

Lot 26-30 Stone Canyon History (LS-25-03)

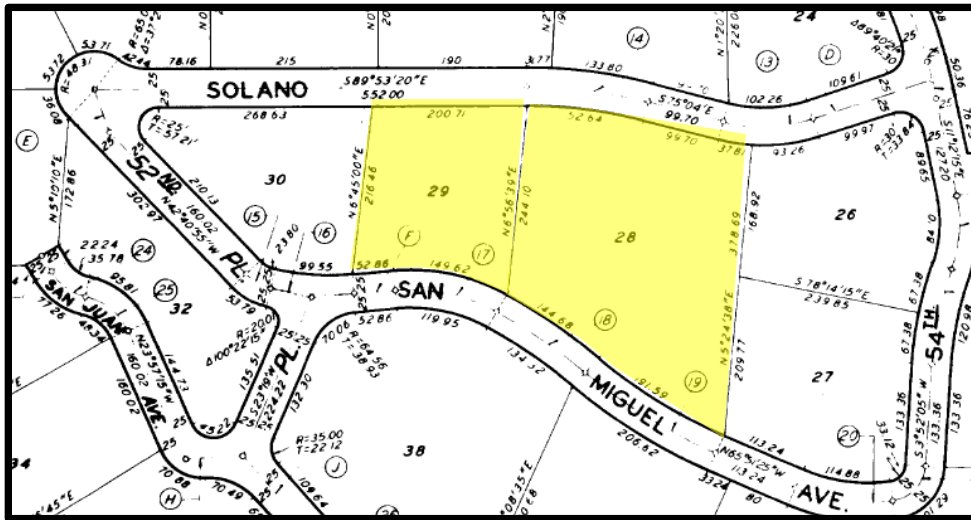


Figure 1 (1955 Plat)

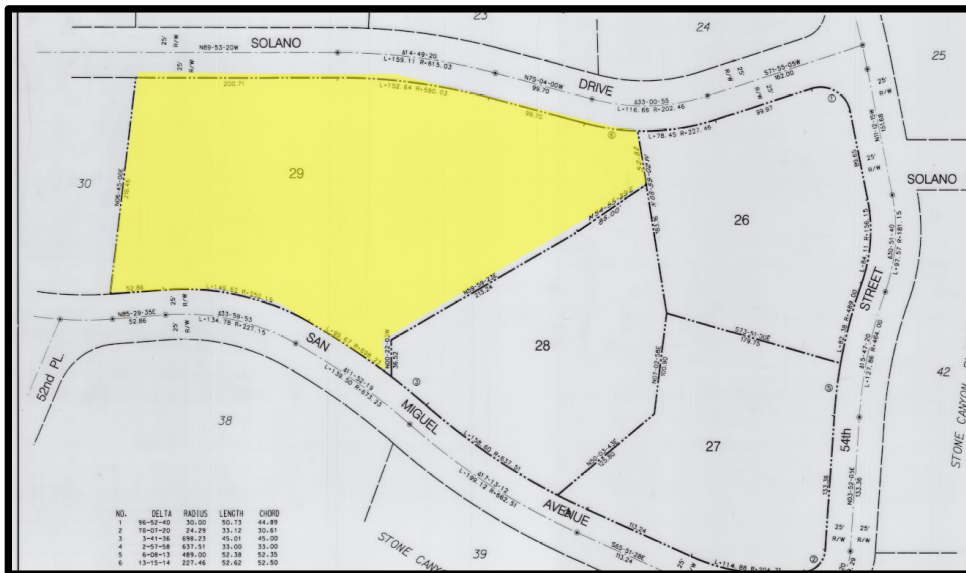


Figure 2 (1994 Replat)

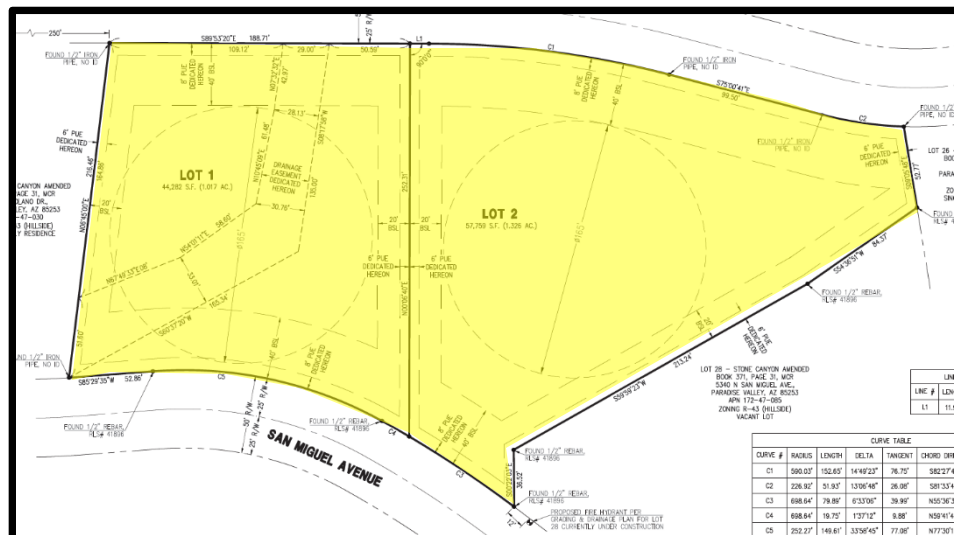


Figure 3 (2025 Lot Split)

Lot 26-30 Stone Canyon History (LS-25-03)



Figure 4 (1959 Aerial)



Figure 5 (1996 Aerial))



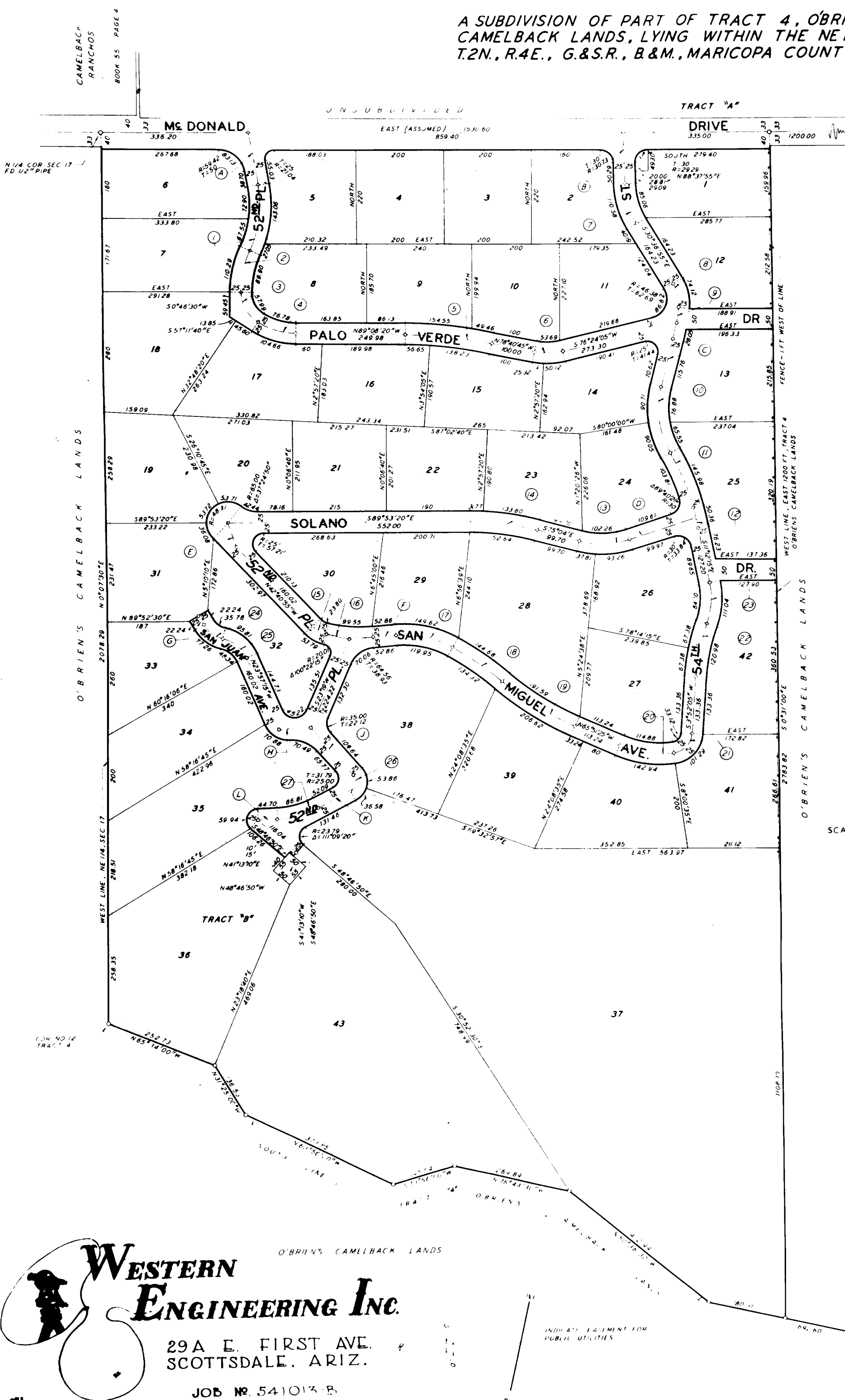
Figure 6 (2024 Aerial)

STONE CANYON

A SUBDIVISION OF PART OF TRACT 4, O'BRIEN'S CAMELBACK LANDS, LYING WITHIN THE NE 1/4, SEC. 17, T.2N., R.4E., G.&S.R., B.&M., MARICOPA COUNTY, ARIZONA.

95472

STATE OF ARIZONA
County of Maricopa
I hereby certify that the within instrument was filed and recorded as required of PUBLIC TITLE AND TRUST CO.
MAR 2 1955 9:00 AM
on page 41
Witness my hand and official seal this day and year attached
HUGER G. LAWREN
County Recorder
Deputy Recorder



DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That the Phoenix Title and Trust Company, an Arizona Corporation, Trustee, has subdivided under the name of, STONE CANYON, all of Tract 4, O'Brien's Camelback Lands, a subdivision recorded in Book 18 of Maps at Page 36 thereof, Maricopa County records, lying within the NE 1/4, Sec. 17, T.2N., R.4E., G.&S.R., B.&M., Maricopa County, Arizona, except the East 1200 feet thereof, and hereby publishes this plat as and for the plat of said STONE CANYON, and hereby declares that said plat sets forth the location and gives the dimensions of the lots, tracts and streets, constituting same, and that each lot, tract and street shall be known by the number letter or name given each respectively on said plat, and hereby dedicates to the public for use as such, the streets as shown on said plat and included in the above described premises. Easements are dedicated for the purposes shown.

IN WITNESS WHEREOF the Phoenix Title and Trust Company, as Trustee, has hereunto caused its corporate name to be signed and its corporate seal to be affixed and the same to be attested by the signatures of L.J. Taylor, its Vice President, and J.S. Hull, its Assistant Secretary, hereunto duly authorized.

PHOENIX TITLE AND TRUST COMPANY, TRUSTEE

By L.J. Taylor VICE PRESIDENT ATTEST: J.S. Hull ASSISTANT SECRETARY

ACKNOWLEDGEMENT

STATE OF ARIZONA
COUNTY OF MARICOPA
On this, the 23rd day of, MARCH, 1955, before me, the undersigned officer, personally appeared L.J. Taylor and J.S. Hull, who acknowledged themselves to be Vice President and Assistant Secretary, respectively, of the Phoenix Title and Trust Company, a corporation, and acknowledged that they, as such officers, respectively, being authorized to do so, executed the foregoing instrument for the purpose therein contained by signing the name of the corporation, as Trustee, by themselves, as such officers, respectively.

IN WITNESS WHEREOF I hereunto set my hand and official seal.

My Commission expires April 2, 1956 DATE
Allen Warr
NOTARY PUBLIC

APPROVAL

Approved by the Planning and Zoning Commission of Maricopa County, Arizona, this 23rd day of MARCH, 1955.

By George R. Rhine
VICE CHAIRMAN

CERTIFICATE

This is to certify that the survey and subdivision of the premises described and plotted hereon were made under direction during the month of February, 1955.

Paulsen
REGISTERED LAND SURVEYOR

CENTER LINES OF ROADWAYS

CURVES			
KEY	RADIUS	TANGENT	Δ
1	261.79	80.00	13°32'55"
2	245.44	50.75	13°21'55"
3	82.32	45.60	7°58'00"
4	102.7	46.5	1°56'40"
5	102.25	100.00	10°27'35"
6	148.45	32.80	14°55'10"
7	191.3	50.00	20°4'50"
8	89.07	30.00	17°1'40"
9	569.19	37.15	1°35'10"
10	210.80	85.06	4°55'35"
11	522.7	70.67	15°17'15"
12	868.85	14.48	3°13'40"
13	200.46	80.00	33°00'55"
14	815.03	80.00	14°48'20"
15	64.67	20.00	34°22'20"
16	35.8	54.00	17°27'10"
17	227.15	64.44	33°59'50"
18	673.23	70.00	11°52'20"
19	662.51	100.31	17°13'10"
20	224.71	66.20	32°08'10"
21	49.29	40.00	78°07'20"
22	464.00	64.34	15°47'20"
23	181.15	50.00	30°51'40"
24	68.12	30.00	47°32'15"
25	75.91	39.01	54°24'00"
26	25.00	31.79	103°38'30"
27	214.79	50.00	26°12'30"

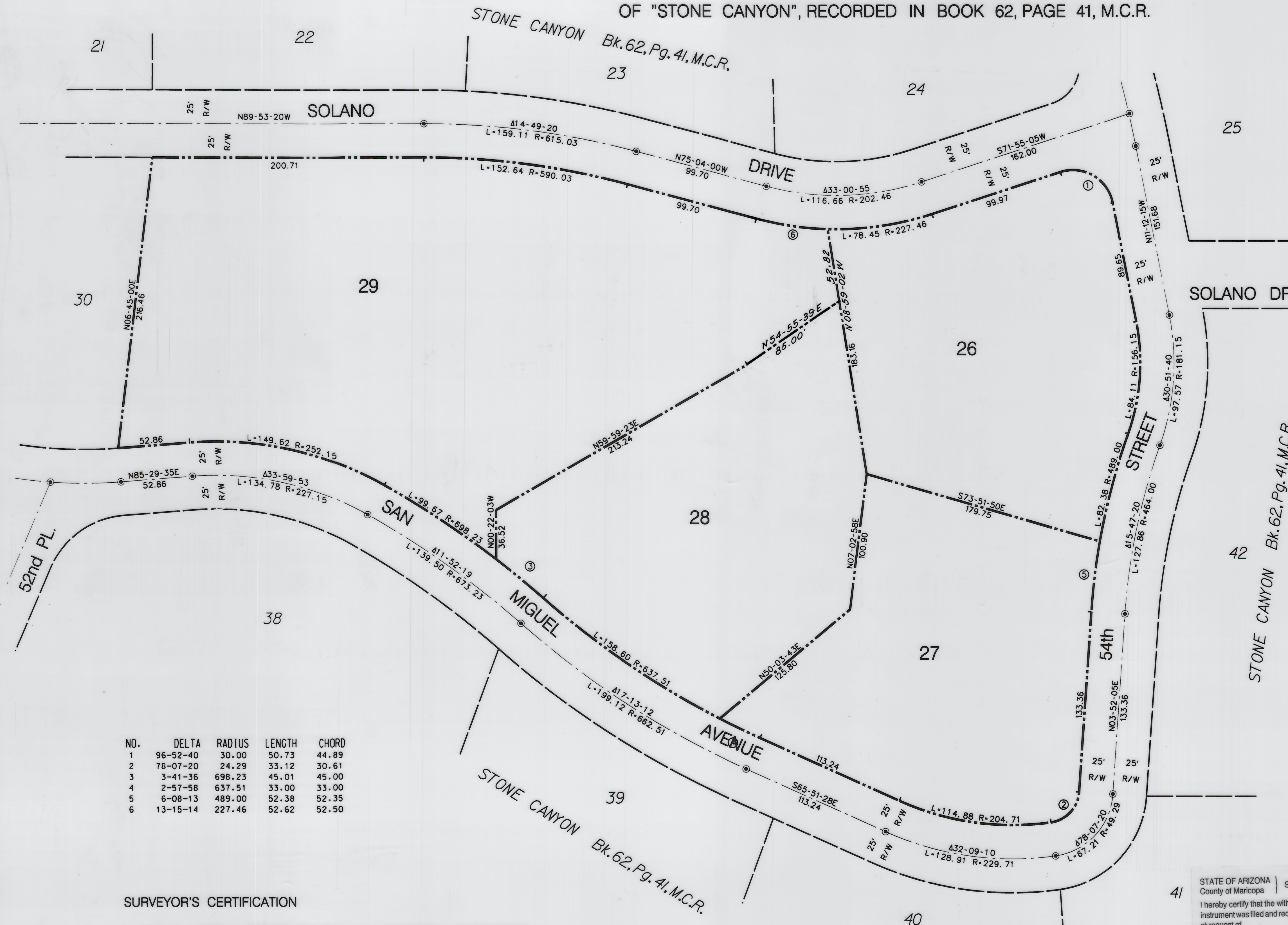
TANGENTS	
KEY	DISTANCE
A	124.96
B	119.70
C	115.78
D	162.00
E	53.30
F	52.86
G	22.24
H	73.25
J	147.56
K	83.88
L	44.70

WESTERN ENGINEERING INC.
29A E. FIRST AVE.
SCOTTSDALE, ARIZ.
JOB NO. 541013-B

62-41

FINAL PLAT FOR STONE CANYON AMENDED

A RESUBDIVISION OF LOTS 26 THROUGH 29
OF "STONE CANYON", RECORDED IN BOOK 62, PAGE 41, M.C.R.

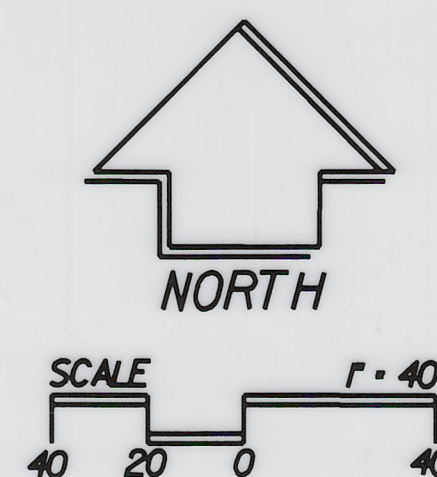
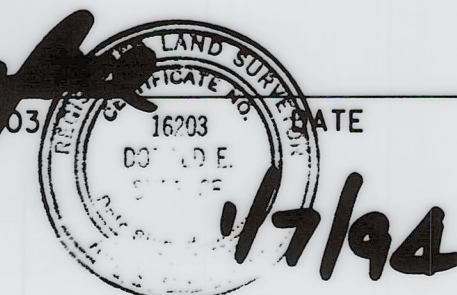


NO.	DELTA	RADIUS	LENGTH	CHORD
1	96-52-40	30.00	50.73	44.89
2	78-07-20	24.29	33.12	30.61
3	3-41-36	698.23	45.01	45.00
4	2-57-58	637.51	33.00	33.00
5	6-08-13	489.00	52.38	52.35
6	13-15-14	227.46	52.62	52.50

SURVEYOR'S CERTIFICATION

I, DONALD E. SURFACE, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA; THAT THIS PLAT CONSISTING OF 1 SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF DECEMBER, 1993; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT ALL MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DONALD E. SURFACE, R.L.S. REG. #1603



DEDICATION

STATE OF ARIZONA S.S.
COUNTY OF MARICOPA

KNOW ALL MEN BY THESE PRESENTS:

THAT THOMAS M. JORISHIE, AS OWNER, HEREBY RESUBDIVIDES UNDER THE NAME OF "STONE CANYON AMENDED", LOTS 26, 27, 28 AND 29 OF "STONE CANYON", A SUBDIVISION RECORDED IN BOOK 62, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN SECTION 17, TOWNSHIP 2 NORTH, RANGE 4 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF SAID "STONE CANYON AMENDED" AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS, AND GIVES THE DIMENSIONS OF THE LOTS CONSTITUTING SAME, AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER GIVEN TO EACH RESPECTIVELY ON SAID PLAT.

IN WITNESS WHEREOF:

THOMAS M. JORISHIE, AS OWNER, HAS HEREUNTO CAUSED HIS NAME TO BE HEREUNTO DULY SIGNED AND ATTESTED THIS 11 DAY OF JANUARY, 1994.

THOMAS M. JORISHIE

Thomas M. Jorishie
OWNER

ACKNOWLEDGMENTS

STATE OF ARIZONA S.S.
COUNTY OF MARICOPA

ON THIS, THE 11 DAY OF JANUARY, 1994, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED Thomas M. Jorishie WHO ACKNOWLEDGED HIMSELF TO BE OWNER, AND AS SUCH, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING HIS NAME.

IN WITNESS WHEREOF: I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

M. J. Jorishie
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10-26-94

APPROVALS

APPROVED BY THE TOWN 11-11-94 OF THE TOWN OF PARADISE VALLEY, ARIZONA, THIS 11 DAY OF JANUARY, 1994.

Joseph Horner (Vice-Mayor)
MAYOR

Lenore Lancaster
CLERK

CERTIFICATE OF ASSURED WATER SUPPLY

THIS IS TO CERTIFY THAT THE AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER SERVICE AREA OF THE CITY OF PHOENIX, WHICH IS DESIGNATED AS HAVING AND ASSURED WATER SUPPLY IN ACCORDANCE WITH A.R.S. 45-576.

William C. Mead *Richard L. Andrews* January 18, 1994
CITY ENGINEER DATE

NOTE

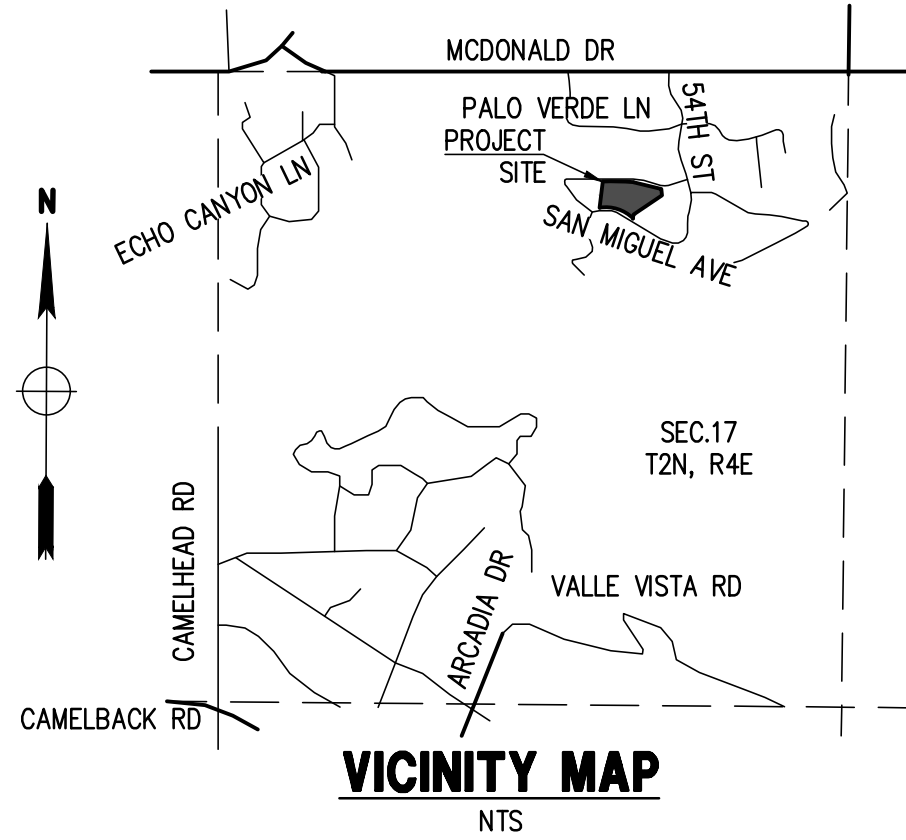
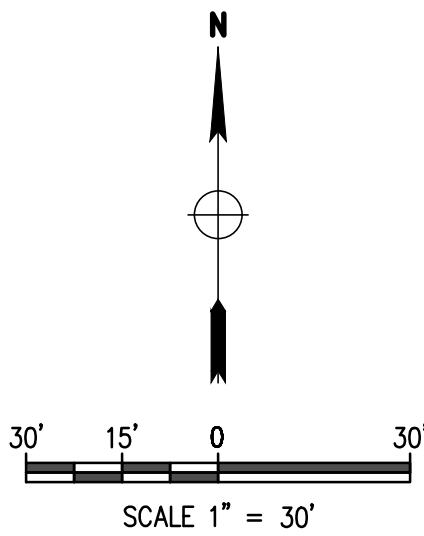
1. ALL NEW UTILITIES WITHIN OR CONTIGUOUS TO THIS SITE SHALL BE PLACED UNDERGROUND UNLESS A WAIVER OR DEFERMENT OF UTILITY UNDERGROUNDING IS APPROVED BY THE CITY ENGINEER. WAIVER OR DEFERMENT OF UNDERGROUNDING MUST BE ACTED UPON BY THE CITY ENGINEER PRIOR TO APPROVAL OF CONSTRUCTION DOCUMENTS OR IMPROVEMENT PLANS.

STATE OF ARIZONA
County of Maricopa } SS
I

STONE CANYON AMENDED II

A LOT SPLIT OF LOT 29 - STONE CANYON AMENDED

A SUBDIVISION PLAT RECORDED IN BOOK 249 OF MAPS, PAGE 35, MCR.,
LOCATED IN A PORTION OF THE S 1/2 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



GENERAL NOTES

- THIS IS NOT AN ALTA/ACSM TITLE SURVEY.
- NO CC&R'S ARE CREATED WITH THIS MAP.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, OWNERSHIP INFORMATION, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN WARRANTY DEED RECORDED IN DOC. NO. 2021-0499412, M.C.R. & PLAT REC. IN BK. 371, PG. 31, M.C.R.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ARE MEASURED.
- THE EXISTING STRUCTURES ON THE LOT WILL BE DEMOLISHED. THE TOWN WILL NOT RECORD A PLAT UNTIL A DEMO PERMIT IS APPLIED, ISSUED, AND FINALIZED.
- ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY WILL BE LANDSCAPED IN ACCORDANCE WITH SECTION 5-10-7.D OF THE TOWN CODE AND THE TOWN LANDSCAPE GUIDELINES.

STIPULATIONS

- EXISTING RETAINING WALLS ALONG SOLANO DRIVE WITHIN TOWN RIGHT OF WAY SHALL BE REMOVED ENTIRELY PRIOR TO ANY CERTIFICATES OF OCCUPANCY BEING ISSUED FOR EACH LOT RESPECTIVELY.

LOT 1 - MEETS & BOUNDS LEGAL DESCRIPTION

THAT PORTION OF LOT 29, STONE CANYON AMENDED, ACCORDING TO THE PLAT OF RECORD IN BOOK 371 OF MAPS, PAGE 31, MARICOPA COUNTY RECORDER, BEING LOCATED IN THE NE 1/4 OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA.

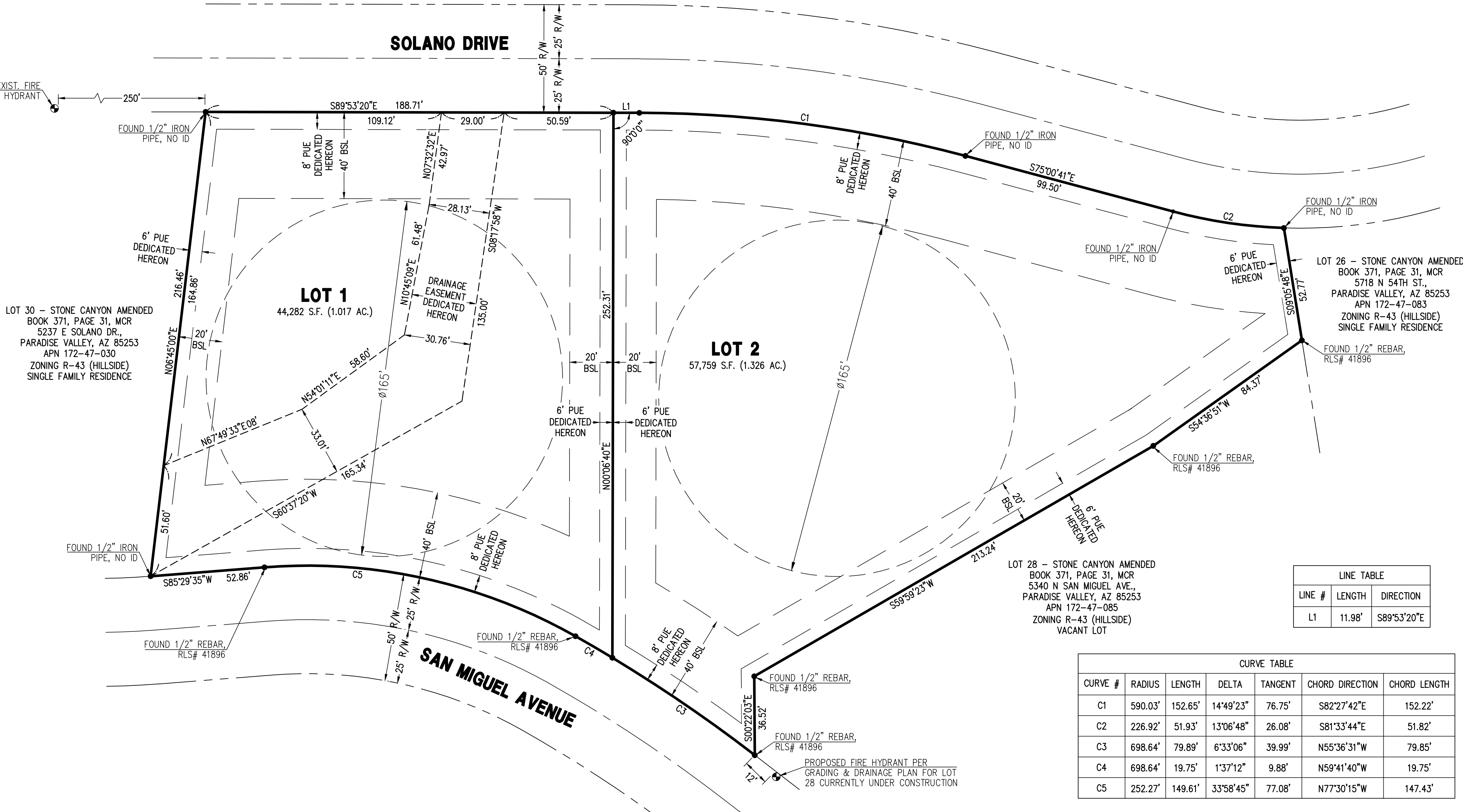
BEGINNING AT THE NORTHWESTERLY PROPERTY CORNER OF SAID LOT 29;
THENCE LEAVING SAID PROPERTY CORNER, CONTINUING ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SOLANO DRIVE, SOUTH 89°53'20" EAST, A DISTANCE OF 188.71 FEET;
THENCE LEAVING SAID LINE, SOUTH 00°06'40" WEST, A DISTANCE OF 252.31 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY CURVE OF SAN MIGUEL AVENUE;
THENCE CONTINUING ALONG SAID LINE, BEING A NON TANGENT CURVE TO LEFT, HAVING A RADIUS OF 698.64 FEET, A CENTRAL ANGLE OF 01°37'12", A TANGENT OF 9.88, A CHORD THAT BEARS NORTH 59°41'40" WEST, A DISTANCE OF 19.75 FEET, FOR AN ARC LENGTH OF 19.75 FEET;
THENCE CONTINUING ALONG SAID CURVE, BEING A COMPOUND CURVE TO LEFT, HAVING A RADIUS OF 252.27 FEET, A CENTRAL ANGLE OF 33°58'45", A TANGENT OF 77.08, A CHORD THAT BEARS NORTH 77°30'15" WEST, A DISTANCE OF 147.43 FEET, FOR AN ARC LENGTH OF 149.61 FEET;
THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTH 85°29'35" WEST, A DISTANCE OF 52.86 FEET;
THENCE LEAVING SAID RIGHT OF WAY LINE, NORTH 06°45'00" EAST, A DISTANCE OF 216.46 FEET, TO THE **THE POINT OF BEGINNING**;

LEGEND

- FOUND REBAR OR AS NOTED
- — — — — PROPERTY LINE
- - - - - ADJACENT LOT PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - MONUMENT LINE

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- (C) CALCULATED
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- W WEST, WATERLINE



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	11.98'	S89°53'20"E

CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	590.03'	152.65'	14°49'23"	76.75'	S82°27'42"E	152.22'
C2	226.92'	51.93'	13°06'48"	26.08'	S81°33'44"E	51.82'
C3	698.64'	79.89'	6°33'06"	39.99'	N55°36'31"W	79.85'
C4	698.64'	19.75'	1°37'12"	9.88'	N59°41'40"W	19.75'
C5	252.27'	149.61'	33°58'45"	77.08'	N77°30'15"W	147.43'

DEDICATION

STATE OF ARIZONA

COUNTY OF MARICOPA

KNOW ALL MEN BY THESE PRESENTS:

KATE HOGAN AND JOSEPH HOGAN, AS LEGAL OWNERS OF SAID REAL PROPERTY, HAS SUBDIVIDED LOT 29 - STONE CANYON AMENDED, A SUBDIVISION PLAT RECORDED IN BOOK 249 OF MAPS, PAGE 35, MARICOPA COUNTY RECORDS, LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA UNDER THE NAME OF "STONE CANYON AMENDED II", AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS LOT SPLIT AND HEREBY DECLARES THAT THIS LOT SPLIT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS PLAT.

IN WITNESS WHEREOF:

KATE HOGAN, AS OWNER, HAS HEREUNTO AFFIXED HIS SIGNATURE THIS _____ DAY OF _____, 2025.

JOSEPH HOGAN, AS OWNER, HAS HEREUNTO AFFIXED HIS SIGNATURE THIS _____ DAY OF _____, 2025.

ACKNOWLEDGEMENT

STATE OF ARIZONA

COUNTY OF MARICOPA

ON THIS _____ OF _____, 2025, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES _____, 20____

APPROVALS

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA THIS _____ DAY OF _____, 2025.

BY: _____ ATTEST: _____
MAYOR TOWN CLERK
BY: _____
TOWN ENGINEER PLANNING DIRECTOR

OWNER

KATE & JOSEPH HOGAN
5338 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

PARENT SITE DATA

APN: 172-47-086
ADDRESS: 5338 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 102,041 S.F. (2.342 AC.)
QS #: 20-40

AREAS

LOT 1: 44,282 S.F. (1.017 AC.)
LOT 2: 57,759 S.F. (1.326 AC.)

PARENT LEGAL DESCRIPTION

LOT 29, STONE CANYON AMENDED, ACCORDING TO BOOK 371 OF MAPS, PAGE 31, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT ALL COAL AND OTHER MINERALS, AS RESERVED IN THE PATENT.

BASIS OF BEARINGS

NORTH 06 DEGREES 45 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF LOT 29, STONE CANYON AMENDED, AS RECORDED IN BOOK 371 OF MAPS, PAGE 31, RECORDS OF MARICOPA COUNTY, ARIZONA.

UTILITIES

WATER: EPCOR WATER
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

SURVEY REFERENCES

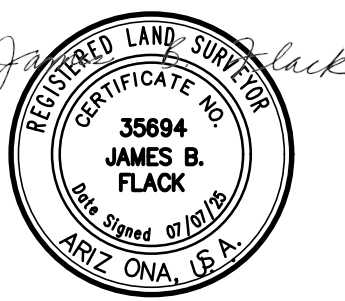
- WARRANTY DEED RECORDED IN DOC. NO. 2021-0499412, M.C.R.
- RECORDED PLAT PER BOOK 371 OF MAPS, PAGE 31, M.C.R.

DRAINAGE EASEMENT RESTRICTIONS

PURSUANT TO A.R.S. §9-463.01 (c), AND ARTICLE 6-3, SECTION 6-3-8 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING STORM, FLOOD, AND OTHER WATERS TO PASS OVER, UNDER OR THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, TO ANY DEGREE, IMPEDE OR OBSTRUCT THE FLOW OF SUCH WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON OR IN SUCH EASEMENTS. THE MAINTENANCE AND CLEARING OF THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF THE OWNER OF THE PROPERTY ON WHICH SAID EASEMENTS ARE PLATTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, MAY, IF THE TOWN DEEMS IT TO BE IN THE BEST INTERESTS OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY SHALL HAVE FREE ACCESS TO AND FROM ALL PORTIONS OF SUCH EASEMENTS AT ALL TIMES.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT (1) THE SURVEY OF THE PREMISES DESCRIBED AND PLATTED HEREIN WERE MADE UNDER MY DIRECTION DURING THE MONTH OF AUGUST, 2021, AND (2) THIS PLAT IS CORRECT AND ACCURATE, AND (3) THE MONUMENT OR MONUMENTS SHOWN HEREIN HAVE BEEN LOCATED AS DESCRIBED.



07/07/25
DATE

LOT 29 - STONE CANYONE
AMENDED
5338 E SAN MIGUEL AVE.,
PARADISE VALLEY
AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXDRAWING.COM

