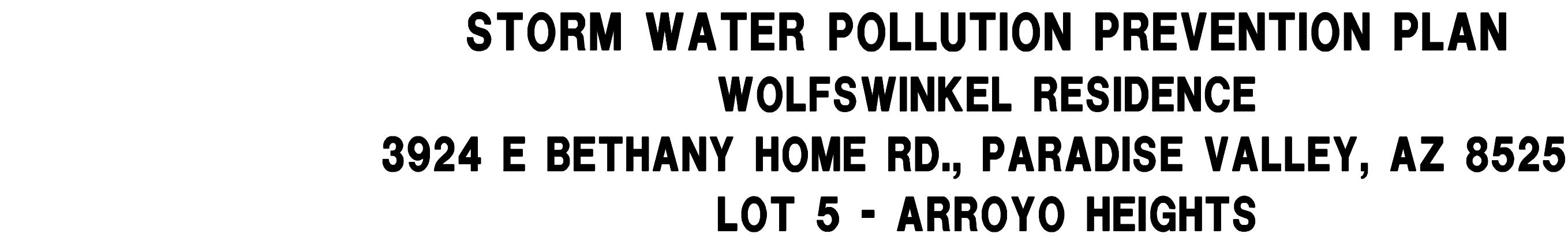
SHEET INDEX

SP1 - SWPPP PLAN

SP2 - DETAILS

NOTE

1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY AFTER THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AT ALL TIME. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.



VICINITY MAP

NTS

OWNER

ASHTON A. WOLFSWINKEL AND
SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT

DUNCAN DESIGN GROUP, LLC
3723 W BARNES DR.,
PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUP@GMAIL.COM

LANDSCAPE ARCHITECT

GREY PICKETT
7144 E STETSON DR, # 205,
SCOTTSDALE, AZ 85251
CONTACT: KATRYN SQUYRES
P: 480-609-0009
KSQUYRES@GREYPICKETT.COM

LAND SURVEYOR

JLD. ENGINEERING, PPC
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85266
P: 602-790-7958
CONTACT: REED DALBICK, PE
REED@JLD-ENGINEERING.COM

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE. LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF 1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 of 4425	L	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

*AREAS OF 0.2% ANNUAL CHANCE FLOOD:

AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

CONSTRUCTION SEQUENCE

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB.
3. CONSTRUCT RETENTION/SEDIMENTATION BASINS.
4. ROUGH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
5. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
6. FINAL GRADE AND CONSTRUCT BUILDING PADS.
7. INSTALL UNDERGROUND STORM DRAIN PIPES AND ALL UNDERGROUND UTILITIES.
8. COMPLETE BUILDING CONSTRUCTION.
9. CONSTRUCT PAVING AND SIDEWALKS.
10. COMPLETE FINAL GRADING, INSTALL PERMANENT SEEDING AND LANDSCAPING.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE

DATE: 10/06/25	DESIGNED BY: NP	DATE: 10/06/25	DESIGNED BY: ZA
JOB: 250-0070	VERSION: 1.3	JOB: 250-0070	VERSION: 1.3

PLOT DATE: 10/06/25

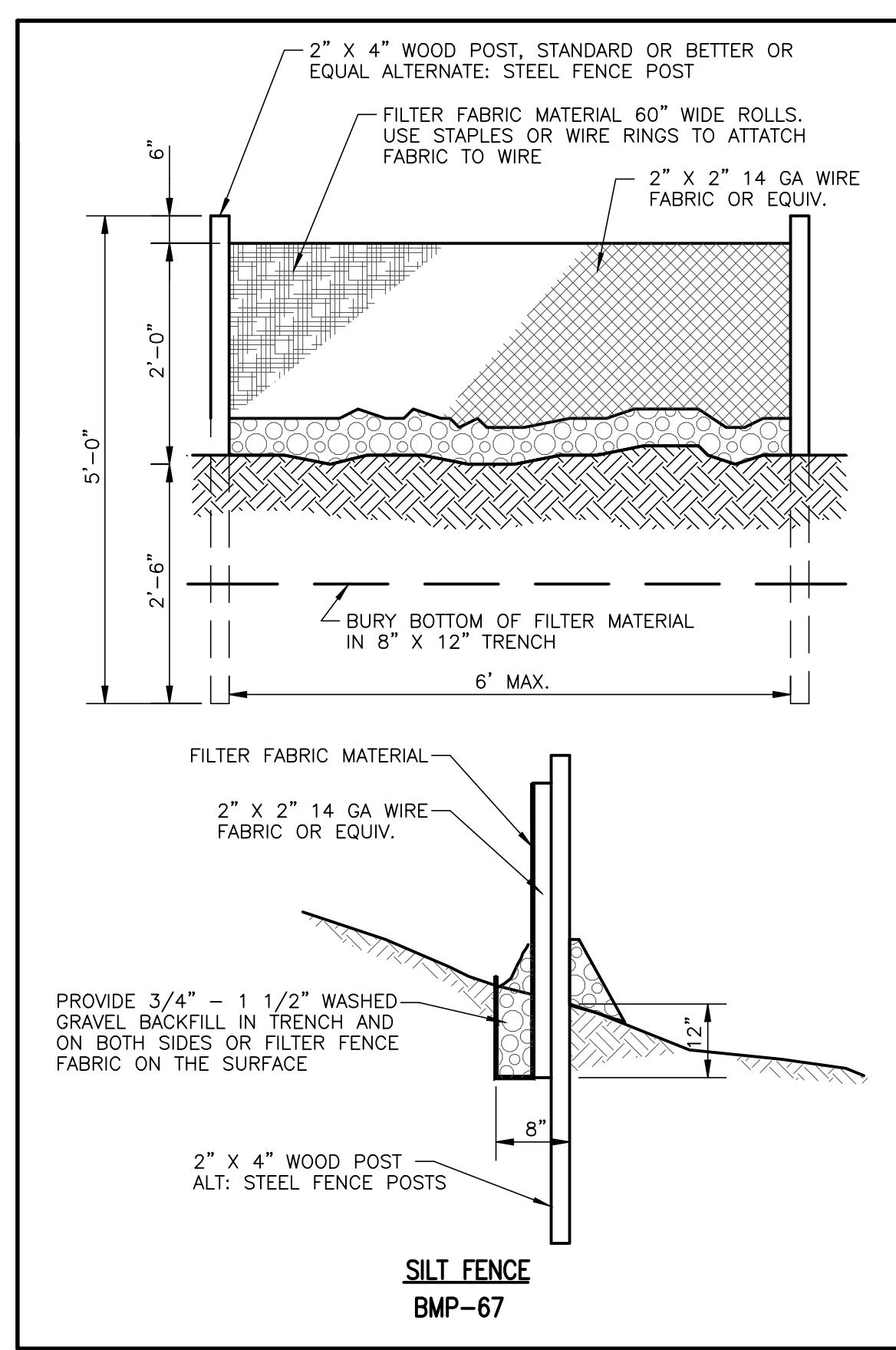
PLOT DATE: 10/06/25

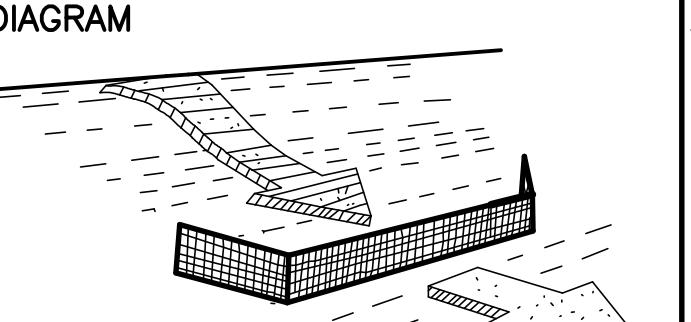
REVISIONS:

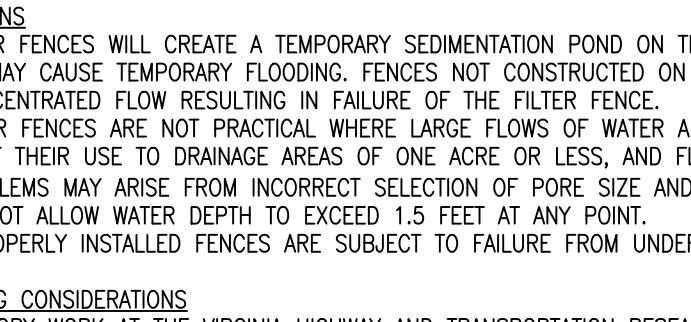
REVISION

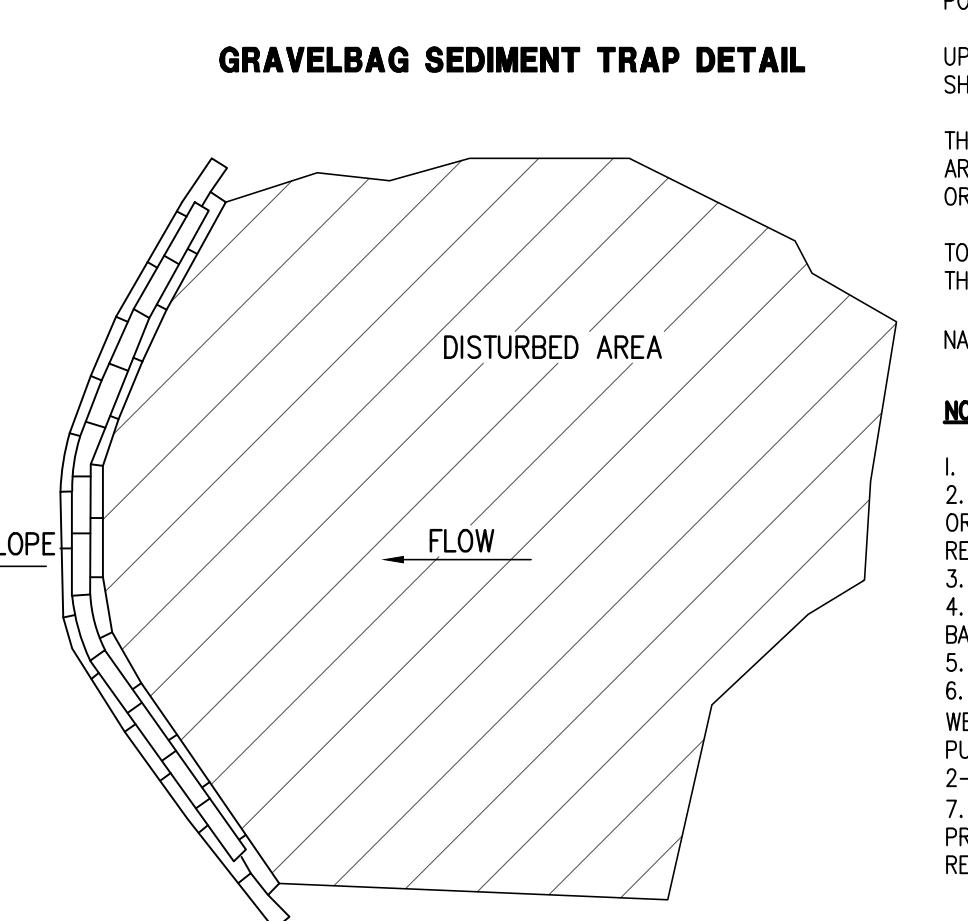
STORM WATER POLLUTION PREVENTION PLAN

BEST MANAGEMENT PRACTICES DETAILS

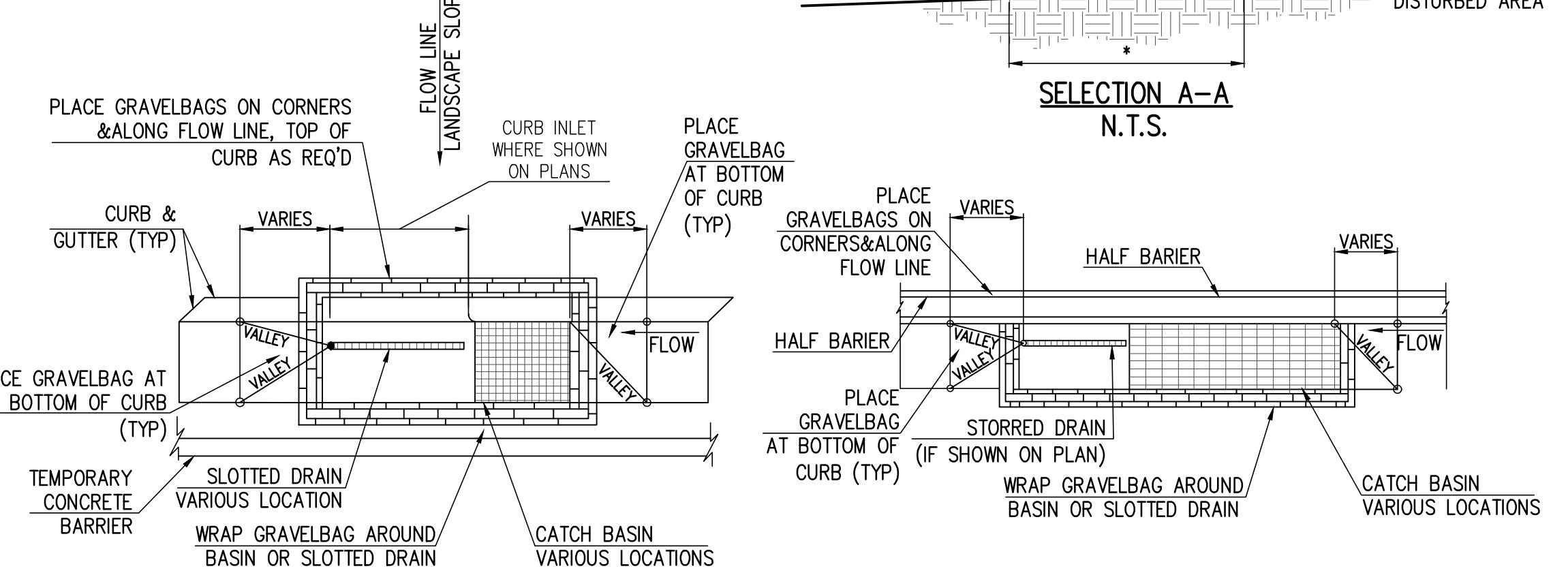


SYMBOL	SILT FENCE
S.F.	
DIAGRAM	
CONDITIONS WHERE PRACTICE APPLIES	<ul style="list-style-type: none"> * PERIMETER CONTROL * SLOPE PROTECTION * SEDIMENT TRAPPING — DRAINEWAY & STREAM PROTECTION — TEMPORARY STABILIZATION & EXPOSURE LIMITS — PERMANENT STABILIZATION & EXPOSURE LIMITS — NON-SEDIMENT POLLUTION CONTROL
PURPOSE	1. TO INTERCEPT AND DETAIN SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS DURING CONSTRUCTION OPERATIONS IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE. 2. TO DECREASE THE VELOCITY OF SHEET FLOWS AND LOW-TO-MODERATE LEVEL CHANNEL FLOWS. 3. TO PROVIDE AN UNDISTURBED OR STABILIZED OUTLET SUITABLE FOR SHEET FLOW. 4. TO NOT CONSTRUCT IN LIVE STREAMS OR INTERMITTENTLY FLOWING CHANNELS.
APPROPRIATE APPLICATIONS	1. FILTER FENCES MUST BE PROVIDED JUST UPSTREAM OF THE POINT(S) OF DISCHARGE OF RUNOFF FROM A SITE, BEFORE THE FLOW BECOMES CONCENTRATED. THEY MAY ALSO BE USED: 2. PERPENDICULAR TO MINOR SWALES OR DITCH LINES FOR UP TO ONE ACRE CONTRIBUTING DRAINAGE AREAS. 3. NOT INTENDED FOR USE IN DETAINING CONCENTRATED FLOWS. SYNTHETIC FABRIC FILTER FENCES ARE ONLY APPLICABLE FOR SHEET OR OVERLAND FLOWS AND NOT THE VOLUMES OF WATER IN CONCENTRATED FLOWS.
DESIGN & SIZING CRITERIA	1. UPSTREAM DRAINAGE AREA LIMITED TO 1 ACRE OR LESS WHEN USED ALONE OR IN COMBINATION WITH SEDIMENT BASIN IN A LARGER SITE. 2. MAXIMUM SLOPE STEEPNESS PERPENDICULAR TO FENCE LINE, 1:1. 3. MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE = 100 FEET. 4. NO CONCENTRATED FLOWS GREATER THAN 0.5 CFS.
SELECTION	SELECTION OF A FILTER FABRIC IS BASED ON SOIL CONDITIONS AT THE CONSTRUCTION SITE (WHICH AFFECT THE EQUIVALENT OPENING SIZE (EOS) FABRIC SPECIFICATION) AND CHARACTERISTICS OF THE SUPPORT FENCE (WHICH AFFECT THE CHOICE OF TENSILE STRENGTH). THE DESIGNER SHALL SPECIFY A FILTER FABRIC THAT RETAINS THE SOIL FOUND ON THE CONSTRUCTION SITE YET WILL HAVE OPENINGS LARGE ENOUGH TO PERMIT DRAINAGE AND PREVENT CLOGGING. THE FOLLOWING CRITERIA IS RECOMMENDED FOR SELECTION OF THE EQUIVALENT OPENING SIZE: 1. IF 50 PERCENT OR LESS OF THE SOIL, BY WEIGHT, WILL PASS THE U.S. SIEVE NO. 200, SELECT THE EOS TO RETAIN 85 PERCENT OF THE SOIL, SHOULD NOT BE FINER THAN EOS 70. 2. FOR ALL OTHER SOIL TYPES, THE EOS SHOULD BE NO LARGER THAN THE OPENINGS IN THE U.S. STANDARD SIEVE NO. 70 (0.0083 IN. (0.21 MM)) EXCEPT WHERE DIRECT DISCHARGE TO A STREAM, LAKE, OR WETLAND WILL OCCUR, THEN THE EOS SHALL BE NO LARGER THAN STANDARD SIEVE NO. 100. TO REDUCE THE CHANCE OF CLOGGING, IT IS PREFERABLE TO SPECIFY A FABRIC WITH OPENINGS AS LARGE AS ALLOWED BY THE CRITERIA. NO FABRIC SHOULD BE SPECIFIED WITH AN EOS SMALLER THAN U.S. STANDARD SIEVE NO. 100 (0.0059 IN. (0.15MM)). IF 85 PERCENT OR MORE OF A SOIL, BY WEIGHT, PASSES THROUGH THE OPENINGS IN A NO. 200 SIEVE (.0029 IN. (0.074 MM)), FILTER FABRIC SHALL NOT BE USED. MOST OF THE PARTICLES IN SUCH A SOIL WOULD NOT BE RETAINED IF THE EOS WAS TOO LARGE, AND THEY WOULD CLOG THE FABRIC QUICKLY IF THE EOS WAS SMALL ENOUGH TO CAPTURE THE SOIL.
BMP-67	BMP-63

SYMBOL	SILT FENCE
S.F.	
DIAGRAM	
CONDITIONS WHERE PRACTICE APPLIES	<ul style="list-style-type: none"> * PERIMETER CONTROL * SLOPE PROTECTION * SEDIMENT TRAPPING — DRAINEWAY & STREAM PROTECTION — TEMPORARY STABILIZATION & EXPOSURE LIMITS — PERMANENT STABILIZATION & EXPOSURE LIMITS — NON-SEDIMENT POLLUTION CONTROL
PURPOSE	1. CONSTRUCT ALONG A LEVEL CONTOUR. 2. SILT FENCES SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. 3. PROVIDE ROOM FOR SEDIMENT REMOVAL EQUIPMENT BETWEEN THE SILT FENCE AND TOES OF SLOPES OR OTHER OBSTRUCTIONS. 4. THE ENDS OF THE FILTER FENCE SHOULD BE TURNED UPHILL TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE. 5. PROVIDE AN UNDISTURBED OR STABILIZED OUTLET SUITABLE FOR SHEET FLOW. 6. DO NOT CONSTRUCT IN LIVE STREAMS OR INTERMITTENTLY FLOWING CHANNELS.
APPROPRIATE APPLICATIONS	1. UPSTREAM DRAINAGE AREA LIMITED TO 1 ACRE OR LESS WHEN USED ALONE OR IN COMBINATION WITH SEDIMENT BASIN IN A LARGER SITE. 2. MAXIMUM SLOPE STEEPNESS PERPENDICULAR TO FENCE LINE, 1:1. 3. MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE = 100 FEET. 4. NO CONCENTRATED FLOWS GREATER THAN 0.5 CFS.
DESIGN & SIZING CRITERIA	1. IF 50 PERCENT OR LESS OF THE SOIL, BY WEIGHT, WILL PASS THE U.S. SIEVE NO. 200, SELECT THE EOS TO RETAIN 85 PERCENT OF THE SOIL, SHOULD NOT BE FINER THAN EOS 70. 2. FOR ALL OTHER SOIL TYPES, THE EOS SHOULD BE NO LARGER THAN THE OPENINGS IN THE U.S. STANDARD SIEVE NO. 70 (0.0083 IN. (0.21 MM)) EXCEPT WHERE DIRECT DISCHARGE TO A STREAM, LAKE, OR WETLAND WILL OCCUR, THEN THE EOS SHALL BE NO LARGER THAN STANDARD SIEVE NO. 100. TO REDUCE THE CHANCE OF CLOGGING, IT IS PREFERABLE TO SPECIFY A FABRIC WITH OPENINGS AS LARGE AS ALLOWED BY THE CRITERIA. NO FABRIC SHOULD BE SPECIFIED WITH AN EOS SMALLER THAN U.S. STANDARD SIEVE NO. 100 (0.0059 IN. (0.15MM)). IF 85 PERCENT OR MORE OF A SOIL, BY WEIGHT, PASSES THROUGH THE OPENINGS IN A NO. 200 SIEVE (.0029 IN. (0.074 MM)), FILTER FABRIC SHALL NOT BE USED. MOST OF THE PARTICLES IN SUCH A SOIL WOULD NOT BE RETAINED IF THE EOS WAS TOO LARGE, AND THEY WOULD CLOG THE FABRIC QUICKLY IF THE EOS WAS SMALL ENOUGH TO CAPTURE THE SOIL.
BMP-64-65	

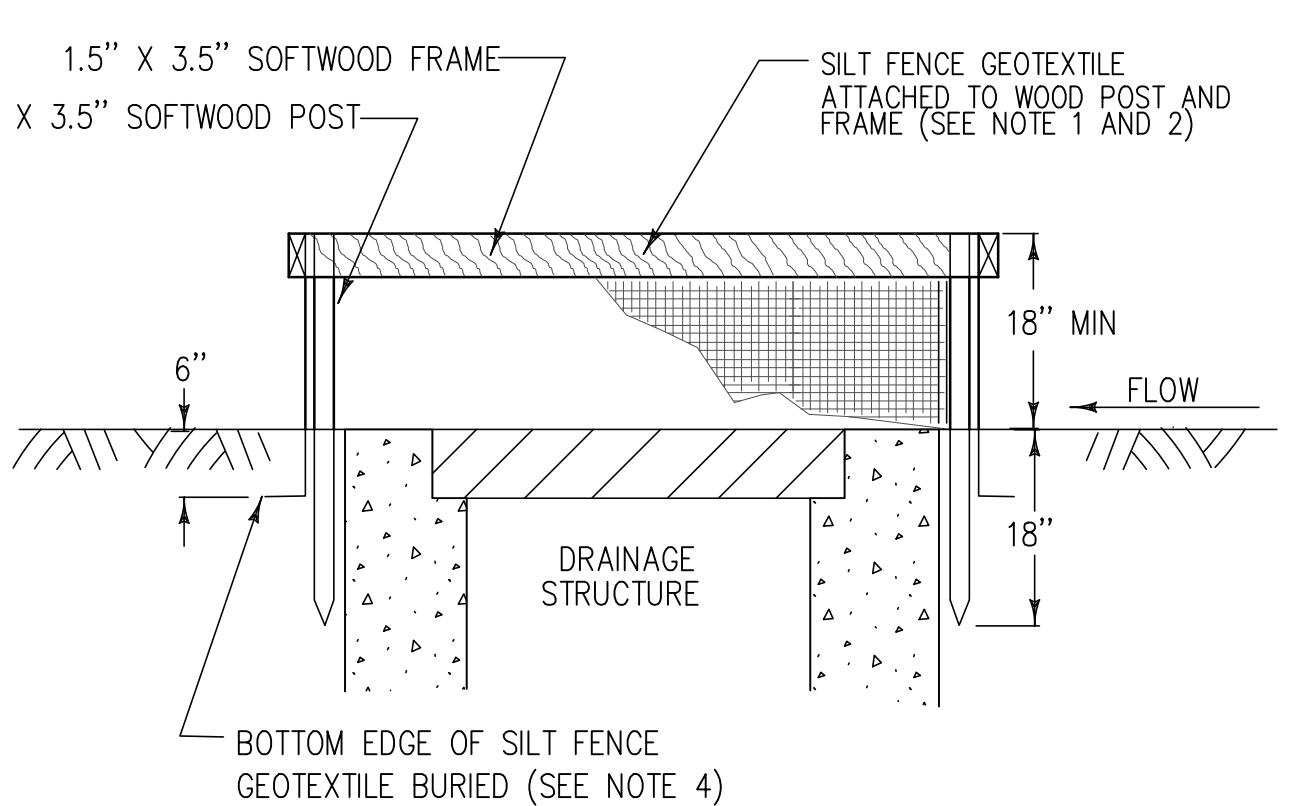
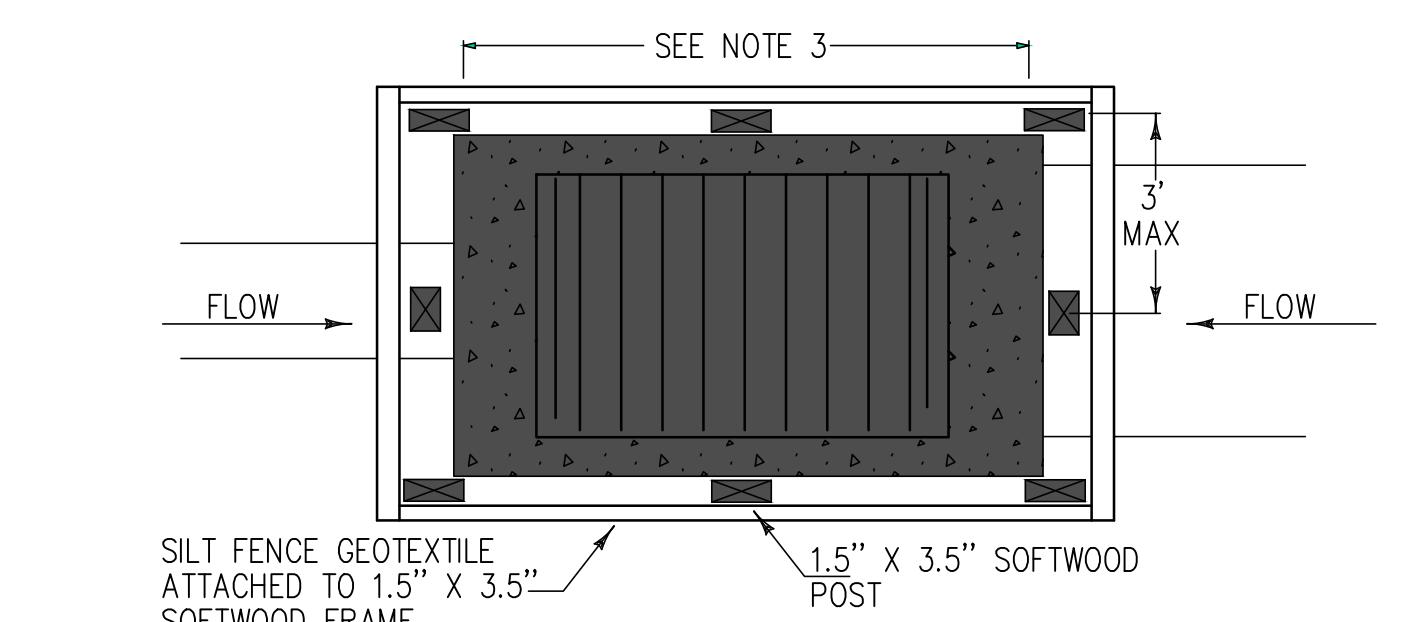


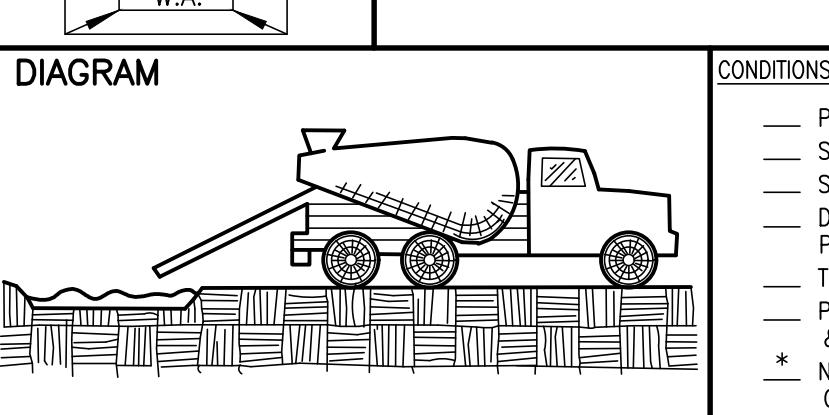
SEDIMENT TRAP ALONG THE DOWNSLOPE
PERIMETERS OF CONSTRUCTION DISTURBED AREA
N.T.S.

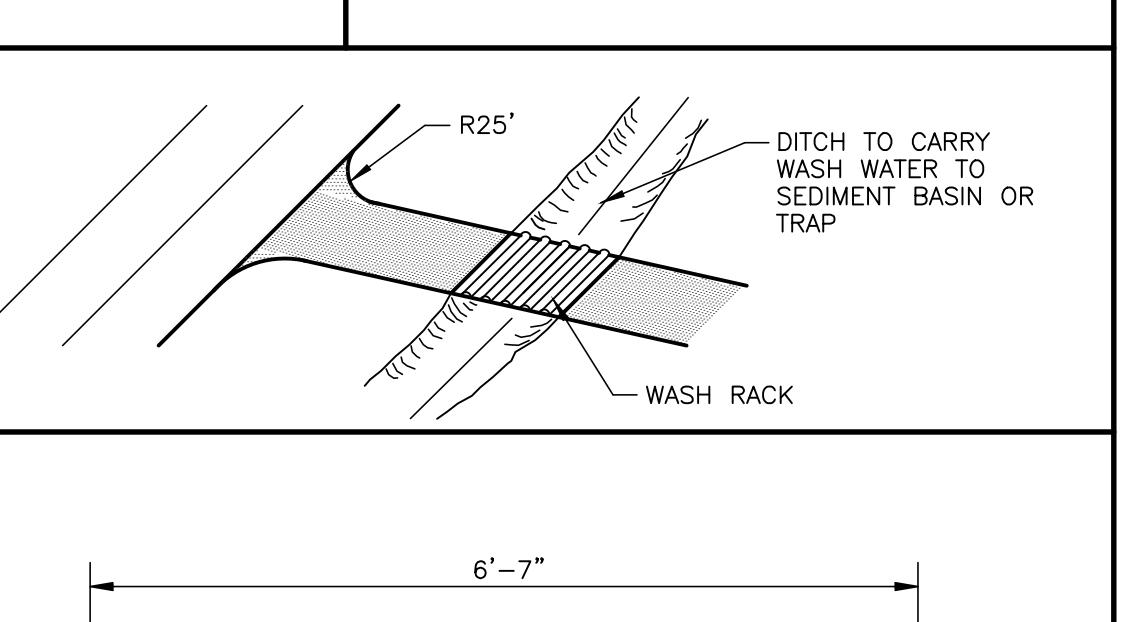


PLAN VIEW
N.T.S.

DROP INLET PROTECTION
SILT FENCE DROP INLET PROTECTION



SYMBOL	DESIGNATED WASHOUT AREA
W.A.	
DIAGRAM	
CONDITIONS WHERE PRACTICE APPLIES	<ul style="list-style-type: none"> — PERIMETER CONTROL — SLOPE PROTECTION — SEDIMENT TRAPPING — DRAINEWAY & STREAM PROTECTION — TEMPORARY STABILIZATION & EXPOSURE LIMITS * PERMANENT STABILIZATION & EXPOSURE LIMITS * NON-SEDIMENT POLLUTION CONTROL
DEFINITION	A TEMPORARY PIT OR BERMED AREA FOR WASHOUT OF CONCRETE TRUCKS, TOOLS, MORTAR MIXERS, ETC.
PURPOSE	IMPROPER WASHOUT OF CONCRETE TRUCKS, TOOLS, ETC. MAY ALLOW FRESH CONCRETE OR CEMENT LAID MORTAR TO ENTER A STORM DRAINAGE SYSTEM.
APPROPRIATE APPLICATIONS	EFFECTIVE WHEN VEHICLES, TOOLS, AND MIXERS CAN BE MOVED TO THE PIT LOCATION. WHERE THIS IS NOT PRACTICAL, TEMPORARY PONDS MAY BE CONSTRUCTED TO ALLOW FOR SETTLING AND HARDENING OF CEMENT AND AGGREGATES. WASHOUT AREA/PITS ARE APPROPRIATE FOR MINOR AMOUNTS OF WASH WATER WHICH RESULT FROM CLEANING OF AGGREGATE MATERIALS OR CONCRETE TRUCKS, TOOLS, ETC.
PLANNING CONSIDERATIONS	1. WASH OUT INTO A SLURRY PIT WHICH WILL LATER BE BACKFILLED. DO THIS ONLY WITH THE APPROVAL OF THE PROPERTY OWNER. 2. WASH OUT INTO A TEMPORARY PIT WHERE THE CONCRETE WASH CAN HARDEN, BE BROKEN UP, AND THEN PROPERLY DISPOSED OF OFF-SITE.
DESIGN & SIZING CRITERIA	1. LOCATE WASHOUT PITS AWAY FROM STORM DRAINS, OPEN DITCHES, OR STORMWATER RECEIVING WATERS. 2. DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAINS, SANITARY SEWERS, STREET GUTTERS, OR STORMWATER CHANNELS.
MAINTENANCE REQUIREMENTS	PROPERLY DISPOSE OF HARDENED CONCRETE PRODUCTS ON A ROUTINE BASIS TO PREVENT THE BUILDUP OF WASTE MATERIALS TO AN UNMANAGEABLE SIZE AND TO MAINTAIN PERCOLATION OF WATER.
REFERENCE (14)	BMP-99&100

SYMBOL	STABILIZED CONSTRUCTION ENTRANCE
S.C.E.	
DIAGRAM	
CONDITIONS WHERE PRACTICE APPLIES	<ul style="list-style-type: none"> — PERIMETER CONTROL — SLOPE PROTECTION * SEDIMENT TRAPPING — DRAINEWAY & STREAM PROTECTION * TEMPORARY STABILIZATION & EXPOSURE LIMITS * PERMANENT STABILIZATION & EXPOSURE LIMITS * NON-SEDIMENT POLLUTION CONTROL
DEFINITION	A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK OR PARKING AREA.
PURPOSE	THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT INTO PUBLIC ROADS, PAVED OR STREETS, REDUCING TRACKOUT OF SEDIMENTS AND OTHER POLLUTANTS ONTO PUBLIC ROADS. THIS PRACTICE HELPS PREVENT DEPOSITION OF SEDIMENTS INTO LOCAL STORM DRAINS AND PRODUCTION OF AIRBORNE DUST.
APPROPRIATE APPLICATIONS	A STABILIZED CONSTRUCTION ENTRANCE SHOULD BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS. NPDES PERMITS REQUIRE THAT APPROPRIATE MEASURES BE IMPLEMENTED TO PREVENT TRACKOUT OF SEDIMENTS ONTO PAVED ROADS.
LIMITATIONS	THE STABILIZED CONSTRUCTION ENTRANCE PLAN SHOULD BE REVIEWED AS PART OF THE PROJECT TRAFFIC CONTROL.
DESIGN & SIZING CONSIDERATIONS	- CONSTRUCT ON LEVEL GROUND. - STABILIZED CONSTRUCTION ENTRANCES ARE RATHER EXPENSIVE TO CONSTRUCT AND WHEN A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
STABILIZED CONSTRUCTION ENTRANCES	STABILIZED CONSTRUCTION ENTRANCES ARE NOT VERY EFFECTIVE IN REMOVING SEDIMENT FROM EQUIPMENT LEAVING A CONSTRUCTION SITE. EFFICIENCY IS GREATLY INCREASED, THOUGH WHEN A WASHING RACK IS INCLUDED AS PART OF A STABILIZED CONSTRUCTION ENTRANCE, BUILD ON LEVEL GROUND. 1. ADVANTAGES: - DOES REMOVE SOME SEDIMENT FROM EQUIPMENT AND SERVES TO CHANNEL CONSTRUCTION TRAFFIC IN AND OUT OF THE SITE. 2. DESIGN & SIZING CONSIDERATIONS THE AGGREGATE FOR STABILIZED CONSTRUCTION ENTRANCES SHALL BE 1 TO 3 INCHES IN SIZE, WASHED, WELL-GRDED GRAVEL OR CRUSHED ROCK. THE APRON DIMENSIONS RECOMMENDED ARE 30 FT. X 50 FT. AND 6 INCHES DEEP. ENTRANCE MUST BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE. WHEN WASH AREAS ARE PROVIDED, WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO A PROPERLY CONSTRUCTED SEDIMENT TRAP OR BASIN. MAINTENANCE REQUIREMENTS 1. DO NOT MOVE EQUIPMENT AFTER EACH RAINFALL. 2. REPLACE GRAVEL MAT WHEN SURFACE Voids ARE NO LONGER VISIBLE. 3. PERIODIC TOP DRESSING WITH ADDITIONAL STONE WILL BE REQUIRED. 4. ALL SEDIMENTS DEPOSITED ON PAVED ROADS MUST BE REMOVED WITHIN 24 HOURS. 5. REMOVE GRAVEL AND FILTER FABRIC UPON COMPLETION OF CONSTRUCTION. REFERENCES (1, 2)
BMP-37&38	BMP-35

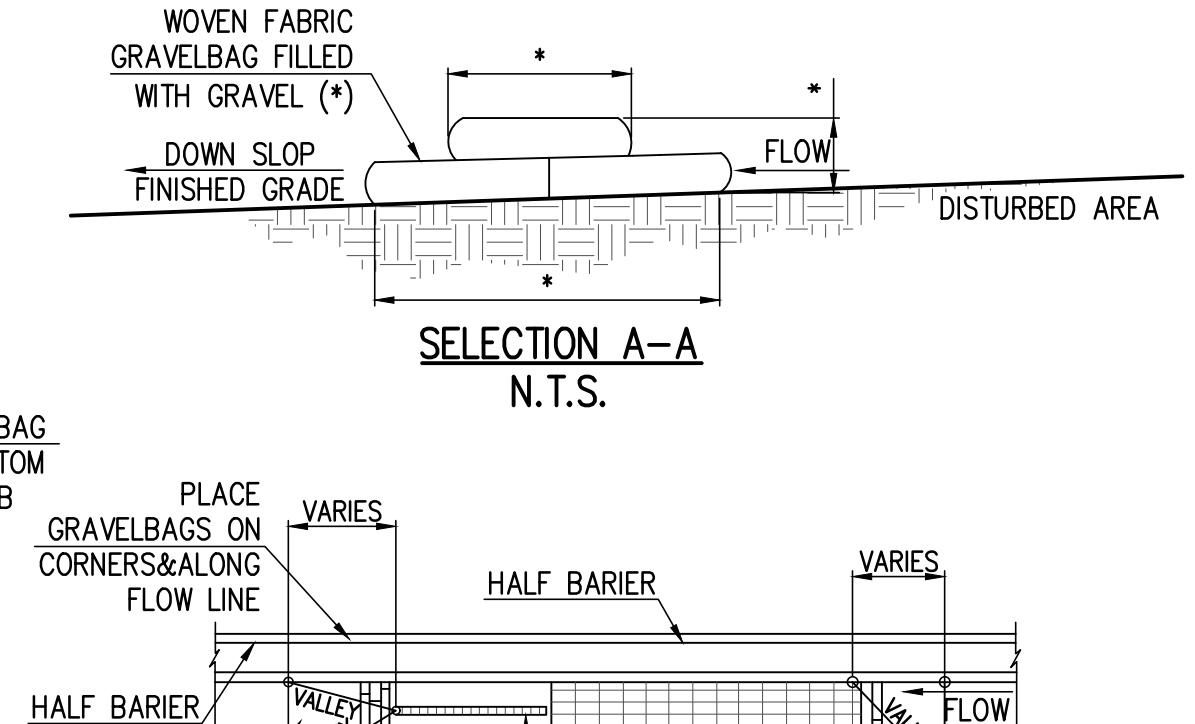
SELECTION OF FABRIC TENSILE STRENGTH AND BURSTING STRENGTH CHARACTERISTICS SHALL BE SUPPORTED WITH WIRE MESH IN AND AS RECOMMENDED BY THE FABRIC MANUFACTURER.
FILTRATION MATERIAL SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX MONTHS OF EXPECTED USE LIFE AT A TEMPERATURE RANGE OF 0° F. TO 120° F.

1. TYPICAL INSTALLATION:

FILTER FENCES ARE TO BE CONSTRUCTED ON A LEVEL CONTOUR TO MAXIMIZE THE AVAILABLE PONDING AREA AND PREVENT CONCENTRATION OF FLOW AGAINST THE FENCE.
A. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 30 INCHES.
B. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POSTS AND UPLAND FROM THE BARRIER.
C. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SHALL BE FASTENED SECURELY TO THE UPLAND SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS SHALL EXTEND INTO THE TRENCH. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT WIRE DIRECTLY FENCE MAY BE ELIMINATED AND THE FILTER FABRIC STAPLED OR WIRED DIRECTLY TO THE POSTS.
D. THE USE OF JOINTS SHOULD BE AVOIDED. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
E. THE TRENCH SHALL BE BACKFILLED WITH 3/4-INCH MINIMUM DIAMETER WASHED GRAVEL OR COMPACTED NATIVE MATERIAL.

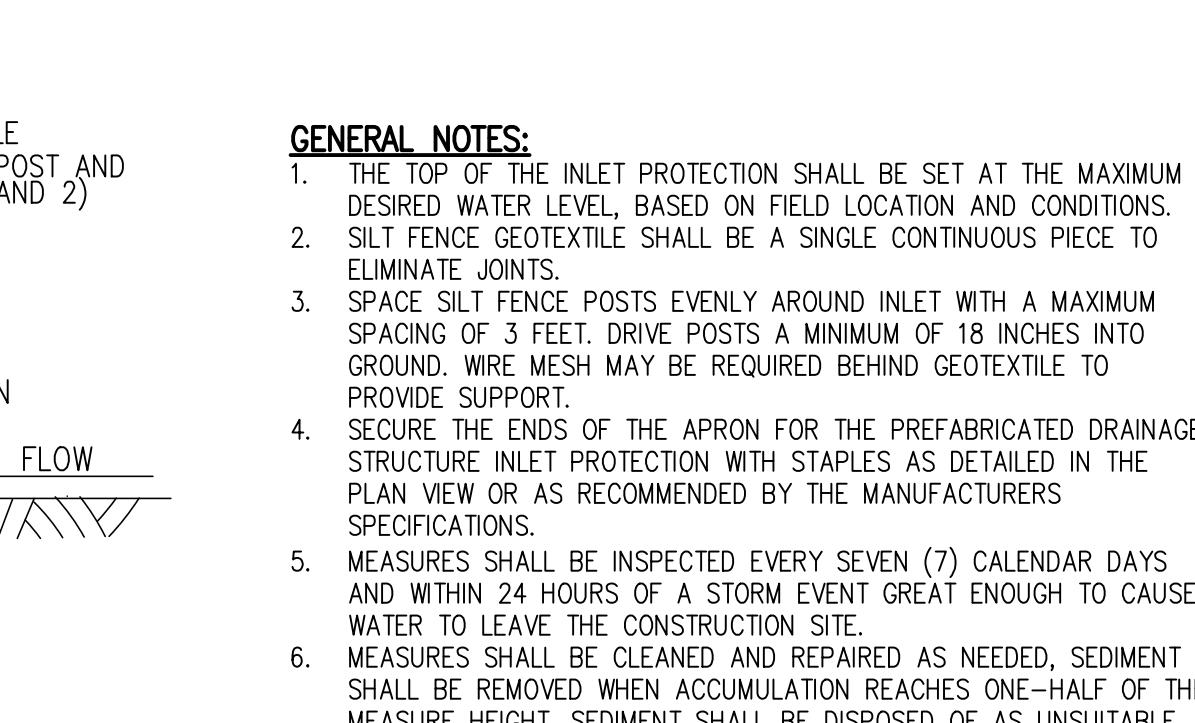
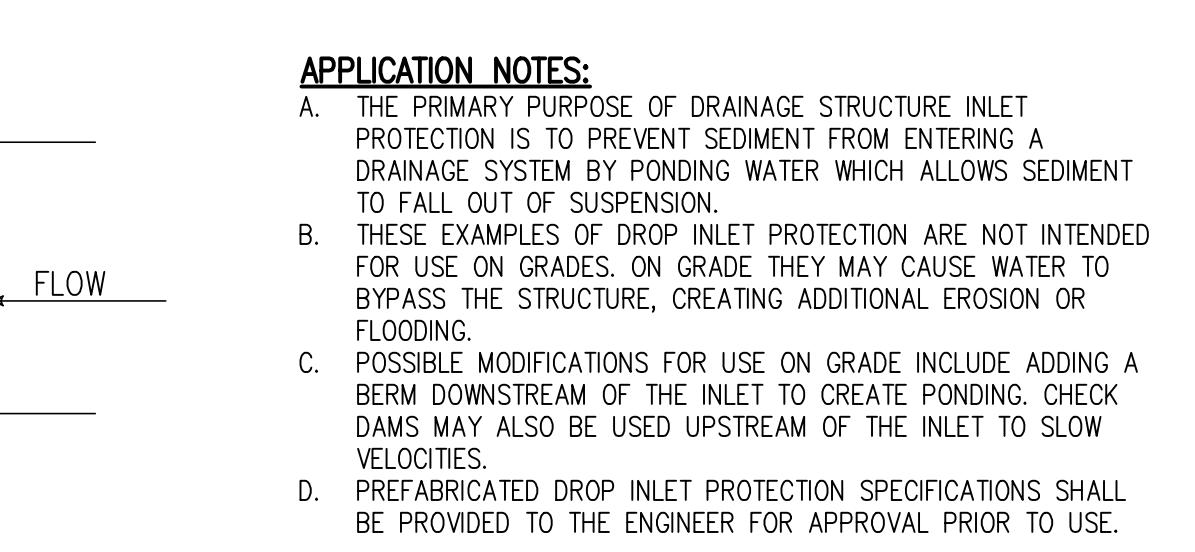
NOTES:

1. * SEE SPECIAL PROVISIONS.
2. GRAVELBAG MATERIAL SHALL BE FROM POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE WOVEN FABRIC. SEE SPECIAL PROVISIONS FOR MULLEN BURST STRENGTH AND ULTRAVIOLET STABILITY REQUIREMENTS.
3. WHEN SEDIMENT DEPTH REACHES 3 INCHES, REMOVE AND PROPERLY DISPOSE OF ACCUMULATED MATERIAL.
4. TOP OF GRAVELBAG TO BE 2 INCHES BELOW TOP OF ADJACENT ROADWAY TO ALLOW DRAINAGE INTO THE CATCH BASIN.
5. GRAVELBAG BMP SHALL NOT BE APPLIED IN THE AREA OF OPEN TRAFFIC.
6. THE INSTALLATION AND MAINTENANCE OF GRAVELBAG BMPS SHALL NOT NEGATIVELY IMPACT TRAFFIC SAFETY, AS WELL AS THE DESIGN FUNCTION OF ROADWAY OR BRIDGE DRAINAGE FACILITIES. FOR EROSION/SEDIMENT CONTROL PURPOSES, GRAVELBAG BMPS SHALL BE INSTALLED AND MAINTAINED TO CARRY THE STORM WATER OF AT LEAST 2-YEAR, 24-HOUR EVENTS.
7. THE GRAVELBAG BMP PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP, ALL GROUND PREPARATION, FURNISHING, INSTALLING, FINAL REMOVAL, AND DISPOSAL OF THIS TEMPORARY BMP, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.



PLAN VIEW
N.T.S.

DROP INLET PROTECTION
SILT FENCE DROP INLET PROTECTION



REVISIONS: DATE: 10/06/25
DESIGNED BY: NP
DRAWN BY: ZA
PLOT DATE: 10/06/25
JOB: 250-0070
VERSION: 1.3
PLOT DATE: 10/06/25
CHECKED BY: JI

DATE: 10/06/25
DESIGNED BY: NP
DRAWN BY: ZA
PLOT DATE: 10/06/25
JOB: 250-0070
VERSION: 1.3
PLOT DATE: 10/06/25

DATE: 10/06/25
DESIGNED BY: NP
DRAWN BY: ZA
PLOT DATE: 10/06/25
JOB: 250-0070
VERSION: 1.3
PLOT DATE: 10/06/25

DATE: 10/06/25
DESIGNED BY: NP
DRAWN BY: ZA
PLOT DATE: 10/06/25
JOB: 250-0070
VERSION: 1.3
PLOT DATE: 10/06/25

DATE: 10/06/25
DESIGNED BY: NP
DRAWN BY: ZA
PLOT DATE: 10/06/25
JOB: 250-0070
VERSION: 1.3
PLOT DATE: 10/06/25

DATE: 10/06

