

UNDER ROOF:	
FLOOR 01	4,442.59 SQ FT
FLOOR 02	2,433.85 SQ FT
TOTAL:	6,876.44 SQ FT

LIVABLE:	
FLOOR 01	2,655.68 SQ FT
FLOOR 02	1,867.84 SQ FT
TOTAL:	4,523.52 SQ FT

FLOOR AREA RATIO (IN SQ FT)	AREA BELOW GRADE	ACTUAL AREA	F.A.R. AREA
FLOOR 01 UNDERROOF--COUNTS AS BASEMENT	2310 (52%)	4443	2133
FLOOR 02 UNDERROOF		2434	2434
FLOOR 02 NORTH COURTYARD		743	743
TOTAL			5310

LOT AREA = 50,720 SQ FT
 FLOOR AREA RATIO = 5,310 SQ FT
 10.5%

1 Noted Floor Plan 1
 1.2 SCALE: 3/16" = 1'-0"

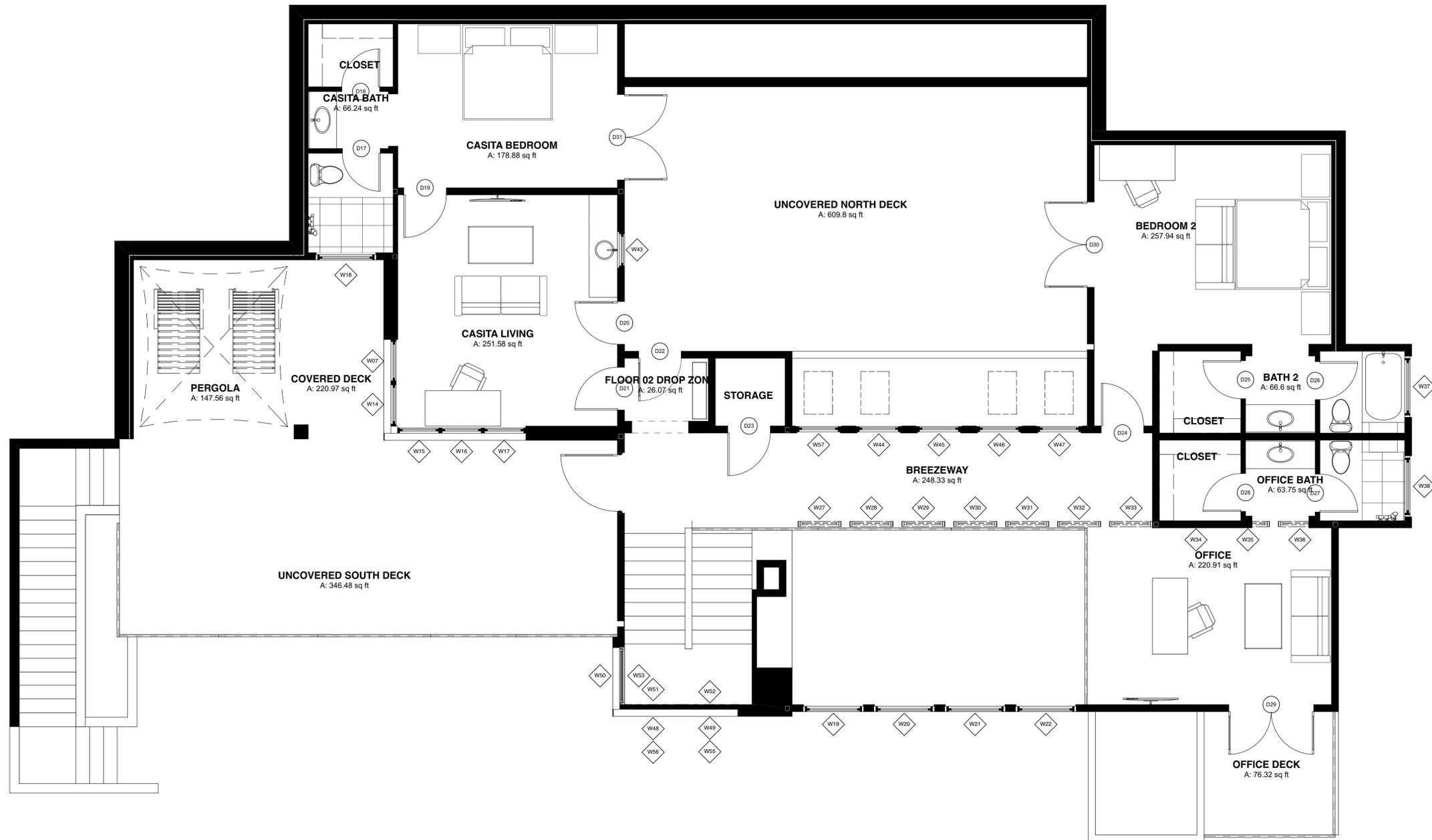


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REVISIONS	BY



DATE: 8/18/16
 SCALE: 3/16" = 1'-0"
 DRAWN BY: L. Colwell
 JOB: WESTHOFF
 SHEET:



1 Noted Floor Plan 2
1.3 SCALE: 1/4" = 1'-0"

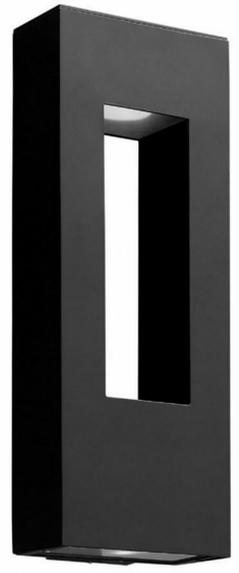


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DRAWN BY: L. Colwell
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SHEET:



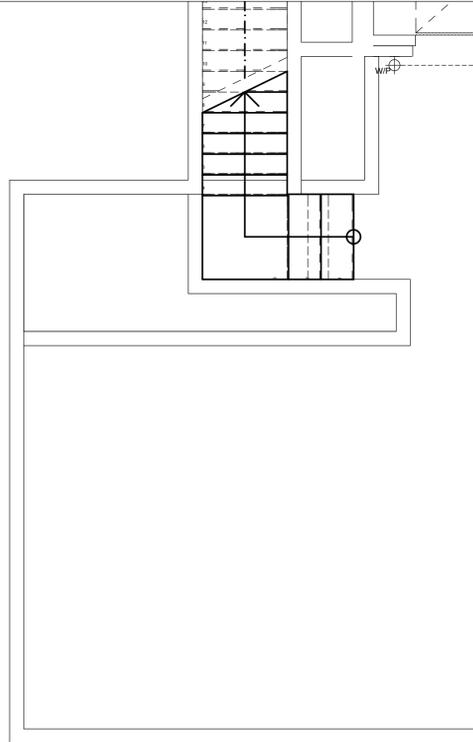
ATLANTIS 1649BZ-LED	
BRONZE	
WIDTH:	9.0"
HEIGHT:	24.0"
WEIGHT:	7.0 LBS
MATERIAL:	EXTRUDED ALUMINUM BODY
GLASS:	ETCHED GLASS LENS
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	6.5"
SOCKET:	2-5.50W COL-35 INCLUDED
DARK SKY:	YES
LED INFO:	
LUMENS:	250
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	6w
INCANDESCENT EQUIVALENCY:	35w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
NOTES:	PATENT: US AND FOREIGN PATENTS PENDING
EXTENSION:	4.0"
TTO:	20.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665164930

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW'.

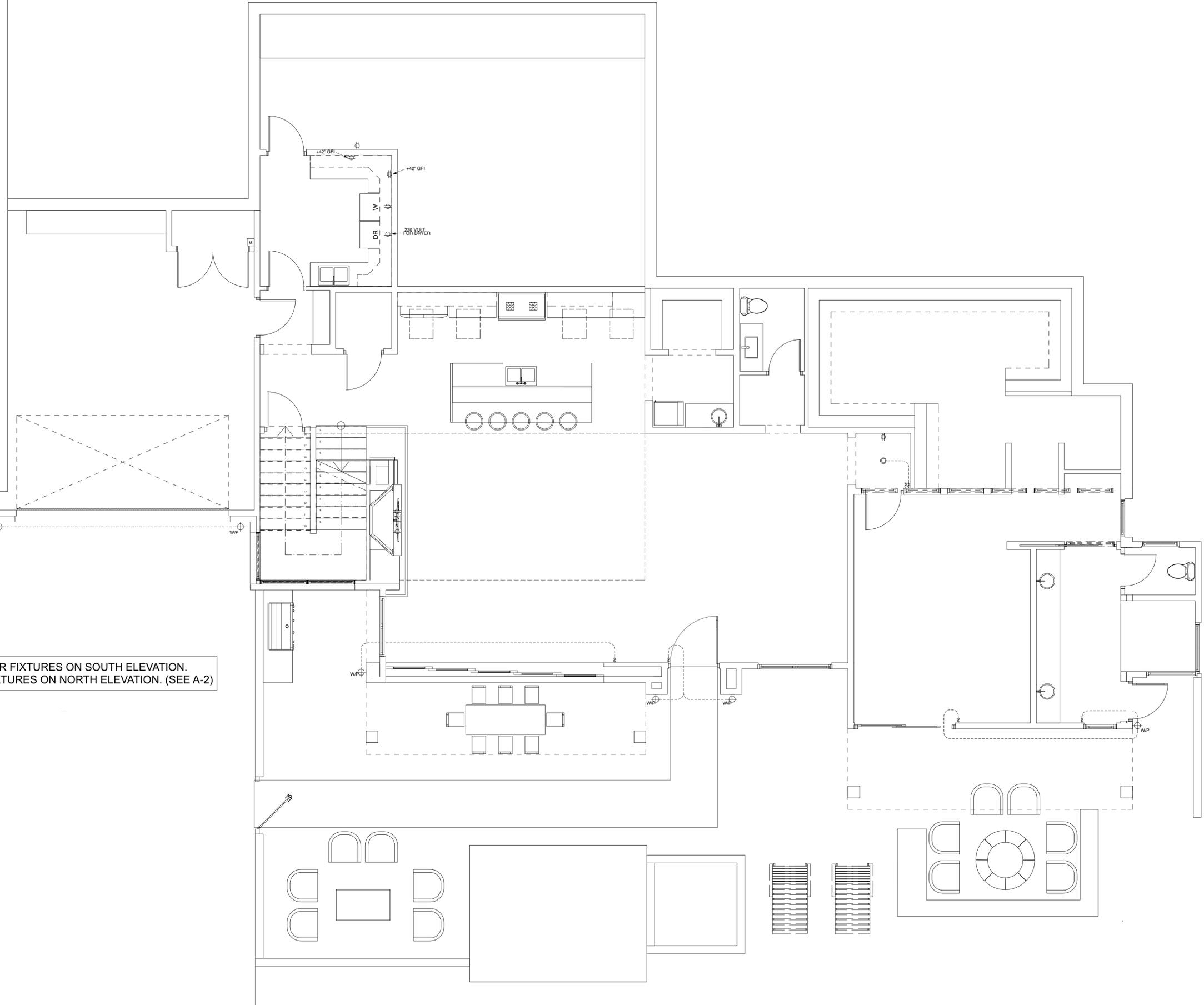
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Exterior Scene Details

SCALE: 1" = 1'-0"



7 EXTERIOR FIXTURES ON SOUTH ELEVATION.
 3 EXTERIOR FIXTURES ON NORTH ELEVATION. (SEE A-2)

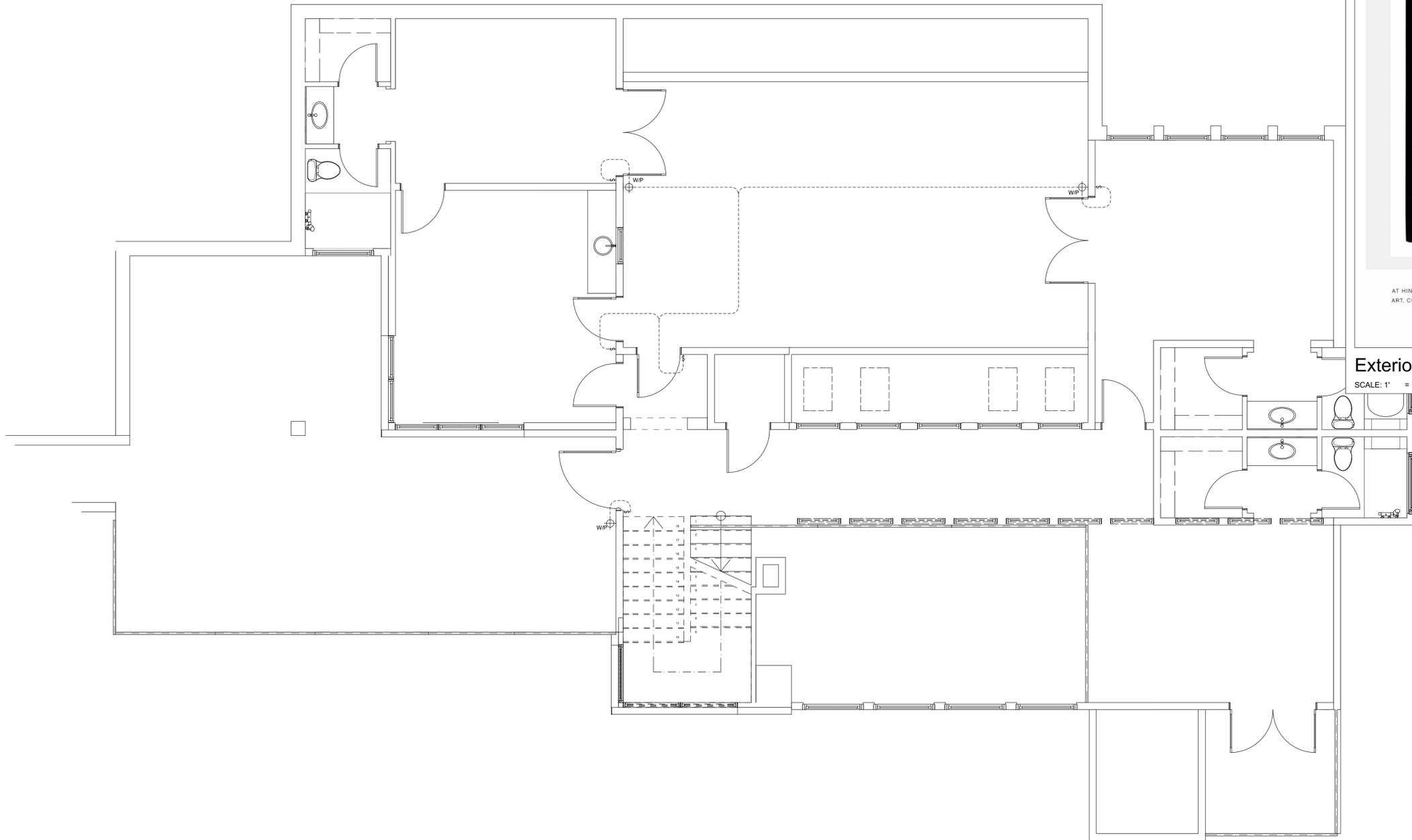


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REVISIONS	BY



DATE: 8/18/16
 SCALE: 1" = 1'-0"
 DRAWN BY: L. Colwell
 JOB: WESTHOFF
 SHEET:



1
A-4 Floor 02 Exterior Building Lighting

SCALE: 1/4" = 1'-0"



HINKLEY & R.
HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 440.683.5500 | (F) 440.683.5555
HINKLEYLIGHTING.COM | FREDRICKSRAMOND.COM

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BRONZE	
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HEIGHT:	24.0"
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COLOR TEMP:	2700K
CRI:	90
LED WATTAGE:	6w
INCANDESCENT EQUIVALENCY:	35w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer!
NOTES:	PATENT US AND FOREIGN PATENTS PENDING
EXTENSION:	4.0"
TTO:	20.8"
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VOLTAGE:	120V
LPC:	640665164930

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Exterior Scone Details

SCALE: 1" = 1'-0"

3 EXTERIOR FIXTURES ON NORTH ELEVATION.
7 EXTERIOR FIXTURES ON SOUTH ELEVATION. (SEE A-1)

6824 N Highlands Drive
Paradise Valley AZ 85253
CULLUM HOMES
www.cullumhomes.com

STRONG KENNEDY
ARCHITECTS
480-577-3773

Floor 02 Exterior Building Lighting

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REVISIONS	BY



DATE: 8/18/16
SCALE: 1" = 1'-0"
DRAWN BY: L. Colwell
JOB: WESTHOFF
SHEET:

A2

- KEY NOTES**
- 1 NOTE: NOT ALL KEYNOTES USED
- 1- STUCCO ER-1607, VERIFY FINISH AND COLOR WITH CONTRACTOR, (SEE NOTE 8 ABOVE IN GENERAL NOTES).
 - 2- STUCCOED FASCIA ER-1607, (SEE STRUCTURAL DETAILS, SHEET #S 3.1).
 - 3- T-111 T&G WOOD SIDING (OR EQUAL).
 - 4- CULTURED STONE.
 - 5- BRICK VENEER.
 - 6- CANTERA STONE.
 - 7- NON STRUCTURAL VEGA LOGS SCABBED ON.
 - 8- NUN STRUCTURAL R.S. DEAM/HEADER COSMETIC ONLY.
 - 9- CLAY TILE, (ESR-1647) OVER 90# FELT.
 - 10- CONC. TILE, (ESR-1900) OVER 90# FELT.
 - 11- ASPHALT SHINGLES ON 30# FELT.
 - 12- BUILT UP ROOFING.
 - 13- TOP OF CHIMNEY TO BE A MINIMUM OF 2' ABOVE ANY PART OF BUILDING WITHIN A 10' RADIUS.
 - 14- PROVIDE MANUFACTURE APPROVED SPARK ARRESTOR.
 - 15- SADDLE TYPE WATER DIVERTER, (TYP. AT CHIMNEY)
 - 16- G.I. WEEP SCREED 3/4" BELOW PLATE, 26 GAUGE W/ 3 1/2" VERT. FLANGE SEE IRC R703.6.2.1 AND IRC R703.6.2
 - 17- FINISH GRADE.
 - 18- NATURAL GRADE.
 - 19- PANELED GARAGE DOORS, PAINT TO MATCH RESIDENCE (VERIFY).
 - 20- PREFABRICATED DORMER VENTS.
 - 21- GABLE END VENT.
 - 22- DIRECT VENT FOR FIREPLACE (GAS ONLY) INSTAL PER MFR. SPECS.
 - 23- MIN. 34", MAX 38" HIGH GUARDRAIL SPACE PICKETS SO AS TO NOT ALLOW A 4" SPHERE TO PASS THROUGH
 - 24- 8" G.I. SCUPPER.
 - 25- TEMPERED GLASS.



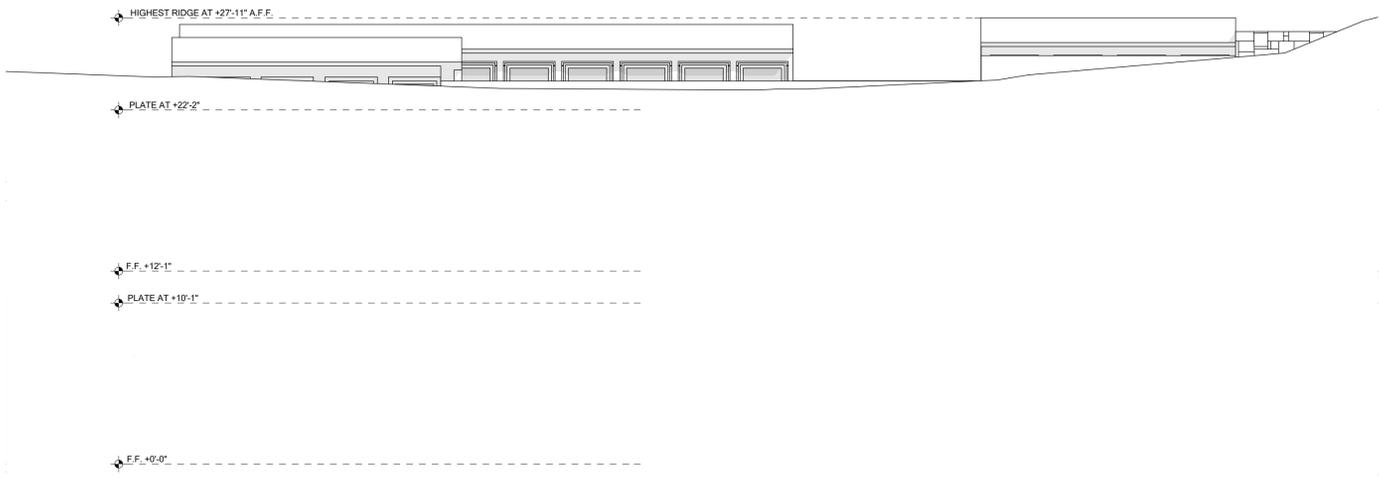
1 North Elevation
SCALE: 3/16" = 1'-0"



ALL ATTIC AREAS ABOVE LIVABLE SPACE TO BE CONDITIONED/ NONVENTED SPACE

THE INSULATION (LOW-DENSITY SPRAY FOAM, GACOFIRESTOP 5500 - IAPMO ES-0233 OR APPVD EQUAL) SHALL BE APPLIED TO THE OUTSIDE DIAPHRAGM OF THE ATTIC AREA AGAINST THE ROOF DECKING; THUS THE ATTIC SPACE IS CONDITIONED AND WILL NOT BE VENTED. THIS APPLIES TO ATTIC SPACE DIRECTLY ABOVE LIVABLE AREAS (AND GARAGES) ONLY. WALLS SEPARATING CONDITIONED AND UNCONDITIONED AREAS SHALL BE BLOCKED AND NAILED UP THROUGH THE ATTIC SPACE TO THE ROOF TO MAINTAIN THE CONDITIONED ATTIC AREAS. [NOTE: EVALUATION REPORT REQUIRED TO BE ONSITE FOR ALL INSPECTIONS]

- NOTE:**
- 1- PROVIDE WEATHER FLASHING AT ALL EXTERIOR PENETRATIONS INCLUDING WINDOWS, DOORS, AND VENTS PER I.B.C..
 - 2- SHEAR ENTIRE HOUSE WITH 3/8" O.S.B. BLOCK ALL EDGES AND NAIL 8d @6" O.C. AT EDGES AND AT 12" O.C. AT INTERMEDIATE SUPPORTS, (SEE I.R.C. R602) - U.N.O., SEE SHEET S1.0
 - 3- SHEARWALL SHEETING TO BE 1/2" O.S.B. WAFFER BD. W/ CLIPS.
 - 4- ROOF SHEETING TO BE 1/2" O.S.B. WITH CLIPS.
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 - 7- MAG ONE-COAT STUCCO COMPLIANCE PROGRAM ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MFR APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIERS SHALL BE INSTALLED OVER ALL FRAMING, AND WOOD BASED SHEATHING. ONE-COAT STUCCO SYSTEM SHALL BE WESTERN ONE-COAT STUCCO SYSTEM ICC ESR 1607 OR OTHER APPROVED 1-COAT STUCCO SYSTEM. THIS ONE-COAT STUCCO SYSTEM SHALL BE APPLIED OVER A WEATHER-RESISTIVE BARRIER CONSISTING OF:
 - A. ONE LAYER OF GRADE "D" KRAFT WATER-PROOF BUILDING PAPER OR OTHER WEATHER-RESISTIVE BARRIER CONFORMING TO IRC SECTION 703.2, OVER ALL OPEN STUD WALL FRAMING.
 - B. TWO LAYERS OF GRADE "D" KRAFT WATER-RESISTIVE BARRIER CONFORMING TO IRC SECTION 703, OVER ALL WOOD BASED WALL SHEATHING.



2 South Elevation
SCALE: 3/16" = 1'-0"

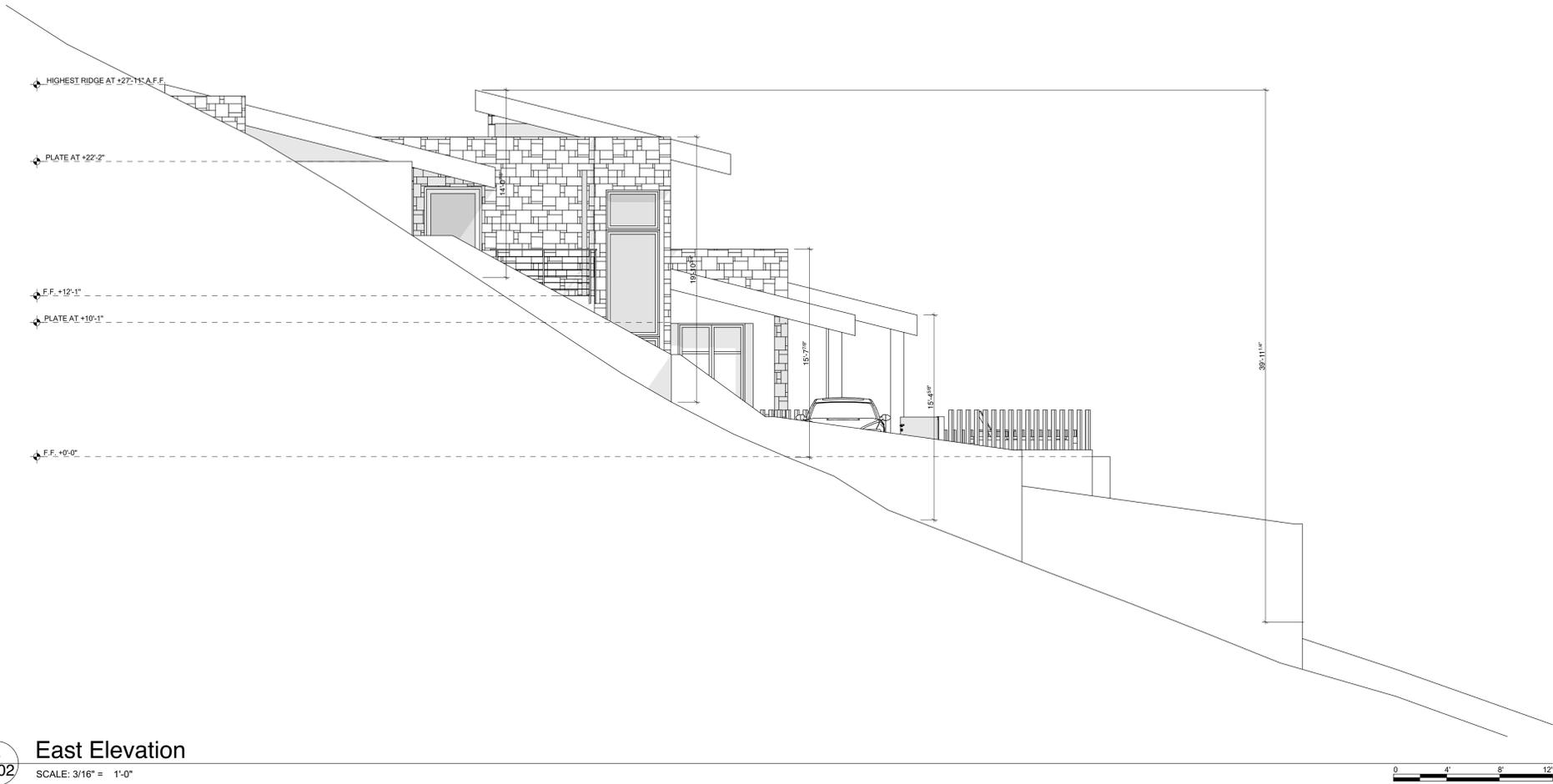


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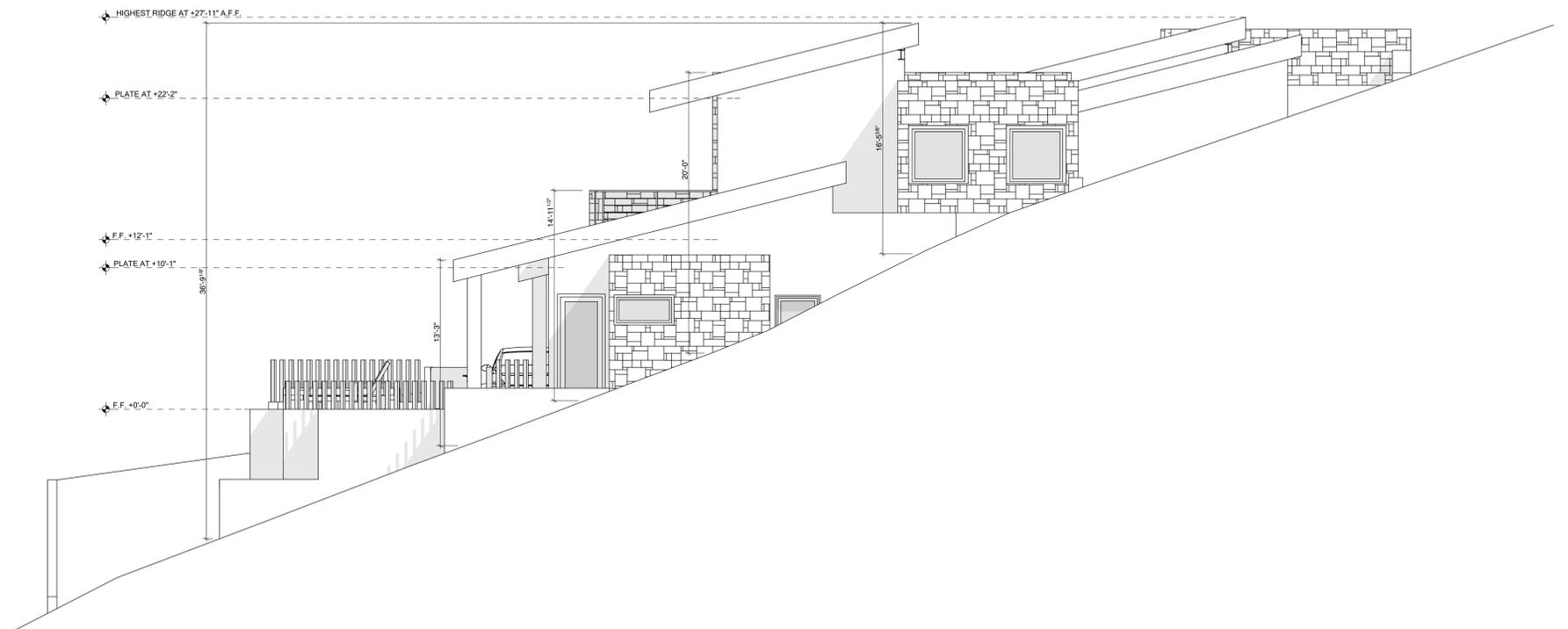
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SCALE: 3/16" = 1'-0"

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4 West Elevation
SCALE: 3/16" = 1'-0"



View from South



View from Southeast



View from Northwest



View from South



View from East



View from Southwest



View from North



View from Northeast



View from West

New Home Construction
for the Jane Westhoff Trust
6824 North Highlands Drive
Paradise Valley, Arizona 85253

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ARCHITECTS
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CULLUM HOMES
Design • Build • Renovations

Study Model Views
NOT TO SCALE
Digital Model to be presented to Hillside Committee at September 8th Meeting.



New Home Construction
for the Jane Westhoff Trust
6824 North Highlands Drive
Paradise Valley, Arizona 85253

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Site Views
NOT TO SCALE

Views from the Site

(Taken at approximate proposed)



Preserved Rock Formation
View to north from communications building location. Tall saguaro is west of guest parking driveway area.



View across site to West.
Slump to be revegetated with communications building. Palo Verde to left marks location of top level of communications building. Tall saguaro marks west edge of residence's guest parking.



View from street.
Proposed driveway entrance for communications building.



View to North
View from North Uncovered Patio.



View from street.
Proposed driveway entrance for residence.



View from street.
Center of site.

Views of the Site

PARADISE VALLEY NOTES

- 1.) WALLS AND FENCES IN FRONT YARD SETBACKS ABUTTING LOCAL OR COLLECTOR STREETS, OR BOTH, SHALL COMPLY WITH P.V. ZONING ORDINANCE ARTICLE XXIV AND XXII.
- 2.) ALL NEW AND EXISTING PERIMETER FENCING SHALL BE FINISHED ON BOTH SIDES PER P.V. ZONING ORDINANCE 2403.
- 3.) WHERE EXCAVATION IS TO OCCUR, THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- 4.) EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO P.V. TOWN ORDINANCE 1008.
- 5.) ALL EXTERIOR LIGHTING TO COMPLY WITH P.V. ZONING ORDINANCE 2208 FOR FIXTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED ON FIXTURES INSTALLED. 25 WATT MAX. FOR EXPOSED FIXTURES AND 75 WATT MAX. FOR SHIELDED FLOOD LIGHTS.

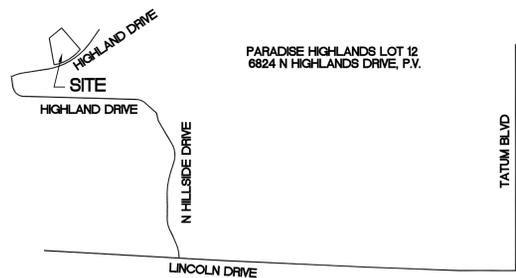
PARADISE VALLEY HILLSIDE NOTES

- 1.) NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPILED INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- 2.) ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- 3.) ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- 4.) THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- 5.) CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL.

GRADING AND DRAINAGE NOTES

- 1.) CERTIFICATION OF FINISH FLOORS OR BUILDING PADS IS THE RESPONSIBILITY OF THE DEVELOPER, BUILDER, OWNER AND SHALL BE SUBMITTED PRIOR TO A REQUEST FOR CERTIFICATION OF OCCUPANCY OR FINAL INSPECTION.
- 2.) AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- 3.) ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PIPES, PROTECTIVE BERMS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
- 4.) SOIL COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE TWO (2) OR MORE FEET OF FILL MATERIAL INDICATED. THIS INFORMATION SHALL BE SUPPLIED PRIOR TO POURING FOUNDATIONS. MINIMUM 95% COMPACTION PER ASTM D698.
- 5.) PREPARATION OF GROUND: THE AREA OVER WHICH FILLS ARE TO BE MADE SHALL BE CLEARED OF ALL TRASH, TREES, STUMPS, DEBRIS OR OTHER MATERIAL NOT SUITABLE AS A FOUNDATION FOR FILL.
- 6.) LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION SUPPLIED TO THE ENGINEER BY THE APPROPRIATE UTILITY COMPANIES. NO GUARANTEE ON LOCATIONS OR ACCURACY IS IMPLIED OR GIVEN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUESTAKE (811) AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- 7.) RETAINING WALLS SHALL BE BACKFILLED WITH 1" ROCK FOR 1' X 1' BAND AT ELEVATION OF PVC WEEP DRAINS.
- 8.) DISTURBED AREAS SHALL BE REPLANTED WITH DESERT PLANTS OR DROUGHT-RESISTANT PLANTS. EXISTING VEGETATION SHALL BE RELOCATED IF DISTURBED BY CONSTRUCTION.
- 9.) SWALES AND DRAINAGE PATHS SHALL BE LINED WITH 6" MINIMUM INDIGENOUS ROCK, 12" DEEP, UNLESS NOTED OTHERWISE, AND TOP OF ROCK SHALL NOT OBSTRUCT FLOW AFTER FINISH LANDSCAPING.
- 10.) ALL EXPOSED RETAINING WALLS AND FENCES SHALL BE FINISHED WITH PAINTED STUCCO, U.N.O.
- 11.) CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS AND ON-SITE CONDITIONS PRIOR TO STARTING ANY CONSTRUCTION.
- 12.) ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF TRASH, SILT, VEGETATION, AND DEBRIS.

- 13.) DROPS OF 30" OR MORE IN ACCESSIBLE AREAS SHALL BE PROTECTED BY A 36" MINIMUM HEIGHT GUARD RAIL (G.R.).
- 14.) CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO PROCEEDING WITH WORK.
- 15.) FINISH GRADE SHALL SLOPE AWAY FROM RESIDENCE AT 5% FOR A MINIMUM DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA.
- 16.) ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING ARE NOT A PART OF THIS SITE PLAN.
- 17.) SWMMING POOLS, SPAS, FENCES, AND SITE WALLS REQUIRE SEPARATE PERMITS.
- 18.) MITIGATION OF EXPANSIVE SOIL IS NOT A PART OF THIS PLAN. SEE HOUSE PLANS FOR REQUIREMENTS.
- 19.) FOUNDATIONS SHALL BEAR ON NATIVE SOIL OR COMPACTED FILL WITH MINIMUM 95% COMPACTION PER ASTM D698.
- 20.) CONTRACTOR SHALL PROVIDE 1" MINIMUM WATER SERVICE.
- 21.) CONTRACTOR SHALL USE APPROVED BUILDING PLANS FOR HOUSE DIMENSIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
- 22.) FILL AREAS WITH NATURAL GRADES GREATER THAN 10% SLOPE SHALL BE BENCHED TO LEVEL PADS PRIOR TO BACKFILL.
- 23.) ALL SITE CONSTRUCTION SHALL AT A MINIMUM MEET REQUIREMENTS OF MAG SPECIFICATIONS AND DETAILS.
- 24.) FLOORS BELOW GRADE SHALL BE PROTECTED BY WATERPROOF WALLS 14" MINIMUM ABOVE FINISH GRADE OR AS NOTED, WHICHEVER IS HIGHER
- 25.) CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS INCLUDING MARICOPA COUNTY DUST CONTROL PERMITS.
- 26.) INSTALL ALL PRODUCTS PER MANUFACTURER'S INSTRUCTIONS
- 27.) ADD SPLASH PADS OR EROSION PROTECTION AT ALL SCUPPERS, DOWNSPOUTS AND ROOF DRAINS LOCATIONS.
- 28.) CONSTRUCTION AND EARTHWORK SHALL COMPLY WITH THE GEOTECHNICAL INVESTIGATION BY PROTEX, LLC DATED 01/08/16, PROJECT # 5154.
- 29.) EXISTING GRADE SHALL BE BENCHED TO LEVEL PADS PRIOR TO ADDING FILL
- 30.) PROVIDE A "V" DITCH PER DETAIL A THIS DRAWING AROUND THE ENTIRE UPPER SIDE OF DEVELOPMENT.
- 31.) INSTALL PERMEABLE PAVERS PER MANUFACTURER'S INSTRUCTIONS



VICINITY MAP
N.T.S.

RETENTION CALCULATIONS

DESIGN: TOWN OF PARADISE VALLEY
100 YEAR, 2 HOUR STORM

RETENTION REQUIRED:
 $V = (A \cdot D \cdot C) \cdot 12$
 $A = 50,726 \text{ SF}$
 $D = 2.82"$
 $C = 0.35 \text{ PRE AND } 0.45 \text{ POST}$

RETENTION REQUIRED:
 $V_R = (50726 \cdot 2.82 \cdot (0.45 + 0.35) / 12) \cdot 25\% \text{ FOR HILLSIDE LOT} = 298 \text{ CF (REQUIRED)}$

RETENTION PROVIDED:
 STONE BENEATH PERMEABLE PAVERS
 $V_p = 3110 \text{ SF} \times 4/12 \text{ DEPTH} \times 40\% \text{ VOID} = 410 \text{ CF}$

HILLSIDE SITE PLAN AND GRADING + DRAINAGE

JANE MARIE WESTHOFF TRUST

PARADISE HIGHLANDS LOT 12

LEGAL DESCRIPTION

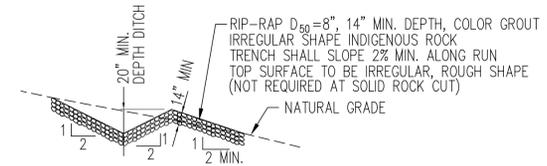
PARADISE HIGHLANDS LOT
12 MCR BLOCK 84 LOT 36.

ADDRESS

6824 N HIGHLANDS DRIVE
PARADISE VALLEY, AZ

SHEET INDEX

- | | |
|----|--------------------------------------|
| C1 | COVER SHEET |
| C2 | CIVIL SITE PLAN |
| C3 | GRADING & DRAINAGE PLAN |
| 1 | STORMWATER POLLUTION PREVENTION PLAN |
| 2 | STORMWATER POLLUTION PREVENTION PLAN |



"V" DITCH SECTION 4
NTS C1

PROJECT DATA

ZONING	R1-43 PER MARICOPA COUNTY ASSESSOR	<u>DISTURBED AREA CALCULATIONS:</u>	
ASSESSOR'S PARCEL #	169-53-012	AREA OF LOT	1.16 ACRES 50,726 SQUARE FEET
AREA OF LOT	50,726 SF (1.16 Ac.)	TOTAL AREA UNDER ROOF	6,877 SQUARE FEET
		FLOOR AREA RATIO	10.8%
		BUILDING PAD SLOPE	39.3% (VERTICAL/HORIZONTAL)
		VERTICAL	38.4 FEET
		HORIZONTAL	97.6 FEET
		ALLOWABLE DISTURBED AREA (10.0%)	5,072 SQUARE FEET
		EXISTING DISTURBED AREA	0 SQUARE FEET
		PROPOSED DISTURBED AREA	4,946 SQUARE FEET
		PERCENT LOT STEEPER THAN NATURAL GRADE (5% MAX)	0 %
		VOLUME CUT	2,370 C.Y.
		VOLUME FILL	160 C.Y.
		HILLSIDE ASSURANCE @ \$25/CUBIC YARD CUT & FILL	= \$63,250
		GROSS DISTURBANCE LESS RESTORED/REVEGETATED AREA	15,574 SF
		LESS BUILDING FOOTPRINT OF LIVABLE & GARAGE	-5,341 SF
		LESS 25% DRIVEWAY (3086X25%)	-771 SF
		NET DISTURBANCE	9,462 SF
		RESTORED/REVEGETATED AREA	4,516 SF
		PROPOSED DISTURBED AREA	4,946 SF

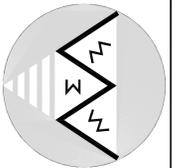
BENCHMARK:

PHOENIX BRASS CAP IN HAND HOLE AT SOUTH QUARTER CORNER SECTION 7. POINT I.D.24540-1 EL. 1312.266 (N.A.V.D. '88 DATUM)



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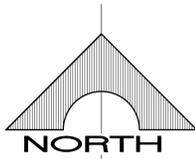


JANE MARIE WESTHOFF TRUST
PARADISE HIGHLANDS LOT 12
6824 N HIGHLANDS DRIVE, P.V.

DATE: 5-22-2015	PROJECT NO.: 15064	SCALE: AS NOTED
DRAWN BY: KSM	CHECKED BY: DRM	COVER SHEET

DRAWING NO:
C1of3

NO.	DATE	DESCRIPTION
4	8/19/16	P.V. COMMENTS
3	7/29/16	P.V. COMMENTS
		DRM
		BY



GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

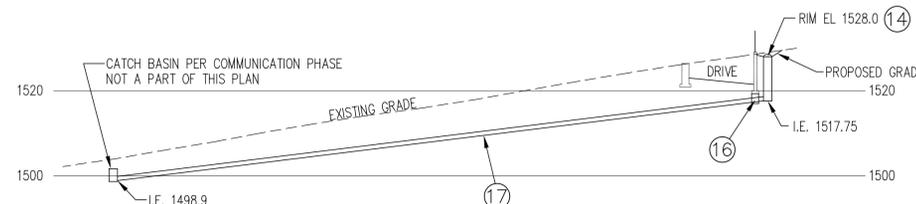
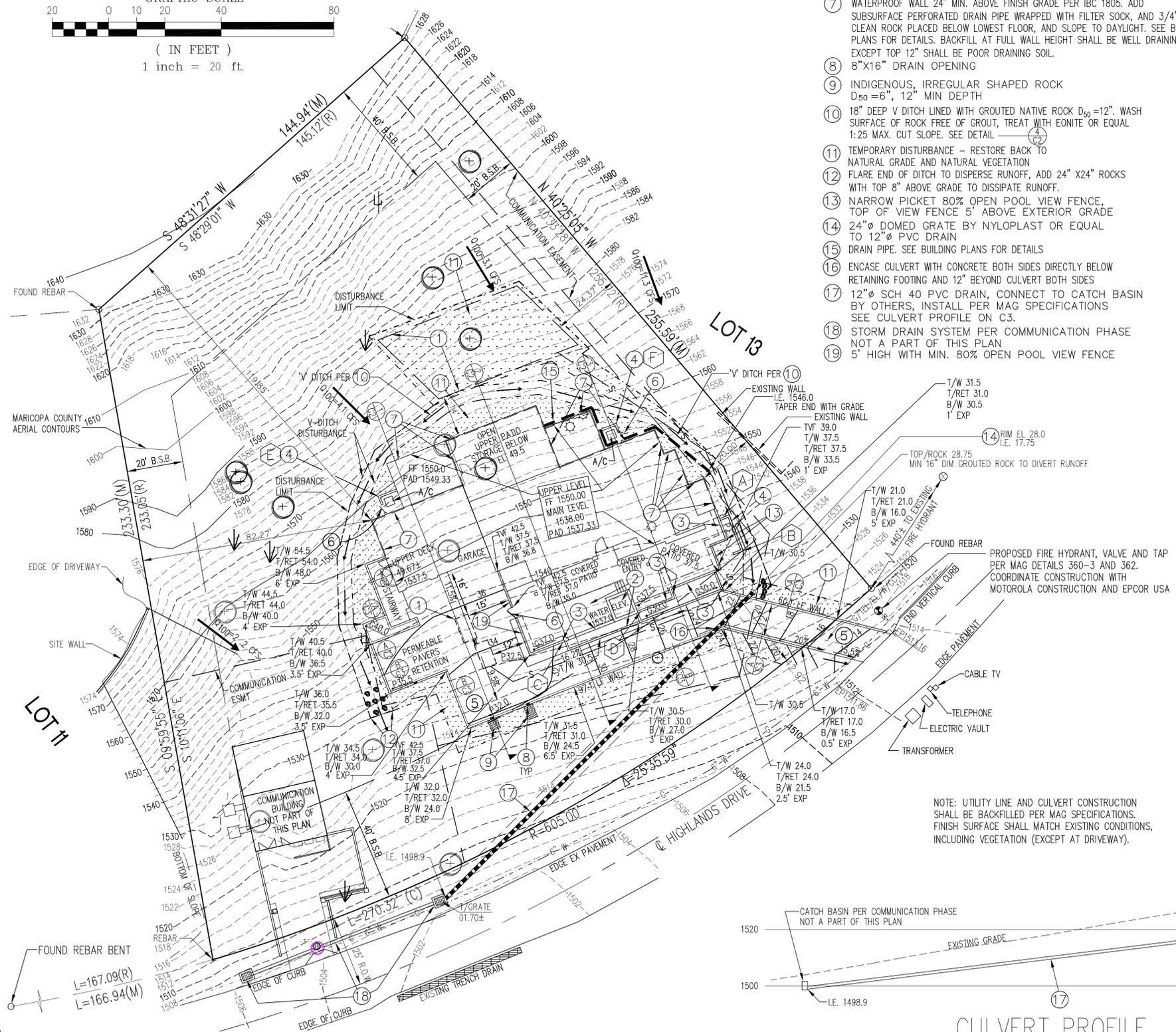
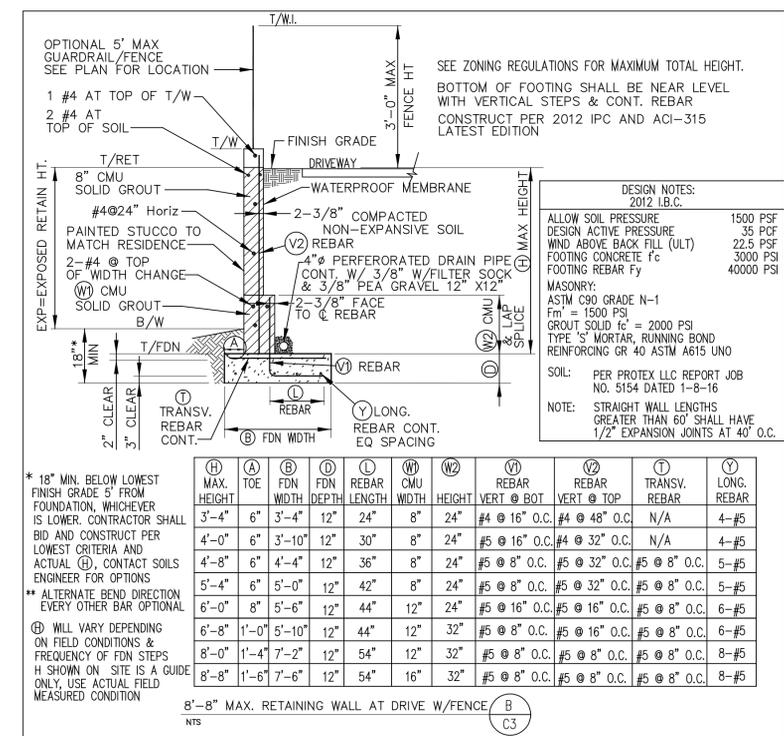
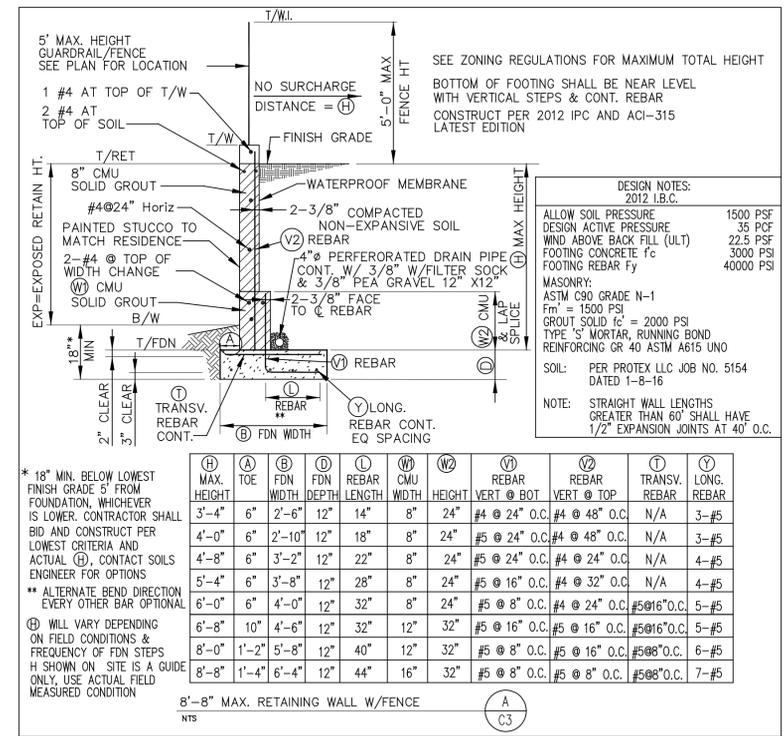
WALL DATA

(A) T/W 41.0 T/RET 40.0 B/W 36.0 4' EXP	(B) T/W 40.0 T/RET 35.0 B/W 34.0 1' EXP
(C) T/W 37.0 T/RET 37.0 B/W 31.0 6' EXP	(D) T/W 37.5 T/RET 37.5 B/W 30.0 7.5' EXP
(E) T/W 63.5 T/RET 63.0 B/W 60.0 3' EXP	(F) T/W 62.0 T/RET 57.0 B/W 57.0 0' EXP

RETAINING WALL NOTE:
PARADISE VALLEY HILLSIDE ORDINANCE SECTION 2207 REQUIRES THAT RETAINING WALLS NOT EXTEND MORE THAN 6" ABOVE THE MATERIAL THEY RETAIN.

KEY NOTES

- SEPTIC SYSTEM. SEPARATE PERMIT REQUIRED.
- SELF-STANDING POOL AND SPA. SEPARATE PERMIT REQUIRED. POOL, TROUGH & SPA WALLS BY POOL CONTRACTOR.
- TOP OF SOLID WALL 5' MIN., 6' MAX. ABOVE EXTERIOR FINISH GRADE TO MEET POOL ENCLOSURE REQUIREMENTS
- SCREEN WALL 12" MIN ABOVE EQUIPMENT. 6' MAX HEIGHT
- PERMEABLE PAVER DRIVEWAY 12' MIN. WIDTH - PAVERS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS W/ MIN 4" DEPTH OF UNIFORMLY GRADED STONE AGGREGATE WITH 40% MINIMUM VOID RATIO FOR RETENTION STORAGE, 86,000# MINIMUM TRUCK LOAD. ADD 4" WIDTH x 6" DEEP CONCRETE BANDS @ 2' O.C. TO PREVENT MIGRATION OF WATER.
- 3' WIDE GATE, S.C.S.L.
- WATERPROOF WALL 24" MIN. ABOVE FINISH GRADE PER IBC 1805. ADD SUBSURFACE PERFORATED DRAIN PIPE WRAPPED WITH FILTER SOCK, AND 3/4" CLEAN ROCK PLACED BELOW LOWEST FLOOR, AND SLOPE TO DAYLIGHT. SEE BLDG PLANS FOR DETAILS. BACKFILL AT FULL WALL HEIGHT SHALL BE WELL DRAINING EXCEPT TOP 12" SHALL BE POOR DRAINING SOIL.
- 8"x16" DRAIN OPENING
- INDIGENOUS, IRREGULAR SHAPED ROCK
D₅₀ = 6", 12" MIN DEPTH
- 18" DEEP V DITCH LINED WITH GROUTED NATIVE ROCK D₅₀ = 12". WASH SURFACE OF ROCK FREE OF GROUT, TREAT WITH EONITE OR EQUAL 1:25 MAX. CUT SLOPE. SEE DETAIL
- TEMPORARY DISTURBANCE - RESTORE BACK TO NATURAL GRADE AND NATURAL VEGETATION
- FLARE END OF DITCH TO DISPERSE RUNOFF, ADD 24" X24" ROCKS WITH TOP 8" ABOVE GRADE TO DISSIPATE RUNOFF.
- NARROW PICKET 80% OPEN POOL VIEW FENCE, TOP OF VIEW FENCE 5' ABOVE EXTERIOR GRADE
- 24" Ø DOMED GRATE BY NYLOPLAST OR EQUAL TO 12" Ø PVC DRAIN
- DRAIN PIPE. SEE BUILDING PLANS FOR DETAILS
- ENCASE CULVERT WITH CONCRETE BOTH SIDES DIRECTLY BELOW RETAINING FOOTING AND 12" BEYOND CULVERT BOTH SIDES
- 12" Ø SCH 40 PVC DRAIN, CONNECT TO CATCH BASIN BY OTHERS, INSTALL PER MAG SPECIFICATIONS SEE CULVERT PROFILE ON C3.
- STORM DRAIN SYSTEM PER COMMUNICATION PHASE NOT A PART OF THIS PLAN
- 5' HIGH WITH MIN. 80% OPEN POOL VIEW FENCE



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 e-mail: Dave@civilAZ.com

JANE MARIE WESTHOFF TRUST
 PARADISE HIGHLANDS LOT 12
 6824 N HIGHLANDS DRIVE, P.V.

DATE: 5-22-2015
 PROJECT NO.: 15064
 SCALE: AS NOTED

DRAWN BY: KSM
 CHECKED BY: DRM
 P.V. COMMENTS
 P.V. COMMENTS
 P.V. COMMENTS
 P.V. STAFF COMMENTS
 NO. DATE DESCRIPTION

DRAWING NO:
C3of3

KICHLER

LED Fixture w Bracket



9-LED FIXTURE

PROJECT:
TYPE:
ORDERING #:
COMMENTS:

FEATURES

- Aluminum, Brass, & Copper Plated Housings w/ Multiple Finish Options
- Stainless Steel Mount Brackets
- Stainless Steel Mounting Screws
- 9-15V AC/DC Operating Range w/ Integrated, Constant Voltage Driver
- 10-Year / 40,000 Hour Warranty on LED Driver & All Other Electrical Components
- Available in 3, 6, & 9 LED Configurations
- Casts a Low, Even Spread of Energy Efficient LED Light
- 2950K (-150 / +175) High CRI
- 70" of useable #18-2, SPT-1W Leads, Cable Connector Supplied, WHT Finished Fixtures Have Coordinating White Leads
- 5-Year Warranty on Aluminum LED Housings & Exterior Finishes

3 LED			6 LED			9 LED									
Distance from Light Source	0"	1"	2"	3"	4"	0"	1"	2"	3"	4"	0"	1"	2"	3"	4"
Footcandle	80.0	4.0	1.0	0.5	0.3	160.0	80.0	40.0	20.0	13.3	240.0	120.0	60.0	30.0	20.0
Footcandle	8.0	0.4	0.1	0.05	0.03	16.0	8.0	4.0	2.0	1.3	24.0	12.0	6.0	3.0	2.0
Footcandle	0.8	0.04	0.01	0.005	0.003	1.6	0.8	0.4	0.2	0.13	2.4	1.2	0.6	0.3	0.2

ORDERING INFORMATION

EXAMPLE: 15745AZT (Product # & Finish)

PRODUCT	WATTAGE/STYLE	FINISHES	OPTIONAL
3-LED Fixture 15745	.75 Watts / 1.3 Voltage Amps	AZT - Architectural Textured Bronze (Shown Above) BBR - Bronzed Brass CO - Copper (Will Naturally Patina Over Time) GRY - Grey SD - Sand WHT - Textured White	
6-LED Fixture 15746	1.4 Watts / 2.4 Voltage Amps		
9-LED Fixture 15746	2.2 Watts / 3.7 Voltage Amps (Shown Above)		

Please Note: Not For Use With Electronic Transformers

NOTES

**Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.



For Warranty Information, please visit www.landscapelighting.com

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

7711 E. Pleasant Valley Road, Cleveland, OH 44131 ph:(216) 573-1000 fax:(216) 573-2270 email:sales@kichler.com web:landscapelighting.com

KICHLER

LED Broad Roof



PROJECT:
TYPE:
ORDERING #:
COMMENTS:

FEATURES

- A sculpted spindle center is capped by a broad, shallow roof that diffuses and spreads LED light.
- Cast Aluminum Housing
- 4 W / 5.8 VA Light Output, Integrated LEDs and Driver, 2950K (-150/+175), High CRI
- 9V - 15V AC/DC
- 30" of useable #18-2, SPT-1W leads. Cable connector supplied.
- 8" In-ground stake



ORDERING INFORMATION

EXAMPLE: 15833AZT (Product # & Finish)

PRODUCT	FINISH	WATTAGE	LIGHT SOURCE	WIRING	MOUNTING ACCESSORIES (INCLUDED)	OPTIONS & ACCESSORIES
15833 Dimensions: 8.25" W x 24" L	Cast Aluminum AZT - Textured Architectural Bronze**	4 W / 5.8 VA Note: Not for use with electronic transformers.	Integrated LEDs and Driver 2950K (-150 / +175) High CRI	30" of useable #18-2, SPT- 1-W leads. Cable connector supplied.	8" In-ground stake	15601AZT - Cast Aluminum Surface Mounting Flange w/ Bronze Finish, Neoprene Gasket For Watertight Seal 15601BKT - Cast Aluminum Surface Mounting Flange w/ Black Finish, Neoprene Gasket For Watertight Seal 15601BBR - Cast Brass Surface Mounting Flange, Neoprene Gasket For Watertight Seal Flange For Tree / Surface Mounting 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish

Footcandle

Distance from Light Source	0"	1"	2"	3"	4"	5"	6"	7"	8"
Footcandle	13.5	3.7	0.8	0.3	0.2	0.1	0.1	0.1	0.1

NOTES

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KICHLER
Style to live by™



Transformer 100W Pro Series SS
15PR100SS (Stainless Steel)

Product Description:
Low Voltage 100 Watt Pro Series Transformer

Available Finishes

- Stainless Steel

ADD TO PROJECT

Technical Information

Lamp Included: Not Included

Safety Rated: Wet

Width: 5.75"

Height: 5.50"

Length: 19.00"

Lead Wire Length: 36.00"

Glass Description: None

Voltage: 12V

Finish: Stainless Steel

Project:
Type:
Ordering #:
Comments:

KICHLER

ARCHITECTURAL OUTDOOR
Design Pro LED Accent 4W



FEATURES

- Three beam spread options put light where you want it.
- A range of Kelvin color temperature choices from warm white 2,700K to pure white 3,000K.
- Radix™ Optics deliver the greatest lumens per watt in the industry.
- Tight LED binning tolerances mean greater color consistency.
- Built-in adjustable cowling provides better glare control.
- 9V-15V operating range virtually eliminates voltage drop.



ORDERING INFORMATION

Product ordered is a 4W, 2700K, 10 degree spot accent light in Textured Architectural Bronze with an amber lens accessory.

PRODUCT	WATTAGE/STYLE	LIGHT SOURCE	FINISH	OPTIONS & ACCESSORIES
2700K WARM WHITE 10 Degree 16003 AZT17 16003 BRB27 16003 BK17 16003 BE27	4W / 5.5VA - 10 Degree Spot Beam Spread	LED Specs - Integrated LEDs & Driver - LEDs: High Output - CREE® LEDs tightly binned for color uniformity - Color Temp. (CCT): 2,700K (-50/+100) Warm White 3,000K (-45/+130) Pure White - CRI: 80s - 9V-15V AC/DC - 40,000 Hours Lamp Life To L70 Specifications** - Efficacy: 2,700K = 37lm/W 3,000K = 43lm/W	Marine Grade Powdercoats Cast Aluminum AZT - Textured Architectural Bronze BKT - Textured Black BE - Beach WHT - White (Textured White only available in 35° beam)	Flange For Surface Mounting 15601AZT - Textured Bronze Finish 15601BKT - Textured Black Finish 15601BBR - Bronzed Brass Finish 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish 15607WHT - Textured White Finish 90° Elbow 15647AZT - Textured Bronze Finish 15647BKT - Textured Black Finish 15647BBR - Bronzed Brass Finish Lens Options 16064AMB - Amber Lens For a Warmer Hue 16064FRO - Frosted Lens For Diffusing Light Where Needed 16064GRN - Green Lens For Intensifying Foliage Colors
35 Degree 16004 AZT17 16004 BRB27 16004 BK17 16004 BE27	4W / 5.5VA - 35 Degree Floodlight Beam Spread			Flange For Tree / Surface Mounting 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish 15607WHT - Textured White Finish
60 Degree 16005 AZT17 16005 BRB27 16005 BK17 16005 BE27	4W / 5.5VA - 60 Degree Wide Floodlight Beam Spread			
3000K PURE WHITE 10 Degree 16003 AZT30 16003 BRB30 16003 BK30 16003 BE30				
35 Degree 16004 AZT30 16004 BRB30 16004 BK30 16004 BE30 16004 WHT30				
60 Degree 16005 AZT30 16005 BRB30 16005 BK30 16005 BE30				

www.landscapelighting.com

KICHLER

PHOTOMETRIC INFORMATION

PRODUCT	DISTANCE	FOOTCANDLES	BEAM WIDTH	
10 Degree Spot 16003	8 Feet	22.2	2.1 Feet	Narrow Spot
	12 Feet	9.9	3.1 Feet	
	24 Feet	2.5	6.2 Feet	
	36 Feet	1.1	9.3 Feet	
	48 Feet	0.6	12.4 Feet	
	60 Feet	0.4	15.5 Feet	
35 Degree Floodlight 16004	4 Feet	21.7	2.3 Feet	Flood
	8 Feet	5.4	4.5 Feet	
	16 Feet	1.4	9 Feet	
	24 Feet	0.6	13.5 Feet	
	32 Feet	0.3	18 Feet	
	40 Feet	0.2	22.5 Feet	
60 Degree Wide Floodlight 16005	4 Feet	11.12	4.3 Feet	Wide Flood
	8 Feet	2.8	8.6 Feet	
	16 Feet	0.7	17.3 Feet	
	24 Feet	0.3	25.9 Feet	
	32 Feet	0.2	34.6 Feet	
	40 Feet	0.1	43.2 Feet	

NOTES

**Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.

*4W is The Halogen Equivalent of a 20W MR16 Lamp
- Fixtures Must be Used With a Kichler ANSI/UL Power Supply
- IES Files & LM-79 Data is available at www.landscapelighting.com.
- LM-79 data is not available on our site.

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any ANSI/UL Standards products previously manufactured, and without notice.



LIGHTING SPECIFICATIONS

SYMBOL	TYPE	FOOT CANDLES	LUMENS
▼	ACCENT LIGHT	11.12 @ 4'	119.7 @ 4'
	60 DEG. FLOOD	2.8 @ 8'	30.1 @ 16'
		.7 @ 16'	7.5 @ 24'
		.2 @ 32'	2.1 @ 32'
		.1 @ 40'	1.07 @ 40'
◆	PATH LIGHT	13.5 @ 0'	145.31 @ 0'
		3.7 @ 1'	39.82 @ 1'
		.8 @ 2'	8.6 @ 2'
		.3 @ 3'	3.22 @ 3'
		.2 @ 4'	2.1 @ 4'
		.1 @ 5'	1.07 @ 5'
■	STEP LIGHT	8.71 @ 24" - 0' MOUNTING HEIGHT	93.75 @ 8'
		4.00 @ 36" - 0' MOUNTING HEIGHT	43.05 @ 16'
		4.3 @ 12" - 1' MOUNTING HEIGHT	46.28 @ 24'
		4.4 @ 24" - 1' MOUNTING HEIGHT	47.36 @ 32'
		2.39 @ 36" - 1' MOUNTING HEIGHT	40.47 @ 40'



GENERAL ROC# 159441 (B)
POOL ROC# 282578 (B-5)
CALIFORNIA ROC# 975740

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Westhoff Residence
6824 E. Highlands Dr.
Paradise Valley, AZ, 85253
Lot 12 Paradise Highlands
Parcel #: 169-53-012



REVISIONS

NO.	DATE	DESCRIPTION
1		

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DATE	08.19.16
SCALE	---
DESIGN	DP/JP
DRAFT	JP

LIGHTING CUT SHEET
PL-3
SHEET 3/3

PLANT SCHEDULE FRONT YARD

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Parkinsonia microphyllum / Foothill Palo Verde	24"box	7
	Prosopis velutina / Native Mesquite	24"box	1
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Caesalpinia pulcherrima / Red Bird Of Paradise	5 gal	6
	Calliandra californica / Red Baja Fairy Duster	5 gal	4
	Dodonaea viscosa / Green Hopseed Bush	5 gal	13
	Hesperaloe parviflora / Red Yucca	5 gal	11
	Lantana camara 'Dallas Red' / Dallas Red Lantana	5 gal	18
	Lantana x 'New Gold' / New Gold Lantana	5 gal	25
	Muhlenbergia rigida 'Nashville' TM / Purple Muhly	5 gal	10
	Rosmarinus officinalis / Upright Rosemary	5 gal	18
CACTI	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Ferocactus wislizenii / Fish Hook Barrel Cactus	12" - 16" HGT	20
NATIVE SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Ambrosia deltoidea / Triangle Bursage	5 gal	58
	Larrea tridentata / Creosote Bush	5 gal	39
SUCCULENTS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Agave parryi 'Truncata' / Artichoke Agave	15 gal	3

IRRIGATION

SYMBOL NAME	QUANTITY / SIZE
DRIP LINE	1/2" BLACK POLY 1,000 L'
DRIP VALVES	3 EA
	FOR TREES
	FOR SHRUBS
	FOR POTTERY
FLAG EMITTERS	2 G/HR 148 EA
	NOTE: 1-GAL & 5-GAL'S GET (1) EMITTER EA
	NOTE: 15-GAL'S GET (2) EMITTER EA
	NOTE: 24"-BOX'S GET (3) EMITTER EA
TIMER	4 STATION 1 EA
P.V.B.	FEBCO (3/4") 1 EA
SHRUBBLER	3 EA
POTTERY DRAINAGE	3 EA

DRAINAGE & SLEEVING

SYMBOL NAME	QUANTITY / SIZE
DS1	SLEEVING 2" PVC SCH 40 120 L'
DS2	DRAIN BOX 12"x12" (COLOR:TAN) 3 EA
DS3	DECO DRAIN COLOR: TAN 56 L'
DS4	DRAINAGE PIPE 4" CORRUGATED 30 L'

HARDSCAPE

SYMBOL NAME	QUANTITY / SIZE
H	GRANITE 888 SQFT 7 TONS
	SIZE: 1/2"
	COLOR: MADISON GOLD
	TYPE: SCREENED
	W/ PRE-EMERGENT APPLY DELIVERY FEE IF LESS THAN 10 TONS
	EXCAVATION NOT INCLUDED
H	BEACH PEBBLE # SQFT 1 TONS
	SIZE: 1"
	COLOR: BLACK MEXICAN PEBBLE
	35 SQFT MINIMUM

SITE WORK

SYMBOL NAME	QUANTITY / SIZE
I	DESERT COBBLE (RAKED EARTH) 6,400 SQFT
	BLEND DISTURBED AREA TO MATCH EXSITING DESERT

LIGHTING

SYMBOL NAME	QUANTITY / SIZE
LED	LED DOME PATH LIGHT 8 @ 4 WATTS
	KICHLER 15833 COLOR: AZT
LED	LED STEP LIGHT 11 @ 1 WATTS
	KICHLER 15745 (6") COLOR: AZT
TRANS	TRANSFORMER/TIMER 1 @ 200 WATTS
	KICHLER; MULTI-TAP, STAINLESS STEEL (200w)
	COLOR: AZTAN
	GFCI OUTLET W/ 5 L' OF ELECTRIC RUN PER GFCI
	LOW VOLTAGE WIRE 500 L' @ 12-2 G
	TOTAL WATT LOAD 43 WATTS

PAVERS

SYMBOL NAME	QUANTITY / SIZE
P	TRAVERTINE PAVER COPING 57 SQFT
	SIZE: 6" x 12" x 1" THICK
	EDGE: NATURAL
	FINISH: TUMBLED
	COLOR: CORDOBA NOCE
	APPLY DELIVERY FEE
P1	TRAVERTINE PAVERS - BY BUILDER 1,150 SQFT
	PERIMETER CUTS # L'
	FINISH: TUMBLED # L'
	COLOR: CORDOBA NOCE
	FIELD PATTERN/ SIZE: 3 PIECE RANDOM
	BORDER/ SIZE: ENDXEND (6X12)
	W/ OUT BASE (INCLUDES SAND ONLY)
	PAVER DELIVERY FEE REQUIRED
	200 SQFT MINIMUM
P2	CONCRETE PAVERS - BY BUILDER 3454 SQFT
	PERIMETER CUTS # L'
	BRAND: BELGARD
	STYLE: CAMBRIDGE COBBLE
	SIZE: 3 PIECE RANDOM
	FINISH: TUMBLED
	W/ BASE (INCLUDES AB AND SAND)
	PAVER DELIVERY FEE REQUIRED
	200 SQFT MINIMUM

MASONRY

SYMBOL NAME	QUANTITY / SIZE
M	STEPS 6" RISER, 1' TREAD 84 L'
	MASONRY TYPE: STRAIGHT OR CURVED
	PAINT: TO MATCH HOME 42 SQFT
	STUCCO: TO MATCH HOME 42 SQFT
	CAP: CORDOBA NOCE - 6x12 - SxS 94 SQFT
	MASONRY DELIVERY FEE REQUIRED
	10 L' MINIMUM IF NO OTHER MASONRY ON JOB

CUSTOM

SYMBOL NAME	QUANTITY / SIZE
C	STEEL FIREPIT (GAS) 1 @ 10'-0" x 3'-0" x 18"H
	TYPE: RECTANGULAR
	FINISH: RUSTY METAL FINISH 50 SQFT
	FIRE BAR 1 @ 18"
	GAS FROM METER TO FIRE PIT 45 L'
	FIRE GLASS: (AMBER, CLEAR, BLACK) 8 SQFT
	MASONRY DELIVERY FEE REQUIRED
	SEE DETAIL PROVIDED BY C/E

PRELIMINARY POOL SPECS.

SYMBOL NAME	QUANTITY / SIZE
PL	POOL 18'-0" L x 12'-0" W
	SURFACE AREA: 248 SQFT
	PERIMETER: 78 L'
	DEPTHS: (3', 4', 5') 4' AVG
	INTERIOR AREA FOR INTERIOR FINISH 560 C.F.
	INTERIOR AREA FOR SHOTCRETE 607 C.F.
	GALLONS 7421
	STEPS 12 L'
	BENCH #L'
	PENTAIR INTELLIBRITE LED LIGHT 1 EA
	LIGHT RUN 79 L'
	(1 RUN PER LIGHT, TO P/E)
	CLEANING SYSTEM:
	SANITATION SYSTEM:
	HOME RUN 33 L'
	(FROM ELECTRICAL PANEL TO P/E)
	GAS RUN 37 L'
	(FROM GAS METER TO P/E FOR HEATER)
	PLUMBING RUN 70 L'
	(SKIMMER)
	PLUMBING RUN 81 L'
	(MAIN DRAIN)
	PLUMBING RUN 66 L'
	(AUTOMATIC WATER LEVELER)
	PLUMBING RUN 63 L'
	(VACUUM PORT)
	MAIN DRAIN: SPLIT
	WATERLINE TILE: NPT 1" GLASS TILE
	POOL INTERIOR: MINI PEBBLE "TAHOE BLUE"
	GATE ACCESS 9'-6" L
	POOL PUMP: PENTAIR VS3050 VARIABLE SPEED 1 EA
	POOL FILTER: PENTAIR 520 CARTRIDGE 1 EA
	NEGATIVE/ ZERO EDGE 26 L'
	NEGATIVE EDGE BASIN SURFACE AREA: 113 SQFT
	NEGATIVE EDGE BASIN PERIMETER: 70 L'
	NEGATIVE EDGE BASIN DEPTH: 18" D
	NEGATIVE EDGE BASIN INTERIOR AREA: 218 SQFT
	BASIN INTERIOR: FINISH TO MATCH POOL INTERIOR
SPA	7'-0" L x 7'-0" W
	SURFACE AREA: 49 SQFT
	PERIMETER: 29 L'
	DEPTHS: (3') 3' AVG
	INTERIOR AREA FOR INTERIOR FINISH 136 S.F.
	INTERIOR AREA FOR SHOTCRETE 189 S.F.
	GALLONS 1,100
	STEPS # L'
	BENCH 16 L'
	PENTAIR GLOBRITE LED LIGHT 1 EA
	LIGHT RUN 55 L'
	(1 RUN PER LIGHT, TO P/E)
	CLEANING SYSTEM: POOL FILTER
	(OWNER TO HAND SWEEP)
	SANITATION SYSTEM:
	(USE POOL SANITATION SYSTEM)
	PLUMBING RUN 65 L'
	(SPA DRAIN)
	HEATER: PENTAIR MASTERTEMP 1 EA
	WATERLINE TILE: NPT 1" GLASS TILE
	POOL INTERIOR: MINI PEBBLE "TAHOE BLUE"
	GATE ACCESS # L'
	SPILLWAY 12 L'

PLANT SCHEDULE BACKYARD

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Bauhinia congesta / Anacacho Orchid Tree	36"box	1
	Prosopis velutina / Native Mesquite	24"box	3
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Lantana x 'New Gold' / New Gold Lantana	5 gal	5
	Portulacaria afra / Elephant Food	5 gal	17
	Streitzia reginae / Bird Of Paradise	5 gal	3
	Tulbaghia violacea / Society Garlic	5 gal	15
CACTI	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Ferocactus wislizenii / Fish Hook Barrel Cactus	12" - 16" HGT	13
NATIVE SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Ambrosia deltoidea / Triangle Bursage	5 gal	48
	Larrea tridentata / Creosote Bush	5 gal	18
SUCCULENTS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Agave desmetiana 'Variegata' / Variegated Smooth Agave	15 gal	9
	Agave parryi 'Truncata' / Artichoke Agave	15 gal	6
VINE/ESPALIER	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Trachelospermum jasminoides / Star Jasmine	5 gal	5

IRRIGATION

SYMBOL NAME	QUANTITY / SIZE
DRIP LINE	1/2" BLACK POLY 1,000 L'
DRIP VALVES	3 EA
	FOR TREES
	FOR SHRUBS
	FOR POTTERY
	FOR CITRUS
FLAG EMITTERS	2 G/HR 117 EA
	NOTE: 1-GAL & 5-GAL'S GET (1) EMITTER EA
	NOTE: 15-GAL'S GET (2) EMITTER EA
	NOTE: 24"-BOX'S GET (3) EMITTER EA
TIMER	4 STATION 1 EA
P.V.B.	USE FRONT YARD
SHRUBBLER	3 EA

DRAINAGE & SLEEVING

SYMBOL NAME	QUANTITY / SIZE
DS1	SLEEVING 1" PVC SCH 40 35 L'
DS2	DRAIN BOX 12"x12" (COLOR:TAN) 5 EA
DS4	DRAINAGE PIPE 4" CORRUGATED 81 L'

HARDSCAPE

SYMBOL NAME	QUANTITY / SIZE
H	GRANITE 308 SQFT 3 TONS
	SIZE: 1/2"
	COLOR: MADISON GOLD
	TYPE: SCREENED
	W/ PRE-EMERGENT APPLY DELIVERY FEE IF LESS THAN 10 TONS
	EXCAVATION NOT INCLUDED
H2	FILL DIRT 90 SQFT 7 TONS

BACK YARD LANDSCAPE

LIGHTING

SYMBOL NAME	QUANTITY / SIZE
LED	LED ACCENT LIGHT (SPOT) 4 @ 4.5 WATTS
	KICHLER 16005 COLOR: AZT
LED	LED DOME PATH LIGHT 3 @ 4 WATTS
	KICHLER 15833 COLOR: AZT127
LED	LED STEP LIGHT 2 @ 1 WATTS
	KICHLER 15745 (6") COLOR: AZT
TRANS	TRANSFORMER/TIMER 1 @ 200 WATTS
	KICHLER; MULTI-TAP, STAINLESS STEEL (200w)
	COLOR: AZTAN
	GFCI OUTLET W/ 5 L' OF ELECTRIC RUN PER GFCI
	LOW VOLTAGE WIRE 150 L' @ 12-2 G
	TOTAL WATT LOAD 32 WATTS

PAVERS

SYMBOL NAME	QUANTITY / SIZE
P1	TRAVERTINE PAVERS - BY BUILDER 466 SQFT
	PERIMETER CUTS # L'
	FINISH: TUMBLED
	COLOR: CORDOBA NOCE
	FIELD PATTERN/ SIZE: 3 PIECE RANDOM
	BORDER/ SIZE: ENDXEND (6X12)
	W/ OUT BASE (INCLUDES SAND ONLY)
	PAVER DELIVERY FEE REQUIRED
	200 SQFT MINIMUM

MASONRY

SYMBOL NAME	QUANTITY / SIZE
M	RETAINING WALL 8 L' @ 12"H
	MASONRY TYPE: STRAIGHT
	PAINT: TO MATCH HOME 8 SQFT
	STUCCO: TO MATCH HOME 8 SQFT
	CAP: NO CAP
	TAR BACK MASONRY
	DELIVERY FEE REQUIRED
	10 L' MINIMUM IF NO OTHER MASONRY ON JOB
M1	NON - RETAINING WALL 8 L' @ 12"H
	MASONRY TYPE: STRAIGHT
	PAINT: TO MATCH HOME 8 SQFT
	STUCCO: TO MATCH HOME 8 SQFT
	CAP: CORDOBA NOCE - 6x12 - SxS
	DELIVERY FEE REQUIRED
	10 L' MINIMUM IF NO OTHER MASONRY ON JOB
M2	STEPS 6" RISER, 1' TREAD 24 L'
	MASONRY TYPE: STRAIGHT
	PAINT: TO MATCH HOME 12 SQFT
	STUCCO: TO MATCH HOME 12 SQFT
	CAP: CORDOBA NOCE - 6x12 - SxS 24 SQFT
	MASONRY DELIVERY FEE REQUIRED
	10 L' MINIMUM IF NO OTHER MASONRY ON JOB

SPECIALTY

SYMBOL NAME	QUANTITY / SIZE
S	DECORATIVE STEEL TRELLIS 5 @ 4' W X 6' TALL
	TYPE: STRAIGHT
	PAINT: DUNN EDWARDS
	COLOR/FINISH: NATURAL RUST FINISH
	OPTION B



GENERAL ROC# 159441 (B)
 POOL ROC# 282578 (B-5)
 CALIFORNIA ROC# 975740

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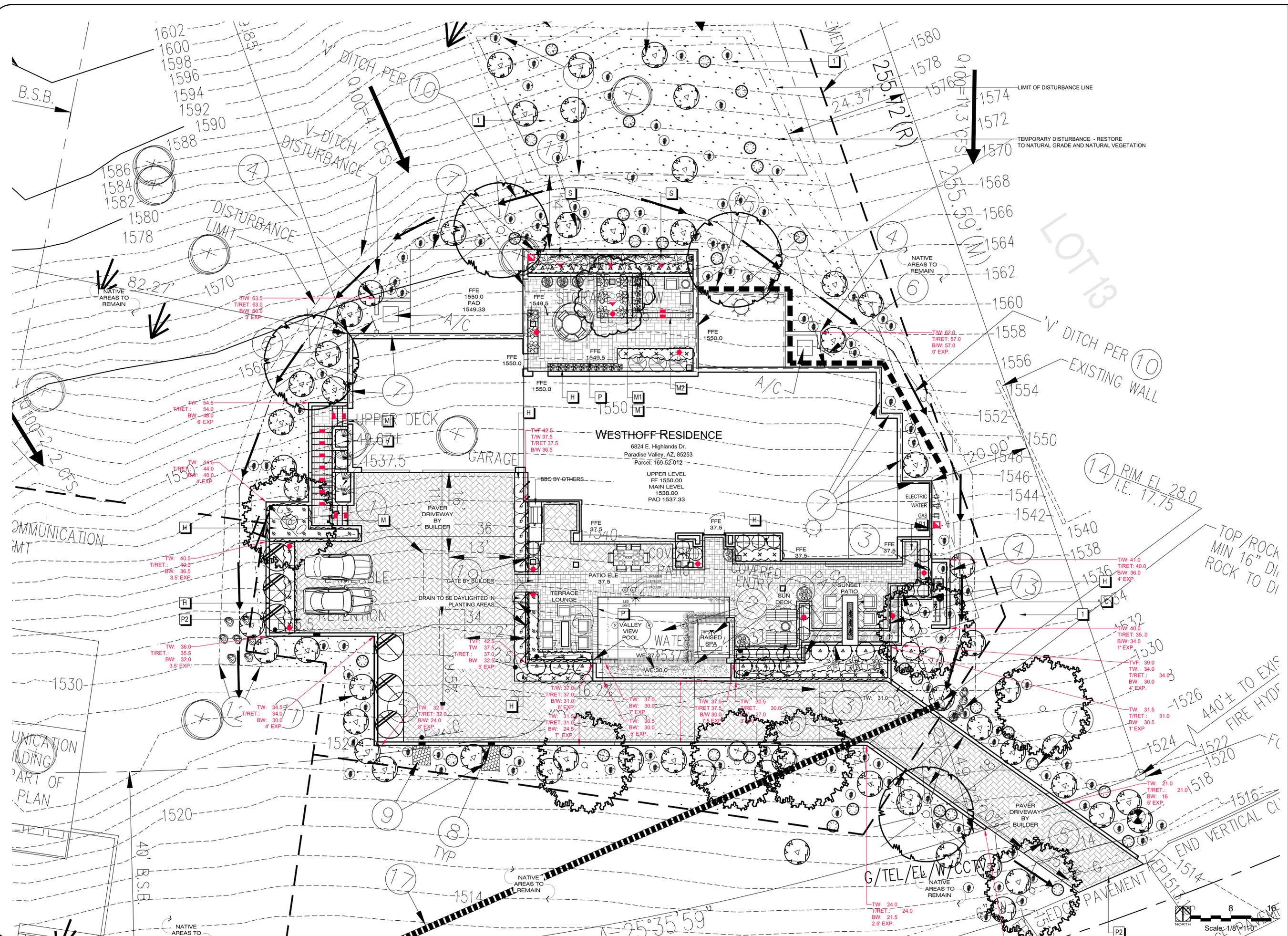
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LEGEND
PL-2
 SHEET 2/3





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