



the smoke tree resort

SPECIAL USE PERMIT - MAJOR AMENDMENT APPLICATION

7101 E LINCOLN DRIVE, PARADISE VALLEY, ARIZONA 85253

SUBMITTAL SEPTEMBER 6, 2019
RESUBMITTAL OCTOBER 9, 2019
RESUBMITTAL NOVEMBER 1, 2019

OWNER	GENTREE LLC	TAYLOR ROBINSON / SAM ROBINSON
	3620 E Campbell Ave, Phoenix, AZ 85018 602.952.8811	
RESORT MANAGEMENT	VENTANA HOTELS	JASON WALTON
	9170 E Bahia Dr #102 Scottsdale, AZ 85260 480.788.0431	
PARTNER	STARK BUILDERS INC.	PAUL STARK
	9827 N 65th Place Scottsdale, AZ 85253 480.788.0431	
ZONING ATTORNEY	BEUS GILBERT	PAUL E. GILBERT
	701 N 44th St Phoenix, AZ 85008 480.429.3000	
ARCHITECT	PHX ARCHITECTURE	ERIK PETERSON, AIA
	15990 N Greenway-Hayden Loop C-100 Scottsdale, AZ 85260 480.477.1111	
CIVIL ENGINEER	CVL CONSULTANTS	FRED FLEET, P.E.
	4550 N 12th St Phoenix, AZ 85014 602.264.6831	
LANDSCAPE ARCHITECT	GREEY PICKETT	RUSSELL GREEY, RLA
	7144 E Stetson Dr #205 Scottsdale, AZ 85251 480.609.0009	
TRAFFIC CONSULTANT	CIVTECH INC.	DAWN CARTIER, P.E., PTOE
	10605 N Hayden Rd #140 Scottsdale, AZ 85260 480.659.4250	
LIGHTING DESIGN	CREATIVE DESIGNS IN LIGHTING	WALTER SPITZ
	15982 N 78th st, Suite A Scottsdale, AZ 85260 602.248.7822	



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CREATIVE DESIGNS
IN LIGHTING



PROJECT TEAM



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OVERVIEW

The Smoke Tree Resort, located at 7101 East Lincoln Drive in the Town of Paradise Valley, is designated for Resort Use (SUP-R zoning) under the General Plan and within the designated East Lincoln Drive Development Areas (the "Resort"). Gentree LLC purchased the Resort in 2018 and is proposing a Major Amendment to the existing Special Use Permit that is harmonious with Town Plan Goal 2.2.

"Development Areas are meant to encourage new resort development and redevelopment that reflects the Town's needs for fiscal health, economic diversification, and quality of life."

Gentree LLC is comprised of Arizona-local principals with development project experience of this scale and within the Hotel/Resort sector.

Originally opened in 1966 and operating in perpetuity since, the 5.3-acre Resort resides at the commercial interface of Lincoln Drive and Scottsdale Road. The Resort has historical presence at the entrance to the Town of Paradise Valley and serves as the gateway to the Town. Since inception, the Resort has yet to undergo any significant renovations or expansions beyond general maintenance and upkeep. The Resort is notably dated in comparison to other resorts in the Town of Paradise Valley and has become a clear candidate for revitalization. The viability of the Resort today is dependent upon expansion of the guest room inventory coupled with a refurbishment of amenities.

The intent of this submittal is to set forth standards for Gentree LLC's revitalization of the Resort subject to the following key considerations:

- a) Alignment with pre-existing resort, accessory uses, and building setbacks.
- b) Given its 5 acre size, guidelines for 20 acres and stipulations need to be modified.
- c) Acknowledgment of its proximity to the adjacent commercial.
- d) Special consideration that for its unique history and location on Lincoln Dr.

The vision for the transformation of the Resort is to welcome guests to a four-star "local-centric" hospitality experience in both form and substance. This is to be achieved through active forward-facing components and lifestyle programmatic aspects. The existing Resort often goes unnoticed in its unassuming character along Lincoln Drive. The revitalization of the Resort will retain its charming essence while providing the scale and quality of amenities sought by today's traveler; the specifics of which include 122 guest rooms, special event venues, and a neighborhood local-centric fresh market & eatery concept. The relaxed, pedestrian friendly environment will not include the typical resort perimeter walls or gates; instead, setbacks that align with existing buildings are desired, including a bicycle/pedestrian path that shall weave the resort into the local tapestry.

Gentree LLC understands that thoughtful design, unified independent management, and attentive local stewardship are key ingredients for the success of this project at such a pivotal location and has engaged adjacent property owners in fruitful collaborative dialog, exploring synergistic opportunities along common property lines.



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PROJECT NARRATIVE



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SITE

The Resort property occupies a tidy 5.363 gross acres of land at 7101 East Lincoln Drive in the Town of Paradise Valley. The existing Resort is comprised of 11 buildings, a restaurant, a pool and surrounding pool area, 2 bocce courts and 130 surface parking spaces. Attached exhibits reveal the current conditions with visuals of sight lines, existing oleander perimeters, and setbacks.

SETBACKS: The attached exhibit outlines existing setbacks, which are proposed to be increased in the revitalization of the property. The objective is to retain the existing building relationships along East Lincoln Drive and the 65-foot set back from the county roadway easement which is at the center line of East Lincoln Drive.

The proposed East setback is 45' and the proposed South setback is 60' in consideration of the abutting SUP properties as a commercial office complex and resort, respectively.

The West setback is proposed at 75' from the existing property line and 100' from the adjacent residential property line.

EAST LINCOLN DRIVE ("LINCOLN"): Today, the property has an existing 33' county roadway easement along Lincoln and two existing vehicular access points which allow right and left turns. The proposed plan shows the elimination of the Western driveway and the movement of the Eastern driveway to approximately 20' from the Eastern property line; aligning with the existing driveway. This location may adjust as the Town finalizes their plans for Lincoln Drive. The proposed access point on Lincoln Drive will provide full turning movements and a right-turn deceleration lane.

WESTERN BOUNDARY: As shown on the plan, this improvement will provide for the Town's designated 2-lane road design for this category of roadway. Improvements will include those shown on the Resort property as well as 11' of asphalt and 2' of curbing in the Town's currently owned right-of-way designated as Quail Run Road.

HEIGHTS: Per the setback diagram, the proposed buildings are to be no more than 3 stories and within two height tiers of 24' and 36' as illustrated by the shading in the exhibit. This request is complimentary to the characteristics of other nearby developments to the North and East along Lincoln and derived with consideration of adjacent property uses in context of the Town of Paradise Valley's Open Space Criteria ("OSC"). Specific to the OSC, the Resort is abutted on two sides (East and South) by Special Use commercial property. On the North, West and South boundaries, as previously indicated, the Resort design meets the OSC requirements. The only encroachment into the OSC will be along the East side, adjacent to the SUP-O Medical office, and located generally along the parking for the Medical Office.

COVERAGE: Calculation of the proposed lot coverage is 25% with a floor area ratio of 0.55. These calculations are based on the existing parcel boundaries per the legal.

INGRESS/EGRESS: The primary access point for the Resort will be at Quail Run Road. One secondary access point is proposed on Lincoln Dr. Civtech, Inc. has submitted traffic studies to provide more information on the points of access.

SIDEWALK: The site plan illustrates a proposed pedestrian path integrating the Resort within the existing network of sidewalks and providing pedestrian connectivity to nearby commercial areas. Within the site, the pedestrian path transverses the forward-facing Resort area, connects the lobby/entrance, and is within the proposed landscaping easement along Lincoln.

PARKING: The proposed revitalization plan will utilize surface parking. The existing parking along Lincoln Drive is to be kept in place to allow for convenient local patron access to the forward-facing Resort features. Dedicated hotel guest and valet parking will be available. Civtech, Inc. has submitted multiple revisions to the related parking study and has provided information on the following items: shared parking, parking for all proposed uses, overflow parking during special events, and drop off/pick up circulation/parking since many persons may use ride share vehicles or means other than their private vehicle. The existing parking requirements adopted by the Town do lag surrounding municipalities in accounting for the change in Resort parking and traffic impact. The proposed parking plan and related study balance these elements.

EMERGENCY VEHICLE ACCESS: The primary access points for Emergency Vehicles is Lincoln Drive or Quail Run Road.

DELIVERIES AND REFUSE COLLECTION: In order to address safety concerns of deliveries and refuse collection from Lincoln Drive, deliveries will be screened behind the proposed building and refuse will be stored in screened enclosures. The designated temporary loading and unloading area will be accessed from Lincoln Dr and will be restricted to specific times of the day per the Town's requirements.



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PROJECT NARRATIVE



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LANDSCAPE

LANDSCAPE DESIGN: As evaluated by Greey Pickett, the existing landscape on site consists of mature Eucalyptus and Pines with exposed root systems that have begun losing their form due to mature branches splitting off. There are also Mexican Fan Palms, all of which are different ages and heights, and Oleander and Sage bush that have become woody due to age and over pruning. There is no native planting or cacti on site that would need to be salvaged. The salvageability of the existing trees is not recommended due to age, size, and diseased quality.

The proposed forward-facing landscaping palette is anticipated to be comprised of regionally appropriate selections, low water-use trees, shrubs, ground cover and accent plants to enhance the entry and provide shade for pedestrians. Landscape and related lighting along Lincoln Drive will be conforming with the Town guidelines.

RESORT DESIGN

RESORT: The independent four-star Resort will be owned by Gentree LLC and operated by an affiliated resort operator:
122 Guest Room units with various categories of sizes and configurations
Forward facing resort facility to include a combination of the following components:
Fresh Market, Café/Eatery, Restaurant, Bar/Lounge, Micro-Brewery, Speakeasy, Private dining vignettes, Pop-up Retail, Coffee Shop, Florist, Sandwicheria, Bakery, Epicurean Retail and Sundries
Resort Pavilion: appropriately sized for banquets, meetings, ceremonies, and special events
Open space gardens and grounds
Resort pool area(s)
Resort Spa
170 parking stalls with parking for 195 under a Valet plan

ARCHITECTURAL DESIGN: Within the property, each component will speak its own dialect, but all within a common design language. This is desired as a means to guide patrons through the variety of areas and purposes via the use of visual cues achieved via the architecture. The predominate architectural design pallet will be strongly rooted in Spanish Revival but accentuated with notably transitional components.

CONCLUSION

Until being acquired by Gentree LLC the historic Smoke Tree Resort had been operated and maintained continuously by the Williams family for over 50 years as a charming, small-scale retreat where the Town of Paradise Valley meets the City of Scottsdale. Development at this interface has well outpaced the venerable cluster of private rooms still maintained behind Dale Anderson's long-closed "The Other Place". The time has come to revitalize this important contributor to The Town with the following updates:

- Additional hotel rooms with resort quality
- Neighborhood amenities: local-centric Café/Market/Restaurant/Bar
- On-site entertainment venues for small events and family gatherings
- Integrated landscaping and pedestrian corridors for neighborhood access
- Modern guest amenities and building design to compliment the Town entrance

The local team of new owners and operator, together with PHX Architecture and other renowned professionals, have crafted an exciting plan of moderate intensity which synergizes with the Town's need for fiscal health, economic diversification, and quality of life. Balancing the critical mass of modern-day resort programming within the small scale of this 5-acre site fronting Lincoln Dr can be achieved within the flexibility of the current resort zoning and the East Lincoln Drive Development overlay to the best interests of the Town of Paradise Valley.



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CREATIVE DESIGNS
IN LIGHTING



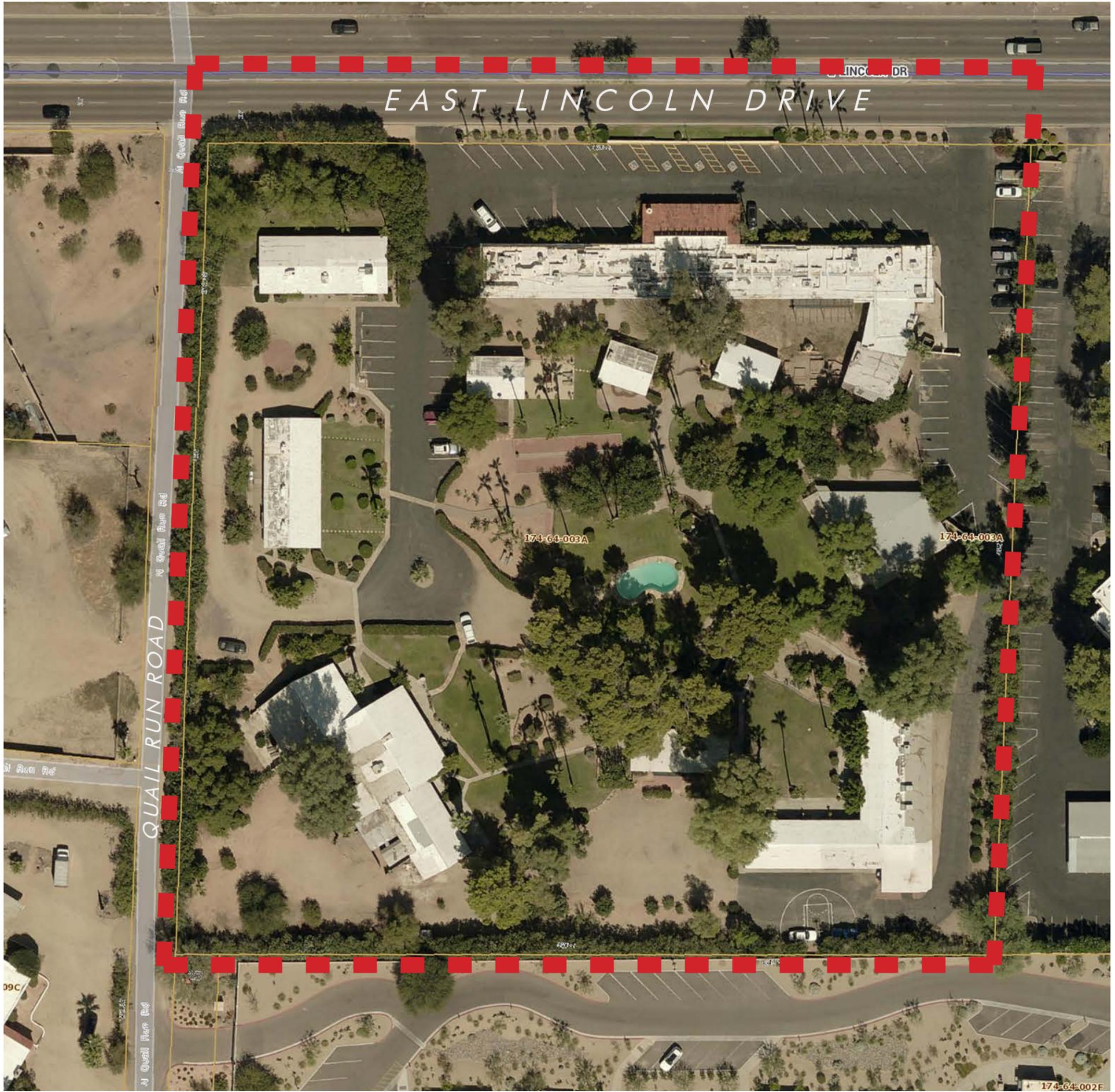
PROJECT NARRATIVE

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EXISTING SITE - AERIAL VIEW

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PROGRAM:

- A. Pedestrian entry
- B. Resort Reception Entry Plaza and Valet
- C. Resort Reception and Lobby
- D. Pavilion
- E. Event Lawn
- F. Event Terrace
- G. Restaurant
- H. Market
- I. Coffee Shop
- J. Outdoor Patio
- K. Resort Pool
- L. Pool Lounge
- M. Entry Lounge
- N. Resort Suites (guest rooms)
- O. Meeting Room
- P. Luxury Suites (guest rooms)
- Q. Signage
- R. Surface Parking
- S. Quail Road Access Point
- T. Garbage Bins
- U. Delivery Location
- V. Employee Break Area
- W. Back of House

RESORT UNITS - 122 KEYS

Main Hotel	
1st Level	= 42 keys
2nd Level	= 45 keys
3rd Level	= 15 keys
	<u>102 keys</u>

Luxury Suites (guest rooms)	
4 villas with 3 keys	= 12 keys
2 villas with 4 keys	= 8 keys
	<u>20 keys</u>

Total Keys = 122 keys

Total Self-Park Spaces = 170
 Dimensions: 9' x 18' + 2' overhang

or

Total Valet Spaces = 195



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CREATIVE DESIGNS
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PROPOSED SITE PLAN - GROUND LEVEL

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PROGRAM:

- C. Resort Reception and Lobby
- N. Resort Suites (guest rooms)
- O. Meeting Room
- P. Luxury Suites (guest rooms)
- AA. Balconies



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CREATIVE DESIGNS
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PROPOSED SITE PLAN - SECOND LEVEL

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PROGRAM:

- N. Resort Suites (guest rooms)
- O. Meeting Room
- X. Top Floor Lounge
- Y. Rooftop Bar
- Z. Deck Lounge
- AA. Balconies



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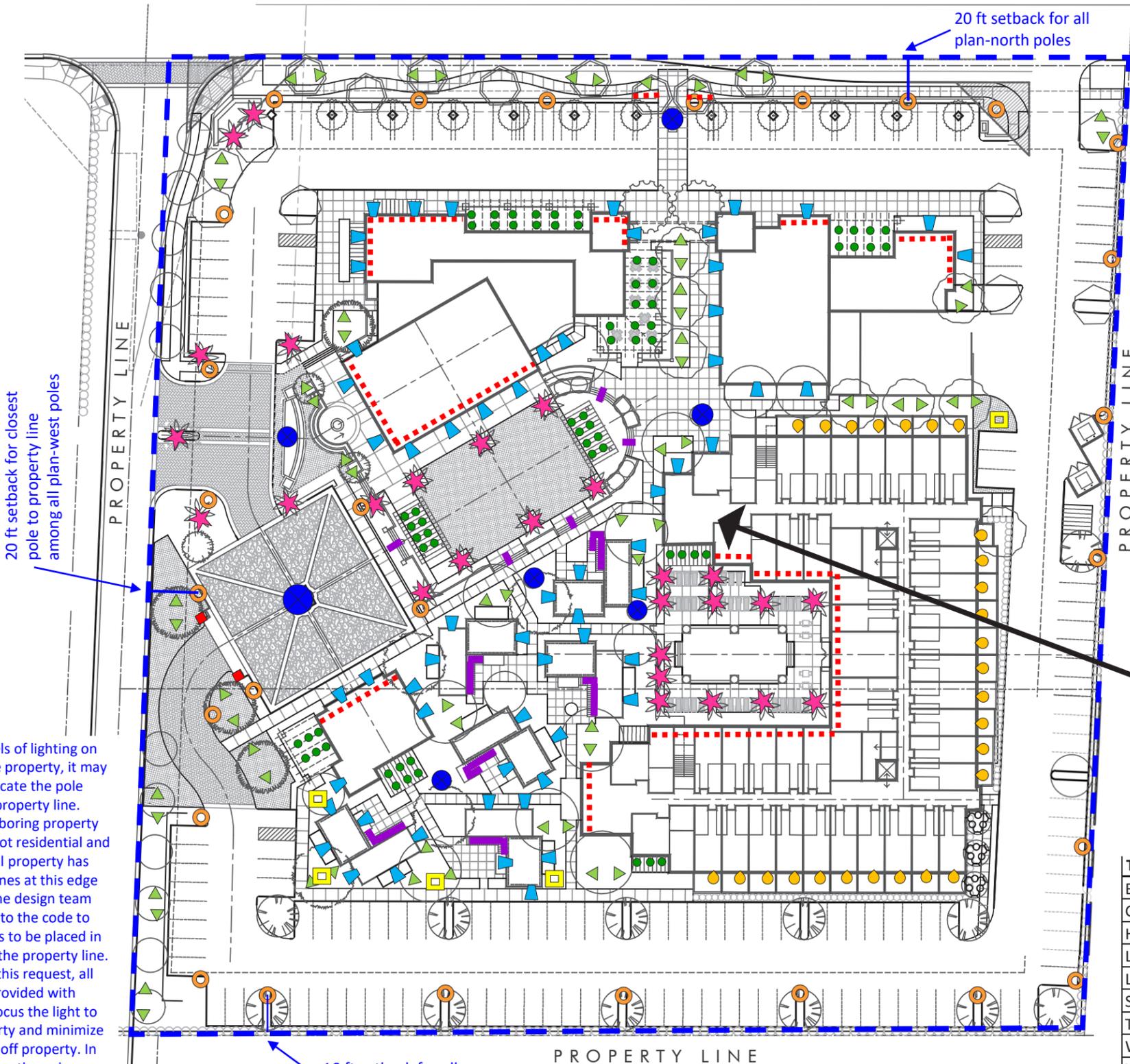
PROPOSED SITE PLAN - THIRD LEVEL

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To provide safe levels of lighting on the east edge of the property, it may not be feasible to locate the pole lights 16' from the property line. Note that the neighboring property on the east side is not residential and that this commercial property has parking and drive lanes at this edge of their property. The design team requests a variance to the code to allow these (7) poles to be placed in the 2' buffer inside the property line. In consideration of this request, all pole lights will be provided with fixture optics that focus the light to aim onto our property and minimize light being directed off property. In addition to the optics, the pole fixtures will also be provided with a physical house-side shield that additionally block glare from vantage points off property.

-  TYPE BL
Symmetric bollard
Fixture for way-finding
-  TYPE GU
Ground mounted landscape
fixture for accenting select
trees and signage
-  TYPE HR
Handrail mounted puck
LED lights for safe
stair lighting
-  TYPE LU
Flush-to-grade fixture to
uplight pots and key
architecture, max 250
lumens
-  TYPE LT
Adjustable accent light
trellis mounted and
concealed from most
-  TYPE SA
Post-top thematic
pole, 16' pole height
dark sky friendly with
house side shield & optics
-  TYPE TR
Palm tree ring for grazing
down sides of textured
tree, 16' max mounting
height
-  TYPE WP
Thematic wall sconce
for ambient illumination
and way-finding
-  TYPE WS
Decorative wall sconce
for patios
dark sky friendly
-  Submersible fixt
in water feature
water feature
consultant

ROOF DECK LIGHTING



TYPE	FIXTURE	QUANTITY	WATTS	LUMENS	KELVI
BL	Bollard	5-10	17W	932	3000
GU	Landscape Accent	70-75	7W	397	2700
HR	Handrail Puck	11 locations	1.5W	104	2700
LU	Flush-to-Grade Uplight	125-130	12W	250	3000
LT	Trellis Accent	65-70	10W	344	2700
SA	Post Top on Pole	25-30	80W	5,780	2700
TR	Palm Tree Ring	25-30	24W	455	2700
WP	Thematic Wall Sconce	60-65	17W	1,500	2700
WS	Decorative Wall Sconce	25-30	12W	370	3000

PHX
ARCHITECTURE

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CREATIVE DESIGNS
IN LIGHTING

CVL
CONSULTANTS

GH

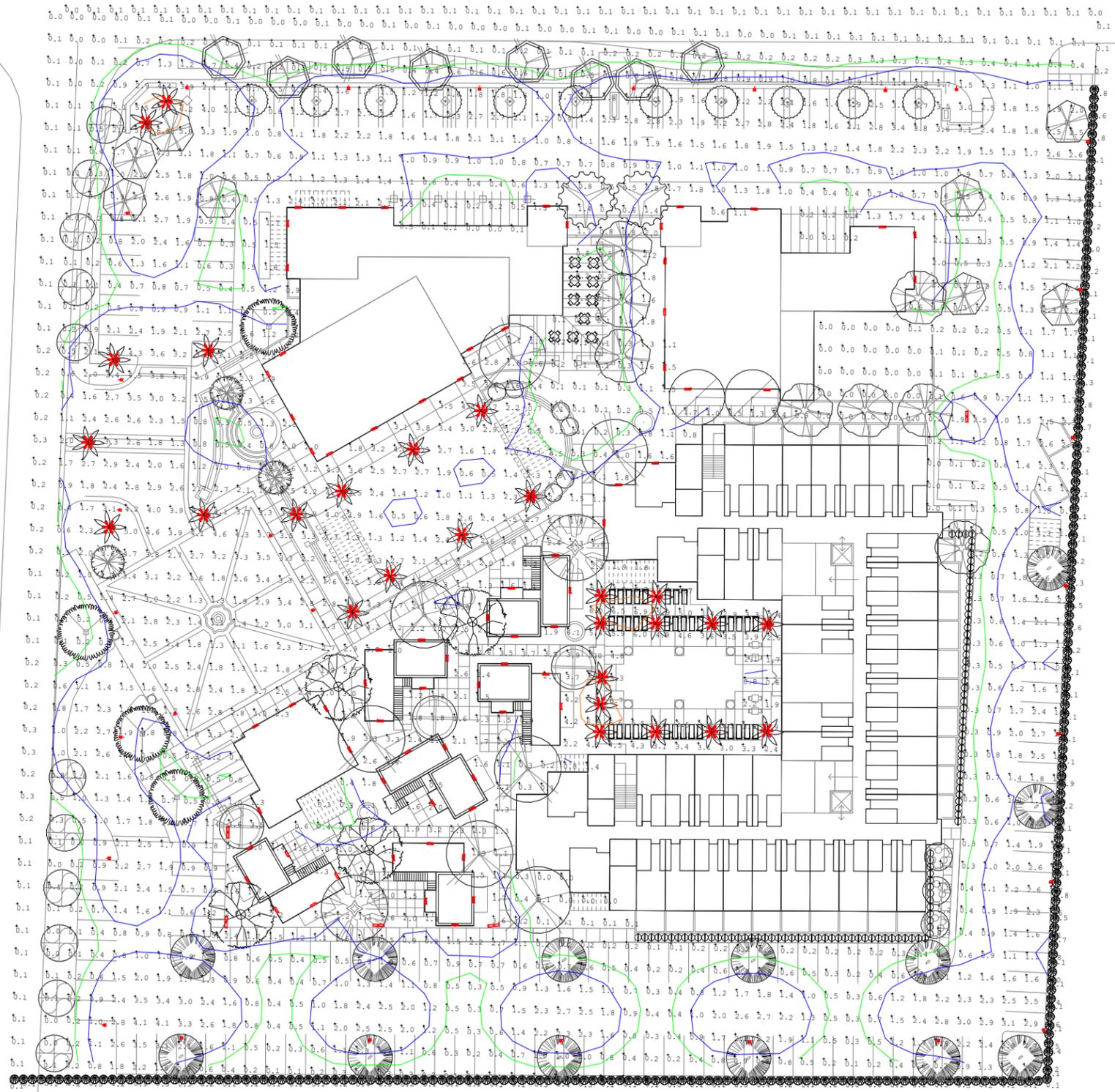
PROPOSED SITE LIGHTING PLAN

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PHOTOMETRIC LIGHTING PLAN

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3" INGROUND 120V 5032

WAC LANDSCAPE LIGHTING

TYPE 'LU'

Feature Type:

Catalog Number:

MAXIMUM LUMEN OUTPUT SET TO 250 LUMENS

PRODUCT DESCRIPTION
Landscape Wall Wash Luminaire

FEATURES

- Adjustable beam angle
- Integral driver
- IP67 rated, protected from temporary immersion under water
- Drive over up to 4500lbs
- Solid diecast brass or corrosion-resistant aluminum
- Available concrete pole kit
- 4" lead wire and wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1585 listed
- Not suitable to use with external drivers

SPECIFICATIONS

Input: 120V - 120WAC
Power: 3W to 11.5W
Brightness: 45 lm to 1133 lm
Beam Angle: 15° to 56°
CRI: 85
Total Life: 41,000 hours

IEC Safety Standard

Wet over	Drive over
Resistance to static load test	Yes (1123lbs)
Resistance to impact and shear loads test	N/A
	Yes

ORDERING NUMBER

Color Temp	Finish
5032 3" Inground 120V 35 3000K	BZ Bronze on Aluminum BBR Bronze on Brass

Example: 5032-30-BBR

www.lighting.com
Phone (800) 526.2586
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11959

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2017

ML660 MILLENIA SERIES

LED

TYPE 'SA'

FIN 1.3 FT WEIGHT 30 LBS
3 YEAR WARRANTY
LUMEN RANGE 2,000 to 100,000 LUMENS
LIFE SPAN 100,000 HOURS
UL LISTED
BLACK FOR ADA
FMA

JOB NAME:

FEATURE TYPE:

POLE HEIGHT 16' MAXIMUM

BUILD A PART NUMBER

ORDERING EXAMPLE: PT-ML660-12L40T3-MDL018-SVI-FHD-BLOC-ASQ12-125/LCMT

Mounting Configuration

Click here to view mounting options specification page

- WV - 2A - 3AS0 - 1AM
- PT - 2A00 - 3APT - 2AM
- LA - 2APT - 1AA - 2AM
- LAPT - 3A - 1AAPT

W-Wall Mount, A-Arm Mount, AM-Arm Mid Mount

Finish

Standard Urban Finishes (click here to view spec sheet)

- UGM Urban Matte
- UBT Urban Bronze Textured
- ULB Urban Bronze Matte
- ULBT Urban Light Bronze Textured
- ULBL Urban Light Bronze Matte
- USL Urban Silver Textured
- USLT Urban Silver Matte
- UWV Urban White Textured
- UWVT Urban White Matte
- UCS Urban Champagne Satin Smooth
- BRT Black Textured

Custom Urban Finishes

- CM Custom Match

Specifications

The medium scale ML660 Milenia® post top luminaire is a breakthrough in modern area lighting technology. Its new world urban design transcends traditional lighting convention by seamlessly incorporating form and function to its smallest level. Our exclusive "AAPT" Advanced Air Flow Dynamics™ maximizes heat sink exposure to deliver unsurpassed thermal management for long-life LED performance and energy efficiency. Available with a myriad of options, the Milenia is perfect for commercial, institutional and municipal markets. The cast aluminum spherule sits on a 3" OD x 3" tall base. The luminaire shall be UL listed in US and Canada.

Options (click here to view accessories sheet)

- FHD Double Fuse and Huber
- HSG External 30" House Side Shield
- BLOC Internal optic level House Side Shield

*Ships loose for installation in base

ATM (click here to view accessories sheet)

See Arms & Wall Brackets specification sheets.

STERNBERG LIGHTING
ESTABLISHED 1923 / EMPLOYEE OWNED

800-621-3376
555 Lawrence Ave., Norfolk, IL 60172
info@sternberglighting.com
www.sternberglighting.com

PALM TREE RING INTEGRAL ARTISTAR™

LED

TYPE 'TR'

PROJECT:

TYPE:

CATALOG NUMBER LOGIC

Example: PTR 3 - 21 - AR - LED - TR - 665 - SP - A9 - B2P - 12 - 11 - A - TR20 - MT

Series: PTR
Quantity: 1
2 - 2' to 10'
3 - 2' to 10'
4 - 2' to 10'
5 - 2' to 10'

Strap Sizes (click here to view spec sheet)

16 - 16" min to 22" max
21 - 22" min to 22" max
26 - 26" min to 32" max
31 - 31" min to 32" max

Feature: AR - Artistar™

Source: LED - V technology with Integral Driver
TR - Integral Transformer

LED Type: AR - 665
TR - 665

Optics: AR - 665
TR - 665

Adjust-Lum: AR - 665, AR, A7, A8, A9, A10, A11, A12, A13
Click here to view spec sheet

Finish: Standard Finish, Premium Finish

Standard Finish: Bronze, Black, White, Aluminum, Vinyl, etc.

Premium Finish: Chrome, Nickel, Copper, etc.

Lens Type: 1 - Full Focus Lens, 2 - Reflector Lens

Shielding: 1 - Non-glare Baffle

Cap Style: A - 4", B - 6", C - Flush, F - 5" with Flush Lens

Power Supply: 1 - 300W Electronic Transformer, 2 - 300W AC, 3 - 300W AC

Input Voltage: 120-277V AC Input

B-K LIGHTING
1750 Standard Street | City of Industry | CA 91748
F: 626.968.5566 | E: info@bklighting.com
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Cypher™ - CY1 Accent Scale

TYPE WP'

FEATURES

- Integral Battery Backup Option
- 300° Light Distribution
- RGBW or Static White Luminaire Front Option
- IES Type I, II, B & IV Distributions
- Wall, Grade, Spot and Panel Distribution
- Multiple Facia Options and Finishes
- 0-10V dimming
- IP-66 Housing & Optical System
- 120-277V
- 3000K, 4000K & 5000K CCT
- 10kA Surge Protection
- Facia Forms F, E and ADA compliant for use in low mounting height applications (80 inches or less)
- ADA approved, dimmable only, 3000K and warmer CCTs

ORDERING CODE

Series Output CCT/CRI Model Main Distribution Voltage Housing Finish Facia Form Luminaire Front Facia Panel Control Options

SERIES OUTPUT (Base)

CY1-15 15w, 1500 nominal lumens
CY1-25 25w, 2500 nominal lumens

CCT/CRI

2700K 2700K CCT
3000K 3000K CCT
4000K 4000K CCT
5000K 5000K CCT

MODEL (Light Engine)

1 Downlight Only
2 5000 Downlight, DownUp distribution, must match 90/0 Downlight
3 2700/2700 CCT, DownUp/Spot distribution, must match 90/0 Downlight
4 2700/2700 CCT, DownUp/Spot distribution, must match 90/0 Downlight

MAIN DISTRIBUTION (Down)

1 IES Type I
2 IES Type II
3 IES Type B
4 IES Type IV
5 15° Spot/Column
6 15° Spot/Column
7 15° Spot/Column
8 15° Spot/Column
9 15° Spot/Column
10 15° Spot/Column
11 15° Spot/Column
12 15° Spot/Column
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40 15° Spot/Column

FACIA FORM

F Flat
R Radius/Curved
T Triangular/Wedge
E Rounded Edge
C Concave/Curved
CB Cylinder/Balanced
CT Cylinder/Tall
CBST Custom Building Material Mount Ghost Facia

LUMINOUS FRONT

Blank Standard None
RGBW RGBW Luminaire Front
LFSV Static White Luminaire Front
RGBW and LFSV luminaires are only available with open top and perforated facia panels

FACIA PANEL

FP Full Panel Painted
FSS Full Panel Stainless Steel
FPC Full Panel Copper
OPF Open Panel Painted
OPSS Open Panel Stainless Steel
OPC Open Panel Copper
DP Dark Bronze
DG Dark Green
GT Graphite
LG Light Grey
MAl Matte Aluminum
MB Matte Bronze
MG Medium Grey
TI Titanium
VBl Verde Blue
WB Weathered Bronze
WH Arctic White

Premium Colors

SHK Shamrock
SPR Salt and Pepper
WCP Weathered Copper
RAL Provide a RAL 4 digit color number
CUSTOM COLOR Please provide color chip for matching

CONTROL OPTIONS

PCU Universal Button Protocol (120-277V)
EM Battery Backup Unit -20V
SF Single Fuse (120, 277)
DF Double Fuse (200, 240)
Battery Backup not available with Triangle and Perforated Edge Facia Forms.

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3" INGROUND 120V 5032

WAC LANDSCAPE LIGHTING

TYPE 'LU'

Rock Guard
Protects the fixture face

Optics
Enhances saturation of flora and foliage

5030-GRD-BZ Bronze on Aluminum
5030-GRD-BBR Bronze on Brass

LENS-25-AMB Amber
LENS-25-GRN Green
LENS-25-RED Red
LENS-25-BLU Blue
LENS-25-FR Frosted
LENS-25-HCL Honeycomb Louver Reduces glare

Concrete Pole Kit
For installation in concrete. Fits 1.5" NPT threaded holes, PC

5030-PP-PVC Shows with temporary clear dome cap

PRODUCT DESCRIPTION
This slim, recessed, flat-bottom sconce gives new life to the conventional rock baffle. Form follows function in this simplified indirect wall sconce. Clean styling and robust LED performance are combined in this modern dark sky luminaire.

FEATURES

- ETL & cETL listed for wet locations, IP65
- Interior light and down light
- Low profile design
- Replaceable LED module
- 277V option available (separate order)
- 50,000-hour operational life
- Color Temp: 3000K
- CRI: 85

SPECIFICATIONS

Construction: Aluminum
Power: No driver or transformer required
Light Source: High output LED
Dimming: Dimmable to 10% with an electronic low voltage (ELV) dimmer.
Mounting: Mounts directly to junction box.
Finish: Black (BK), Bronze (BZ), Graphite (GH), White (WT).
Standards: ETL & cETL listed. ADA compliant. Dark Sky friendly. IP65, Wet location.

ORDER NUMBER

Model	Height	Watt	# of LEDs	Lumens	Photometric Lumens	Finish
WS-W11	10	10	1200	2	220	330
	16	16	1600	4	360	490
	22	22	2200	5	1200	950

REPLACEMENT GLASS

Model	Finish
RPL-GLA-1122-01	WS-W1122
RPL-GLA-1122-01	WS-W1122
RPL-GLA-1116-02	WS-W1116
RPL-GLA-1116-01	WS-W1116
RPL-GLA-1110-02	WS-W1110
RPL-GLA-1110-01	WS-W1110

Example: WS-W116-GH
For 27V special order, add an "S" before the finish. WS-W116F-GH

modernforms.com
Phone (800) 526.2586
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11959

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2017

URBAN - model: WS-W11

LED Outdoor Sconce Luminaire

MODERN FORMS

TYPE 'WS'

Feature Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION
This slim, recessed, flat-bottom sconce gives new life to the conventional rock baffle. Form follows function in this simplified indirect wall sconce. Clean styling and robust LED performance are combined in this modern dark sky luminaire.

FEATURES

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Light Source: High output LED
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Mounting: Mounts directly to junction box.
Finish: Black (BK), Bronze (BZ), Graphite (GH), White (WT).
Standards: ETL & cETL listed. ADA compliant. Dark Sky friendly. IP65, Wet location.

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REPLACEMENT GLASS

Model	Finish
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RPL-GLA-1122-01	WS-W1122
RPL-GLA-1116-02	WS-W1116
RPL-GLA-1116-01	WS-W1116
RPL-GLA-1110-02	WS-W1110
RPL-GLA-1110-01	WS-W1110

Example: WS-W116-GH
For 27V special order, add an "S" before the finish. WS-W116F-GH

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PALM TREE RING INTEGRAL ARTISTAR™

LED

TYPE 'TR'

PROJECT:

TYPE:

TOP VIEW

16 - 16" min to 22" max
21 - 21" min to 22" max
26 - 26" min to 32" max (observed)
31 - 31" min to 32" max

FIXTURE QUANTITY

2 FIXTURES
3 FIXTURES
4 FIXTURES
6 FIXTURES

SIDE VIEW

3 1/8" (80mm)
2" (51mm)

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Cypher™ - CY1 Accent Scale

TYPE WP'

LUMINAIRE PERFORMANCE

Nominal Output (lm)	Distribution	Downlight only				Configuration				From Mount (DMS)				
		Delivered Lumens	Efficiency (lm/W)	Beam Diameter (ft)	Beam Diameter (in)	Delivered Lumens	Efficiency (lm/W)	Beam Diameter (ft)	Beam Diameter (in)	Delivered Lumens	Efficiency (lm/W)	Beam Diameter (ft)	Beam Diameter (in)	
1,500	17	3000K CCT												
		Type 1	1533	84	1.0	1.0	1533	84	1.0	1.0	1533	84	1.0	1.0
		Type 2	1766	82	1.0	1.0	1766	82	1.0	1.0	1766	82	1.0	1.0
		Type 3	1766	82	1.0	1.0	1766	82	1.0	1.0	1766	82	1.0	1.0
		Type 4	1766	82	1.0	1.0	1766	82	1.0	1.0	1766	82	1.0	1.0
		Spot/Column	1766	82	1.0	1.0	1766	82	1.0	1.0	1766	82	1.0	1.0
		Type 1 Diffused	1829	81	1.0	1.0	1829	81	1.0	1.0	1829	81	1.0	1.0
		Type 2 Diffused	1829	81	1.0	1.0	1829	81	1.0	1.0	1829	81	1.0	1.0
		Type 3 Diffused	1829	81	1.0	1.0	1829	81	1.0	1.0	1829	81	1.0	1.0
		Type 4 Diffused	1829	81	1.0	1.0	1829	81	1.0	1.0	1829	81	1.0	1.0
2,500	26	3000K CCT												
		Type 1	2511	86	1.0	1.0	2511	86	1.0	1.0	2511	86	1.0	1.0
		Type 2	2745	84	1.0	1.0	2745	84	1.0	1.0	2745	84	1.0	1.0
		Type 3	2745	84	1.0	1.0	2745	84	1.0	1.0	2745	84	1.0	1.0
		Type 4	2745	84	1.0	1.0	2745	84	1.0	1.0	2745	84	1.0	1.0
		Spot/Column	2745	84	1.0	1.0	2745	84	1.0	1.0	2745	84	1.0	1.0
		Type 1 Diffused	2808	84	1.0	1.0	2808	84	1.0	1.0	2808	84	1.0	1.0
		Type 2 Diffused	2808	84	1.0	1.0	2808	84	1.0	1.0	2808	84	1.0	1.0
		Type 3 Diffused	2808	84	1.0	1.0	2808	84	1.0	1.0	2808	84	1.0	1.0
		Type 4 Diffused	2808	84	1.0	1.0	2808	84	1.0	1.0	2808	84	1.0	1.0

ISOLINE TEMPLATES 10' Mounting Height, 10' Grid Spacing

CY1-1-1, CY1-1-2, CY1-1-3, CY1-1-4, CY1-1-10, CY1-1-20, CY1-1-30, CY1-1-40

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PROPOSED SITE LIGHTING TEAR SHEETS

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WEST ELEVATION
scale: 1" = 35'-0"



SOUTH ELEVATION
scale: 1" = 35'-0"



EAST ELEVATION
scale: 1" = 35'-0"

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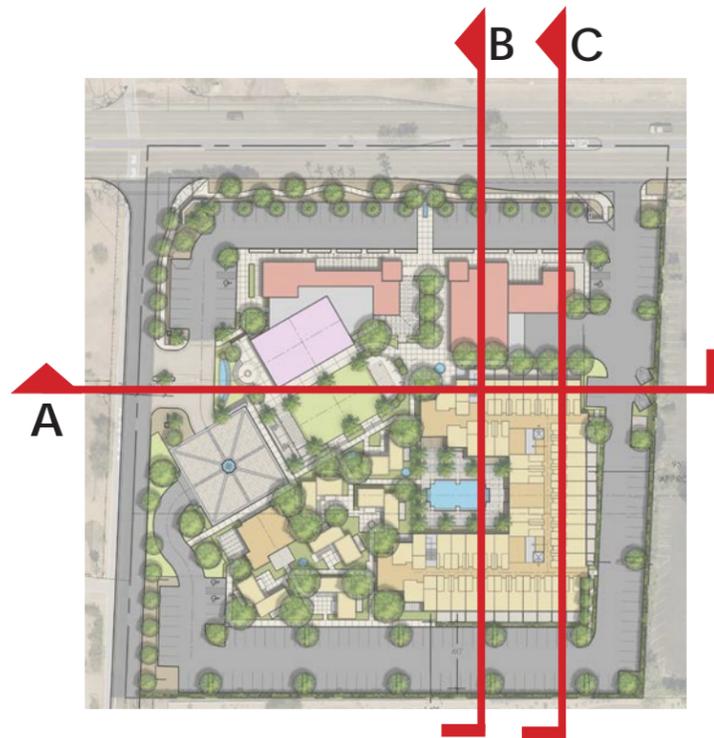
EXTERIOR ELEVATIONS

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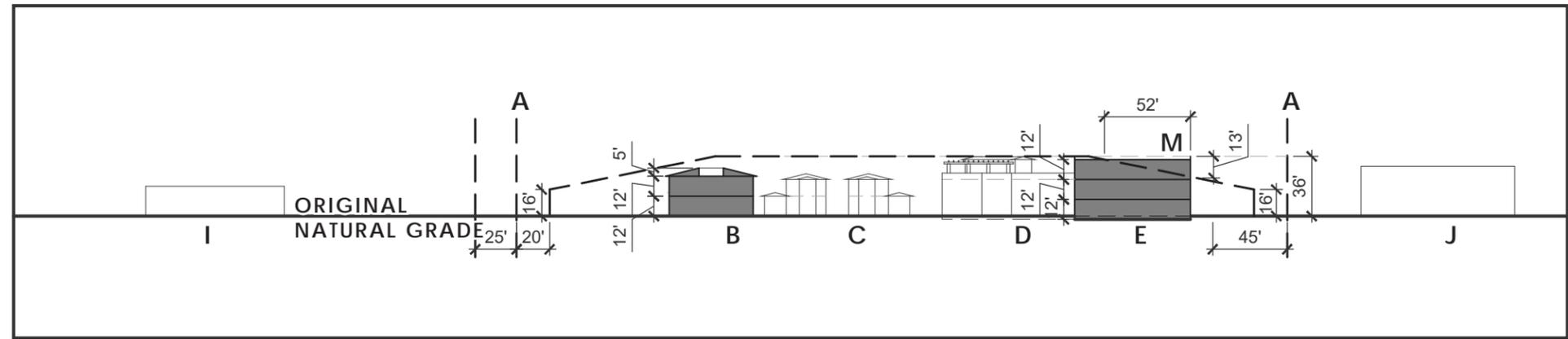
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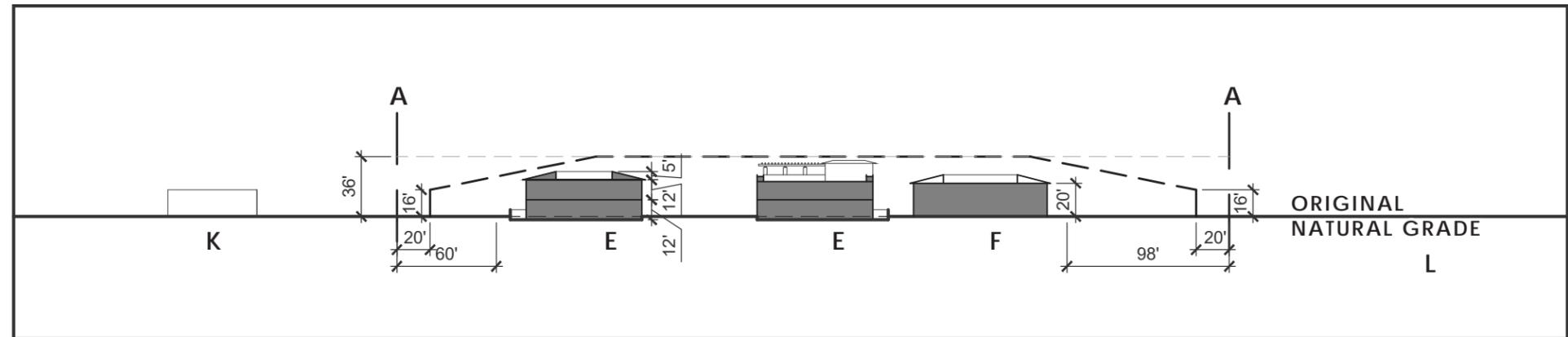
KEY MAP - NOT TO SCALE

PROGRAM:

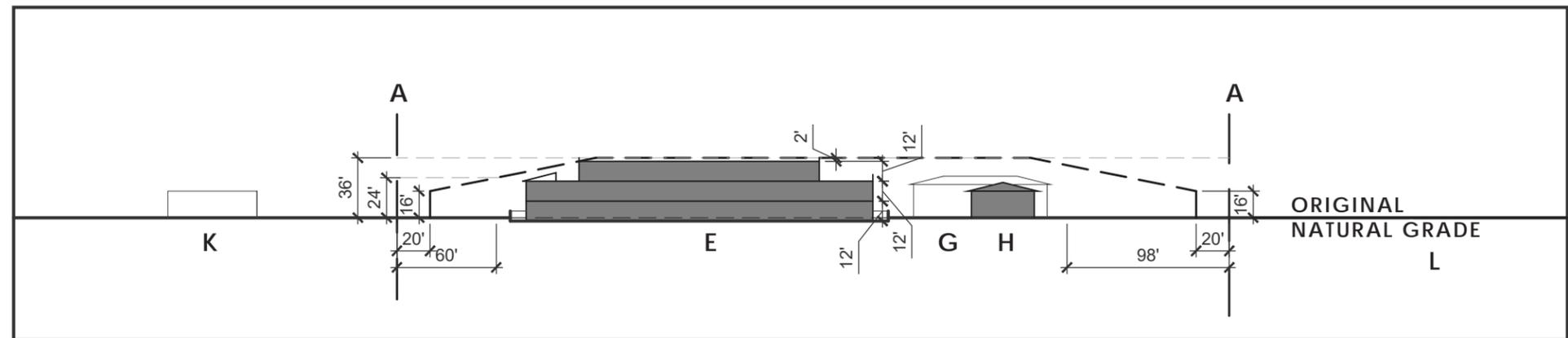
- A. Property Line
- B. Resort Reception
- C. Resort Villas
- D. Pool Area
- E. Resort
- F. Market
- G. Service Yard
- H. Coffee Shop
- I. Adjacent Residential Parcel
- J. Medical Office Building
- K. Special Use Permit Resort (Andaz)
- L. Special use Permit Resort (Ritz)
- M. Building facade extends 13' to top of parapet above the OSC plane spanning 145' linear feet for a total of 1,885 sf vertically. Occupiable square footage affected is 7,540 sf (52' linear feet x 145' linear feet = 7,540 sf horizontally)



SECTION A - cut 150' from south property line
scale: 1" = 90'-0"



SECTION B - cut 140' from east property line
scale: 1" = 90'-0"



SECTION C - cut 80' from east property line
scale: 1" = 90'-0"



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OPEN SPACE DIAGRAM



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KEY MAP - NOT TO SCALE



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SECTION D - cut at rooftop terrace
scale: 1" = 10'-0"

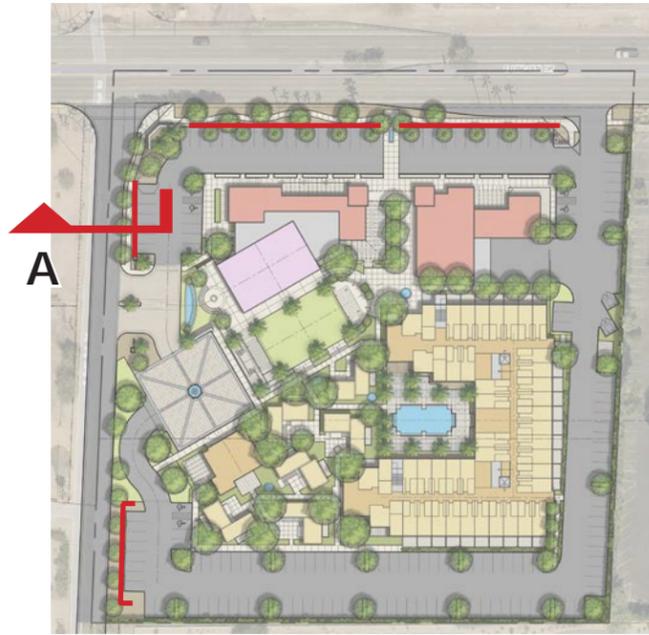
SECTION AT ROOFTOP TERRACE

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KEY MAP - NOT TO SCALE



PARKING SECTION A - typical 3'-0" high parking screen wall throughout
 scale: 1" = 6'-0"



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PARKING SECTION

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KEY MAP - NOT TO SCALE

PROGRAM:

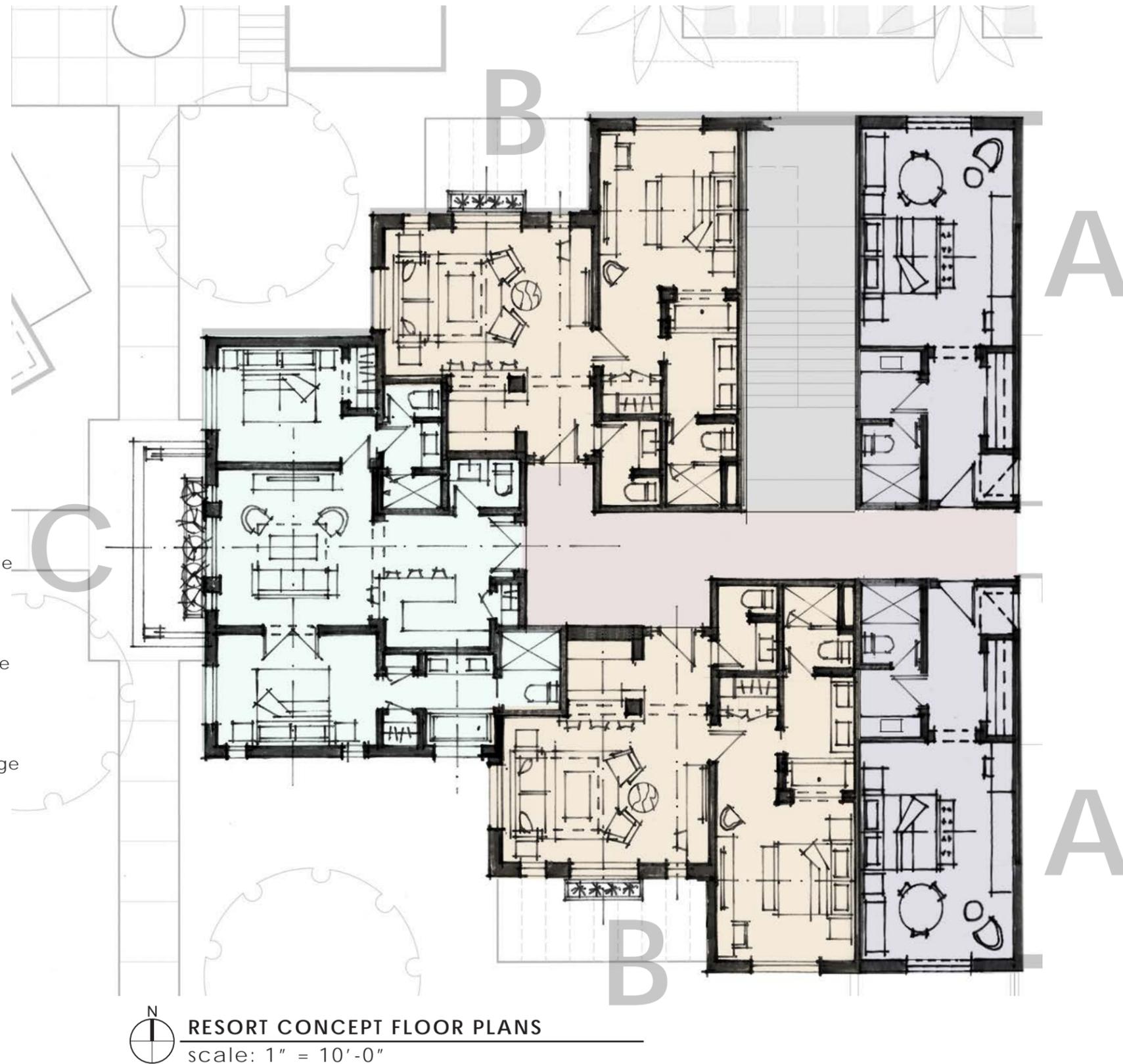
- A. Typical Resort Suite - Approx. 400 sf - average
 - Ground Level 38 keys
 - Second Level 38 keys
 - Third Level 14 keys
- B. Typical Resort Suite - Approx. 725 sf - average
 - Ground Level 4 keys
 - Second Level 5 keys
 - Third Level 1 keys
- C. Typical Resort Suite - Approx. 700 sf - average
 - Ground Level 0 keys
 - Second Level 2 keys
 - Third Level 0 keys

TOTAL RESORT KEYS: 102 keys

ADDITIONAL:

LUXURY SUITES 20 KEYS

TOTAL KEYES 122 KEYS



RESORT CONCEPT FLOOR PLANS

scale: 1" = 10'-0"



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CONCEPT FLOOR PLANS

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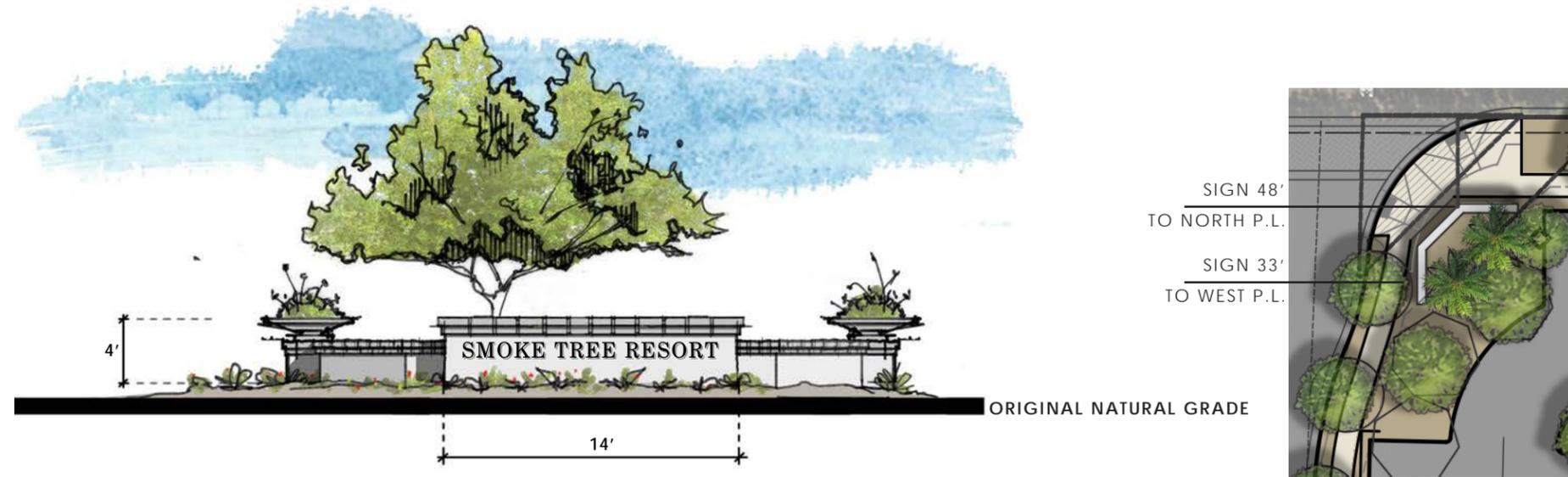
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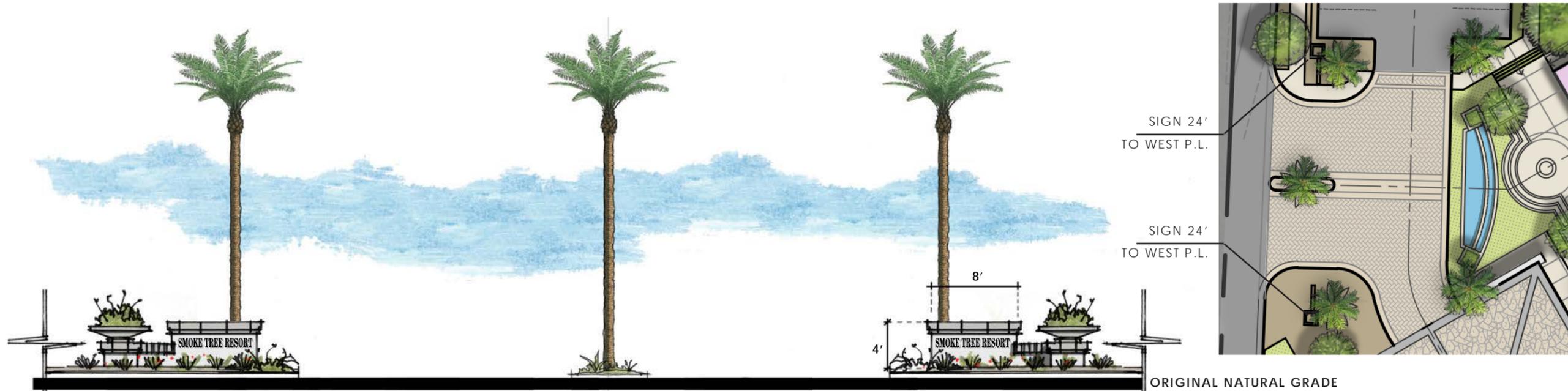
KEY MAP - NOT TO SCALE



1. STREET CORNER SIGNAGE - 32 SF SIGN WITH BACKLIT LETTERS
scale: 1" = 10'-0"



2. STREET CORNER SIGNAGE - 32 SF SIGN WITH BACKLIT LETTERS
scale: 1" = 10'-0"



3. RESORT AUTO COURTYARD ACCESS - (qty2) 32 SF SIGNS WITH BACKLIT LETTERS
scale: 1" = 10'-0"



PROPOSED SIGNAGE AND MONUMENTS

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KEY MAP - NOT TO SCALE



4. PEDESTRIAN COURTYARD ACCESS - 40 SF SIGN WITH BACKLIT LETTERS
 scale: 1" = 10'-0"



PROPOSED SIGNAGE AND MONUMENTS

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PROPOSED SITE SETBACK

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Area	Land Use Product	Gross Acreage	Proposed Units	Maximum Total Resort Related Floor Area, sf	Lot Coverage: Drip Line Area, sf	Area Coverage, Percentage	Maximum Height, ft (1)
	The Smoke Tree Resort Hotel	5.3	Public Space	80,000	29,257		36'
			122 Hotel Rooms				36'
	Accessory & Service Structures			29,150	14,575		24' / 36'
	Food & Beverage			12,000	8,000		24'
	Resort Related Retail			7,000	7,000		24'
Total All Parcels		5.3		128,150	58,832	25.2%	

Post Dedication Metrics (Applicable only if Easements are not utilized to convey the Dedications)					
			Dedication	Gross	Net
	Lot Coverage	5.3	-41,964.20	25.2%	30.7%
	FAR	5.3	-41,964.20	0.55	0.67
	Setbacks	North	-65	98	33
		East	0	45	45
		South	0	60	60
		West	-25	75	50
	Open Space Criteria	North	-65	Comply	Encroach
		East	0	Encroach	Encroach
		South	0	Comply	Comply
		West	-25	Comply	Comply
	(1) Original Natural Grade	1313.58'			



PROPOSED PROJECT DATA



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SPECIAL USE PERMIT GUIDELINES FOR RESORTS		PROPOSED DESIGN
Section 4.1.a	Site Standards: Except for properties that have existing special use permits for resort uses, the minimum site area shall be 20 acres which shall not be bisected by any public right-of-way.	Smoke Tree Resort is an existing 5 acre resort property.
Section 4.1.b	Site Standards: Except for properties that have existing special use permits for resort uses, the site shall have primary access from and frontage of at least 300 feet on a Major or Minor Arterial as designated in the Paradise Valley General Plan.	Comply
Section 4.1.c	Site Standards: Principal structures shall be those containing guest units or those containing guest registration areas, facility administrative offices and accessory uses. Principal structures with guest units also may contain permitted accessory uses.	Comply
Section 4.1.d	Site Standards: Accessory structures shall be those containing accessory uses.	Comply
Section 4.1.e	Site Standards: Service structures shall include those structures used for support and maintenance of the resort.	Comply
Section 4.1.f	Site Standards: All parking on a site shall be at the surface or underground.	Comply
Section 4.1.g	Site Standards: No individual retail business, office or business service shall occupy more than 2000 square feet. Entrances to any retail business, office, or business service shall be from within a principal or accessory structure.	The following are retail businesses within the property, with direct access from the outside: Coffee shop Market Restaurant
Section 4.2.a.i	Bulk and Density Standards: Maximum building height for principal structures - 36 feet	Comply
Section 4.2.a.ii	Bulk and Density Standards: Maximum building height for accessory structures - 24 feet	Comply
Section 4.2.a.iii	Bulk and Density Standards: Maximum building height for service structures - 18 feet	Comply
Section 4.2.a.iv	Bulk and Density Standards: Towers and other architectural features may exceed maximum building heights, subject to special use permit or major amendment approval.	No conflicts are foreseen at this time.
Section 4.2.a.v	Bulk and Density Standards: To maintain view corridors around the perimeter of a property, building heights shall be limited around property lines in accordance with eh Open Space Criteria per Section 3 of the Special Use Permit Guidelines.	North, West and South boundaries of proposed design are compliant. See Open Space Diagram for East boundary.
Section 4.2.b.i	Lot coverage: Lot Coverage: Total of all structures - 25%	Comply - Approx. 25% Lot - 233,868 sf gross Total of all proposed structures - Approx. 58,832 sf



TABLE OF GUIDELINES AND COMPLIANCY

the smoke tree resort
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SPECIAL USE PERMIT GUIDELINES FOR RESORTS		PROPOSED DESIGN
Section 4.2.b.ii	Lot coverage: Lot Coverage: Total of all impervious surfaces including building footprints - 60%	Approx. 82% Lot - 233,868 sf gross Total of all impervious surfaces - Approx.190,900
Section 4.2.b.iii	Lot coverage: Open space, which shall consist of land and water areas retained for active or passive recreation purposes or essentially underdeveloped areas retained for resource protection or preservation purposes, a minimum of 40%.	Comply - Approx. 75% Lot - 233,868 sf gross Total of all open areas - Approx. 175,037
Section 4.2.c	Maximum density of guest units - 1 unit for each 4000 sq. feet of site area	With a proposed 122 key resort property, the average is 1 key for every 1,700 sf.
Section 4.3.a.i	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Principal structures - 100 feet	See Open Space Diagram.
Section 4.3.a.ii	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Accessory structure - 60 feet	Comply
Section 4.3.a.iii	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Service Structure - 100 feet	Comply
Section 4.3.a.iv	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Outdoor game courts and swimming pools which are generally available to all guests - 200 feet	Corner of the Event Lawn takes place 157' from west boundary.
Section 4.3.a.v	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Parking lots and interior drives, excluding exterior points of access - 60 feet	See the Proposed Site Setback slide.
Section 4.3.a.vi	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is residential: Any portion of an equestrian facility, including structures barns, stalls and corrals - 200 feet	No equestrian facilities proposed.
Section 4.3.b.i	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is other than residential or is adjacent to a public street: Principal structures - 100 feet	See the Proposed Site Setback slide.
Section 4.3.b.ii	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is other than residential or is adjacent to a public street: Accessory structure - 40 feet	comply
Section 4.3.b.iii	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is other than residential or is adjacent to a public street: Service structure - 65 feet	comply



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SPECIAL USE PERMIT GUIDELINES FOR RESORTS		PROPOSED DESIGN
Section 4.3.b.iv	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is other than residential or is adjacent to a public street: Outdoor game courts and swimming pools which are generally available to all guests - 65 feet	comply
Section 4.3.b.v	Perimeter Standards: Minimum distance from exterior property lines where the adjacent use is other than residential or is adjacent to a public street: Parking lots and interior drives, excluding exterior points of access - 40 feet	See the Proposed Site Setback slide.
Section 4.3.c	There shall be a 40 foot wide landscaped area adjacent to an exterior property line where it abuts residentially zoned property.	See the Proposed Site Setback slide.
Section 4.3.d	There shall be a minimum 30 foot wide landscaped area where an exterior property line abuts a public or private local or collector street and a 50 foot wide landscaped area where an exterior property line abuts a Major or Minor Arterial.	See the Proposed Site Setback slide.
Section 4.3.e	The provisions of Chapter XXIV, Walls, and Fences, of the Town's Zoning Ordinance shall apply.	comply
Section 4.4.a.i	Parking and Circulation: Parking and Circulation; on site parking shall be provided as follows: For each guest unit - 1.2 spaces	comply
Section 4.4.a.ii	Parking and Circulation: Parking and Circulation; on site parking shall be provided as follows: For each dwelling unit - 2.0 spaces	No Dwelling Units proposed.
Section 4.4.a.iii	Parking and Circulation: Parking and Circulation; on site parking shall be provided as follows: For each 50 square feet of net dining area in restaurants - 1.0 space	comply
Section 4.4.a.iv	Parking and Circulation: Parking and Circulation; on site parking shall be provided as follows: For each two seats or equivalent area in meeting rooms, auditoriums or group assembly areas - 1.0 space	comply
Section 4.4.a.v	Parking and Circulation: Parking and Circulation; on site parking shall be provided as follows: For each 300 square feet of net sales areas in retail establishments - 1.0 space	comply
Section 4.4.a.vi	Parking and Circulation: On site parking shall be provided as follows: For each 300 square feet of net occupied space in office and service establishments - 1.0 space.	comply
Section 4.4.b	Parking and Circulation: These requirements may be modified in conjunction with special use permit or major amendment approval based on information documenting overlapping usage of on-site facilities by guests or visitors and as contained in an approved traffic and parking analysis.	comply



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CREATIVE DESIGNS
IN LIGHTING



TABLE OF GUIDELINES AND COMPLIANCY



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	SPECIAL USE PERMIT GUIDELINES FOR RESORTS	PROPOSED DESIGN
Section 4.4.c	Parking and Circulation: All parking and driveway areas shall be located so as to prevent lights from shining onto adjacent residential property.	comply
Section 4.4.d	Parking and Circulation: All parking areas and driveways located within 200 feet of adjacent residentially zoned property shall be screen with a minimum three foot high, solid, decorative wall or a landscaped berm providing equivalent screening or a combination of both.	comply
Section 4.4.e	Parking and Circulation: Landscaped islands shall be provided every 100 feet within surface parking areas. Shade tree planters shall be provided between every four stalls.	comply
Section 4.4.f	Parking and Circulation: No loading, truck parking, trash containers or outdoor storage area shall be located within 100 feet of adjacent residentially zoned property. All such areas shall provide visual and noise screening to minimize impacts on adjacent residential property.	comply
Section 4.5.a	Signs: An identification sign may be located at each entrance to the resort from a major or minor arterial street. The maximum height shall be 8 feet and maximum sign area shall be 40 square feet, aggregate.	comply
Section 4.5.b	Signs: On entrances from all other streets, the maximum height shall be 4 feet and the maximum area shall be 32 square feet, aggregate.	comply
Section 4.5.c	Signs: All signs shall be only backlit or indirectly illuminated according to the standards in article XXV, Signs, of the Town's Zoning Ordinance.	comply
Sections 4.5.d	Signs: No moving or animated signs shall be permitted. Changeable copy is permitted within the allowable sign area.	comply
Section 4.5.e	Signs: Traffic and directional signs within the site shall not exceed 12 square feet in area, aggregate and shall not exceed 5 feet in height.	comply
Section 4.5.f	Signs: A sign, mounted on an exterior wall of any structure shall contain only structure identification as necessary for emergency access.	comply
Section 4.6	Lighting as per Section 2 of the Special Use Permit Guidelines	comply



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CREATIVE DESIGNS
IN LIGHTING



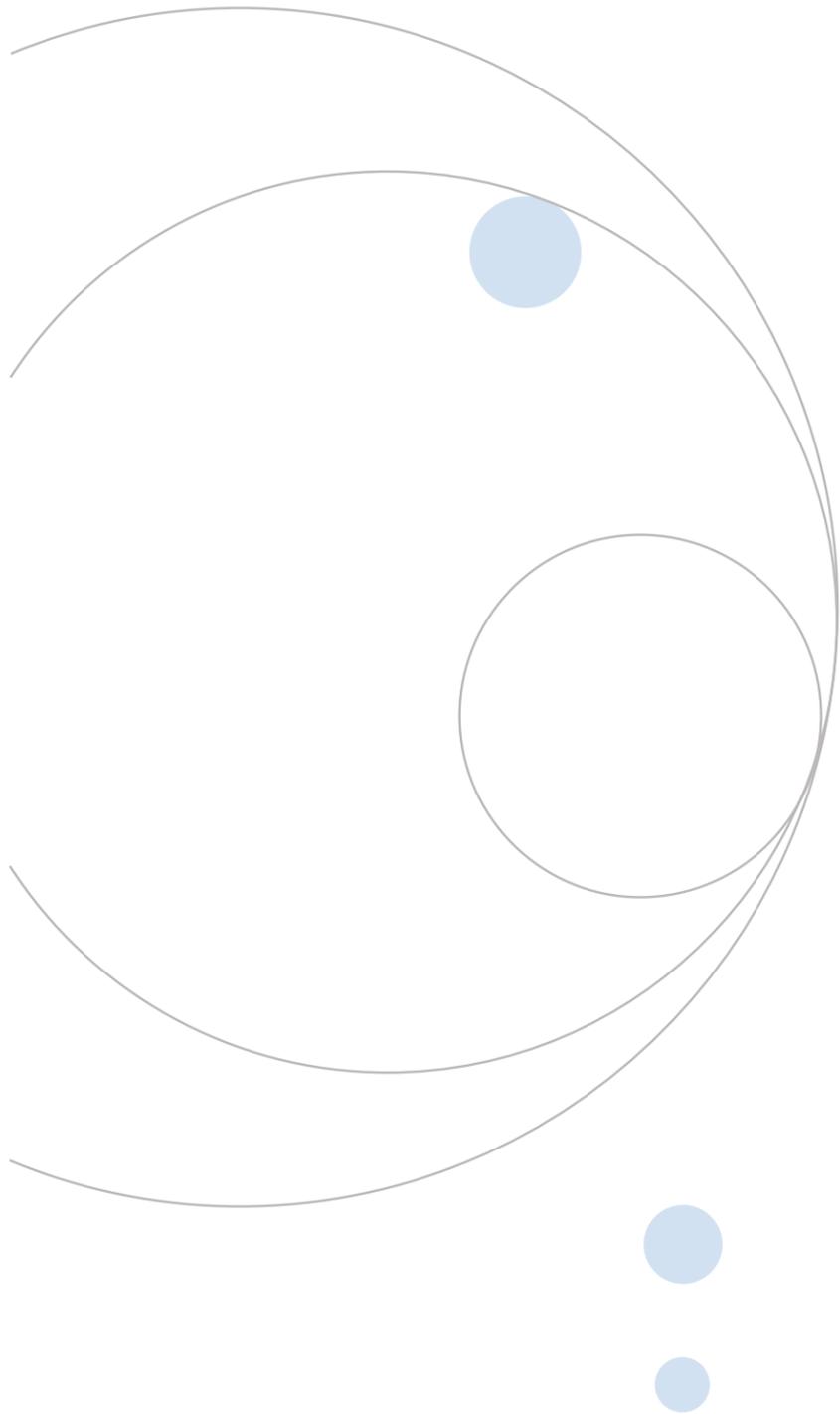
TABLE OF GUIDELINES AND COMPLIANCY



7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A28

SEP 6, 2019
11 x 17 format



Smoke Tree Resort

Traffic Impact Analysis

7101 E. Lincoln Drive
Town of Paradise Valley, Arizona

October 2019
Project No. 18-0550

Prepared For:

Beus Gilbert, PLC
701 N. 44th Street
Phoenix, Arizona 85008

For Submittal to:

Town of Paradise Valley

Prepared By:



10605 North Hayden Road
Suite 140
Scottsdale, Arizona 85260
480-659-4250

SMOKE TREE RESORT TRAFFIC IMPACT ANALYSIS

**7101 E Lincoln Drive
Town of Paradise Valley, Arizona**

Prepared for:
Beus Gilbert PLLC
701 N 44th Street
Phoenix, Arizona 85008

For Submittal to:
Town of Paradise Valley

Prepared By:



CivTech, Inc.
10605 North Hayden Road
Suite 140
Scottsdale, Arizona 85260
(480) 659-4250



October 2019

CivTech Project No. 18-0550



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CREATIVE DESIGNS
IN LIGHTING



TRAFFIC IMPACT ANALYSIS

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

Full 182 page report has been submitted to the Town of Paradise Valley.

A29

SEP 6, 2019
11 x 17 format
REVISED
OCT. 9, 2019



October 10, 2019

Taylor Robinson
 Geneva Holdings, LLC
 3620 East Campbell Ave, Suite B
 Phoenix, AZ 85018

RE: Parking Study for Smoketree Resort – Paradise Valley, Arizona

Dear Mr. Robinson:

CivTech has been retained to prepare a parking study for Smoketree Resort which will be redeveloped. The site is located at 7101 E. Lincoln Drive, Scottsdale, AZ 85253; south of Lincoln Drive and east of Quail Run Road. The project is the first step in revitalizing the resort, which is currently operating in its existing condition.

The project is submitting for a Special Use Permit (SUP) within The Town of Paradise Valley. This SUP anticipates the preparation of a parking study prepared and sealed by a licensed engineer that will consider, among other things, internal capture and time-of-day usage. The information herein provides the parking requirements for the Smoketree Resort during its peak operations on a weekday and on a weekend. Peak operations are defined as the number of parking spaces required during the peak season when all of the resort uses are at full occupancy.

CivTech has completed a parking study to clarify any disparity between the number of spaces required and the number of spaces provided including a shared parking analysis. The results of this analysis are documented in this memorandum.

PROPOSED DEVELOPMENT

The proposed project will consist of a resort hotel with 122 dedicated resort hotel rooms. The 122 dedicated hotel rooms will be considered "hotel keys" under the Special Use Permit. The project also includes a standalone retail market restaurant and the resort hotel will include fitness and event/meeting amenities. The proposed development land uses and quantities are summarized within **Table 1**. The proposed project will provide 170 traditional parking spaces. An exhibit illustrating the provided parking is attached to the letter statement.

The project is proposed with 170 parking spaces available. When necessary, the resort will operate using a valet only scenario which provides 195 parking spaces.

CivTech Inc. • 10605 North Hayden Road • Suite 140 • Scottsdale, AZ 85260
 Office 480-659-4250 • Fax 480-659-0566

Table 1: Proposed Land Uses and Quantities

(2) SUP	Land Use	Quantities
i.	Hotel Key	122 Keys
vi	Executive Office	250 SF
vi	HR/Accounting Office	250 SF
vi	Sales Office	250 SF
	(3) Front Desk	250 SF
vi	Misc Office	250 SF
iv.	(2) Pavilion	1,800 SF
iv.	(2) Event Lawn	4,000 SF
	(3) Valet/Bag+Bell	4,200 SF
	(3) Housekeeping	600 SF
iii.	Stand Alone Food and Beverage – Restaurant	2,100 SF
iii.	Guest Oriented Retail/Coffee – Restaurant	500 SF
v.	Guest Oriented Retail/Coffee – Retail	2,000 SF
vi.	Fitness	2,000 SF

- (1) See Table 2 for category description.
- (2) Pavilion not used simultaneously with the Event Lawn; therefore, the land use with the higher SF was used within the analysis.
- (3) Areas considered back of house were not included in the parking generation.

PARADISE VALLEY PARKING REQUIREMENTS

The Town of Paradise Valley provides for parking ratios in their Special Use Permit Guidelines. **Table 2** summarizes the parking ratio requirements for each component of a resort hotel.

Table 2: Parking Requirements per the Town SUP Guidelines

SUP	Category	Parking Requirement
i.	Each Hotel Key	1.2 spaces
iii.	Restaurant	1 space per 50 SF of net dining area
iv.	Meeting Rooms/Auditoriums/Group Assembly	1 space per two seats of public area (assumed to be 50 square feet)
v.	Retail	1 space per 300 SF of net sales area
vi.	Office/Service Establishment/ Spa/Fitness/Sales Establishments	1 space per 300 SF of net occupied space

INTERNAL CAPTURE – PARKING UTILIZATION

The determination of parking requirements for a resort should also consider the utilization of many uses within the resort by the same patron staying in the resort. To consider this, parking required for each use is prorated by assigning a percentage indicating the overlap from guests already staying within the resort ("onsite demand") vs. drawing new trips (vehicles) from non-guests ("offsite demand"). All parking for guest rooms and employees were determined to be completely "off-site". Parking generated by all other uses was assumed to be used by Resort occupants ("on-site") and non-Resort occupants ("off-site"). Therefore, overlap percentages were applied to these uses to account for the "on-site" occupants who will already be parked as



PARKING MEMO
 the smoketree resort
 7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
 SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

Full 15 page report has been submitted to the Town of Paradise Valley.

A30

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Preliminary Drainage Report

For

Smoke Tree Resort

Paradise Valley, Arizona

August 5, 2019 Revised

October 8, 2019

Prepared for:

Gentree, LLC

3620 E Campbell Ave, Suite B

Phoenix, AZ 85018

(602) 952-8811

Prepared by:

Coe & Van Loo Consultants, Inc.

4550 N. 12th Street

Phoenix, AZ 85014

(602) 264-6831

CVL Job Number: 1-01-03153-01



August 5, 2019
Revised October 8, 2019

SMOKE TREE RESORT

Town of Paradise Valley, AZ

Prepared for:

Gentree, LLC

3620 E Campbell Ave, Suite B
Phoenix, AZ 85018
(602) 952-8811

Prepared by:

CVL Consultants, Inc.

4550 N 12th Street
Phoenix, AZ 85014
(602) 264-6831



Job #:1-01-03153-01



PRELIMINARY DRAINAGE REPORT

PRELIMINARY DRAINAGE REPORT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A31

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OCT. 9, 2019

Full 22 page report has been submitted to the Town of Paradise Valley.

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October 10, 2019

Smoke Tree Resort

7101 East Lincoln Drive
Paradise Valley, Arizona 85253

Water Service Impact Study

Prepared for:
Gentree LLC
3620 East Campbell Avenue
Suite B
Phoenix, AZ 85018
Contact: Sam Robinson

Prepared by:
Coe & Van Loo Consultants, Inc.
4550 N. 12th Street
Phoenix, AZ 85014
Contact: Cassandra Alejandro, P.E.
602.285.4763



Job # 1.01.0315301



WATER SERVICE IMPACT STUDY



Cassandra Alejandro



WATER SERVICE IMPACT STUDY

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

Full 55 page report has been submitted to the Town of Paradise Valley.

A32

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REVISED
OCT. 9, 2019



WASTEWATER CAPACITY STUDY

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A33

SEP 6, 2019
11 x 17 format
REVISED
OCT. 9, 2019

October 10, 2019

Smoke Tree Resort

7101 East Lincoln Drive
Paradise Valley, Arizona 85253

Wastewater Capacity Study

Prepared for:

Gentree LLC

3620 East Campbell Avenue

Suite B

Phoenix, AZ 85018

Contact: Sam Robinson

Prepared by:

Coe & Van Loo Consultants, Inc.

4550 N. 12th Street

Phoenix, AZ 85014

Contact: Cassandra Alejandro, P.E.

602.285.4763

Job # 1.01.0315301



Cassandra Alejandro



WASTEWATER CAPACITY STUDY

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Appendices

- Appendix A: City of Scottsdale “Will-Serve” Letter
- Appendix B: Applicable Pages from the *Town of Paradise Valley Wastewater Master Plan (Arcadis, May 2015)*
- Appendix C: Sewer Quarter Section Maps
- Appendix D: Sewer Analysis Results



Cassandra Alejandro



2355 West Pinnacle Peak Road, Suite 300
Phoenix, AZ 85027 USA
epcor.com

September 26, 2019

Coe & Van Loo Consultants, Inc.
Attn: Fred Fleet, P.E.
4550 N. 12th Street
Phoenix, AZ 85014

Sent via e-mail to: fef_@cvlci.com

Re: Will-Serve Letter for Water Service
7101 E. Lincoln Drive, Paradise Valley
APN 174-64-003A

Dear Mr. Fleet;

This letter is in response to your request to EPCOR Water Arizona Inc. ("EPCOR") regarding EPCOR's willingness to provide water service to a proposed resort hotel to be located at 7101 E. Lincoln Drive in Paradise Valley (the "Development") as shown in **Exhibit A**. EPCOR provides the following information for your consideration:

1. EPCOR has confirmed that the Development is located within the area encompassed by EPCOR's Certificate of Convenience & Necessity ("CC&N") for water service as issued by the Arizona Corporation Commission.
2. Water service to the Development by EPCOR will be conditioned upon developer entering into a Main Extension Agreement (an "MXA") with EPCOR in a form acceptable to EPCOR, and upon EPCOR and developer fully performing its respective obligations under the MXA. The MXA will provide, among other things, that developer will be responsible for constructing at its cost all water main extensions necessary to distribute water from EPCOR's water system to the individual service line connections in the Development. The design and construction of all such main extensions will be subject to EPCOR's approval, and ownership of the main extensions, together with related real property easement rights, must be transferred to EPCOR prior to the initiation of water service in the Development.
3. Based on the water service currently provided by EPCOR in the CC&N, EPCOR will have adequate water capacity for normal use in the Development upon EPCOR's and developer's fulfillment of its respective obligations under the MXA. Please note that EPCOR does not guarantee the adequacy of its water capacity for fire protection.
4. Developer will also be required, as a condition to EPCOR providing water service to the Development, to pay all required fees pursuant to EPCOR's tariffs and as may be provided in the MXA.

This letter assumes that construction of the main extensions within the Development will begin within one (1) year after the date of this letter.

If developer begins construction of any water mains in the Development or any other water service infrastructure intended to serve the Development without, in each instance, the prior written approval of such construction by EPCOR, developer will be proceeding with such construction at its own risk.

This letter does not independently create any rights or obligations in either developer or EPCOR, and is provided for information only. Any agreement between developer and EPCOR for water service in the Development must be memorialized in a written agreement executed and delivered by their respective authorized representatives.

For additional information, please contact me at (623) 445-2402 or at bfinke@epcor.com.

Sincerely,

Brad Finke, P.E.
Engineering Manager

Enclosure: Exhibit A – Location Description of Development



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CREATIVE DESIGNS
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WILLSERVE LETTER

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

Full 3 page report has been submitted to the Town of Paradise Valley.

A34

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CVL
CONSULTANTS



AERIAL VIEW

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A35

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PHX
ARCHITECTURE

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GILBERT**



CREATIVE DESIGNS
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CONCEPT RENDERING

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A36

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11 x 17 format
REVISED
OCT. 9, 2019

DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
NOVEMBER 7, 2018			
11/7/2018	1:20:30	Discussion spurred by Wastchak regarding the 3D graphic presented versus Section A of the Site Design. Wastchak stated that they were showing an encroachment into the diagonal view-lines in the plans in the packet. The graphic shows that they are no longer within the view-lines, which Wastchak says is a good thing. Knapp stated that there is a difference between the packet given and Section A on the presentation. In the presentation, as shown in Section A, the property was moved 20 feet East towards Lincoln Medical. Wastchak asks if this is the correct way to account for the open-space criteria and Knapp replies that they are 40 feet East of where they should be. Peterson clarified that the 20-foot measurement is for a 20-acre site, while this site is 5-acres. No guidelines are in place for 5-acres. Wastchak is concerned that this is a manipulation and that other things will be affected by the height.	Corrected to show the correct OSC calculation.
11/7/2018	1:53:09	Lewis asks about the word "Market" to describe the "La Grande Orange" style café located at the front of the property off Lincoln Drive. Peterson clarifies the purpose of the Market. Lewis makes the point that this type of café was not successful at the Montecito. Peterson counters with the design of their café, commenting that it was walled off, not open to the community, and has no public parking. Gilbert agrees with Lewis that the word "Market" is not precise, and they will re-invent a new term for the Market.	Market has been clarified to be Resort Market.
11/7/2018	1:56:59	Campbell addresses the open-space guidelines, stating that the only place the diagonal view lines should begin are on the property line. Georgelos sides with Campbell, stating they need a concrete starting point and the diagrams between the packet and the presentation are quite confusing. Campbell states that the diagonal view lines clearly work on the residential side of the property, but don't work on the commercial side. Campbell states that they need to figure out what the impacts are and how they will affect the surrounding area. He is uncertain if these impacts meet the criteria and guidelines.	Corrected to show the correct OSC calculation.
11/7/2018	2:02:32	Covington makes the point that the entrance for trash pickup and deliveries may pose a problem if the property across the street remains residential. Concerns by multiple commissioners arise that loud trucks constantly driving in and out of the property may disturb residents and may be unsightly and unwelcoming to the community.	This has been relocated and redesigned to be screened, away from residential properties, and accessed independently of Resort guests.
11/7/2018	2:04:15	Lewis is concerned that the height of the Pavilion is too high and individuals using the pool will have the sun blocked by the height of the building. Peterson indicates that the slope on the roof of the Pavilion will allow sun at the pool.	The Pavilion has been relocated so as to not interfere with the pool.
11/7/2018	2:19:48	Wastchak is concerned about the right-of-way easements/front dedication being prepared at the last minute and how it will interact with Lincoln Medical. Knapp stated that the staff will always start with the General Plan and Town Code. They only have a starting point and more information will follow with the traffic analysis.	This has been corrected and additional language added to the SUP Ordinance and Development Agreement.
11/7/2018	2:26:45	Knapp points out that on Quail Run, 50 feet of right-of-way easement is required. Wastchak is concerned about the landscape buffer designed along the east side of Quail Run and how it is compromising the roadway and the 50 feet of right-of-way. Peterson explains that Quail Run would eventually turn into a one-way street as it comes further into the property to accommodate the residential side's desires to not expand the road while keeping the intersection safe. Campbell is concerned that the street should be a two-way street because this is a re-development area and a lot of people are going to want access to this roadway.	The entrance on Quail Run Road has been redesigned to incorporate a grand resort entrance. Roadway Easements and Parking and Circulation Easements are shown to yield the required dimensions.
11/7/2018	2:34:40	Campbell states that asking for a one-way street on Quail Run is unacceptable because Quail Run is going to be a huge access point for this re-developed area. Campbell states that this road needs to be a two-way street even if it means that the property loses several rooms to account for a larger roadway. He believes that the number of driveways between Smoke Tree and Lincoln Medical will cause large traffic issues and that the intersection on the corner of the property could be utilized and is completely being ignored. Many council members agree that this directly affects the property and the re-developed area being serviced.	The entrance has been redesigned to separate the Resort traffic from the Single-Family Residential traffic. The recent feedback from Council has suggested that the development area southwest of the resort will remain as 1-acre parcels.



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CREATIVE DESIGNS
IN LIGHTING



PLANNING COMMISSION LOG & RESOLUTIONS



7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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A37

SEP 6, 2019
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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
11/7/2018	2:36:23	Campbell is concerned that the architectural elements" that go above the height limitation aren't actually architectural and are just part of the building itself. He states that it appears that the vaulted ceilings appear to go above the height limitation and these are not architectural elements, but part of the rooms themselves. He states that they need more clarification of what these architectural elements are.	The height has been limited to 36', hard stop.
11/7/2018	2:37:45	Anton is concerned about the ingress/egress of the garage and how deliveries will be able to be made in the garage. Anton is confused about the placement of the entrance and exit of the garage and doesn't feel like it will coincide with trucks making deliveries. Anton thinks that truck deliveries should be moved to another area of the property. Covington agrees with Anton's statements.	The garage has been eliminated and the delivery area has been redesigned to satisfy these comments.
11/7/2018	2:39:01	Wainwright states that the Lincoln Drive has to be consistent with the property to the East, this is a non-starter. He also states that the number of units on the property shouldn't exceed the density in the Statement of Direction.	The units have been reduced to comply with the SOD and Dwelling Units have been removed entirely. The treatment of Lincoln Dr is in line with what is proposed to the East.
11/7/2018	2:44:10	Georgelos uses the Hermosa Inn as an example of a 5-acre resort in Paradise Valley. She states that their density level is much less than what is being proposed and that the resort is still successful. She states that they need to be weary of the density of this property.	The density has been reduced to comply with maximum coverage ratios. The nature of the location; surrounded on three sides by commercial properties and Lincoln Dr, adjacent to Scottsdale is a different context than that of Hermosa Inn.
11/7/2018	2:42:52	Wastchak is concerned with the West and South side of the property regarding the diagonal view lines. Wastchak stated that they need elevations from the West and South sides of the property so they can determine how this will affect other properties. There isn't much concern about the East side of the property.	The property now complies with the OSC on the North, West, and South as well as incorporates several view corridors into the site.
DECEMBER 4, 2018			
12/4/2018	2:50:27	In regard to the accessory uses, Georgelos states that the property seems very dense. Wastchak points out that these are possible uses and not everything will be packed into the property. Wastchak also suggests that a list of accessory uses should be put together by the staff based on stipulations from other approved SUPs.	The uses have been reduced and language governing these uses has been added into the SUP Ordinance.
12/4/2018	2:54:32	Wastchak is concerned about following the Council's direction of reducing the percentage of lot coverage. Wastchak also stated that they need to re-asses the density of units on the property because this is going to affect the lot coverage.	The property now complies with the maximum lot coverage guidelines.
12/4/2018	2:56:56	Georgelos is concerned about the placement of the utilities easements that are running between the two parcels. She states that they need to be moved to a different portion of the property because it will cause considerable problems if they are built over. Georgelos also said that she hasn't seen any supporting documents with plans to move these easements.	The electrical easements have been previously abandoned and this has been rectified.
12/4/2018	3:00:30	Anton points out that there seems to be a lack of green space and the pool seems quite small in comparison with the high number of rooms on the property. Anton states that he seems like the property is overwhelmed by the number of rooms. He also highlights that the meeting space for corporate meetings seems rather small. Georgelos agrees with Anton's statements.	The pool has been redesigned to coincide with the revised room count. The open space and green space has been optimized to provide the greatest enjoyment to resort guests.
12/4/2018	3:01:44	Campbell states that the property lines haven't been identified yet. He also states that it appears that there is landscaping and parking breaching into the right-of-way along Quail Run. Georgelos agrees with Campbell, stating that it appears to small for the amount of traffic the resort is going to be bringing in.	This has been updated per subsequent discussions with Town Staff.



GREY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



PLANNING COMMISSION LOG & RESOLUTIONS



7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A38

SEP 6, 2019
11 x 17 format

DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
12/4/2018	3:08:05	Because of the recommendation of a shared access point, Anton is concerned that if parking isn't free and open to the public, people will begin to park at Lincoln Medical. This will cause an overflow of parking and in turn, police will have to monitor who is parking in their lot.	Sufficient Parking per the Town's parking requirements has been provided on-site. For special events, an overflow parking agreement may be reach with adjacent properties.
12/4/2018	3:15:12	Anton and Wastchak are concerned that parking should not be allowed on the curb along Quail Run.	This has been updated per subsequent discussions with Town Staff.
12/4/2018	3:21:50	In regard to the 44' tall building on the West side of the property, Campbell states that from an architectural mass standpoint, he would have like to have seen some stair stepping on the West side of the building. He points out that the building goes right out to the property line. Georgelos agrees with Campbell stating that a few teaks could help the building be more in compliance as well as interesting from an architectural standpoint.	The building height has been reduced, the setbacks have been increased, and "stair stepping" included in the design.
12/4/2018	3:24:22	Wastchak points out that the Council wasn't necessarily concerned with the number of units at the resort, but instead with the overall mass of the property and that mass not sitting to close to the residential side. Wastchak says that a good way to reduce this mass is to, in fact, lessen the number of units on the property. Anton and Georgelos agree that there is too much squeezed into a small area of land and the mass (and therefore number of units) needs to be scaled back to a smaller degree. Georgelos also says that it doesn't fit with the style of Paradise Valley because of how cluttered and dense it is. Wastchak goes on to say that because of the large number of units, the property is starting to feel more like a hotel instead of a resort.	The number of Resort keys has been reduced to 122 and the dwelling units have been eliminated.
12/4/2018	3:31:45	Anton is concerned with the trash pickup on the North East corner of the property infringing on Lincoln Medical and suggests that all trash pickup should be moved to the South side of the property.	The trash pickup has been located on the East side of the property behind screening.
12/4/2018	3:39:25	Lewis is concerned that the demand for the Market and Restaurant is too high for the number of allotted public parking spaces.	Sufficient Parking per the Town's parking requirements has been provided on-site. For special events, an overflow parking agreement may be reach with adjacent properties.
12/4/2018	3:40:30	Georgelos is concerned that the outdoor seating at the Market generating too much noise for the residential area to the West. Anton is not concerned about the noise level because of the Market's daytime use. Campbell also pointed out that the noise from Lincoln Drive will overshadow the people on the patio.	The outdoor seating has been relocated to the center and interior of the site.
DECEMBER 18, 2018			
12/18/2018	12:47:53	Wastchak doesn't want to see the landscape buffer along Lincoln Drive turn into easement, it needs to stay a dedication with the parking along Lincoln staying an easement. This will be consistent with Lincoln Medical.	This has been updated per subsequent discussions with Town Staff.
12/18/2018	12:58:16	Wastchak is concerned that the signs along Lincoln Drive are too large and doesn't understand why they need two monument style signs of that proportion. He believes one is unnecessary.	The signage has been reduced and brought into compliance with the signage ordinance.
12/18/2018	1:10:10	Georgelos is concerned that some of the pole lights along Quail Run will cause too much light pollution for the residential area. She would like other options to be proposed for lighting for the parking along Quail Run. She also doesn't like the wall washing feature on the side of the building along Quail Run. She doesn't think it serves any purpose and Covington agrees with her.	The lighting has been revised to comply with the Town's lighting ordinance.
12/18/2018	1:17:26	Anton reiterates that a firm place needs to be established for employees to take breaks and "have a smoke". He points out that it would be naïve for this to occur only in the parking garage underground and an above ground area needs to be designated.	An employee break area has been provided on the east side of the site near the employee parking and back of house storage elements.



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CREATIVE DESIGNS
IN LIGHTING



PLANNING COMMISSION LOG & RESOLUTIONS



7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A39

SEP 6, 2019
11 x 17 format

DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
12/18/2018	1:18:20	Anton is concerned about the height of the 36' building. He states that the Council gave explicit direction that they need a "compelling" reason to go over 36' and he has yet to see a reason that could be deemed as "compelling". Covington agrees that this needs to be addressed. Georgelos agrees at 1:21:11.	The height has been reduced to 36', hard stop.
12/18/2018	1:19:19 AM	Wastchak is okay with the tallest and most dense building being in the center of the property and above 36'. He is concerned that the buildings on the edge of the property are encroaching on the viewshed because this is out of line with the open space criteria. He is concerned that the height of the building being so close to the property line will feeling like it is looming over the street.	The site has been revised to comply with the OSC on the North, West, and South. The height has been reduced to 36'. View corridors have been provided into the site.
12/18/2018	1:22:28	Wainwright agrees that the height being over 36' is an issue. He also wants more undulation in the project. He agrees with Wastchak that the farther into the center of the property, the taller buildings can be on the property. He also agrees that there needs to be an established break area for employees.	The heights have been varied as well as small grade changes to create the requested undulation.
12/18/2018	1:23:35	Lewis is concerned that the property is overwhelming. As a resort, it should be a peaceful environment and that will make it a successful resort. He expresses that "less is more".	The site has been revised to incorporate the "less is more" perspective while balancing minimum operational needs.
JANUARY 9, 2019			
1/9/2019	00:23:11	The Town engineer, Mood, begins discussing the staff's recommendation for the shared driveway between Smoke Tree and Lincoln Medical. The applicant says this is still under discussion. Wastchak states that he is concerned that this issue needs to be resolved in Planning Commission instead of in Town Council. He says it will impact what is approved by the Commission. Campbell agrees that this issue needs to be resolved sooner rather than later.	This has been updated per subsequent discussions with Town Staff.
1/9/2019	00:30:15	Comments from the Public: Jini Simpson: she is concerned with the setbacks not being large enough on Lincoln to satisfy the open space criteria. Simpson is also concerned with the property being too dense because it is sitting at 34% density instead of the 25% density of most properties.	The site has been revised to comply with the OSC on the North, West, and South. The coverage has been reduced to comply with the 25% maximum.
1/9/2019	00:36:17	Comments from the Public: Gary Stougaard: With his 24-acre property, the Planning Commission was extremely strict with the setbacks, height, and density requirements that were set. The applicants originally reached out to Stougaard informing him that they purchased the property and he told them he would never support this project. He is concerned that the Commission is not treating Smoke Tree with the same level of harshness that he was treated with when building the Andaz. His main concerns are that the setback between their properties is only 25 feet, the buildings are too tall, and the density is far too high. Stougaard says that this project is far too intense for the size of the property. He says the underground parking and the residential aspect of the property adds to the intensity of the project.	The setback has been increased by approximately 3x, the buildings heights reduced, stair stepping of the buildings, view corridors, the density reduced, and the underground parking eliminated.
1/9/2019	00:45:16	Comments from the Public: Gary Stougaard: He is concerned that the residential side of the project is going to cause significant problems on his property. He owns a residential property and because of this experience, feels like the residents of Smoke Tree will encroach onto his property.	The dwelling units have been eliminated from the site.
JANUARY 22, 2019			
1/22/2019	1:16:41	Wastchak is concerned that the right-of-way is not even along the center line on Quail Run. He thinks that the Western side of the center line looks much larger in comparison to the Eastern side. Knapp responds that the drawing was not done by an Engineer and may be skewed slightly.	The centerline of Quail Run Road has been confirmed to align with the Palmerie Blvd.



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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
1/22/2019	1:22:13	Campbell states that he isn't sympathetic to the 9'x18' spaces in the parking garage because they are not getting a 2' overhang like the description says. He says because it is under ground, there is no way to have a 2' overhang because there is no landscaping.	The parking spaces have been designed to provide the required 180sf per space, utilizing a 2' overhang where available.
1/22/2019	1:26:35	Anton is still concerned that he still isn't seeing any compelling reason to go past the height limitation.	The height has been reduced to 36', hard stop.
1/22/2019	1:28:31	Georgelos stated regarding the height, changing the roof design so it complies with the 36' height limitation would be preferred. Georgelos stated that the roof design would have to be extremely compelling to go to the 44' that the building is currently designed at. The Commission wants to see other options for the roof since Knapp is saying it is possible to reach the 36' height limitation with a different roof. Campbell agrees with Georgelos, stating that with architectural elements, the height will exceed even the 44' of the current roof structure.	The height has been reduced to 36', hard stop.
1/22/2019	1:31:15	Georgelos states that this project is unlike anything else in Paradise Valley and is concerned that it looks like something out of Scottsdale.	The project has been designed to reflect the character of other cherished sites in Paradise Valley. Much of the look and feel will be comparable to the Royal Palms Resort.
1/22/2019	1:31:25	After walking the Andaz property, Wastchak said that he felt like Smoke Tree will be looming over the Andaz. Wastchak says that the graphic the applicants created that presents the view of Smoke Tree from the Andaz property is misleading. Wastchak is still concerned that the South side of Smoke Tree is breaching into the open space criteria.	The setback has been increased by approximately 3x, the buildings heights reduced, stair stepping of the buildings, view corridors, the density reduced. The site complies with the OSC on the South boundary.
1/22/2019	1:35:24	Georgelos expresses her concern that the density of Smoke Tree is exceedingly high because it is a 5-acre property. In comparison, there is the same amount of density at Andaz spread out over a 20-acre property. She states that there is a much more open feel at Andaz. She states that they are trying to jam a much denser project into a much smaller property. Georgelos also states that she feels the project is going in the wrong direction and needs to be scaled back immensely. Campbell and Covington agree with the statements made by Georgelos.	The project has been significantly reduced.
1/22/2019	1:38:26	Covington makes it clear that he is not comfortable with a 44' height on the Eastern side of the property bordering Lincoln Medical. Wastchak states that a setback there would be preferred.	The height has been reduced to 36', hard stop.
1/22/2019	1:40:30	Anton is concerned about the high number of for-sale units on the property. He says this is becoming more of a condominium complex rather than a resort. Georgelos agrees that the number is high, and it should be scaled back to match the size of the property.	The dwelling units have been eliminated from the site.
1/22/2019	1:45:43	Wastchak points out that the Commission feels that there should not be units that are not able to be rented.	The dwelling units have been eliminated from the site. All units are now Resort Units.
1/22/2019	1:49:29	Wastchak is concerned that 20-30 years from now, the condo owners will take their units out of the rental pool, causing individuals to live on the property full time.	The dwelling units have been eliminated from the site.
1/22/2019	1:49:51	Campbell is less concerned with the number of for-sale units, while he is more concerned that the property looks like an actual resort and not a hotel or condominium complex.	The dwelling units have been eliminated from the site.
1/22/2019	1:55:27	Wastchak is concerned that the street corner signage on Quail Run is in the 16 foot dedication for right-of- way.	The signage has been relocated and placed inside appropriate easements.



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CREATIVE DESIGNS
IN LIGHTING



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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
FEBRUARY 5, 2019			
2/5/2019	1:25:35	With the elimination of the third floor on the back half of the building on the South side of the property and a potential addition of the patio, Wastchak is concerned about having a patio look over into the Andaz property. He wants to see very specific plans regarding this.	The patios have been eliminated.
2/5/2019	1:31:08	Campbell is concerned that having a patio or balcony type space along the South side of the property will ensure it to become a "party deck" This will cause disruption for Andaz guests. Anton points out that limiting the balconies to per unit instead of making one large patio will help with this issue.	The patios have been eliminated.
2/5/2019	1:35:38	Even though a portion of the building on the South side of the property was considerably lowered in height, Anton is still concerned that half of the building goes up to three floors and is 44'.	The height has been reduced to 36', hard stop.
2/5/2019	1:48:20	Wastchak is concerned that along Quail Run, landscaping won't be enough to block headlights from the parking lot. Since there is no wall allowed in the right-of-way, Wastchak is worried that headlights from the parking lot may distract or blind drivers on Quail Run. Wastchak states that a wall needs to be built outside of the right-of-way to block the headlights, even if it means a reduction in parking spaces.	A 3' screen way and additional landscaping to provide screening for the headlights. The wall will be located in and appropriate easement.
2/5/2019	2:06:29	Anton is concerned that there is no parking for boats and trailers. He doesn't want these to end up being parked along Quail Run or in a residential neighborhood.	Boat and trailer parking is not required in the Town's parking requirements. In operation, boats and trailers will not be allowed.
2/5/2019	2:28:56	Wastchak is concerned that the frontage and right-of-way easements on Lincoln have not been figured out. He does not want to send an incomplete plan to Council. The other Commission members (besides Lewis) disagree with this. They feel like time is running out and there is just nothing more they can do. They feel like it is not fair to the applicants to keep holding the plans back from Council.	This has been updated per subsequent discussions with Town Staff.
2/5/2019	2:39:26	Wastchak is concerned that the signage on Quail Run is in the right-of-way, which is not allowed. Knapp points out that it is half-in and half-out of the right-of-way.	The signage has been relocated and placed inside appropriate easements.
FEBRUARY 19, 2019			
2/19/2019	1:27:56	Wastchak is concerned that there is no layout for Valet parking at this point. He wants to know where stacked Valet parking could be placed on this site and be feasible in case there is an increase in need for additional parking.	Sufficient Parking per the Town's parking requirements has been provided on-site. Efficiency from a Valet Plan may be had, but is not critical to the basic parking of the site.
2/19/2019	1:31:45	Wastchak and Georgelos don't like the "residence only hardscape" outside of the resident only balconies. Because the walkway doesn't lead to anything, they don't see the purpose of this area and see it potentially posing problems of individuals partying in this area. Campbell doesn't like the residence only walkway because it is too close to the edge of the building and they could see into the Andaz property more clearly.	The patios have been eliminated.
2/19/2019	1:47:27	Anton and Georgelos express that they still don't see a compelling reason for the height to go over 36' and feel like their comments about this issue have been ignored. Anton states that with the architectural elements they are well over 44' and that is not even close to the 36' in the SOD.	The height has been reduced to 36', hard stop.



PLANNING COMMISSION LOG & RESOLUTIONS


 7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
2/19/2019	1:50:00	Campbell doesn't agree with the height because the roof goes to 36' and what's making the height increase is the hips/ parapet. He doesn't agree with an additional 8' for a parapet. They can reduce the size of the parapet by spreading out the mechanics. This would reduce the parapet to 4'.	The height has been reduced to 36', hard stop.
2/19/2019	2:07:40	Georgelos is not opposed to three stories in the resort, however she doesn't support going up with 36'. She thinks it will be really tough to squeeze three stories inside 36'. Wastchak points out that it would be impossible to put three stories in 36'. He states that if they allow three stories then the building will inevitably be above 36' because of roofing, architectural, and mechanical elements. Overall, the commission is open to slightly over 36', however 44' is too much height.	The height has been reduced to 36', hard stop.
2/19/2019	2:12:55	Covington is not open to going over 36' in height because the Council stated in the Statement of Direction that they are not allowed to exceed that.	The height has been reduced to 36', hard stop.
2/19/2019	2:31:59	Wainwright likes the current street signage but is concerned that if you add the various names of the restaurant, market, etc. it will appear more like an advertisement. Wastchak and Georgelos state that they need more renderings of how signage will look.	The signage has been proposed to comply with the Town's signage ordinance.
2/19/2019	2:53:03	Knapp states that Staff is concerned with the Residences not having the same name brand as the rest of the hotel. Miller agrees with Knapp stating that having a consistent specific brand will distinguish this resort from other resorts and hotels in the area. Wastchak, Georgelos, Wainwright and Covington agree.	The dwelling units have been eliminated.
2/19/2019	3:19:23	The hotel representative details the plans regarding no Fitness Center on the property. He states that they will affiliate with a local gym. Anton states that this could be an incorrect way to provide gym services to guests.	A fitness center will be included in the main guest room building. Language describing this has been included in the SUP Ordinance.
2/19/2019	3:20:47 AM	Georgelos is concerned that not having amenities such as a Spa or Fitness Center will hurt their ability to market the Smoke Tree.	A spa and fitness center will be included in the main guest room building. Language describing these has been included in the SUP Ordinance.
FEBRUARY 26, 2019			
2/26/2019	00:08:38	Campbell states that while having a solid wall along the residential patios will help with the site lines from the Andaz Resort, there would be no view for the residents and would be a disservice to those individuals. Wastchak agrees with these statements and is concerned with the noise from the patios reaching the Casitas at the Andaz Resort.	The patios have been eliminated.
2/26/2019	00:16:15	Wastchak is still concerned that an 18' deep patio is too deep and should be scaled back. He states that this will help with the view lines from the Andaz Resort and, in turn, will help them to have a see-through wall instead of a solid wall along the patios. Wastchak said the applicant has some flexibility but wants to make sure that individuals cannot see the patio while standing 10 feet in front of the Casita.	The patios have been eliminated.
2/26/2019	00:34:01	The Commission opens a discussion about lighting from the patios on the South side bordering the Andaz property. Campbell notes that he is concerned about light polluting the Andaz property and wants to stipulate that there should be hooded lighting for safety purposes but no architectural lighting to highlight building features should be used.	The patios have been eliminated. The lighting has been revised to comply with the Town of Paradise Valley Ordinance.
2/26/2019	00:39:06	Wastchak states that the Commission needs to set a minimum height for the patio wall. Wastchak and Georgelos are concerned that if the wall is not tall enough, people will be able to hop over the wall and walk on the roof, which is not desirable.	The patios have been eliminated.



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CREATIVE DESIGNS
IN LIGHTING



PLANNING COMMISSION LOG & RESOLUTIONS



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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
2/26/2019	00:56:45	Commission members agree that the directional sign advertising the commercial aspects of Smoke Tree in the North parking lot is quite large and should be reduced in size. Wainwright specifically states that he would like the signs to only be 6 feet tall.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:02:11	Wastchak suggests that the directional signage advertising the commercial aspects be reduced to 6 feet in height and an overall square footage of 18 square feet. Lewis states that he cannot support this sign at all because it does not match the discreet signage of other resorts in Paradise Valley. Georgelos suggests that it should be reduced to 5 feet in height and 15 square feet overall. The Commission seems to agree.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:07:11	The Commission agrees that there are too many directional signs on the property that aren't necessary. Georgelos and Anton agree that these signs should be limited to entry points.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:19:10	Wastchak is concerned that the signage on the side of the restaurant that will be visible from the street. He expressed that they need to see a proposal for this sign. Wastchak also states that the restaurants signs that are internal to the resort have so much variation that the Commission can't approve anything.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:27:12	Anton and Lewis are concerned with the restaurant sign that will be visible from the street. Anton feels like it should be smaller than Lincoln Medical's sign. Lewis states that "less is more" in Paradise Valley and that this sign shouldn't exist because the restaurant is listed on the monument sign on the street. Lewis also makes the point that there are no restaurant signs on Lincoln so they should not add one to this restaurant. Wastchak suggests that they put a monument sign next to the restaurant entrance that is no larger than 5 feet in height.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:40:07	Georgelos doesn't approve of how large and grand the sign for the access point of the auto-court is. Lewis is concerned that his signage is not standard.	The signage has been brought into compliance with the Town's signage ordinance.
2/26/2019	1:59:05	In regard to the for-sale units, Wastchak is concerned that they are not following the guidelines set forth in the SOD by Council. He states that Council wanted to see all of the for-sale units in a rental program. This would ensure that no one would be living on the property all year round. He says what the Commission is currently approving is that for-sale units may not have to be included in the rental program.	The dwelling units have been eliminated.
2/26/2019	2:26:18	After consultation with David Sherf, the Commission is concerned that the resort is more like a hotel and revisits the idea of needing a spa and/or fitness area on the property. Anton thinks a spa is a must for the property. Anton feels like this is more of a hotel than a resort because of the lack of a spa. Georgelos states that because this is a resort, there should be more amenities on the site. The Commission agrees that a spa and/or fitness center should be a minimum requirement.	A spa and fitness center will be included in the main guest room building. Language describing these has been included in the SUP Ordinance.
2/26/2019	3:00:52	Wastchak is concerned that the chimneys and elevator overrides are exceeding the height of the maximum height requirement. He is concerned that they are not higher than the roof of the buildings, but 3 feet above the mechanical screen. Georgelos states that with these things being above the mechanical screen, the building is almost 50 feet in height.	The height has been reduced to 36', hard stop.
2/26/2019	3:09:33	The Commission suggests that only areas where mechanical screens exist can elevator and chimneys exceed the 39'. Lewis states that this will give the applicant freedom to put in as many chimneys, or "mock" chimneys, as they would like.	The height has been reduced to 36', hard stop.
2/26/2019	3:39:01	Anton is concerned with the mechanical screening on the commercial buildings being visible. He suggests either setting the screening back from the edge of the rooftop or covering it.	The height has been reduced to 36', hard stop. In areas where mechanical units are located below 36', they will be screened.



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CREATIVE DESIGNS
IN LIGHTING



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DATE	TIMESTAMP	DESCRIPTION OF DISCUSSION	RESOLUTION
MARCH 5, 2019			
3/5/2019	00:34:00	Wastchak is concerned about the need for Valet parking dependent on the loss of land for potential road-widening. He is uncertain of when the Town would be able to step in and require Smoke Tree to implement a Valet plan, even if the road doesn't get widened. He points out that they would need less parking with Valet because it would increase their parking capacity by 15%.	Sufficient Parking per the Town's parking requirements has been provided on-site. Efficiency from a Valet Plan may be had, but is not critical to the basic parking of the site.
3/5/2019	00:43:02	Wainwright points out that the third-party parking consultant recommended 1.2 spaces per unit and Smoke Tree is proposing 1.05 spaces per unit. This is 14% or 18 spaces less than what the third-party consultant recommended.	Sufficient Parking per the Town's parking requirements has been provided on-site. Efficiency from a Valet Plan may be had, but is not critical to the basic parking of the site.
3/5/2019	1:11:02	Campbell is concerned that the landscaping will not look the same as is what is presented on the landscaping plan. He wants to ensure that views are blocked on the Andaz property. Georgelos agrees with Campbell that the plan is inconsistent with other landscaping materials presented. The express that the landscaping plan needs to be updated before the materials reach Council.	The landscaping plan has been updated.
3/5/2019	1:15:17	Anton is concerned that the stipulations do not include a minimum square footage on the proposed fitness center. He is concerned that without guidelines, the fitness center will be very minimal. Anton suggests 400 square feet as the minimum. Campbell is supportive of this suggestion.	This language has been incorporated into the SUP Ordinance.
3/5/2019	1:30:00 AM	Comments from the Public: Edward Sanford is concerned with the level of noise coming from the Andaz from events on Friday and Saturday nights. He doesn't want Smoke Tree to contribute to this noise. He suggests that a stipulation is put in place to monitor the decibel level permitted in the evenings.	The noise generating elements have been reconfigured to be surround to by Smoke Tree Resort Building so as to provide buffer and interior policing incentive.
3/5/2019	1:34:04	Comments from the Public: Warren Bryant is also concerned with the noise level. He is concerned that there is no buffering on the West side of the property. He doesn't want noise from the courtyard of the Smoke Tree to funnel West into the residential area.	The noise generating elements have been reconfigured to be surround to by Smoke Tree Resort Building so as to provide buffer and interior policing incentive.
3/5/2019	1:49:36	Denial of Recommendation of Approval to the Council: Covington states that he doesn't agree with the height and density and these factors do not comply with the SOD. He also is concerned that there were too many unanswered questions about the resort, and he doesn't feel comfortable recommending an unfinished product to Council.	The height has been reduced to 36', hard stop. The remaining questions have been addressed with Council and Staff. For any remaining items, compliance with establish Town Ordinance is proposed via Stipulation the SUP Ordinance.
3/5/2019	1:50:19	Denial of Recommendation of Approval to the Council: Georgelos still has issues with density, height, and setbacks. She feels that there are still open-ended uses that haven't been addressed. She expressed that the project is on the right path but the project isn't quite there yet.	The density has been reduce, the heights have been reduced, and the setbacks have been increased.
3/5/2019	1:51:50	Denial of Recommendation of Approval to the Council: Lewis feels like the substance and complexity of this project are too intense for the Town of Paradise Valley. He thinks the property needs to be more casual and relaxed. He feels like the approval of this project will set a new precedent of density in the Town.	The feel of the site has been made more casual and relaxed while reducing the intensity of the site. Uses have been eliminated and Dwelling Units have been removed.
3/5/2019	1:53:35	Denial of Recommendation of Approval to the Council: Anton is worried that this project is not following Town Guidelines. He agrees with the other Commissioners with their statements of height, density, and intensity.	A table of compliance with Town Guidelines has been included.



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CREATIVE DESIGNS
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A45

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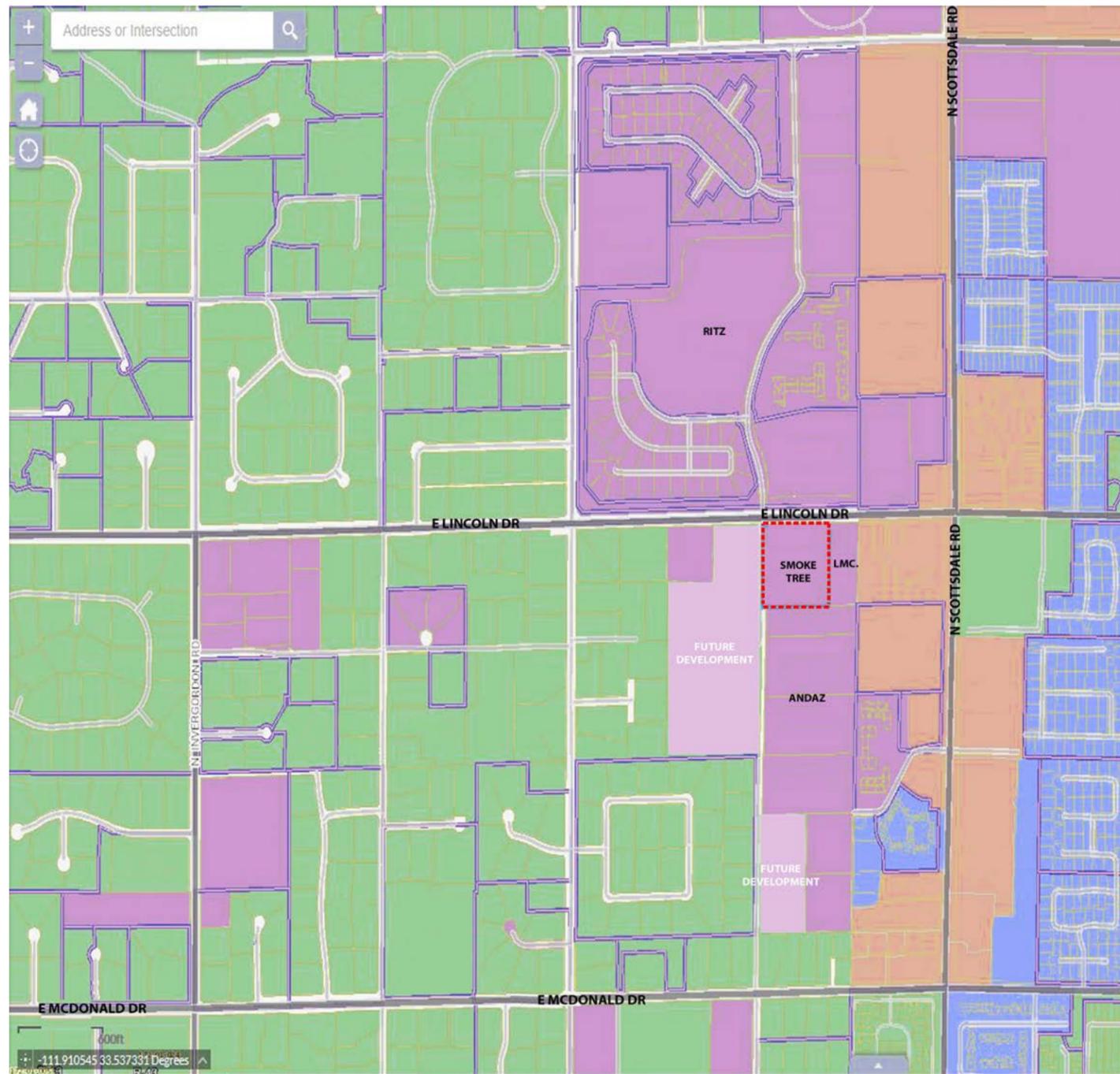


the
smoke tree resort

EXHIBITS



ZONING EXHIBIT



- SUP/PUD
- Commercial
- High Density Residential
- Low Density Residential

NOTE

Applicant altered the County Zoning Map to show residential parcels in the Development Area as "Future Development"

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CVL
CONSULTANTS

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EXHIBIT

the **smoke tree resort**

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CONCEPT IMAGE

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REVISED JANUARY 09TH, 2019

SMOKE TREE RESORT 42

EXHIBIT

the smoke tree resort

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CONCEPT IMAGE



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CONCEPT IMAGE

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CONCEPT IMAGE

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EXHIBIT

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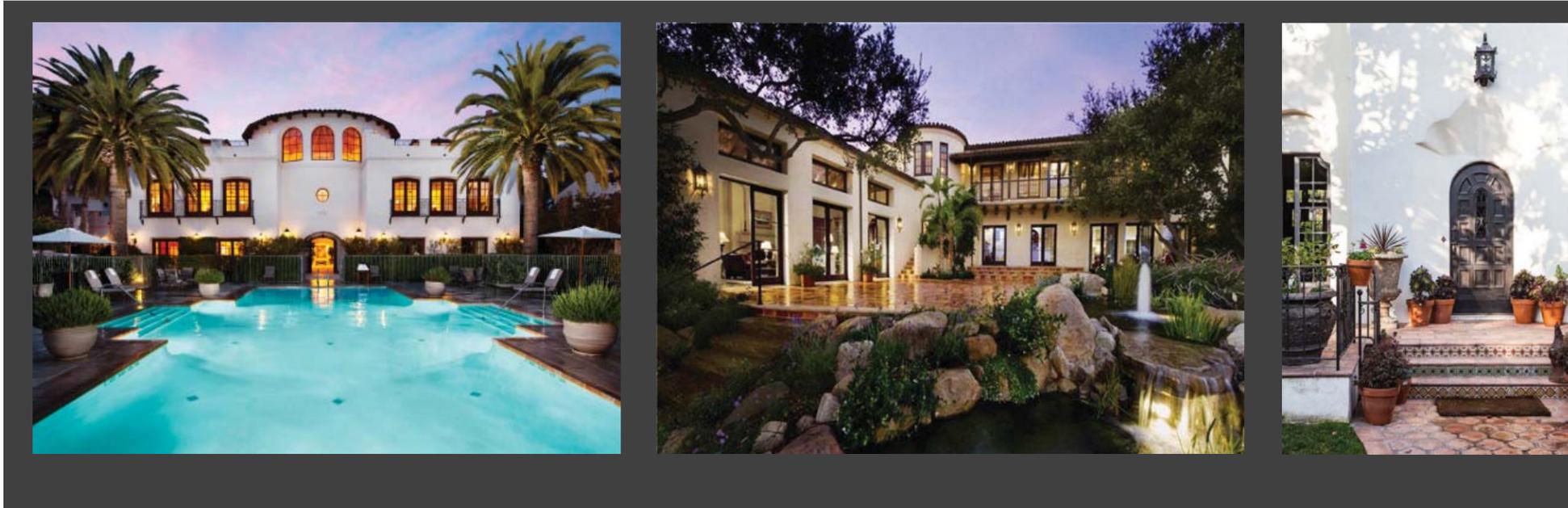
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DESIGN CONCEPT - RESORT ARCHITECTURAL FEATURES



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CREATIVE DESIGNS
IN LIGHTING



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EXHIBIT

the smoke tree resort

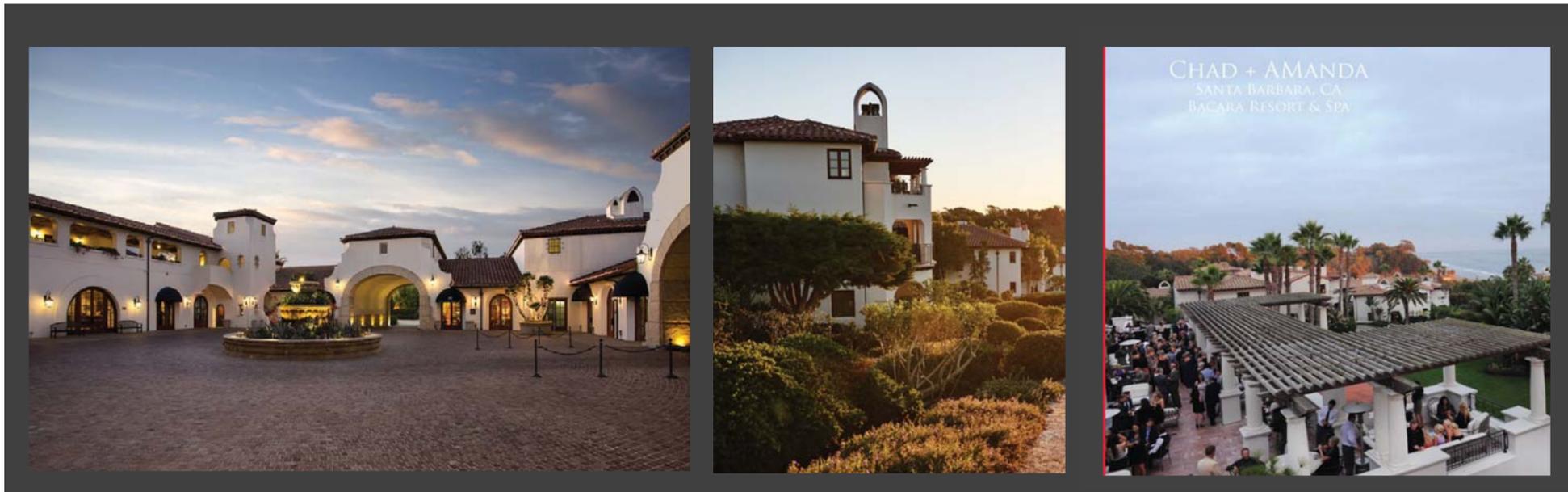
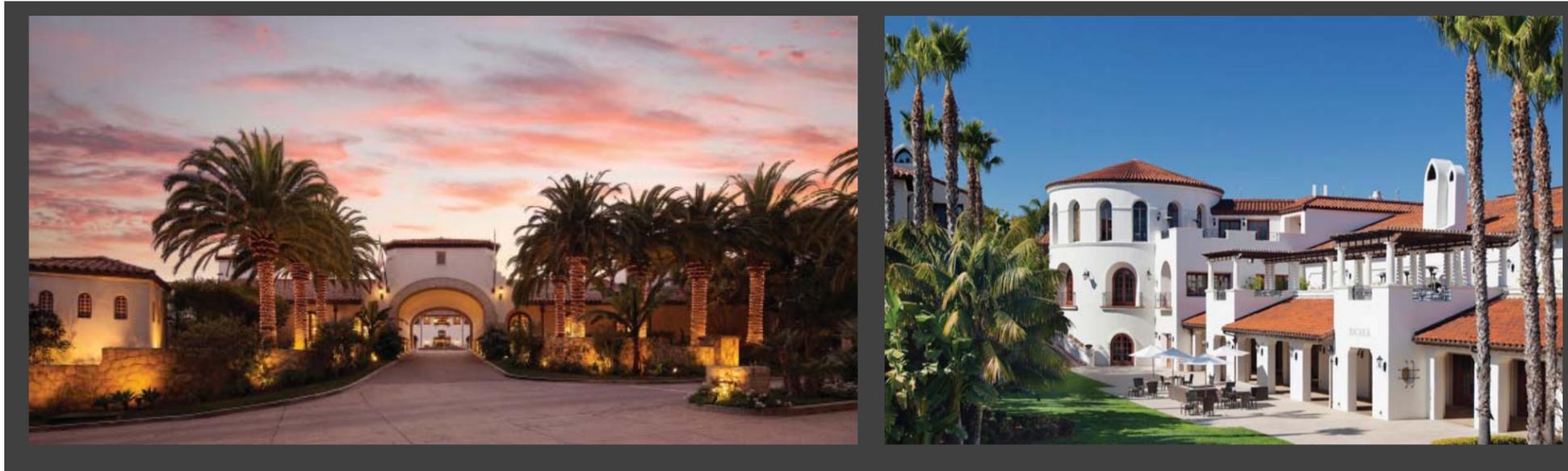
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A52

SEP 6, 2019
11 x 17 format



DESIGN CONCEPT - RESORT ARCHITECTURAL FEATURES



EXHIBIT

the smoke tree resort

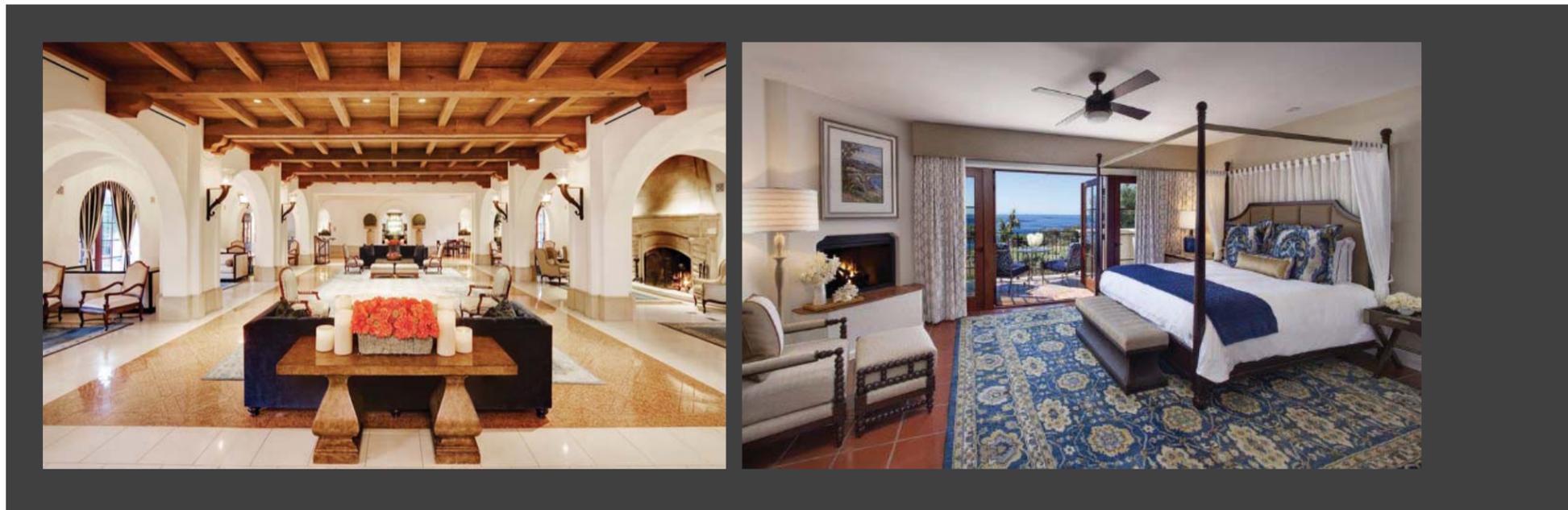
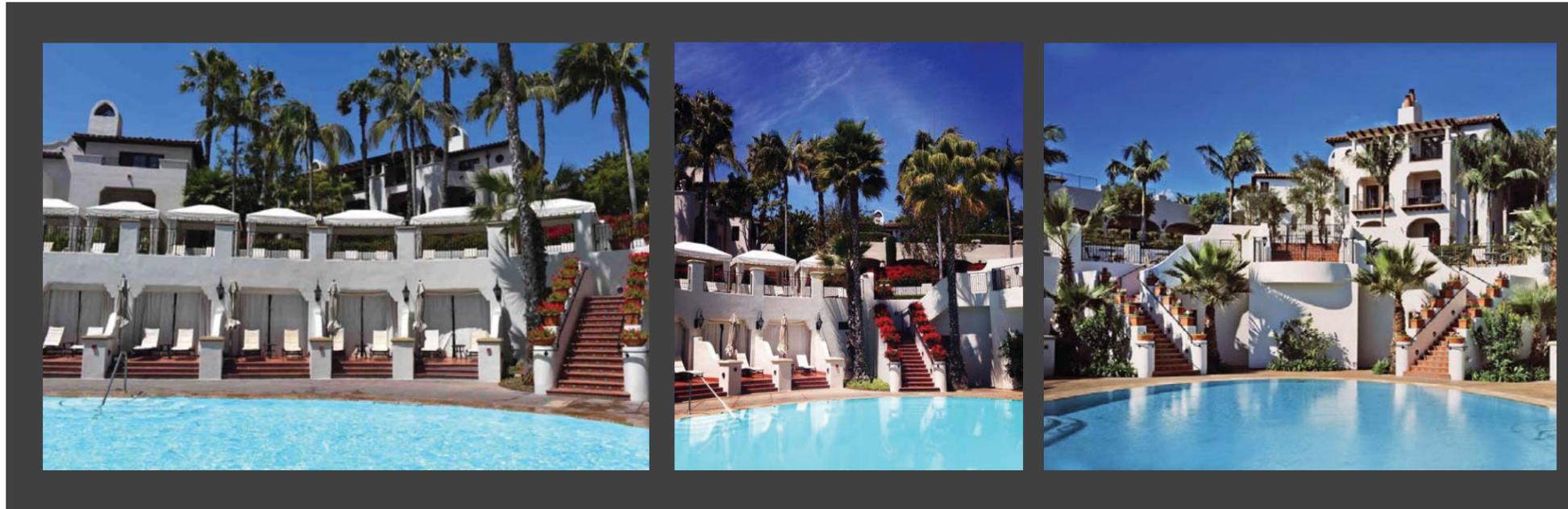
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A53

SEP 6, 2019
11 x 17 format



DESIGN CONCEPT - POOL, LOBBY AND GUEST ROOMS





DESIGN CONCEPT - RESORT PAVILION

PHX
ARCHITECTURE

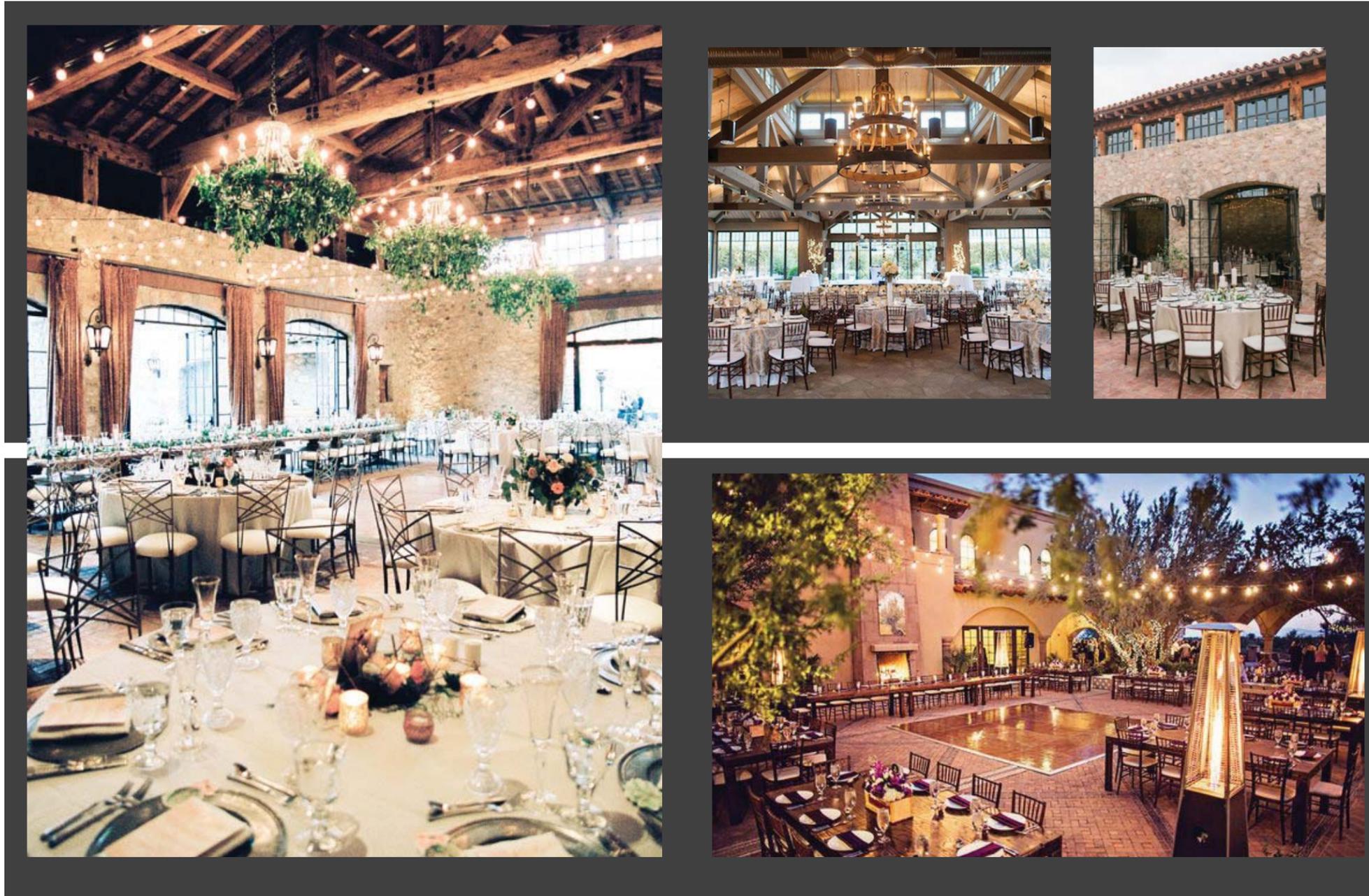
GREEY|PICKETT

BEUS
GILBERT



CREATIVE DESIGNS
IN LIGHTING

CVL
CONSULTANTS



EXHIBIT

the smoke tree resort

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A55

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DESIGN CONCEPT - GUEST ROOMS

PHX
ARCHITECTURE

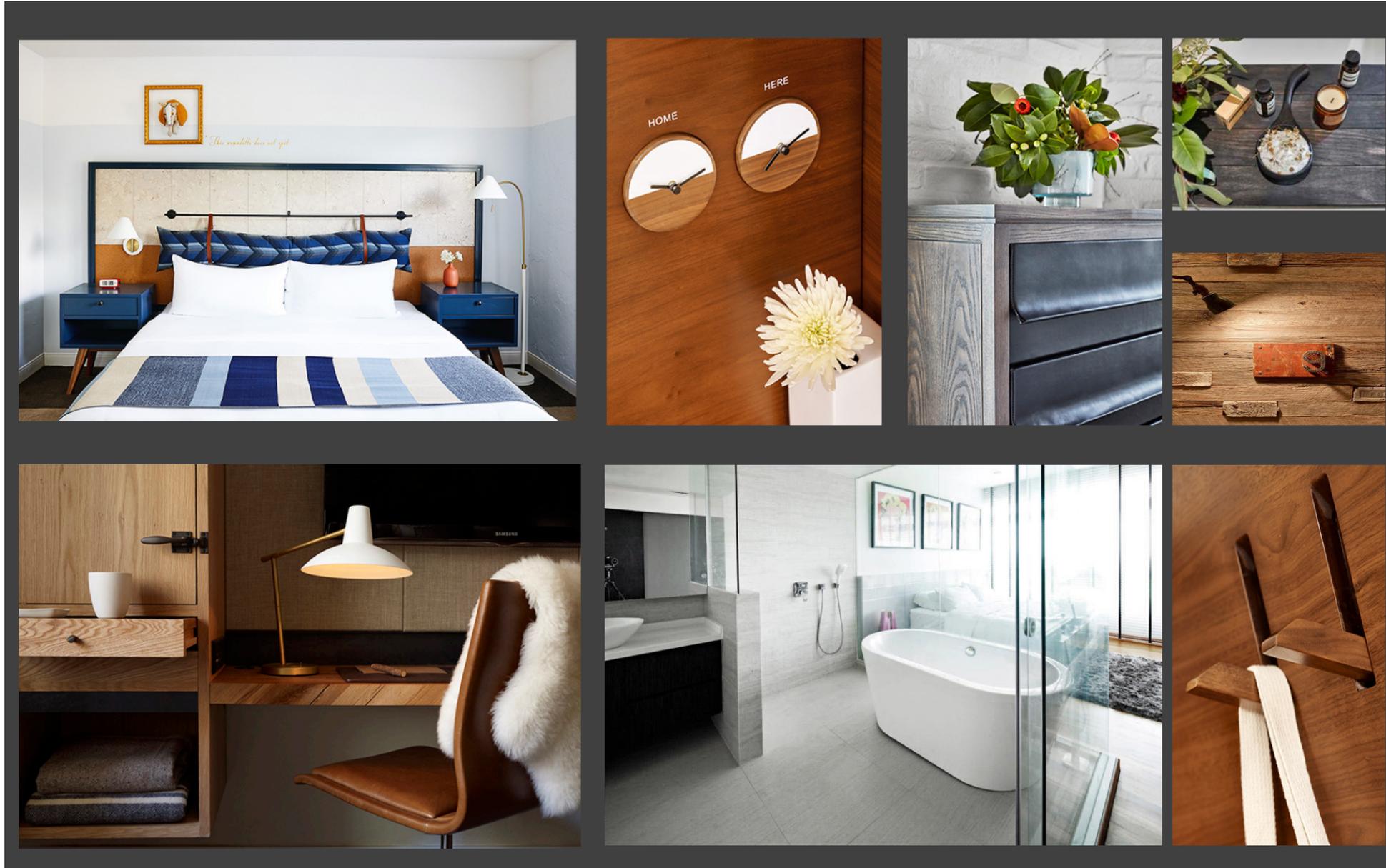
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CONSULTANTS



REVISED JANUARY 09TH, 2019

SMOKE TREE RESORT 50

EXHIBIT

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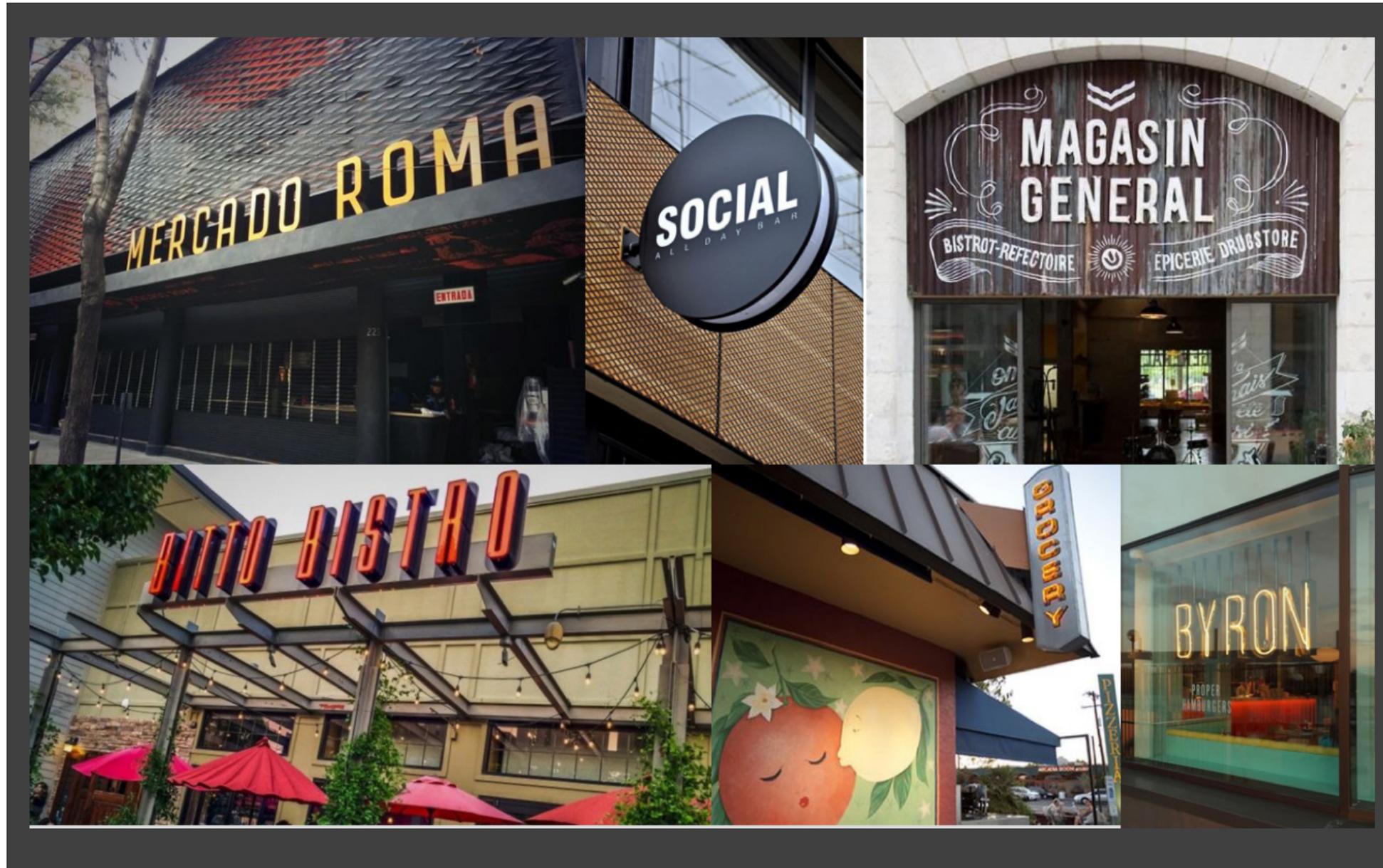
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A56

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11 x 17 format



DESIGN CONCEPT - RETAIL BUILDING SIGNAGE



PHX
ARCHITECTURE

GREEY|PICKETT

BEUS
GILBERT



CREATIVE DESIGNS
IN LIGHTING

CVL
CONSULTANTS



EXHIBIT

the smoke tree resort

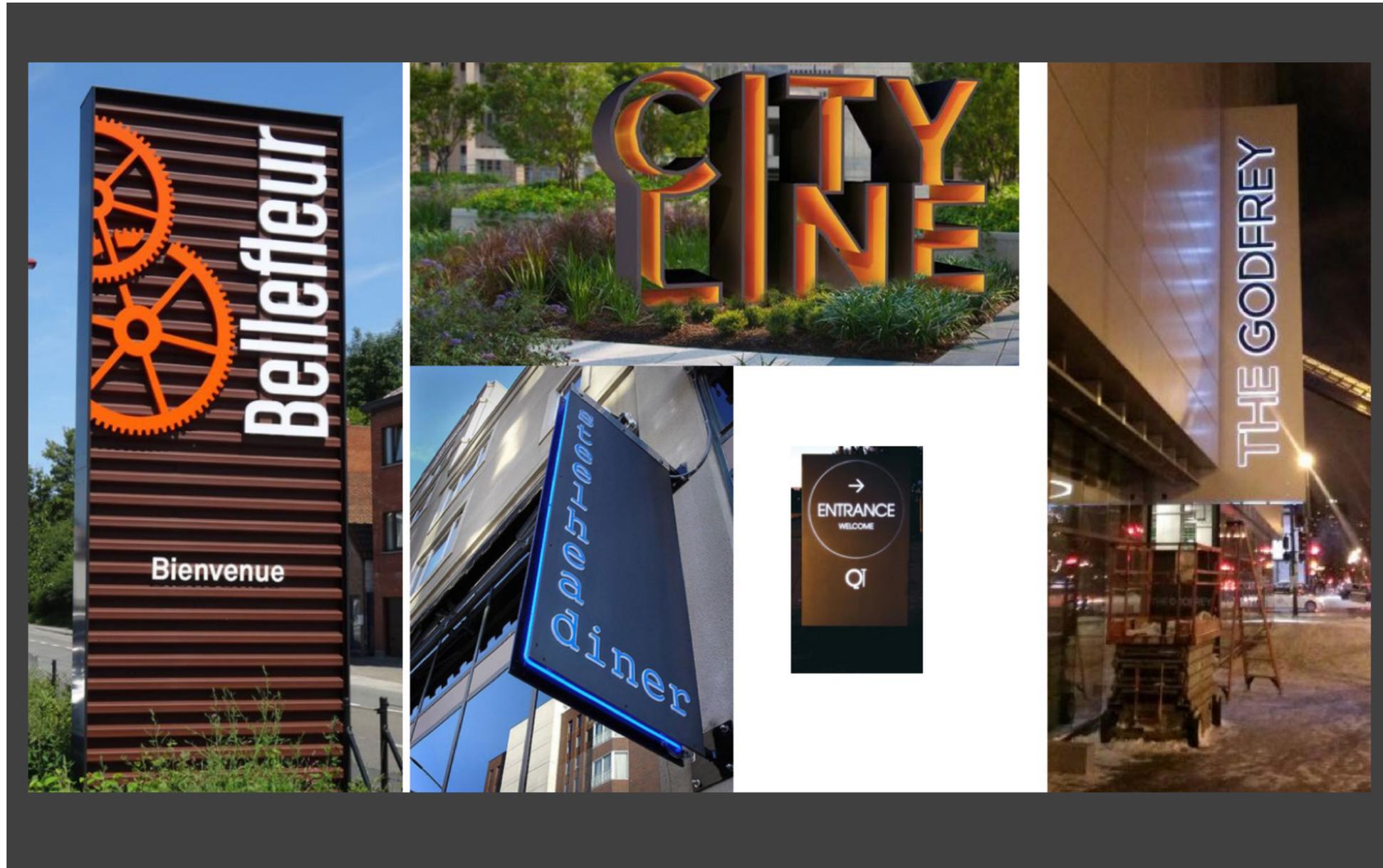
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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A57

SEP 6, 2019
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DESIGN CONCEPT - HOTEL BUILDING SIGNAGE



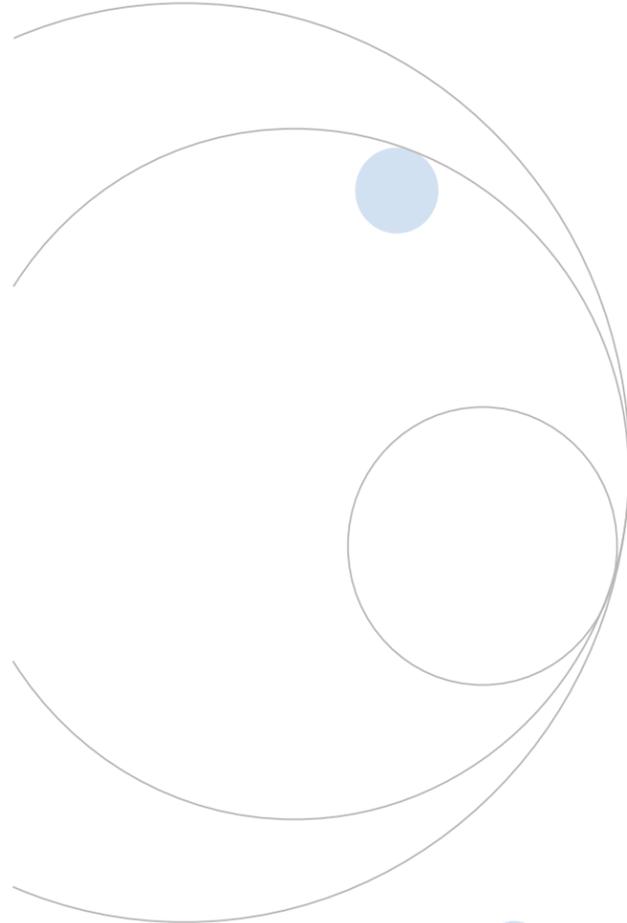
REVISED JANUARY 09TH, 2019
SMOKE TREE RESORT 52

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A58
SEP 6, 2019
11 x 17 format



Smoke Tree Resort

Traffic Impact Analysis
7101 E. Lincoln Drive
Town of Paradise Valley, Arizona
February 2019
Project No. 18-0550

Prepared For:
Beus Gilbert, PLC
701 N. 44th Street
Phoenix, Arizona 85008

For Submittal to:
Town of Paradise Valley

Prepared By:

10605 North Hayden Road
Suite 140
Scottsdale, Arizona 85260
480-659-4250

SMOKE TREE RESORT TRAFFIC IMPACT ANALYSIS

**7101 E Lincoln Drive
Town of Paradise Valley, Arizona**

Prepared for:
Beus Gilbert PLLC
701 N 44th Street
Phoenix, Arizona 85008

For Submittal to:
Town of Paradise Valley

Prepared By:

CivTech, Inc.
10605 North Hayden Road
Suite 140
Scottsdale, Arizona 85260
(480) 659-4250



February 2019
CivTech Project No. 18-0550
Full 152 page report has been submitted
to the Town of Paradise Valley.

REVISED FEBRUARY 12TH, 2019
SMOKE TREE RESORT 54



EXHIBIT
the smoke tree resort
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A59
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11 x 17 format



PARKING MEMO



February 12, 2019

Paul Mood
Town Engineer
Town of Paradise Valley
6401 East Lincoln Drive
Paradise Valley, Arizona 85253



Subject: *Comment Response Memorandum for Smoketree Resort Parking Study – Paradise Valley, Arizona*

Dear Mr. Mood:

CivTech has prepared this memo in order to address comments provided to Paradise Valley by a third party, Kimley-Horn and Associates, Inc. for the Smoketree Resort Parking Study that was previously submitted. CivTech has reviewed all of the comments and developed a response for each.

COMMENT RESPONSE

KH Comment 1: *Parking calculations should be based on full occupancy. Please include the 150 room keys that are proposed to be available.*

CivTech Response: Removing the 30 residential units (15 which will be able to be utilized by the hotel as optional rentals) and their 60 associated parking spaces provides a more conservative analysis of the parking for the resort. These 60 parking spaces will be reserved in the underground garage and will be gated from the remainder of the spaces leaving a total of 120 underground parking spaces and 76 surface parking spaces, a total of 196 spaces, to service the 120 guest rooms, 15 lock-off rental units and amenities. The shared parking model is being revised to consider 135 keys which includes the 120 guest rooms and 15 lock-off rental units. The 30 residences will not be considered within the shared model since they will have separate gated parking.

KH Comment 2: *Please provide documentation supporting the assumption of 50 square feet per every two seats in the meeting room.*

CivTech Response: The equivalent rate of 1 space per 50 square feet was first generated while working with previous Planning Commissioner Dolf Strom. Dolf was instrumental in shaping the methodology that has been carried through for all of the resort parking studies CivTech has completed. During the parking study preparation for both the Montelucia and the Hermosa Inn which were being prepared simultaneously, there was a large discussion about parking at both the planning commission and town council meetings. The question was raised by then commissioners and council members on the town's parking requirements, how they were established and how they compared to other jurisdictions. It was noted at that time that the parking requirements were greater than the surrounding area jurisdictions. They surrounding area jurisdictions were reviewed, the highest rate was taken, and then the rate was typically raised as part of the Town's requirements and guidelines. Working with Commissioner Strom, several ratio's, internal capture percentages and percentage by time of day values were applied.

CivTech Inc. • 10605 North Hayden Road • Suite 140 • Scottsdale, AZ 85260
Office 480-659-4250 • Fax 480-659-0566

Full 6 page report has been submitted to the Town of Paradise Valley.

REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 55



GREEY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A60

SEP 6, 2019
11 x 17 format





SURVEY NOTES

- This survey and the description used are based on a Commitment for Title Insurance issued by Fidelity National Title Agency, Inc., issuing agent for Fidelity National Title Insurance Company, Order Number 8802753-088-25, dated October 12, 2017.
- BASIS OF BEARING:** The monument line of Lincoln Drive, also being the North line of the Southeast quarter of Section 10, using a bearing of North 88 degrees 36 minutes 34 seconds East.
- The Boundary information shown on this survey is based on a prior survey prepared by Alliance Land Surveying, LLC, dated October 6, 2012, recorded in Book 1127, Page 5, M.C.R. The centerline and section monuments were not re-measured and are shown based on the prior survey. The Property corners for the subject property have been verified and exist in the ground as shown on this survey.
- The building square footage shown is based on exterior measurements of the building footprint at ground level and is not intended to reflect the interior or leaseable area of any building. The building footprint and dimensions depict the general configuration of the building(s).
- The utility information shown is limited to visible above ground evidence. This survey makes no attempt to depict any underground utilities and there is no guarantee or warranty to the exact location or presence of any underground utilities that may actually exist adjacent to or within the boundaries of the subject property. Prior to any excavation please call an underground utility locator or "BLUE STAKE" at (602)263-1100 for the precise location and extent of all utilities in the area.
- This Survey has been prepared exclusively for the parties stated in the certification for use in conjunction with the error referenced in Survey Note No. 1. Reproduction or use of this survey by any other party for any other transaction or purpose is unauthorized without written authorization from Alliance Land Surveying, LLC. The use of the word "certify" or "certification" by a person or firm that is registered or certified by the board is an expression of professional opinion regarding facts or findings that are the subject of the certification and does not constitute an express or implied warranty or guarantee (A.R.S. 32-151).

SCHEDULE 'B' ITEMS

- Reservations contained in the Patent From: The United States of America Recording Date: June 17, 1915 Recording No: Book 115 of Deeds, Page 138 (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: roadway Recording Date: July 21, 1945 Recording No: Book 5 of Road Maps, Page 28 (PLOTTABLE MATTERS SHOWN HEREON)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: roadway Recording Date: July 15, 1946 Recording No: Book 6 of Road Maps, Page 12 (PLOTTABLE MATTERS SHOWN HEREON)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: electric lines and apartment facilities Recording Date: October 29, 1968 Recording No: Docket 7326, Page 755 (PLOTTABLE MATTERS SHOWN HEREON)
- A resolution in favor of the Town of Paradise Valley For: Relating to personal wireless service facilities, identifying possible site locations Recording Date: March 19, 1998 Recording No: 98-0213661 (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: utility Recording Date: June 07, 2003 Recording No: 2003-0760319 (PLOTTABLE MATTERS SHOWN HEREON)
- Matters shown on record of survey: Recording No: Book 865 of Maps, Page 15 Recording No: Book 1127 of Maps, Page 5 (DOCUMENT IS A RECORD OF SURVEY AND DOES NOT CREATE ANY PLOTTABLE EASEMENTS OVER THE SUBJECT PROPERTY)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: utility Recording Date: September 09, 2008 Recording No: 2008-0779368 (PLOTTABLE MATTERS SHOWN HEREON)

LEGEND

- Property Corner (See Monument Table)
- Property Line
- Find Survey Monument (See Monument Table)
- Schedule "B" Item
- 24 inch Vertical Curb & Gutter
- 6 inch Concrete Curb
- Indicates Driveway (means of access)
- Concrete Surface
- Fence
- Wall
- Overhead Electric Line
- Electric Box
- Electric Cabinet
- Electric Transformer
- Gas Meter
- Pool Equipment
- Guard Post or Gate Post
- Handicapped Space
- Light Pole
- Manhole
- Power Pole
- Power Pole w/ Underground Electric
- Sprinkler Hook-Up (fire department)
- Telephone Riser
- TV Junction Box
- Water Meter
- Water Valve
- Physical Access To & From Adjoining Property
- See Reference Documents

ALTA / N.S.P.S. LAND TITLE SURVEY

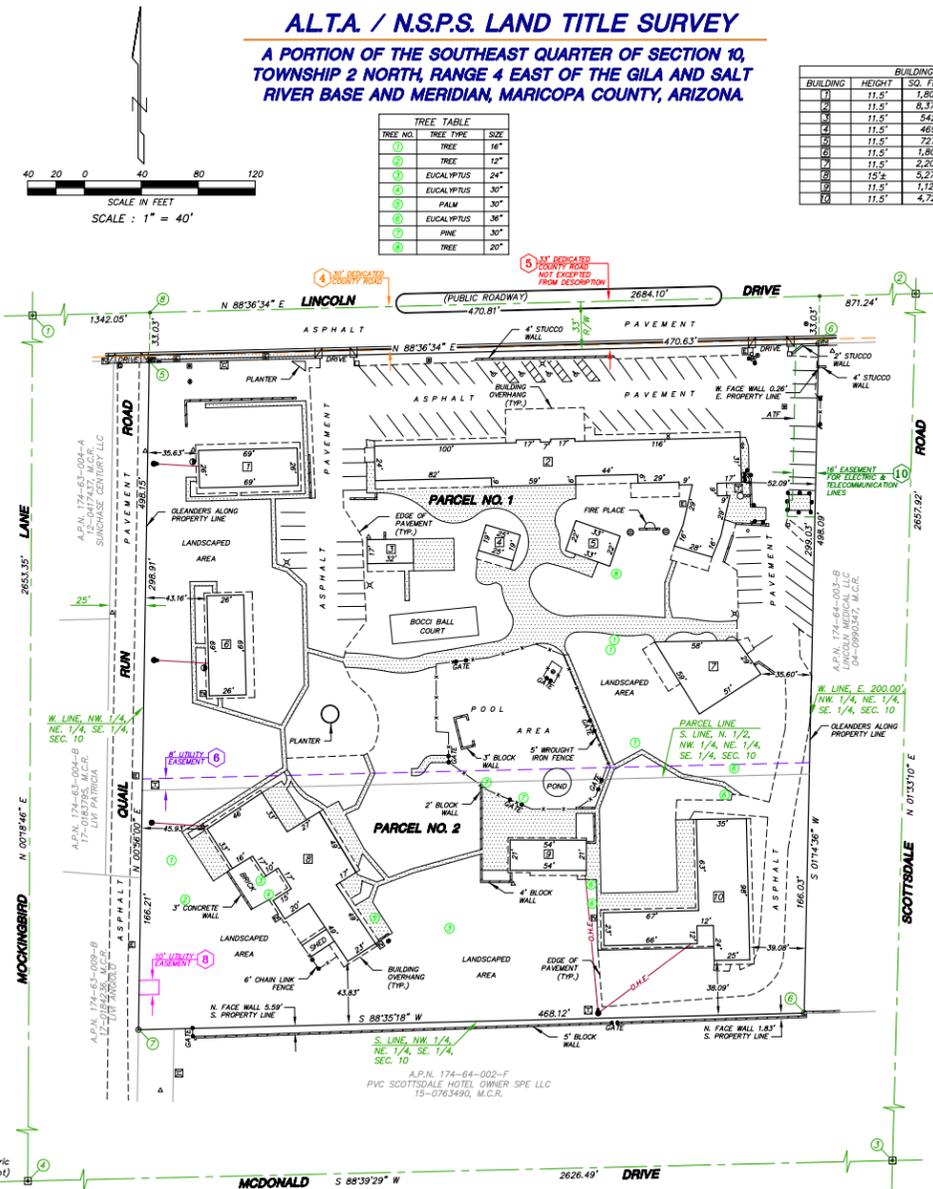
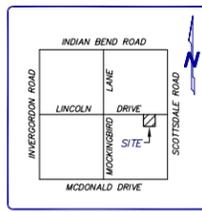
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

TREE TABLE

TREE NO.	TREE TYPE	SIZE
1	TREE	18"
2	TREE	12"
3	EUCALYPTUS	24"
4	EUCALYPTUS	30"
5	PALM	30"
6	EUCALYPTUS	30"
7	PINE	30"
8	TREE	20"

BUILDING TABLE

BUILDING	HEIGHT	SQ. FEET	TYPE
1	11.5'	1,805	ONE STORY BLOCK
2	11.5'	8,172	ONE STORY BLOCK
3	11.5'	242	ONE STORY BLOCK
4	11.5'	469	ONE STORY BLOCK
5	11.5'	727	ONE STORY BLOCK
6	11.5'	1,801	ONE STORY BLOCK
7	11.5'	2,208	ONE STORY BLOCK
8	15'±	5,276	ONE STORY BLOCK
9	11.5'	1,127	ONE STORY BLOCK
10	11.5'	4,721	ONE STORY BLOCK



MONUMENT TABLE

- CEN. OF SEC. 10 - FND BRASS CAP IN HANDHOLE
- E. 1/4 COR. SEC. 10 - FND BRASS CAP IN HANDHOLE
- SE. COR. SEC. 10 - FND BRASS CAP IN HANDHOLE
- S. 1/4 COR. SEC. 10 - FND BRASS CAP FLUSH
- FND PK MAIL & WASKER L.S. 34399 AS SHOWN ON (R1)
- FND 1/2" REBAR W/CAP L.S. 21780 AS SHOWN ON (R1)
- FND 1" IRON PIPE W/TAG L.S. 31020 PER (R1) - ALSO FND 1/2" REBAR NO I.D. - N. 06' W. 0.41' AS SHOWN ON (R1)
- FND 1/2" REBAR NO I.D. 0.20" BELOW SURFACE AS SHOWN ON (R1)

PARCEL DESCRIPTION

PARCEL NO. 1:
The North half of the Northwest quarter of the Northeast quarter of the Southeast quarter of Section 10, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. EXCEPT the East 200 feet, thereof.

PARCEL NO. 2:
The North half of the South half of the Northwest quarter of the Northeast quarter of the Southeast quarter of Section 10, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. EXCEPT the East 200 feet, thereof.

SITE INFORMATION

ADDRESS: 7101 E. LINCOLN DRIVE, PARADISE VALLEY, ARIZONA
A.P.N.: 174-64-003-A

LAND AREA:
GROSS AREA = 5,383 ACRES - 233,630 SQ. FT.
NET AREA = 5,007 ACRES - 218,096 SQ. FT.
NET AREA IS THE GROSS AREA LESS EASEMENT (5) FOR COUNTY ROAD

STRIPED PARKING SPACE TABULATION:
Regular: 70
Handicapped: 4
Total: 74

REFERENCE DOCUMENTS

(R) R.O.S. PER BOOK 865, PAGE 15, M.C.R.
(R) R.O.S. PER BOOK 1127, PAGE 5, M.C.R.

CERTIFICATION

To: Geneva Holdings, L.L.C., an Arizona limited liability company; Smoke Tree Resort, a limited partnership; Fidelity National Title Agency, Inc.; and Fidelity National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 4, 7(c), 7(d)(1), 7(c), 8, 9, 13, and 14 of Table A thereof. The fieldwork was completed on October 23, 2017.

November 1, 2017
G. Bryan Sontzenberger
R.L.S. 31020

SMOKE TREE RESORT
7101 E. LINCOLN DRIVE, PARADISE VALLEY, ARIZONA

ALLIANCE LAND SURVEYING LLC
7000 N. POIN AVENUE, SUITE 504
GLENDALE, AZ 85305
Phone: (602) 919-8800

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION



EXISTING TOPOGRAPHIC SURVEY



GREEY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



ALTA/ACSM LAND TITLE SURVEY
THE SOUTHWEST QUARTER OF SECTION 14
TOWNSHIP 2 NORTH, RANGE 6 WEST, GILA & SALT RIVER BASE & MERIDIAN,
MARICOPA COUNTY, ARIZONA

VICINITY MAP NTS

NOTES

1. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, NOR ABSTRACT OF TITLE, OR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED THE SURVEYOR. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
2. THIS PROPERTY SUBJECT TO ALL RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY.
3. FIELD WORK FOR THIS SURVEY WAS COMPLETED JUNE 9, 2005.
4. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON OBSERVED EVIDENCE AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.

CERTIFICATION

I, JIMMY W. SPRINGER, HEREBY CERTIFY THAT THE SURVEY AS SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION DURING THE MONTH OF OCTOBER 2005, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE PROPERTY DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jimmy W. Springer 10/21/2005
JIMMY W. SPRINGER, PLS 34399 DATE

DRAWN: JLD CHECKED: JWS DATE: 10/20/05	NO DATE REVISIONS
SMOKE TREE RESORT FLEET • FISHER ENGINEERING INC. 4250 EAST CAHILLBACK RD., SUITE 410K • PHOENIX, ARIZONA 85016 • PH. (602) 264-3339	
ALTA/ACSM LAND TITLE SURVEY	
SHEET 1 OF 3 JOB NO. 669-01	

P:\ALTA\12254181\669 10/21/2005 2:55:45 PM DWG



REVISED FEBRUARY 22ND 2019

SMOKE TREE RESORT 57

EXHIBIT

the smoke tree resort

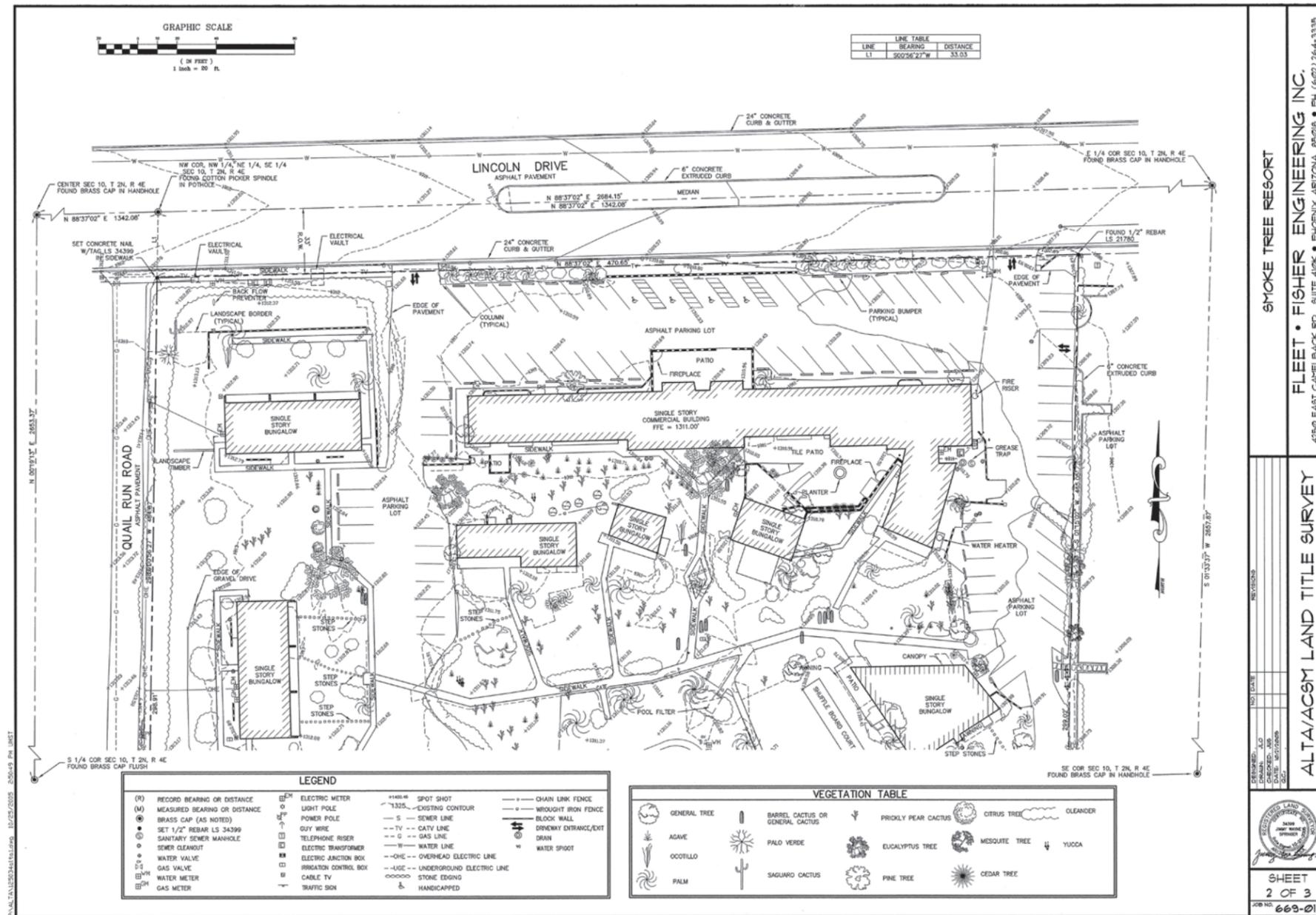
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A62

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11 x 17 format



EXISTING TOPOGRAPHIC SURVEY



GREEY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



REVISED FEBRUARY 22ND 2019

SMOKE TREE RESORT 58

EXHIBIT

the smoke tree resort

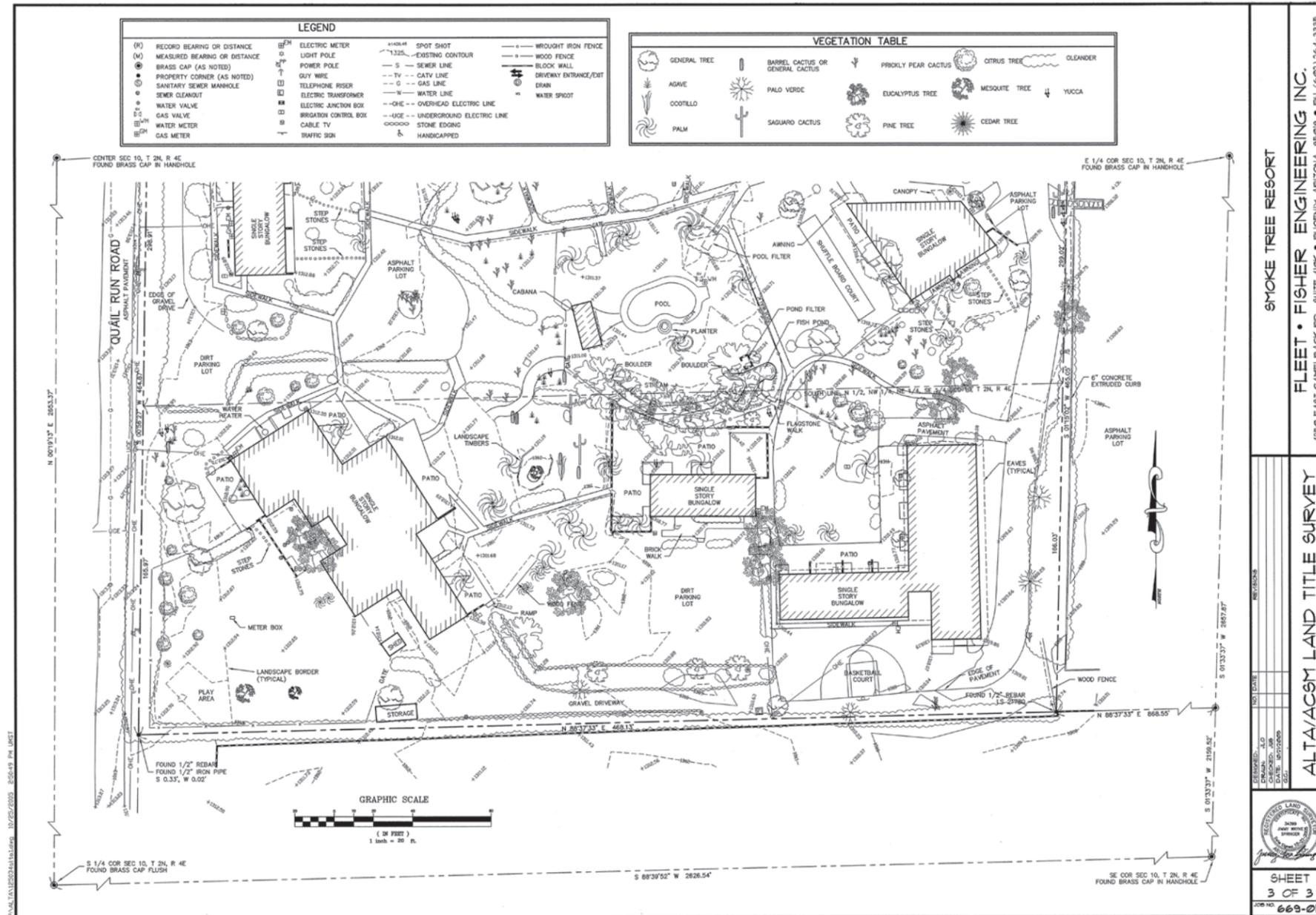
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A63

SEP 6, 2019
11 x 17 format



EXISTING TOPOGRAPHIC SURVEY



PHX
ARCHITECTURE

GREEY|PICKETT

BEUS
GILBERT

CREATIVE DESIGNS
IN LIGHTING

CVL
CONSULTANTS

GREEY|PICKETT

REVISED FEBRUARY 22ND 2019
SMOKE TREE RESORT 59

EXHIBIT

the **smoke tree resort**

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A64
SEP 6, 2019
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LEGAL DESCRIPTION



GREEY|PICKETT

BEUS
GILBERT



CREATIVE DESIGNS
IN LIGHTING



April 12, 2018

LEGAL DESCRIPTION FOR SMOKE TREE RESORT

PARCEL NO. 1:

The North Half of the Northwest Quarter of the Northeast Quarter of the Southeast Quarter of Section 10, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT the East 200 feet, thereof.

PARCEL NO. 2:

The North Half of the South Half of the Northwest Quarter of the Northeast Quarter of the Southeast Quarter of Section 10, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

EXCEPT the East 200 feet, thereof.



N:\01\0315301\Admin\Legal Descriptions\LG OVERALL.docx

Page 1 of 1

4550 N 12th Street | Phoenix AZ 85014 | 602.264.6831 | (F) 602.264.0928



SMOKE TREE RESORT 60

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A65

SEP 6, 2019
11 x 17 format



Smoke Tree Resort

Water Supply Narrative

The subject parcel is within the designated water service area of EPCOR Water and a copy of their "Will Serve" Letter is attached.

A Water Impact Service Study and a Certificate of Assured Water Supply will be prepared and made part of our formal application as we proceed thru the formal approval process.

Smoke Tree Resort

Drainage Narrative

The existing 5 acre resort parcel falls approximately four feet from west to east with no significant or defined drainage ways, such that the entire parcel experiences sheet flow from west to east with no defined inlet or outlet.

The proposed resort will honor the existing flow patterns in the area while providing stormwater retention in accordance with the proposed Town of Paradise Valley Storm Drain Design Manual based on a 100 year 2 hour storm with 2.2" of rainfall.

Smoke Tree Resort

Sewer Narrative

Sanitary sewer service to the proposed resort will be provided by the existing 8" gravity sewer line in Lincoln Drive.

A "Will Serve Letter" relative to this matter is presently being prepared by the Town Engineering Department.



GREEY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A66

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PRELIMINARY DRAINAGE REPORT



GREEY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



February 11, 2019

SMOKE TREE RESORT

Town of Paradise Valley, AZ

Prepared for:
Gentree, LLC
3620 E Campbell Ave, Suite B
Phoenix, AZ 85018
(602) 952-8811

Prepared by:
CVL Consultants, Inc.
4550 N 12th Street
Phoenix, AZ 85014
(602) 264-6831



Job #: 1-01-03153-01

PRELIMINARY DRAINAGE REPORT



Preliminary Drainage Report For Smoke Tree Resort Paradise Valley, Arizona

February 11, 2019

Prepared for:
Gentree, LLC
3620 E Campbell Ave, Suite B
Phoenix, AZ 85018
(602) 952-8811

Prepared by:
Coe & Van Loo Consultants, Inc.
4550 N. 12th Street
Phoenix, AZ 85014
(602) 264-6831



CVL Job Number: 1-01-03153-01

Full 24 page report has been submitted to the Town of Paradise Valley.

REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 62



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A67

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11 x 17 format



WATER SERVICE IMPACT STUDY



GREY|PICKETT



CREATIVE DESIGNS
IN LIGHTING



February 12, 2019

Smoke Tree Resort
Paradise Valley, Arizona

Water Service Impact Study

Prepared for:
Gentree LLC
3620 East Campbell Avenue
Suite B
Phoenix, AZ 85018
Contact: Sam Robinson

Prepared by:
Coe & Van Loo Consultants, Inc.
4550 N. 12th Street
Phoenix, AZ 85014
Contact: Eric Laurin, P.E.
602.285.4722

Job # 1.01.0315301

WATER SERVICE IMPACT STUDY




Smoke Tree Resort
Water Service Impact Study

Coe & Van Loo Consultants, Inc.
Project No.: 1.01.0315301

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1.2 PROJECT LOCATION	2
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Appendices

- Appendix A: Water Quarter Section Map
- Appendix B: Fire Flow Test Results
- Appendix C: WaterCAD Results (Domestic)
- Appendix D: WaterCAD Results (Fire Flow)
- Appendix E: Water Quality Report



i

February 12, 2019

Full 53 page report has been submitted to the Town of Paradise Valley.

REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 63



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A68

SEP 6, 2019
11 x 17 format



2355 West Pinnacle Peak Road, Suite 300
Phoenix, AZ 85027 USA
epcor.com

April 5, 2018

Coe & Van Loo Consultants, Inc.
Attn: Fred Fleet, P.E.
4550 N. 12th Street
Phoenix, AZ 85014

Sent via e-mail to: fef_@cvlci.com

Re: Will-Serve Letter for Water Service
7101 E. Lincoln Drive, Paradise Valley
APN 174-64-003A

Dear Mr. Fleet;

This letter is in response to your request to EPCOR Water Arizona Inc. ("EPCOR") regarding EPCOR's willingness to provide water service to a proposed resort hotel to be located at 7101 E. Lincoln Drive in Paradise Valley (the "Development") as shown in **Exhibit A**. EPCOR provides the following information for your consideration:

1. EPCOR has confirmed that the Development is located within the area encompassed by EPCOR's Certificate of Convenience & Necessity ("CC&N") for water service as issued by the Arizona Corporation Commission.
2. Water service to the Development by EPCOR may be conditioned upon developer entering into a Main Extension Agreement (an "MXA") with EPCOR in a form acceptable to EPCOR, and upon EPCOR and developer fully performing its respective obligations under the MXA. The MXA, if needed, will provide, among other things, that developer will be responsible for constructing at its cost all water main extensions necessary to distribute water from EPCOR's water system to the individual service line connections in the Development. The design and construction of all such main extensions will be subject to EPCOR's approval, and ownership of the main extensions, together with related real property easement rights, must be transferred to EPCOR prior to the initiation of water service in the Development.
3. Based on the water service currently provided by EPCOR in the CC&N, EPCOR will have adequate water capacity for normal use in the Development upon EPCOR's and developer's fulfillment of its respective obligations under the MXA. Please note that EPCOR does not guarantee the adequacy of its water capacity for fire protection.
4. Developer will also be required, as a condition to EPCOR providing water service to the Development, to pay all required fees pursuant to EPCOR's tariffs and as may be provided in the MXA.

This letter assumes that construction of the main extensions within the Development will begin within one (1) year after the date of this letter.

If developer begins construction of any water mains in the Development or any other water service infrastructure intended to serve the Development without, in each instance, the prior written approval of such construction by EPCOR, developer will be proceeding with such construction at its own risk.

This letter does not independently create any rights or obligations in either developer or EPCOR, and is provided for information only. Any agreement between developer and EPCOR for water service in the Development must be memorialized in a written agreement executed and delivered by their respective authorized representatives.

For additional information, please contact me at (623) 445-2402 or at bfinke@epcor.com.

Sincerely,

Brad Finke, P.E.
Engineering Manager

Enclosure: Exhibit A – Location Description of Development

EXHIBIT A
Location of Development





E·J | Flow Test Summary

Project Name: EJFT 16154
 Project Address: 6720 N Scottsdale Rd, Scottsdale, AZ 85253
 Date of Flow Test: 2016-09-30
 Time of Flow Test: 7:25 AM
 Data Reliable Until: 2017-03-30
 Conducted By: Austin Gourley & Eder Cueva (EJ Flow Tests) 602.999.7637
 Witnessed By: Lee Huddleston (EPCOR Water) 602.882.4846
 City Forces Contacted: EPCOR Water (602.882.4846)

City of Scottsdale requires a maximum static pressure of 72 psi for use as a safety factor

Raw Flow Test Data

Static Pressure: 112.0 PSI
 Residual Pressure: 100.0 PSI
 Flowing GPM: 2,374
 GPM @ 20 PSI: 7,131

Data With A 40 PSI Safety Factor

Static Pressure: 72.0 PSI
 Residual Pressure: 60.0 PSI
 Flowing GPM: 2,374
 GPM @ 20 PSI: 5,240

Hydrant F₁

Pitot Pressure (1): 50 PSI
 Coefficient of Discharge (1): 0.9
 Hydrant Orifice Diameter (1): 2.5 inches
 Pitot Pressure (2): 50 PSI
 Coefficient of Discharge (2): 0.9
 Hydrant Orifice Diameter (2): 2.5 inches



- Static-Residual Hydrant
- Flow Hydrant

Main Size: 8 inches
 Distance Between F₁ and R: 382 ft (measured linearly)
 Static-Residual Elevation: 1306 ft (above sea level)
 Flow Hydrant (F₁) Elevation: 1306 ft (above sea level)
 Elevation & distance values are approximate

EJ Flow Tests, LLC
 21505 North 78th Ave. | Suite 125 | Peoria, Arizona 85382 | (602) 999-7637 | www.ejengineering.com
 John L. Echeverri | NICET Level IV 078493 SME | C-16 FP Contractor ROC 271705 AZ | NFPA CFPS 1915

E·J | Flow Test Summary

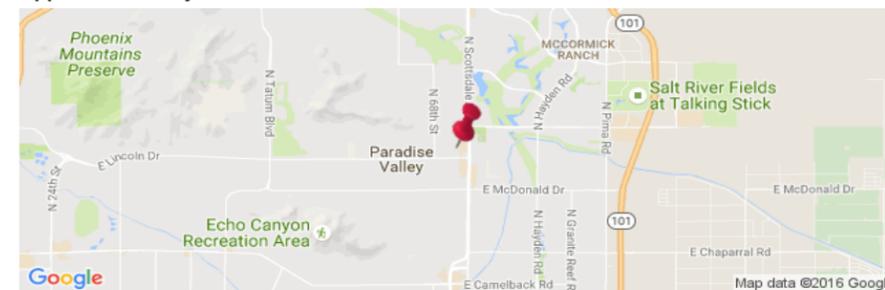
Static-Residual Hydrant



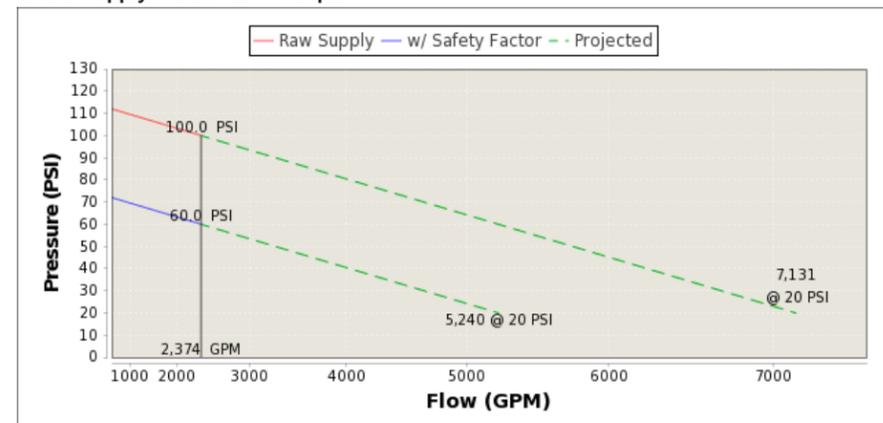
Flow Hydrant (only hydrant F1 shown for clarity)



Approximate Project Site



Water Supply Curve - N^{1.85} Graph



EJ Flow Tests, LLC
 21505 North 78th Ave. | Suite 125 | Peoria, Arizona 85382 | (602) 999-7637 | www.ejengineering.com
 John L. Echeverri | NICET Level IV 078493 SME | C-16 FP Contractor ROC 271705 AZ | NFPA CFPS 1915



EXHIBIT
 the smoke tree resort
 7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
 SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A70
 SEP 6, 2019
 11 x 17 format



GREEY|PICKETT

BEUS
GILBERT



CREATIVE DESIGNS
IN LIGHTING



CenturyLink Engineering
135 W. Orion St. 1st Floor
Tempe, AZ 85283
BICS@Centurylink.com

April 16, 2018

Mr. Fred Fleet
Coe & Van Loo Consultants, Inc.
4550 North 12th Street
Phoenix, Arizona 85014

RE: CVL #1-01-03153-01

Mr. Fleet,

The above mentioned project is located in a parcel of land located in Section 10, Township 2N and Range 4E in Maricopa County.

In response to your "Service Availability" request for the above mentioned development located at 7101 East Lincoln Drive, Paradise Valley, AZ, this letter is to acknowledge that this subject property is within CenturyLink serving territory.

The tariff Rates and Regulations prescribed for service for this area are on file with your State Utilities Commission, and may be examined at your local CenturyLink Business Office.

Sincerely,

Stacey Alfier
CenturyLink Engineer II/Supervisor of Engineering Support
135 W Orion Street, 1st Floor
Tempe, AZ 85283
480/788-4294 (Office)
Stacey.Alfier@centurylink.com



April 17, 2018

Mr. Fred Fleet
Coe & Van Loo Consultants, Inc.
4550 North 12th Street
Phoenix, AZ 85014

Project: Commercial Project
7101 East Lincoln Drive
Scottsdale, AZ 85253
Parcel 174-64-003A
Map 127 2N 4E S:10 SE

Dear Mr. Fleet:

This letter is to confirm that Cox Communications is a licensed telecommunications operator for the City of Scottsdale in which this project resides. Cox Communications may be able to provide cable services or other required telecommunication services for this project, however, the final requirement of a service agreement will be necessary.

As you move forward with this project, please contact Angela Kiesgen, Cox Business Account Executive at (office) 623-322-7159 or (email) angela.kiesgen@cox.com who will be able to assist you with your telecommunications needs.

If you have any questions, please feel free to contact me.

Sincerely,

Annie Sandoval
Cox Business 623-328-2431



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A71

SEP 6, 2019
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GILBERT



CREATIVE DESIGNS
IN LIGHTING



P.O. Box 53933
Phoenix, AZ 85072

4/18/2018

Mr. Fred Fleet
Coe & Van Loo Consultants, Inc.
4550 North 12th Street
Phoenix, AZ 85014

Re: 7101 East Lincoln Drive

Dear Fred,

The above referenced project is located in Arizona Public Service Company's electric service area. The Company extends its lines in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule 3, and the "Terms and Conditions for the Sale of Electric Service," Schedule 1, on file with the Arizona Corporation Commission at the time we begin installation of the electric facilities.

Application for the Company's electric service often involves construction of new facilities for various distances and costs depending upon customer's location, load size and load characteristics. With such variations, it is necessary to establish conditions under which Arizona Public Service will extend its facilities.

The enclosed Schedule 3 policy governs the extension of overhead and underground electric facilities to customers whose requirements are deemed by Arizona Public Service to be usual and reasonable in nature.

Please give me a call at 602-493-4468 so that we may set up an appointment to discuss the details necessary for your project.

Sincerely,

Heather Legg
Customer Project Manager
Customer Construction East

Enclosure



April 19, 2018

Mr. Fred Fleet
Coe & Van Loo Consultants, Inc.
4550 North 12th Street
Phoenix, AZ 85014

RE: Natural Gas Service to: 7101 East Lincoln Drive in Paradise Valley, AZ 85253

Dear Mr. Fred Fleet:

Thank you for your inquiry regarding gas availability for the above referenced project. Southwest Gas has natural gas facilities available to serve this project and can be extended to serve your project in accordance with our Rule Six as filed with the Arizona Corporation Commission. Southwest Gas currently has a 2.5" Distribution Pressure Gas main running east and west on Lincoln Dr.

Without reviewing the preliminary engineering plans on the project we cannot determine what fees would be required.

Southwest Gas is very interested in serving this project with the preferred fuel *natural gas*, and I look forward to working with you as the project progresses.

If you should have any questions or require additional information, please contact me at 602/768-8146, or email me at Laurie.Cleland@swgas.com.

Sincerely,

Laurie Cleland
Energy Analyst
Energy Solutions Department
Central Arizona Division

1600 E. Northern Avenue / Phoenix, Arizona 85020-3982
P.O. Box 52075 / Phoenix, Arizona 85072-2075 / (877) 860-6020
www.swgas.com



EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A72

SEP 6, 2019
11 x 17 format



AFFIDAVIT OF NOTIFICATION



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CREATIVE DESIGNS IN LIGHTING



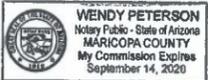
Affidavit of Notification
Notice of Citizen Review Meeting

Rezoning Application No.: SUP-18-5
Applicant Name: Gentry, LLC by Cassandra Ayres, Beus Gilbert PLLC
Location: 7101 E. Lincoln Drive, Paradise Valley, AZ 85253

I confirm that notice of the Citizen Review Meeting as required for the case noted above has been completed in accordance with Section 2-5-2(F) of the Town of Paradise Valley's Town Code.

Application/Representative Signature: [Signature] Date: 2.6.19

This instrument was acknowledged before me on this 6th day of February, 2019, by Cassandra Ayres. In witness whereof, I hereunto set my hand and official seal.



Wendy Peterson
Notary Public
My commission expires: 9-14-2020

Affidavit of Notification(354183.1).docx



REVISED FEBRUARY 12TH, 2019
SMOKE TREE RESORT 71

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A73
SEP 6, 2019
11 x 17 format



PUBLIC MAILING NOTICE



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CREATIVE DESIGNS
IN LIGHTING



BEUS GILBERT
PLLC
ATTORNEYS AT LAW
701 NORTH 44TH STREET
PHOENIX, ARIZONA 85008-6504
FAX (480) 429-3100

Cassandra H. Ayres
DIRECT (480) 429-3010
E-Mail Address: cayres@beusgilbert.com

FILE NUMBER
39039.23

February 1, 2019

INVITATION TO CITIZEN REVIEW MEETING
SMOKE TREE RESORT
SPECIAL USE PERMIT – MAJOR AMENDMENT APPLICATION (SUP 18-05)

Dear Neighbor:

This letter is being sent to advise you that we will be hosting a citizen review meeting in connection with the Smoke Tree Resort Special Use Permit (“SUP”) Major Amendment Application on **Monday, February 18, 2019 at 6:00 p.m. at the Smoke Tree Resort (“Resort”) located at 7101 E. Lincoln Drive, Paradise Valley, Arizona 85253.** You are invited to attend to learn about the application and make your opinion known. Parking will be available in the Resort parking lot. If you have questions or comments, you may contact Cassandra Ayres, Beus Gilbert PLLC, at 480.429.3010 or cayres@beusgilbert.com.

The 5.36-acre Resort originally opened in 1966 and has operated continually since. Other than general maintenance and upkeep, the Resort has not had any significant upgrades since it first opened. The SUP proposes to take down the existing structures and construct a new 165-room, three-story resort hotel comprised of 120 hotel doors, 30 residential doors, and 15 lock-offs. The redevelopment also proposes resort related uses, such as a restaurant, event/meeting space, spa, pool, at grade and underground parking, and neighborhood market. The proposed maximum building heights of 24, 26, and 44 feet are to be tiered at various locations in order to protect adjacent neighbors and provide a buffer from typical sounds associated with resorts.

If you require additional information from the Town of Paradise Valley Planning and Development Department, please contact Jeremy Knapp, AICP, Community Development Director at 480.348.3522 or jknapp@paradisvalleyaz.gov. You may also contact the Town by writing to the Planning and Development Department at 6401 East Lincoln Drive, Paradise Valley, Arizona, 85253-4399, and referencing SUP 18-05. Your letter will be made part of the case file.

Please be advised that additional meetings and hearings before the Planning Commission and Town Council are planned to review this case on January 22, February 5, February 19, and March 5. The Planning Commission will make a recommendation on the SUP to the Town Council at the March 5 hearing. Town Council hearing dates to consider the Smoke Tree Resort have not been set yet.

Neighborhood Meeting Notification Letter(144790_1).docx

Smoke Tree Resort
Citizen Review Meeting
February 1, 2019

We look forward to maintaining an open and productive dialogue throughout this process. Thank you for your time and consideration. We look forward to seeing you.

Sincerely,

BEUS GILBERT PLLC

Cassandra H. Ayres

#344790v1-BeusGilbert- Neighborhood Meeting Notification Letter



REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 72

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A74

SEP 6, 2019
11 x 17 format



PUBLIC MAILING LIST



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CREATIVE DESIGNS
IN LIGHTING



2012 REVOCABLE TRUST OF PAMELA K NOLAN
6166 N SCOTTSDALE RD UNIT C3002
SCOTTSDALE AZ 85253

3T PROPERTIES & INVESTMENT COMPANY LP
1137 ROOSEVELT AVE
TRACY CA 95376

6617 INVESTORS LLC
6617 N SCOTTSDALE RD STE 1-1
SCOTTSDALE AZ 85250

BROOKE JOHN B (IMPROVEMENTS ONLY)
2628 GREENWICH ST
SAN FRANCISCO CA 94123

BROWNFIELD EDWARD H/ ROBERTA F
1126 DRYDEN LANE
CHARLOTTESVILLE VA 22903

BRUNACINI JEANNETTE L TR
1261 BONA TERRA LOOP NW
ALBUQUERQUE NM 87114-1984

6909 QUAIL RUN LLC
6909 E LINCOLN DR
PARADISE VALLEY AZ 85253

ALLAN S AND PATRICIA F WALLACE REV TRUST
7319 E MARLETTE AVE
SCOTTSDALE AZ 85250

ANDREW B GREFFS AND WENDY J GREFFS TRUST
6314 N 73RD ST
SCOTTSDALE AZ 85250

BURKE JAMES F
8221 N 23RD PL
SCOTTSDALE AZ 85258

CAIRNS RICHARD A
6821 E VALLEY VISTA LN
PARADISE VALLEY AZ 85253

CAMERON DAVID (IMPROVEMENTS)
PO BOX 6458
SCOTTSDALE AZ 85261

THE ANN R DOVE REVOCABLE TRUST
20 MOULTON DR
SHELBYVILLE IL 62565

ARIZONA BANK
101 N TRYON ST
CHARLOTTE NC 28255

ARIZONA BOARD OF REGENTS
PO BOX 870401
TEMPE AZ 85287-0401

CARROLL JENNIFER
6166 N SCOTTSDALE RD UNIT C2006
SCOTTSDALE AZ 85253

CASA DE VALLEY VISTA LLC
6818 E VALLEY VISTA LN
PARADISE VALLEY AZ 85253

CASABELLA ASSOCIATION
7255 E HAMPTON AVE STE 101
MESA AZ 85209

ARIZONA BOARD OF REGENTS
1125 N VINE AVE STE 103
TUCSON AZ 85721

AYRES MICHAEL O/DELYTE
BOX 59554
POTOMAC MD 20859

BAMBOO RANCH LIMITED LLC
6701 N SCOTTSDALE RD UNIT 32
SCOTTSDALE AZ 85250

CASABELLA ASSOCIATION
7255 E HAMPTON AVE STE 101
MESA AZ 85209

CASEY ARTHUR M JR/
MARJORIE M TR LEASE
7326 E MARLETTE AVE
SCOTTSDALE AZ 85250

CHAPMAN CAROL A TR
7325 E CITRUS WY
SCOTTSDALE AZ 85250

BANKSON KEN J/MAUREEN A
6150 N SCOTTSDALE RD UNIT 6
PARADISE VALLEY AZ 85253

BARBARA ANN TRINEN REVOCABLE TRUST
2371 T A RIODAN
FLAGSTAFF AZ 86005

BARTHEL FAMILY TRUST/BARTHEL DONALD E/NANCY J
6166 N SCOTTSDALE AZ UNIT C2008
SCOTTSDALE AZ 85253

CLARK FAMILY TRUST
6166 N SCOTTSDALE RD UNIT C3008
SCOTTSDALE AZ 85253

CLAYTON W COADY LIVING TRUST
6909 E LINCOLN DR
PARADISE VALLEY AZ 85253

COADY ENTERPRISES INC
6909 E LINCOLN DR
PARADISE VALLEY AZ 85253

BAYSE MICHELLE MITCHELL/HAGEMANN BRUCE A
6817 COLUMBINE WY
PLANO TX 75093

BECKER ROGER P/LAURIE A
6166 N SCOTTSDALE RD UNIT C2004
SCOTTSDALE AZ 85253

BELL AND 63RD INVESTMENTS LLC
3641 N 39TH AVE
PHOENIX AZ 85019

COBB ALEXANDER M/CHRISTINE K
6805 E VALLEY VISTA LN
PARADISE VALLEY AZ 85253

COHEN S DAVID/DOROTHEE N
6166 N SCOTTSDALE RD UNIT C2005
SCOTTSDALE AZ 85253

COHILL SUSAN M TR
7316 E MCLELLAN BLVD
SCOTTSDALE AZ 85250

BELLSTEDT NANCY JANE
5 PROSPECT CT
CANMORE AB
CANADA T1W2S4

BENADERET LINDA B
6166 N SCOTTSDALE RD UNIT A3003
SCOTTSDALE AZ 85253

BIRD RANDALL R
500 RED LANDS
NEWPORT BEACH CA 92663

CONWAY DENNIS D/MARY C TR
585 3RD ST S
WISCONSIN RAPID WI 54494

CORVENT GROUP INC
3044 BLOOR ST W STE 256
TORONTO ON
CANADA M8X 1CA

CPVF III SCOTTSDALE FORUM LLC (LEASE)
7600 N CAPITAL OF TEXAS HWY
AUSTIN TX 78731

BLAIK ROBERT M/DOROTHY E
6166 N SCOTTSDALE RD UNIT A2005
PARADISE VALLEY AZ 85253-5430

BONNEM KENNETH C/
FRIEDMAN MARTHA A
6825 E VALLEY VISTA LN
PARADISE VALLEY AZ 85253

BORGATA LLC
6621 NORTH SCOTTSDALE RD
SCOTTSDALE AZ 85250

CUERNAVACA HOMEOWNERS ASSOC INC
532 E MARYLAND AVE STE F
PHOENIX AZ 85012

DALLIS PETER N
7315 E MCLELLAN
SCOTTSDALE AZ 85253

DAVID WINOGRAD AND WENDY WINOGRAD 2011 REVOCABLE LIVING TRUST
6166 N SCOTTSDALE RD UNIT C2007
PARADISE VALLEY AZ 85253

BOWERS FAMILY REVOCABLE TRUST
6166 N SCOTTSDALE RD UNIT C3004
SCOTTSDALE AZ 85253

BOYNTON SALLY H
6701 N SCOTTSDALE RD UNIT 5
SCOTTSDALE AZ 85250

BRAGA REVOCABLE LIVING TRUST
25513 PASEO DE CUMBRE
MONTEREY CA 93940

DAVIS SANDRA C
650 54TH AVENUE CT
GREBLEY CO 80634

DEHIL FAMILY TRUST
6166 N SCOTTSDALE RD B1005
SCOTTSDALE AZ 85253

DERRICO CELIA/MANERI CAMILLE A
8231 E APPALOOSA TRL
SCOTTSDALE AZ 85258

BRAGA STANLEY A/
VALERIE A TR/ETAL
25513 PASEO DE CUMBRE
MONTEREY CA 93940

BRANCO TRUST
3201 SOUTH ST NO 181
LINCOLN NE 68502-3266

BRICK MICHELE/TIMOTHY P
6306 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

DEWEY DOUGLAS CRAIG/
SHELLEY KATHLEEN
689 TERRACE DR
LAKE OSWEGO OR 97034

DHILLON REVOCABLE LIVING TRUST
6166 N SCOTTSDALE RD UNIT A1002
PARADISE VALLEY AZ 85253

DIANE MAE CHOLAKIAN FAMILY TRUST
PO BOX 55833
VALENDIA CA 91385



REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 73

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

A75

SEP 6, 2019
11 x 17 format



PUBLIC MAILING LIST



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CREATIVE DESIGNS IN LIGHTING



DIFTHRICH GLORIA B
6166 N SCOTTSDALE RD UNIT A1006
SCOTTSDALE AZ 85253

DLS REVOCABLE TRUST/ETAL
925 LAKE ST S UNIT 302
KIRKLAND WA 98033

DONALD W MADL AND CAROLYN M
MADL TRUST
6166 N SCOTTSDALE RD UNIT C3005
SCOTTSDALE AZ 85253

GENTREE LLC
3620 E CAMPBELL AVE STE 8
PHOENIX AZ 85018

GIEDRAITIS JOHN B/
CATHERINE N TR
6305 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

GIESA MICHAEL W TR
1023 FALLS PARC DR UNIT 5
SHEBOYGAN FALLS WI 53085

DONNA A STONE TRUST
6166 N SCOTTSDALE RD UNIT C3007
SCOTTSDALE AZ 85253

DOUGLAS ALAN COLE TRUST
6929 N HAYDEN RD SUITE C4-508
SCOTTSDALE AZ 85250

DOYLE D JAMES/PHYLLIS J TR
6807 E VALLEY VISTA LN
PARADISE VALLEY AZ 85253

GIRAUDO SHEELA/MARK
6844 E SOLCITO LN
PARADISE VALLEY AZ 85253

GOLDBERG LARRY
6166 N SCOTTSDALE RD UNIT A2003
SCOTTSDALE AZ 85253

GORDON ANDREW W/CAROL L TR
6837 E LINCOLN DR
PARADISE VALLEY AZ 85253

DUNIK BRIAN R/CATHERINE F
6701 N SCOTTSDALE RD LOT 30
SCOTTSDALE AZ 85250

EDMUND G ZITO AND PATRICIA M
ZITO REV TRUST
6166 N SCOTTSDALE RD UNIT C 1006
SCOTTSDALE AZ 85253

EILTS PATRICIA S
6706 LUPINE CIR
ARVADA CO 80007

GRAYTON LESLIE/ROBERT/THOMAS
M/DEXTER STEVEN
12 TOMAH DR
PEABODY MA 01960

GRI LINCOLN VILLAGE LLC
4350 EAST-WEST HIGHWAY STE 400
BETHESDA MD 20814

HADI JOHN/DIANA
3700 QUAIL CREEK CT
LAWRENCE KS 66047

ELLEGARD KENNETH E/CHERYL O
6166 N SCOTTSDALE RD UNIT B2001
SCOTTSDALE AZ 85253-5434

ELLEGARD KENNETH E/CHERYL O
6166 N SCOTTSDALE RD UNIT B4003
SCOTTSDALE AZ 85253-5436

ELLIS MICHAEL/ANGELA
6166 N SCOTTSDALE RD UNIT C2001
SCOTTSDALE AZ 85251

HARKINS KAREN A
6226 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

HARMS ZUM SPRECKEL CORD/
JANE HARMS ZUM TR
19815 107TH AVE SW
VASHON WA 98070

HARRIS THOMAS J/MARILYN J
6150 N SCOTTSDALE RD UNIT 37
PARADISE VALLEY AZ 85253

ENCLAVE AT BORGATA COMMON
ELEMENT
2222 W PINNACLE PEAK RD STE 140
PHOENIX AZ 85027

ENCLAVE AT BORGATA LLC
2222 W PINNACLE PEAK RD STE 140
PHOENIX AZ 85027

ENCLAVE AT BORGATA LLC
6263 N SCOTTSDALE RD SUITE 216
SCOTTSDALE AZ 85250

HERD JAMES V/JANET/
WARE RAYMOND T/RENDA
2336 N ALDERCREST PL
EAGLE ID 83616

HILLIS JEFFREY W/JENNIFER ANN TR
6136 N QUAIL RUN RD
PARADISE VALLEY AZ 85253

HOLLIS TROY I/DEBORAH M
6166 N SCOTTSDALE RD UNIT C1001
SCOTTSDALE AZ 85251

EVERETT PROPERTIES LLC
3343 WYNDHAM CT
EUGENE OR 97408

FALCONE SONIA M
120 N LASALLE ST
CHICAGO IL 60602

FARRELLY JAMES K/STAPLES-
FARRELLY SHARON
6166 N SCOTTSDALE RD UNIT C4003
SCOTTSDALE AZ 85253

HOLMES BRIAN G
89 BRAID BEND
STOUFFVILLE ON
CANADA L4A1R8

HONORA E LOGAN FAMILY TRUST
3709 RANCH VIEW CT
RENO NV 89509

HOSKINS L JETT/LORETTA (LEASE)
7220 NE 14TH ST
VANCOUVER WA 98664

FASSERO JEFFREY/CATHY
7313 E CITRUS WY
SCOTTSDALE AZ 85250

FAUSTER III FAMILY TRUST
6701 N SCOTTSDALE RD LOT 9
SCOTTSDALE AZ 85250-4403

FIVE STAR LAND OWNER LLC
6720 N SCOTTSDALE RD STE 130
SCOTTSDALE AZ 85253

HOSKINS LIVING TRUST
7319 E CITRUS WY
SCOTTSDALE AZ 85250

HOWARD WEISS FAMILY TRUST
6166 N SCOTTSDALE RD UNIT B1004
SCOTTSDALE AZ 85253

HPTRI CORPORATION
PO BOX 579
LOUISVILLE TN 37777-0579

FIVE STAR RESORT OWNER LLC
6720 N SCOTTSDALE RD SUITE 130
SCOTTSDALE AZ 85253

FOUR E FAMILY LLC
10960 WILSHIRE BLVD 5TH FL
LOS ANGELES CA 90024

FOXBORO RANCH LLC
PO BOX 17331
MUNDS PARK AZ 86017

HRA LINCOLN SCOTTSDALE LP
2999 N 44TH ST STE 400
PHOENIX AZ 85018

HULICK EVELYN
7321 E SIRRA VISTA DR
SCOTTSDALE AZ 85250

HURWORTH SAMUEL G
713 GASMAN
PORT ANGELES WA 98362

FRANK C SKRUPA RESIDENCE
TRUST/ETAL
6212 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

FRED AND COLLEEN STEINBERG
TRUST
6118 N QUAIL RUN RD
PARADISE VALLEY AZ 85253-5321

FREDRICKSON ROBERT J
7314 E CLAREMOUNT ST
SCOTTSDALE AZ 85250

J AND D MARQUARDT FAMILY
TRUST
PO BOX 92621
ANCHORAGE AK 99509

J SCOTT PROPERTIES LLC
4111 E MADISON ST SUITE 438
SEATTLE WA 98112

JAMEL GREENWAY LLC
4771 N 20TH ST SUITE 22
PHOENIX AZ 85016

GARREY D REID/PAMELA J
6611 N SCOTTSDALE RD
SCOTTSDALE AZ 85250

GEE JILL S
6333 N SCOTTSDALE RD UNIT 1
SCOTTSDALE AZ 85250

GEUZYS RONALD P JR/
LEATHA ANN
6341 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

JANAS ROBERT
6166 N SCOTTSDALE RD UNIT C1008
SCOTTSDALE AZ 85253

JANET S PALMER TRUST
6150 N SCOTTSDALE RD 34
SCOTTSDALE AZ 85253

JAYE MICHAEL/REGINA
6166 N SCOTTSDALE RD UNIT B3003
SCOTTSDALE AZ 85253



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SMOKE TREE RESORT 74

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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CREATIVE DESIGNS IN LIGHTING



JEFFREY A BEACH AND THERESA A BEACH LIV TRUST
13385 HIGHLANDS PL APT 1412
SAN DIEGO CA 92130

JILL A GOLD REVOCABLE TRUST
6166 N SCOTTSDALE RD UNIT A3007
SCOTTSDALE AZ 85253

JOEL LUTZ LIVING TRUST/
JUDITH LUTZ LIV TRUST
6150 N SCOTTSDALE RD UNIT 43
SCOTTSDALE AZ 85253

M T OFFICE BUILDINGS LLC
6623 N SCOTTSDALE RD
SCOTTSDALE AZ 85250

MADELAINE R BERG REVOCABLE TRUST
6166 N SCOTTSDALE RD UNIT B2004
PARADISE VALLEY AZ 85253

MAHAY HEIDI
7760 E GAINES RANCH RD UNIT 24
SCOTTSDALE AZ 85258-1634

JOHN AND KELLY PARKER LIVING TRUST
6316 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

JOHNSTON STEVEN A/WENDY E
9311 OLYMPIC VIEW DR
EDMONDS WA 98020

JOSHUA AND LORIN SWIFT TRUST
5126 E FLOWER ST
PHOENIX AZ 85018

MAI JOHN
7301 E CLAREMONT ST
SCOTTSDALE AZ 85250

MAJORS K WAYNE II/OSWALT SANDRA C
6350 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

MANERI CAMILLE A/DERRICO CELIA
6150 N SCOTTSDALE RD STE 35
SCOTTSDALE AZ 85253

KAHLE MARK/MARILYN
19 BOBBIE LN
WILLIAMSVILLE NY 14221

KAREN K SCHWARTZ REV TR/GARY R SCHWARTZ REV T
6166 N SCOTTSDALE RD
SCOTTSDALE AZ 85253

KAREN MARIE LIERSCH LIVING TRUST
6701 N SCOTTSDALE RD UNIT 11
SCOTTSDALE AZ 85250

MARK AND GLORIA CHANEY JOINT LIVING TRUST
6701 E SCOTTSDALE RD LOT 38
SCOTTSDALE AZ 85250

MARK DANIEL DETMER & SHELLY ANN DETMER TRUST
6826 E SOLICITO LN
PARADISE VALLEY AZ 85253

MARK H HOFFMAN AND DEBORAH M HOFFMAN REV TR
6166 N SCOTTSDALE RD UNIT B3002
SCOTTSDALE AZ 85253

KAURA ASHWANI K
7815 N IRONWOOD DR
PARADISE VALLEY AZ 85253

KNOLL ALLAN/SANDRA
6166 N SCOTTSDALE RD UNIT B3006
SCOTTSDALE AZ 85253

KOE BETTY
6701 N SCOTTSDALE RD UNIT 29
SCOTTSDALE AZ 85250

MARLETTE 7313 LLC
7313 E MARLETTE AVE
SCOTTSDALE AZ 85250

MARSHA L FINCH GST TR/LESLIE J SAVANT GST TR
205 REGAL LN
EAST PEORIA IL 61611

MCCARTHY WILLIAM P/MCMULLEN ELIZABETH A TR
6309 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

KOSIEC RICHARD/RICHMOND ROSEMARY COLLEEN
6333 N SCOTTSDALE RD UNIT 5
SCOTTSDALE AZ 85250

LANHAM AND BONE DECEDENTS REVOCABLE TRUST
PO BOX 25
CRESSIN TX 76035

LARSON GREGG D/LISA
6166 N SCOTTSDALE RD UNIT B1006
SCOTTSDALE AZ 85253

MCLEES ROBERT E/NANCY R
6701 N SCOTTSDALE RD - LOT 12
SCOTTSDALE AZ 85250

MENSCH KATHRYN G
6126 N SCOTTSDALE RD NO 7
PARADISE VALLEY AZ 85253

MERKOS CHABAD-LUBAVITCH ORGANIZATION INC
6201 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

LEGROW HAROLD R/MARY F
28 EDGEMERE RD
LYNNFIELD MA 1940

LEWIS JULIANNE N TR
6044 N QUAIL RUN RD
PARADISE VALLEY AZ 85253

LILJEN BRIAN/DENISE
6166 N SCOTTSDALE RD UNIT A 2002
SCOTTSDALE AZ 85253

MICHAEL AND KATHLEEN DEGROFF FAMILY TRUST
6701 N SCOTTSDALE RD LOT 28
SCOTTSDALE AZ 85250

MICHAEL I. SHOEN FAMILY TRUST
6719 E MALCOMB DR
PARADISE VALLEY AZ 85253

MICHAEL T HOGAN LIVING TRUST
6166 N SCOTTSDALE RD UNIT A2006
SCOTTSDALE AZ 85253-5430

LINCOLN SCOTTSDALE BUILDING LLC
6607 N SCOTTSDALE RD STE H100
SCOTTSDALE AZ 85250

LINDA CHRISTIAN REVOCABLE TRUST
6166 N SCOTTSDALE RD UNIT C3003
SCOTTSDALE AZ 85253

LINSCOTT HOTEL CORP LEASE
6333 N SCOTTSDALE RD
SCOTTSDALE AZ 85250

MICHAELS JAMES/LINDA F
6166 N SCOTTSDALE RD UNIT A2001
PARADISE VALLEY AZ 85253

MICHAUD JANE'ITE M/JOSEPH E (LEASE)
7308 E ROSE LN
SCOTTSDALE AZ 85253

MICHELLE D SCHECHNER REVOCABLE TRUST
6116 N SCOTTSDALE RD UNIT C1002
PARADISE VALLEY AZ 85253

LIPPERT MORRIS OLINS
6225 N MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

LIVI ANGIOLO
6316 E QUAIL RUN
PARADISE VALLEY AZ 85253

LIVI PATRICIA
6316 E QUAIL RUN RD
PARADISE VALLEY AZ 85253

MILLER SCOTT E/PHYLLIS P (LEASE)
7307 E CLAREMONT ST
SCOTTSDALE AZ 85250

MILNE FAMILY TRUST
6166 N SCOTTSDALE RD UNIT B2006
SCOTTSDALE AZ 85253

MONTENEGRINO VINCENT J/
NATALIE
6740 E LINCOLN DR
PARADISE VALLEY AZ 85253

LIVI PATRICIA
6921 E QUAIL RUN RD
SCOTTSDALE AZ 85253

LMB II CONDO LLC
11615 MOHAWK LN
LEAWOOD KS 66211

LOANSTAR CAPITAL LLC
6619 N SCOTTSDALE RD
SCOTTSDALE AZ 85250

MONTOPOUL DUANE C/BARBARA P
108 CAMPION ROAD
NORTH ANDOVER MA 01845-1221

MOORE LAURA E
9400 N FRYER RD
PEORIA IL 61615

MURPHY MICHAEL T/NANNEN DAWN M TR
2543 E 21ST ST
FREMONT NE 68025

LOVELADY TROY J
5808 E MORNING VISTA LN
CAVE CREEK AZ 85331

LYONS MARK K/BETHANN B
6166 N SCOTTSDALE RD UNIT B1001
PARADISE VALLEY AZ 85253

M PAMELA PENN REVOCABLE TRUST
PO BOX 24128
OKLAHOMA CITY OK 73124

MYKOL DOUGLAS B/DORENE E
222-A W BAY DR NW
OLYMPIA WA 98502

NANCY A SOPER REVOCABLE TRUST
6166 N SCOTTSDALE RD UNIT B2007
SCOTTSDALE AZ 85253

NARAZONA CORPORATION
PO BOX 61655
PHOENIX AZ 85082-1655



REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 75

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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CREATIVE DESIGNS IN LIGHTING



NARNIA II LLC 6621 N SCOTTSDALE RD SCOTTSDALE AZ 85250	NARNIA LLC 6621 N SCOTTSDALE RD SCOTTSDALE AZ 85250	NEWELL FAMILY TRUST 6166 N SCOTTSDALE RD UNIT C4001 SCOTTSDALE AZ 85253	REICHLER FAMILY LIVING TRUST 6166 N SCOTTSDALE RD UNIT C1003 SCOTTSDALE AZ 85253	RHUART SUSAN JANE 7321 E MCLELLAN BLVD SCOTTSDALE AZ 85250	RICHARD C CARR TRUST 1418 N LAKESHORE DRIVE APT H9 CHICAGO IL 60610
NICASTRO CHERISSE M 6206 N MOCKINGBIRD LN PARADISE VALLEY AZ 85253	NORMAN WILLIAM FAIN II AND NANCY LEE FAIN REVOCABLE TRUST 6166 N SCOTTSDALE RD UNIT A3004 SCOTTSDALE AZ 85253	NOSTRAND ROBERT D/ SUZANNE KNIGHT 251 STEELE ST DENVER CO 80206	RICHARD G LAVIGNE TRUST 2523 HAVERTON RD SAINT PAUL MN 55120	RICHARD T WINTERMANTEL REVOCABLE TRUST 6166 N SCOTTSDALE RD UNIT A1008 SCOTTSDALE AZ 85253-5429	RINK GLENN R 6028 N QUAIL RUN RD PARADISE VALLEY AZ 85253
NOWAK JOYCE L LOMBARDO TR P O BOX 50786 MENDOTA MN 55150	OKINOW SANDRA L 11472 FAIRFIELD RD WEST UNIT 402 MINNETONKA MN 55305	OMEARA FAMILY TRUST 6701 N SCOTTSDALE RD UNIT 3 SCOTTSDALE AZ 85250	RN PROPERTIES LINCOLN PLAZA LLC 2021 E CAMELBACK STE A38 PHOENIX AZ 85016	ROBERT LEVIN REVOCABLE TRUST 3001 RIDGE RD HIGHLAND PARK IL 60035	ROBERT ONG HING AND ALICE Y HING FAMILY TRUST 6145 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
ONEIL MICHAEL 50 VANDERBILT MOTOR PKWY COMMACK NY 11725	ORVIS PAUL W JR & CELIA C 234 FIDDLERS POINT DR ST AUGUSTINE FL 32080	PALMER JANET S TR 6150 N SCOTTSDALE RD 34 SCOTTSDALE AZ 85253	ROBERT SARVER TRUST 5710 N YUCCA RD PARADISE VALLEY AZ 85253	RODIN RICHARD S/ELLEN S 5610 WISCONSIN AVE UNIT 806 CHEVY CHASE MD 20815	ROGERS DAVID J/CAROLYN M TR 2745 HIGHLAND TRR SHEBOYGAN WI 53083
PARADISE VALLEY WATER CO 2355 W PINNACLE PEAK RD STE 300 PHOENIX AZ 85027	PARADISE VILLAGE ENTERPRISES LLC 6818 E VALLEY VISTA LN PARADISE VALLEY AZ 85253	PARFET WILLIAM M/GENE V/MARK E 6701 N SCOTTSDALE RD UNIT 41 SCOTTSDALE AZ 85253	ROSS GENO G 6806 E HAPPY VISTA LN PARADISE VALLEY AZ 85253	RUTTLE CURT J/MARIA D H TR 6316 N QUAIL RUN RD PARADISE VALLEY AZ 85253	SANCHEZ JAIME & ASELA M DE 6823 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
PATEL PRATAP P/KATIE P 284 ASHAROKEN AVE NORTHPORT NY 11768	PEGGY KEALEY OUSLEY TRUST 6166 N SCOTTSDALE RD UNIT 3008 SCOTTSDALE AZ 85253	PETER BLACK LIVING TRUST 6166 N SCOTTSDALE RD UNIT A1003 PARADISE VALLEY AZ 85253-5429	SANDRALOU HATKOFF REVOCABLE TRUST 7320 E CLAREMONT SCOTTSDALE AZ 85253	SANDS RESIDENTIAL LLC 8605 SANTA MONICA BLVD SUITE 7838 LOS ANGELES CA 90069	SANFORD ED R/ BROTMAN JUDITH ANN 6166 N SCOTTSDALE RD UNIT A2008 SCOTTSDALE AZ 85253
PFITZER KARL F/VICKIE RAE 6808 E VALLEY VISTA LN PARADISE VALLEY AZ 85253	PLONE BARBARA A 100 LAKESHORE DR APT 551 NORTH PALM BEACH FL 33408	PNEUM INVESTMENTS LLC 6619 N SCOTTSDALE RD SCOTTSDALE AZ 85250	SANTELER RAYMOND III/GAIL 6166 N SCOTTSDALE RD UNIT C2002 BLDG C SCOTTSDALE AZ 85253-5439	SAVAGE FAMILY PARTNERSHIP LTD/SAVAGE JACK W 4037 COTSWALD CT DALLAS TX 75220	SCHIFFMAN FAMILY TRUST 7316 E SIERRA VISTA DR SCOTTSDALE AZ 85250
PRENTICE TAMALEE G 7314 E MALCOMB DR NO 3 SCOTTSDALE AZ 85260	PV HOTEL VENTURE SPE LLC 2929 ARCH ST PHILADELPHIA PA 19104	PV SCOTTSDALE HOTEL OWNER SPE LLC 2929 ARCH ST PHILADELPHIA PA 19104	SCHROECKENSTEIN DAVID C/CHRISTINE H 5000 FRANCE AVE SOUTH UNIT 26 EDINA MN 55410	SCOTT THOMAS E/JUNE L (LEASE) 7314 E MARLETTE AVE SCOTTSDALE AZ 85250	SCOTT WRIGHT SMITH REVOCABLE TRUST 6810 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
RANDALL E BROWN AND ELIZABETH D BROWN JOINT REVOCABLE TRUST 38167 WEST DR UNIT 719 REHOBOTH BEACH DE 19971-1773	RANDOLPH SCOTT MAHONEY LIVING TRUST 6166 N SCOTTSDALE RD UNIT B3008 SCOTTSDALE AZ 85253	RANUCCI ROBERT J 6701 N SCOTTSDALE RD 39 SCOTTSDALE AZ 85250	SCOTTSDALE CITY OF 7447 E INDIAN SCHOOL RD STE 205 SCOTTSDALE AZ 85251	SCOTTSDALE SPECTRUM LLC 6730 N SCOTTSDALE RD SCOTTSDALE AZ 85253	SCRIBNER FAMILY TRUST 6166 N SCOTTSDALE RD UNIT A3002 PARADISE VALLEY AZ 85253-5431
RASMUSSEN LIVING TRUST 6102 N QUAIL RUN RD SCOTTSDALE AZ 85253	RED HILTON VILLAGE LLC (LEASE) ONE E WASHINGTON ST STE 300 PHOENIX AZ 85004	REED BRADFORD CUTLER LIVING TRUST 7349 N VIA PASEO DEL SUR STE 515 SCOTTSDALE AZ 85258	SHARPLES COLIN POUNSELY MILL BARN EAST SUSSEX ENGLAND TN22 5HP	SHELDON HEIDI 6701 N SCOTTSDALE RD UNIT 7 SCOTTSDALE AZ 85250	SHRIMPLIN MALCOLM R 6130 N SCOTTSDALE RD STE 15 SCOTTSDALE AZ 85250



REVISED FEBRUARY 12TH, 2019

SMOKE TREE RESORT 76

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

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CREATIVE DESIGNS
IN LIGHTING



SMF REVOCABLE TRUST 6701 N SCOTTSDALE RD NO 40 SCOTTSDALE AZ 85250	SMITH LIVING TRUST 7322 E SIERRA VISTA DR SCOTTSDALE AZ 85250	SNOWDEN JAMES PATRICK 8514 E SAN BRUNO DR SCOTTSDALE AZ 85258	WILSON LIVING TRUST 6166 N SCOTTSDALE RD UNIT A1001 SCOTTSDALE AZ 85253	WITHERS ROBERT E/PEGGY P 6166 N SCOTTSDALE RD UNIT A1005 SCOTTSDALE AZ 85253	WOLFF JUDITH JOY TR 6701 N SCOTTSDALE RD NO 37 SCOTTSDALE AZ 85250
SOLE AND SEPARATE LLC/ETAL 6809 E VALLEY VISTA LN PARADISE VALLEY AZ 85253	SPIGNER BRUCE A/GENEVA MARIE 6748 E HORSESHOE LN PARADISE VALLEY AZ 85253	ST BARNABAS OF THE DESERT 6715 N MOCKINGBIRD LN SCOTTSDALE AZ 85253	WOOKEY BRENT A/CHRISTIE L 1617 12TH AVENUE WATERTOWN SD 57201	WOOLDRIK JOHN G/CAROLE 6166 N SCOTTSDALE RD UNIT C4005 SCOTTSDALE AZ 85253	WUNDERLICH LOUIS J/FRANCES L TR 6816 E VALLEY VISTA LN PARADISE VLY AZ 85253
STEVEN E SIVERSON AND MICHELE SIVERSON TRUST 9600 N 96TH ST APT 208 SCOTTSDALE AZ 85258	SUD ROHIT/PRITI 6835 E SOLCITO LN PARADISE VALLEY AZ 85253	SUNCHASE CENTURY LLC 5665 N SCOTTSDALE RD STE 135 SCOTTSDALE AZ 85250	YAMASHIRO DANIEL/KRISTINE 6812 E VALLEY VISTA LN PARADISE VALLEY AZ 85253	YEUNG CHRISTOPHER/HELEN 6845 E SOLCITO LN PARADISE VALLEY AZ 85253	ZAIS FAMILY TRUST 6252 N 73RD ST SCOTTSDALE AZ 85250
SUNCHASE HOLDINGS INC 5665 N SCOTTSDALE RD STE 135 SCOTTSDALE AZ 85250	SUSAN MOORE SALTER SEPARATE PROPERTY TRUST 7328 E SIERRA VISTA DR SCOTTSDALE AZ 85250	SYLVIA L SHINE REVOCABLE TRUST PO BOX 737 SPENCER IA 51301	ZOE THAIS 7904 E CHAPARRAL RD STE A110-259 SCOTTSDALE AZ 85250		
THIRD AVENUE INVESTMENTS LLC 51 S MAIN ST SALT LAKE CITY UT 84111	THOMAS CRAMSIE TRUST/CRAMSIE JANICE E 6166 N SCOTTSDALE RD UNIT C3006 SCOTTSDALE AZ 85253	THOMAS H KENNEDY AND DIANNE M KENNEDY TRUST 7327 E SIERRA VISTA DR SCOTTSDALE AZ 85250			
TIOA MASTER LIMITED PARTNERSHIP LEASE 6333 W SCOTTSDALE RD SCOTTSDALE AZ 85250	TOOFAN MARC P/KERIC NATASHA 6802 E VALLEY VISTA LN PARADISE VALLEY AZ 85253	VAN BERKEL FAMILY REVOCABLE TRUST 6166 N SCOTTSDALE RD UNIT B4001 SCOTTSDALE AZ 85253			
VANMOORLEHEM CHAD 7313 E CLAREMONT ST SCOTTSDALE AZ 85250	VERMA AVTAR C/SATYA P PO BOX 28330 TEMPE AZ 85285	VICTOR C FARRACI TRUST/DIANNE C FARRACI TRUST 6166 N SCOTTSDALE RD UNIT B3004 SCOTTSDALE AZ 85253			
VIKKI L RASKIN REVOCABLE TRUST 6166 N SCOTTSDALE RD UNIT B3005 SCOTTSDALE AZ 85253	W J SMALL GRANDCHILDRENS TRUST/ETAL 14100 N 83RD AVE STE 200 PEORIA AZ 85381	WALKER ANDREW J/ELIZABETH A 6150 N SCOTTSDALE RD 49 PARADISE VALLEY AZ 85253			
WARREN F AND NANCY J BRYANT TRUST 6846 E SOLCITO LN PARADISE VALLEY AZ 85253	WEBER WINSTON D/PHYLLIS D TR 16140 KENNEDY RD LOS GATOS CA 95032	WEISSBLUTH JOY 6264 N 73RD ST SCOTTSDALE AZ 85250			
WERNER HENRY H/SARA M 7302 E ROSE LN SCOTTSDALE AZ 85250	WEST ROBIN J 6701 N SCOTTSDALE RD NO 8 SCOTTSDALE AZ 85250	WILLIAM C WEESE TRUST 6166 N SCOTTSDALE RD UNIT B1002 SCOTTSDALE AZ 85253			



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SMOKE TREE RESORT 77

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
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EXISTING SITE IMAGE



NOT TO SCALE



GREEY|PICKETT

BEUS
GILBERT



CREATIVE DESIGNS
IN LIGHTING



EXHIBIT

the smoke tree resort

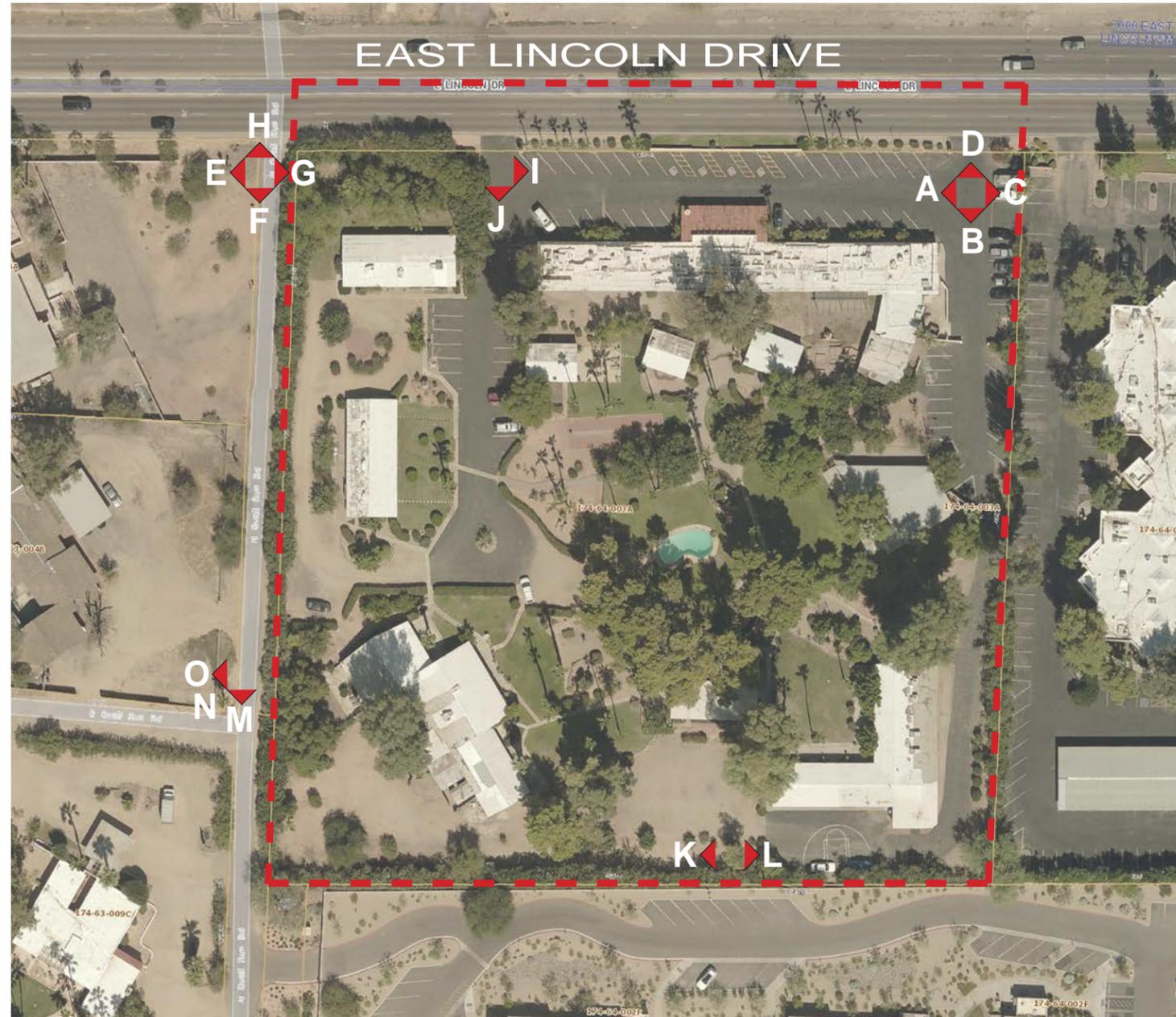
7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

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EXISTING SITE AERIAL - KEY MAP



0' 40' 80' 160'



EXHIBIT

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EXISTING SITE PHOTOS



PHX
ARCHITECTURE

GREEY|PICKETT
BEUS
GILBERT


CREATIVE DESIGNS
IN LIGHTING


CVL
CONSULTANTS



    GREEY|PICKETT

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SMOKE TREE RESORT 80

EXHIBIT

the smoke tree resort

7101 E LINCOLN DR, PARADISE VALLEY, AZ 85253
SPECIAL USE PERMIT | MAJOR AMENDMENT APPLICATION

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EXISTING SITE PHOTOS



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I



J

PHX
ARCHITECTURE

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BEUS
GILBERT

CREATIVE DESIGNS
IN LIGHTING

CVL
CONSULTANTS

GREEY|PICKETT

the smoke  tree resort



GREEY|PICKETT

