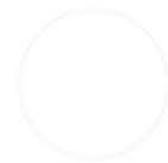
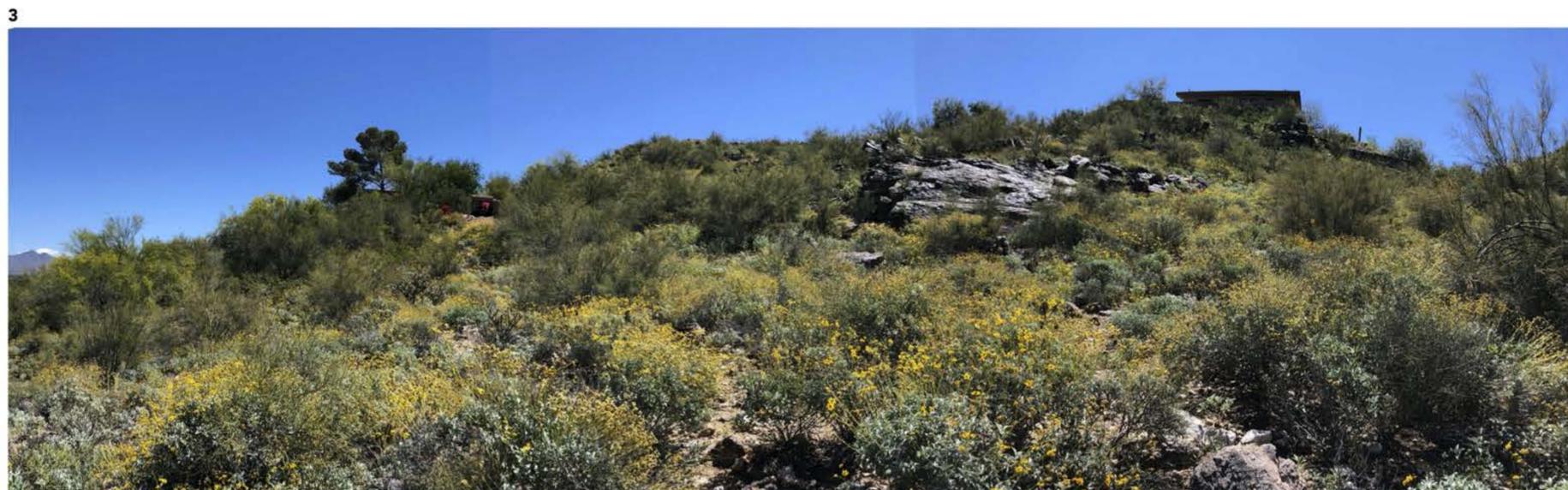


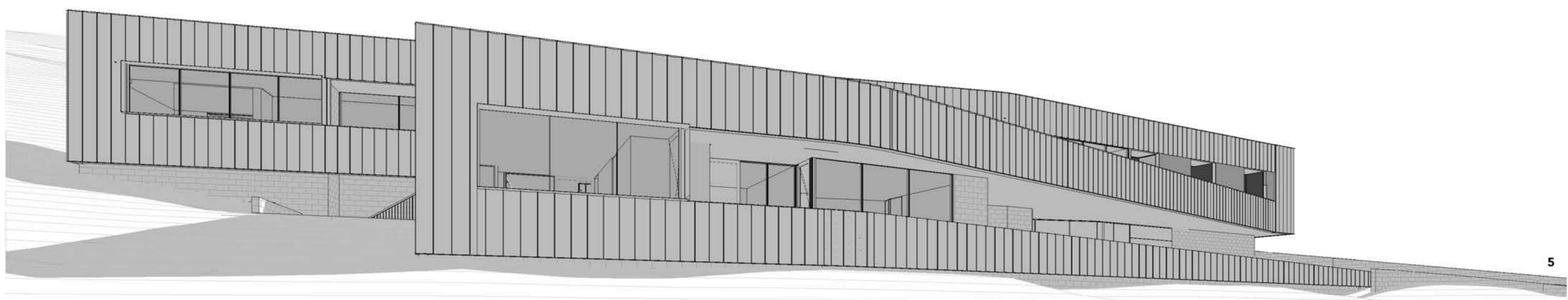
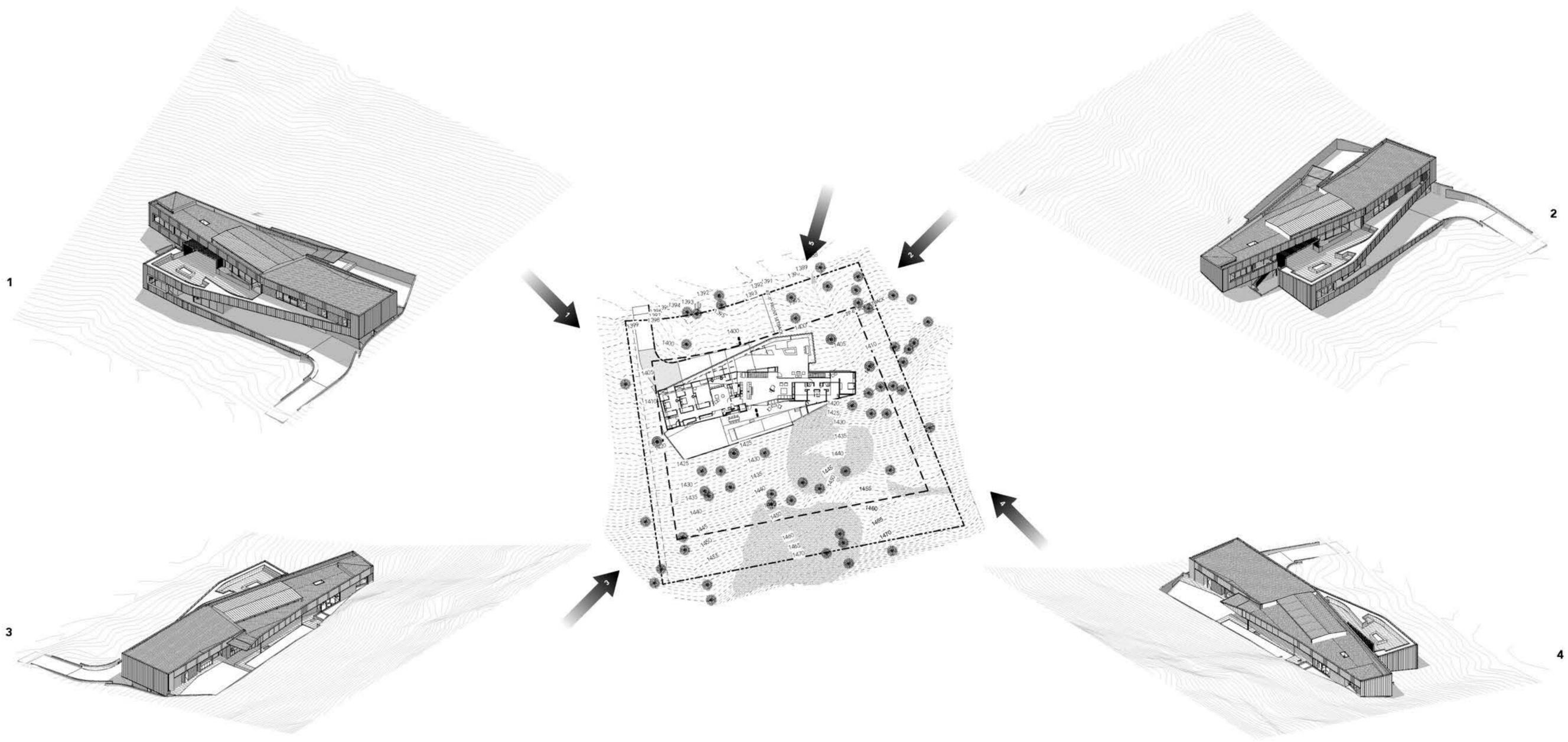
KEY PLAN
NOT TO SCALE



DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
AIR: 17013

SITE PHOTOS

DRAWING TITLE:
50% BID SET
PROJECT PHASE:



EXPIRES 06/30/2025
 DATE: 3/19/24
 SCALE: AS SHOWN
 DRAWN: DP/JP
 JOB: 19
3D MODEL VIEWS

DRAWING TITLE:
 PRE-APP
 PROJECT NUMBER:



DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

AERIAL

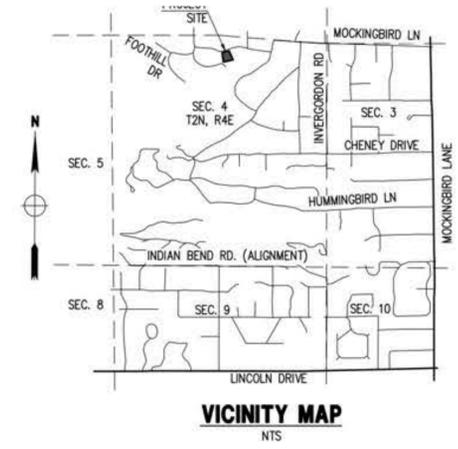
DRAWING TITLE:
PROJECT PHASE: PRE-APP

BOUNDARY & TOPOGRAPHIC SURVEY

6019 E FOOTHILL DR., PARADISE VALLEY, AZ 85253

LOT 65 - MUMMY MOUNTAIN PARK

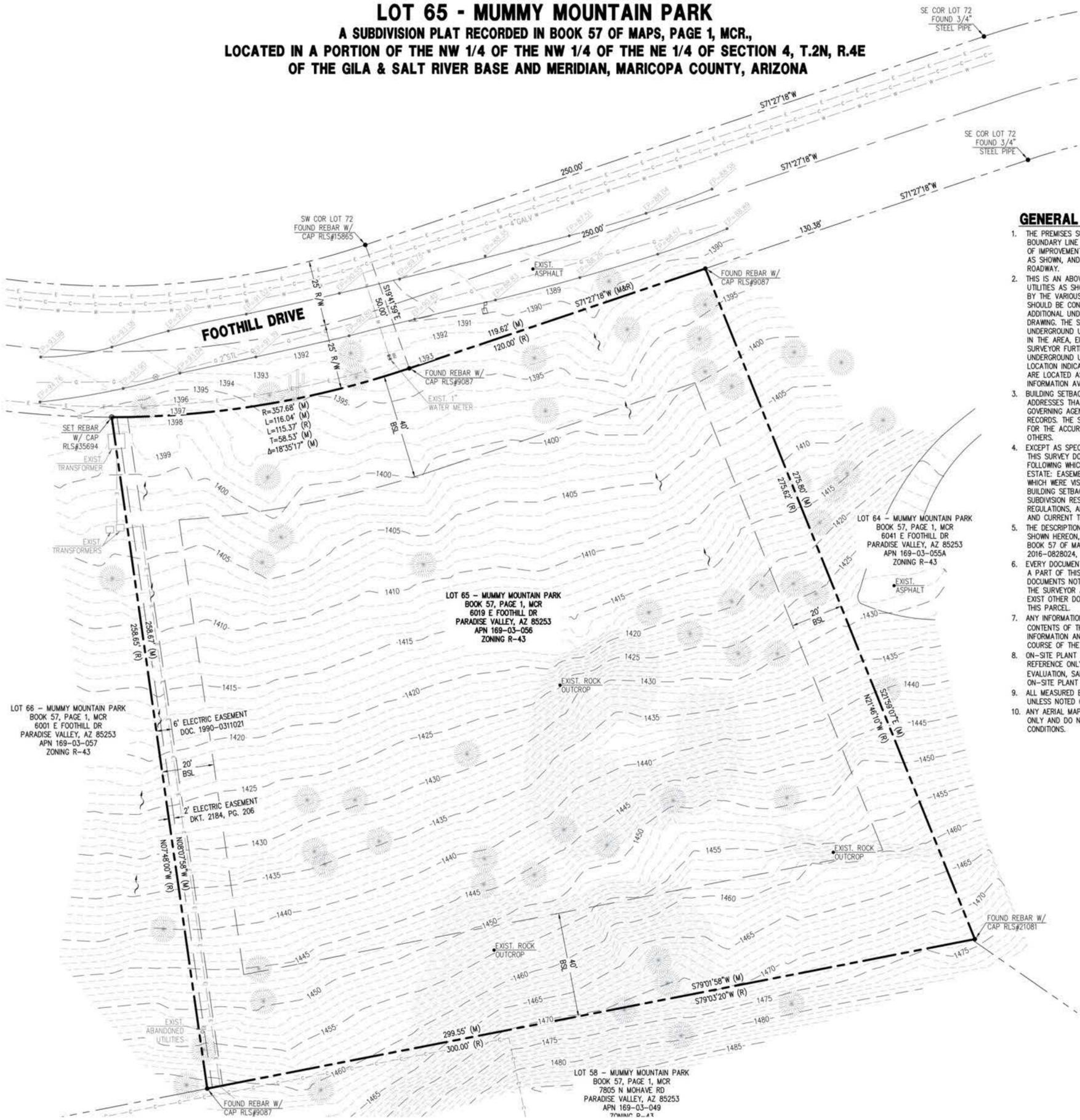
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



DATE:	03/20/17
DESIGNED BY:	NP
DRAWN BY:	DW
CHECKED BY:	JF
SCALE:	1" = 20'
JOB:	1703020
VERSION:	1.1
PLOT DATE:	03/20/17

- ### LEGEND
- SECTION CORNER
 - 1/4 QUARTER
 - SCRIBED "X" IN CONCRETE
 - BRASS CAP IN HANDHOLE
 - BRASS CAP FLUSH
 - FOUND 1" IRON PIPE
 - SET 1/2" REBAR & TAG OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - CABLE TV RISER
 - CATV, PHONE
 - SEWER LINE
 - WATER LINE
 - ELECTRIC LINE
 - COMMUNICATIONS LINE
 - GAS LINE
 - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - PALO VERDE
 - CACTUS

- ### ABBREVIATIONS
- BC BACK OF CURB
 - BSL BUILDING SETBACK LINE
 - C11 CURVE LABEL
 - CL CENTERLINE
 - DE DRAINAGE EASEMENT
 - EG EXISTING GRADE
 - EL ELEVATION
 - EP EDGE OF PAVEMENT
 - ESMT EASEMENT
 - EX, EXIST. EXISTING
 - FG FINISH GRADE
 - FL FLOW LINE
 - FND FOUND
 - G GUTTER, GAS
 - INV INVERT
 - JBE JOINT USE & BENEFIT EASEMENT
 - L11 LINE LABEL
 - M MEASURED
 - MCR MARICOPA COUNTY RECORDER
 - MH MANHOLE
 - P, PVMT PAVEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - (R), REC. RECORDED
 - R RADIUS
 - R/W RIGHT OF WAY
 - T TANGENT, TELEPHONE
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TPV TOWN OF PARADISE VALLEY
 - TRW TOP OF RETAINING WALL
 - W WEST, WATERLINE
 - WDO WALL DRAINAGE OPENING
 - WM WATER METER



GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN BOOK 57 OF MAPS, PAGE 01, AND DEED REC. DOC. 2016-0828024, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

OWNER

NITEEN AND BERNADETTE ANDALKAR
10187 E PEAK CIR
SCOTTSDALE, AZ 85262

SITE DATA

APN: 169-03-056
ADDRESS: 6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 69,227 S.F. (1.589 AC.)

LEGAL DESCRIPTION

LOT 65, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1.
CONTAINING 69,227 S.F. (1.589 AC.); MORE OR LESS.

BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF MOCKINGBIRD LANE AND NORTHERN AVE. HAVING AN ELEVATION OF 1311.035 NAVD 88 DATUM, GDACS# 24506-1

SURVEY REFERENCES

- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SETBACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 01, MCR.
- WARRANTY DEED RECORDED IN DOC. NO. 2016-0828024, M.C.R.

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP # 04013C	PANEL DATE 10/16/2013	ZONE X*	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

CERTIFICATE OF SURVEY

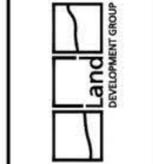
THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF MARCH, 2017.



03/20/17
DATE
JAMES FLACK, RLS

BOUNDARY & TOPOGRAPHIC SURVEY MAP
LOT 65 - MUMMY MOUNTAIN PARK
6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDENGC.COM



TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- REGULATION #1 RULE 203-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITS MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #661 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHSHIP TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

PRELIMINARY GRADING & DRAINAGE PLAN
6019 E FOOTHILL DR., PARADISE VALLEY, AZ 85253

LOT 65 - MUMMY MOUNTAIN PARK
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-5-STAKE-11) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEO/TECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL FLOOR, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICALLY).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42' FALL PROTECTION BARRIER U.N.O.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2012, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
- WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE@ 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
- THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.

LEGEND

- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- CABLE TV RISER
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- GAS LINE
- FENCE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- CACTUS
- PALO VERDE TREE
- ROCK OUTCROPPING
- PROPOSED DISTURBED AREA
- FLOW LINE
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TOP OF RAILING/NON-RET. WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- TOP OF FOOTING
- FINISH GRADE AT BOTTOM OF WALL
- CATCH BASIN
- STORM DRAIN PIPE
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL
- REVEGETATED AREA

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- C CONCRETE, CALCULATED
- TPV TOWN OF PARADISE VALLEY
- DE DRAINAGE EASEMENT
- ESMT EASEMENT
- EXIST. EXISTING
- EG EXISTING GRADE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- FND FOUND
- GUTTER, GAS
- INV INVERT
- MAG MARICOPA ASSOCIATION OF GOVERNMENTS
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R) RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- TG TOP OF GRATE

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW DRIVEWAY, NEW POOL, NEW SITE IMPROVEMENTS WITH ON-SITE RETENTION.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

DISTURBED AREA CALCULATIONS

AREA OF LOT:	69,227 S.F. (1.589 AC.)
TOTAL UNDER ROOF AREA:	15,440 S.F.
FLOOR AREA RATIO: (TOTAL FLOOR AREA/AREA OF LOT)	23.30% < 25%
BUILDING PAD SLOPE:	24%
VERTICAL:	24'
HORIZONTAL:	100'
ALLOWABLE NET DISTURBED AREA:	9,733 S.F. (14.05%)
GROSS EXISTING DISTURBED AREA:	0 S.F.
GROSS PROPOSED DISTURBED AREA:	20,171 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED:	2,093 S.F.
LESS 25% OF PROP. PAVERS D/W (4,081x25 S.F.):	1,020 S.F.
LESS BUILDING FOOTPRINT AREA:	7,671 S.F.
PROPOSED NET DISTURBED AREA:	9,387 S.F. < 9,733 S.F.

EARTHWORK QUANT.

CUT:	2,403 C.Y.
FILL:	219 C.Y.
NET CUT:	2,184 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

UTILITIES

WATER: CITY OF PHOENIX
 SANITARY SEWER: SEPTIC
 ELECTRIC: ARIZONA PUBLIC SERVICE
 TELEPHONE: CENTURY LINK, COX COMM.
 NATURAL GAS: SOUTHWEST GAS
 CABLE TV: CENTURY LINK, COX COMM.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

SHEET INDEX

SHEET C-1	COVER SHEET
SHEET C-2	IMPROVEMENT PLAN
SHEET C-3	CROSS SECTIONS DETAILS

GRADING SPECIFICATIONS

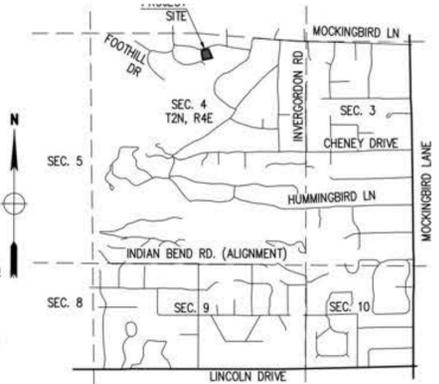
- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
- BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION. MAXIMUM PARTICLE SIZE: 6 INCHES. PERCENT PASSING NO. 4 SIEVE: 35% TO 70%. PERCENT PASSING NO. 200 SIEVE: 25% MAX. PLASTICITY INDEX: 10% MAX.
- CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
- FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
- COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTION STAKING AND/OF FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED AT THE NORTH PROP. CORNER LINE AT ELEVATION OF 1389.63.
- NEW SINGLE FAMILY RESIDENCE, GARAGE, POOL AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED FLOOR PLANS.
- PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
- CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
- ON-SITE RETENTION IS PROVIDED FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.61.6).



VICINITY MAP
NTS

OWNER

NITEEN AND BERNADETTE ANDALKAR
 10187 E PEAK CIR
 SCOTTSDALE, AZ 85262

ARCHITECT

A-I-R, INC
 SCOTTSDALE, AZ 85262
 CONTACT: DARREN PETRUCCI
 P: 480 329 1888

SITE DATA

APN: 169-03-056
 ADDRESS: 6019 E FOOTHILL DR
 PARADISE VALLEY, AZ 85253
 ZONING: R-43
 LOT AREA: 69,227 S.F. (1.589 AC.)
 TOTAL LIVABLE AREA: 8,950 S.F.
 GARAGE AREA: 2,864 S.F.
 COVERED NON LIVABLE AREA: 3,626 S.F.
 TOTAL UNDER ROOF AREA: 15,440 S.F.
 LOT AREA RATIO: 22.30%

LEGAL DESCRIPTION

LOT 65, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1.

BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

UTILITIES

WATER: CITY OF PHOENIX
 SANITARY SEWER: SEPTIC
 ELECTRIC: ARIZONA PUBLIC SERVICE
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	X*
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATION OF THE PROPOSED NEW OFFICE SHOWN ON THE PLAN OF 1404.00 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1403.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nice Pradana
 REGISTERED CIVIL ENGINEER
 DATE: 08/24/20

AS-BUILT CERTIFICATION

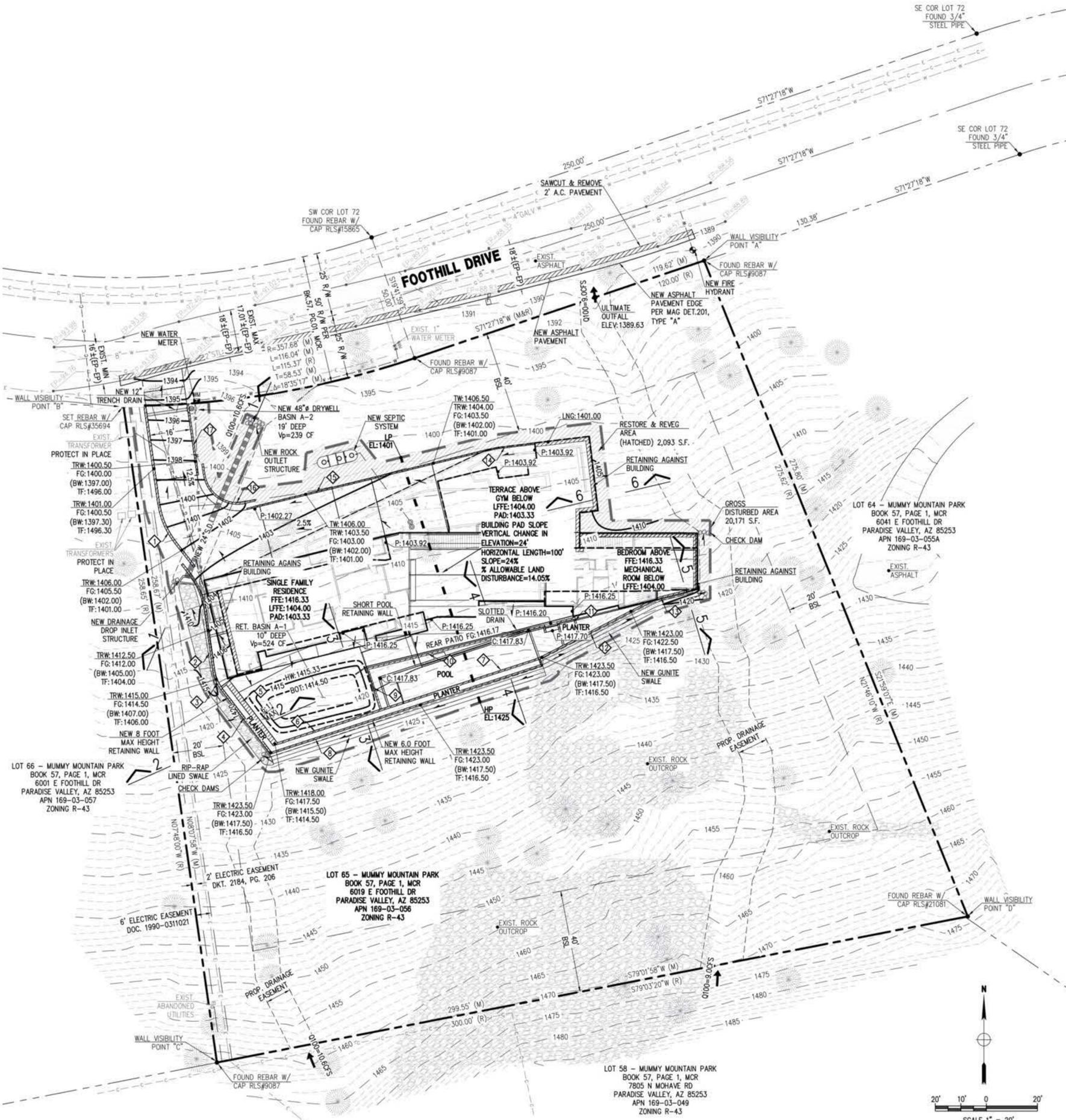
I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR
 DATE
 REGISTRATION NUMBER

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
 TOWN OF PARADISE VALLEY
 DATE</



ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT

$V = D \times A \times (C_w - 0.75) / 12 = 2.82 \times 20,081 \times (0.91 - 0.75) / 12 = 755 \text{ C.F.}$

DRAINAGE AREA	A - TRIBUTARY AREA, SF		C _w - WEIGHTED RUNOFF COEFFICIENT	RETENTION BASIN ID	CONTOUR ELEVATION		DEPTH	VOLUME PROVIDED
	AREA	COEFFICIENT			S.F.	FT		
A	20,171	0.16	758	A1	HW 15.33	901	0.83	524
				A2	BOTTOM 14.50	362		239
TOTAL			758		19' DEEP (48" DIA) DRYWELL			763

* C_{w,post}=0.91 IS USED IN CALCULATIONS FOR GROSS DISTURBANCE AS 0.91 > 0.88

WEIGHTED RUNOFF COEFFICIENT, C_w AREA A

SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
ROOF	0.95	9,622	9,141
HARDSCAPE	0.95	3,484	3,310
LANDSCAPE	0.75	7,065	5,298
TOTAL		20,171	17,750
C _w = C * AREA / TOTAL AREA			0.88

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH			
			A	B	C	D
1	4	67.17		67.17		
2	8	44.00	44.00	44.00		
3	8	8.00			8.00	
4	6	33.25			32.25	
5	2.5	33.33				
6	2.5	42.67				
7	2.5	65.00				
8	6	111.00			111.00	111.00
9	2	16.50				
10	2	73.50				
11	2	16.33				
12	6	67.67			67.67	67.67
13	5	11.75			11.75	11.75
14	4.5	17.25	17.25			
15	4.5	98	98.00	98.00		
16	2	30.17	30.17	30.17		
17	2	28	28.00	28.00		
TOTAL		763.59	173.42	267.34	274.67	190.42

FOR LOCATIONS IDENTIFIED WITH KEYNOTE
 MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 275' < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

DATE: 08/24/20
 JOB: 1703020
 VERSION: 1.1
 PLOT DATE: 08/24/20

DESIGNED BY: NP
 DRAWN BY: DW
 CHECKED BY: J

SCALE: 1" = 20'

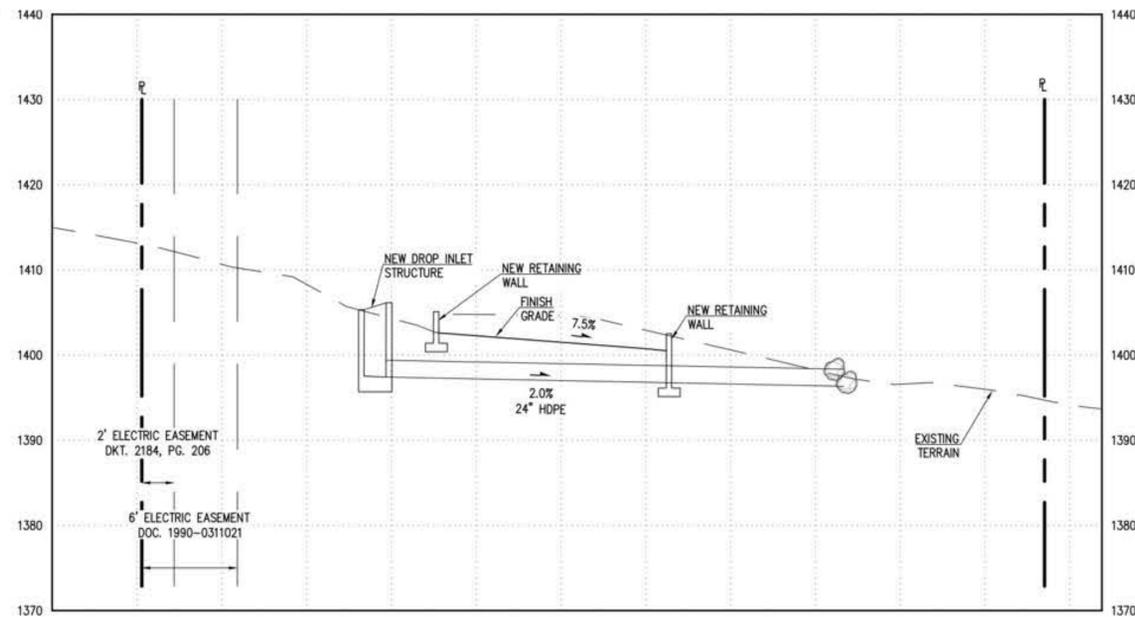
PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN

**ANDALKAR RESIDENCE
 6019 E FOOTHILL DR
 PARADISE VALLEY, AZ 85253**

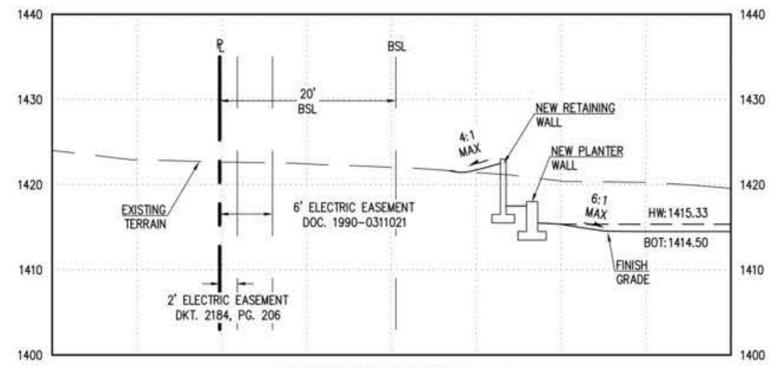
P. 602.889.1984 | F. 602.445.9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX @ LDENCON.COM



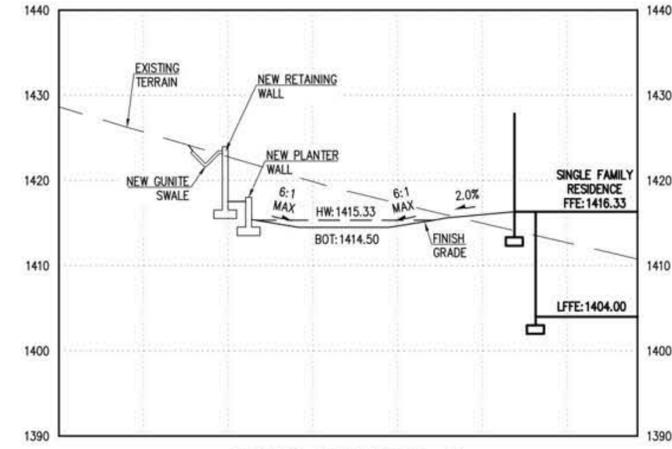
CALL TWO WORKING DAYS BEFORE YOU GO
 (602) 263-1100
 BLUE STATE COVER



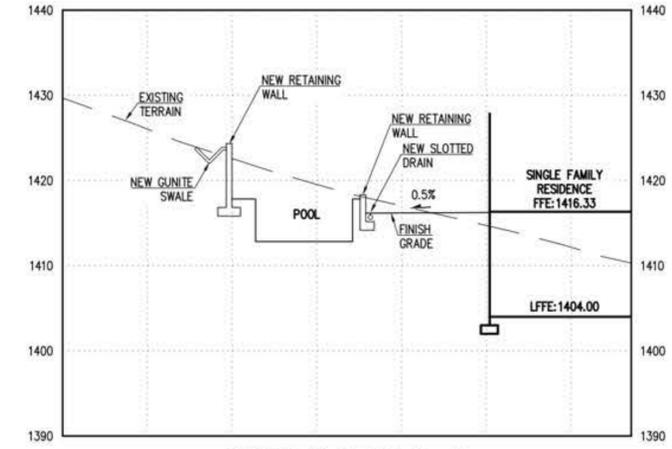
CROSS SECTION 1 - 1
SCALE HOR. 1" = 10', VER. 1" = 10'



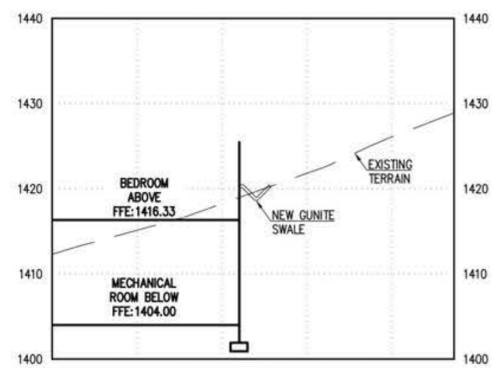
CROSS SECTION 2 - 2
SCALE HOR. 1" = 10', VER. 1" = 10'



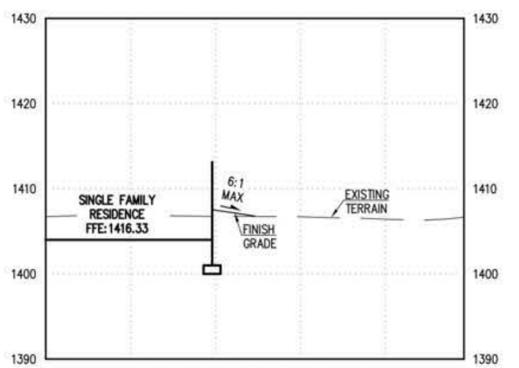
CROSS SECTION 3 - 3
SCALE HOR. 1" = 10', VER. 1" = 10'



CROSS SECTION 4 - 4
SCALE HOR. 1" = 10', VER. 1" = 10'

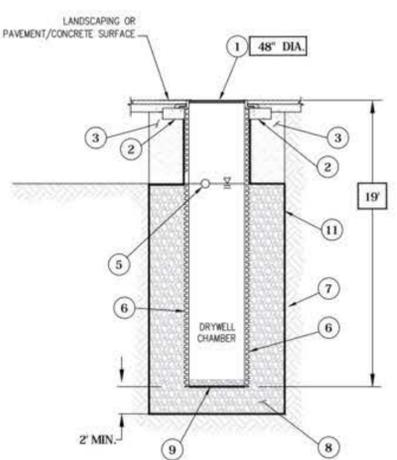


CROSS SECTION 5 - 5
SCALE HOR. 1" = 10', VER. 1" = 10'



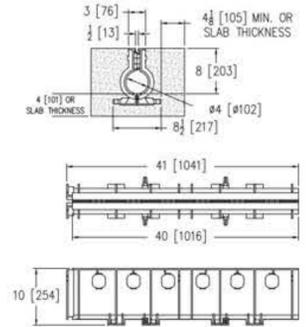
CROSS SECTION 6 - 6
SCALE HOR. 1" = 10', VER. 1" = 10'

- 1 CAST-IRON GRATE/LID - CAST-IRON RING AND GRATE/LID BOLTED IN TWO PLACES SECURED TO THE CONCRETE COLLAR WITH MORTAR. SEE DETAIL FOR GRATE DIAMETER SIZE. RIM/GRATE ELEVATION SET AS SHOWN ON PLANS.
- 2 CONCRETE COLLAR - CAST IN PLACE OR PRECAST WITH 4000 PSI CONCRETE. I.D. OF CONCRETE COLLAR TO MATCH O.D. OF PIPE. 1/2" WIDE CONCRETE BY 6" THICK.
- 3 BACKFILL OF RISER/CONNECTOR PIPE - COMPACTED FILL IN LANDSCAPE AREAS OR 1-SACK SLURRY STABILIZATION FOR PAVEMENT/CONCRETE SURFACING.
- 4 INTAKE SCREEN - USE SLOTTED SCH-40 SCREEN PIPE. SEE DETAIL FOR DIAMETER SIZE. 48" IN LENGTH WITH VENTED CAP.
- 5 OIL-ABSORBENT PILL - MINIMUM 1 GALLON CAPACITY.
- 6 HDPE DRYWELL LINER - 48" I.D. DUAL WALL PERFORATED HDPE. ADS N-12 OR EQUAL. PIPE TO BE ALIGNED IN THE CENTER OF THE EXCAVATION.
- 7 MINIMUM 6" DIA. EXCAVATION - EXCAVATE IN A MANNER TO PROTECT DRAINAGE SOILS.
- 8 GRAVEL PACK - 3/8" TO 1-1/2" WASHED, CLEAN GRAVEL PACK TO INCLUDE SURROUNDING CHAMBER.
- 9 GEOTEXTILE INFILTRATION BARRIER - 4 OZ. NON-WOVEN FABRIC WITH 2 INCHES OF GRAVEL COVER FOR SECURING FABRIC.
- 10 OVERFLOW PIPE - N/A
- 11 GEOTEXTILE FILTER FABRIC - 4 OZ. NON-WOVEN FABRIC. INSTALL UNDER THE GRATE, BETWEEN THE GRAVEL PACK AND NATIVE SOIL/BACKFILL, AND AROUND PERFORATED PIPE IF LOCATED IN COMPACTED FILL. CONTRACTOR/OWNER TO REMOVE FABRIC ON GRATE ONLY AFTER ALL CONSTRUCTION IS COMPLETE.

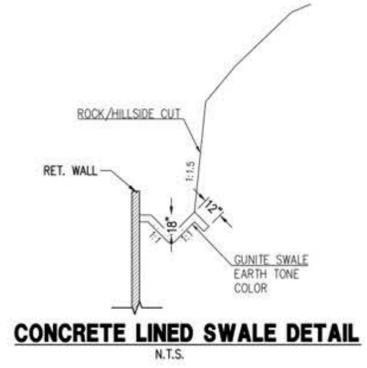


DRYWELL DETAIL
N.T.S.

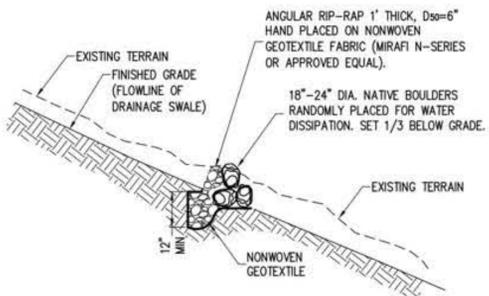
SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES



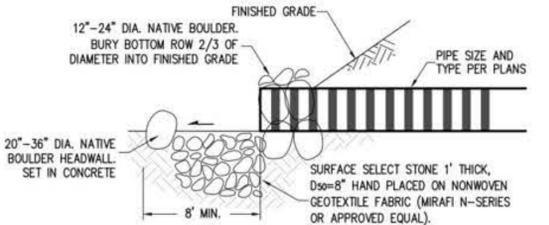
POOL DECK SLOTTED DRAIN DETAIL
N.T.S.



CONCRETE LINED SWALE DETAIL
N.T.S.



CHECK DAM DETAIL AT SWALES
N.T.S.



PIPE OUTLET DETAIL
N.T.S.

PERCENT PASSING	SIZE	D ₅₀ CLASS, INCHES	4	6	8	12
100 TO 90	2.0 D ₅₀	8	12	16	24	
85 TO 70	1.5 D ₅₀	6	8	12	18	
50 TO 30	1.0 D ₅₀	4	6	8	12	
15 TO 5	0.67 D ₅₀	3	4	6	8	
5 TO 0	0.33 D ₅₀	1	2	3	4	

RIP-RAP GRADATION TABLE

DATE: 08/24/20	SCALE: HOR. 1" = 10', VER. 1" = 10'	DESIGNED BY: NP	CHECKED BY: J
JOB: 1703020	DATE:	DRAWN BY: DW	DATE: 08/24/20
VERSION: 1.1	REVISIONS:		
PLOT DATE: 08/24/20			

PRELIMINARY GRADING & DRAINAGE PLAN CROSS SECTIONS DETAILS

ANDALKAR RESIDENCE 6019 E FOOTHILL DR PARADISE VALLEY, AZ 85253

P. 602.869.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDENCON.COM



CALL TWO WORKING DAYS BEFORE YOU DIG
(602) 263 1100
BLUE STATE CENTER

PROJECT ADDRESS
 6019 E FOOTHILL DR
 PARADISE VALLEY, AZ 85253

LEGAL DESCRIPTION

APN 169-03-056
 ZONING R-43

PROJECT INFORMATION

CONSTRUCTION TYPE V-8

PROPOSED SQUARE FOOTAGE	
LIVABLE LEVEL ONE	3,423 SF
LIVABLE LEVEL TWO	5,527 SF
TOTAL LIVABLE	8,950 SF

GARAGE & STORAGE	2,864 SF
COVERED EXTERIOR LEVEL ONE	1,873 SF
COVERED EXTERIOR LEVEL TWO	1,753 SF
TOTAL	15,440 SF

LOT SIZE: 69,227 SF (1.589 AC)

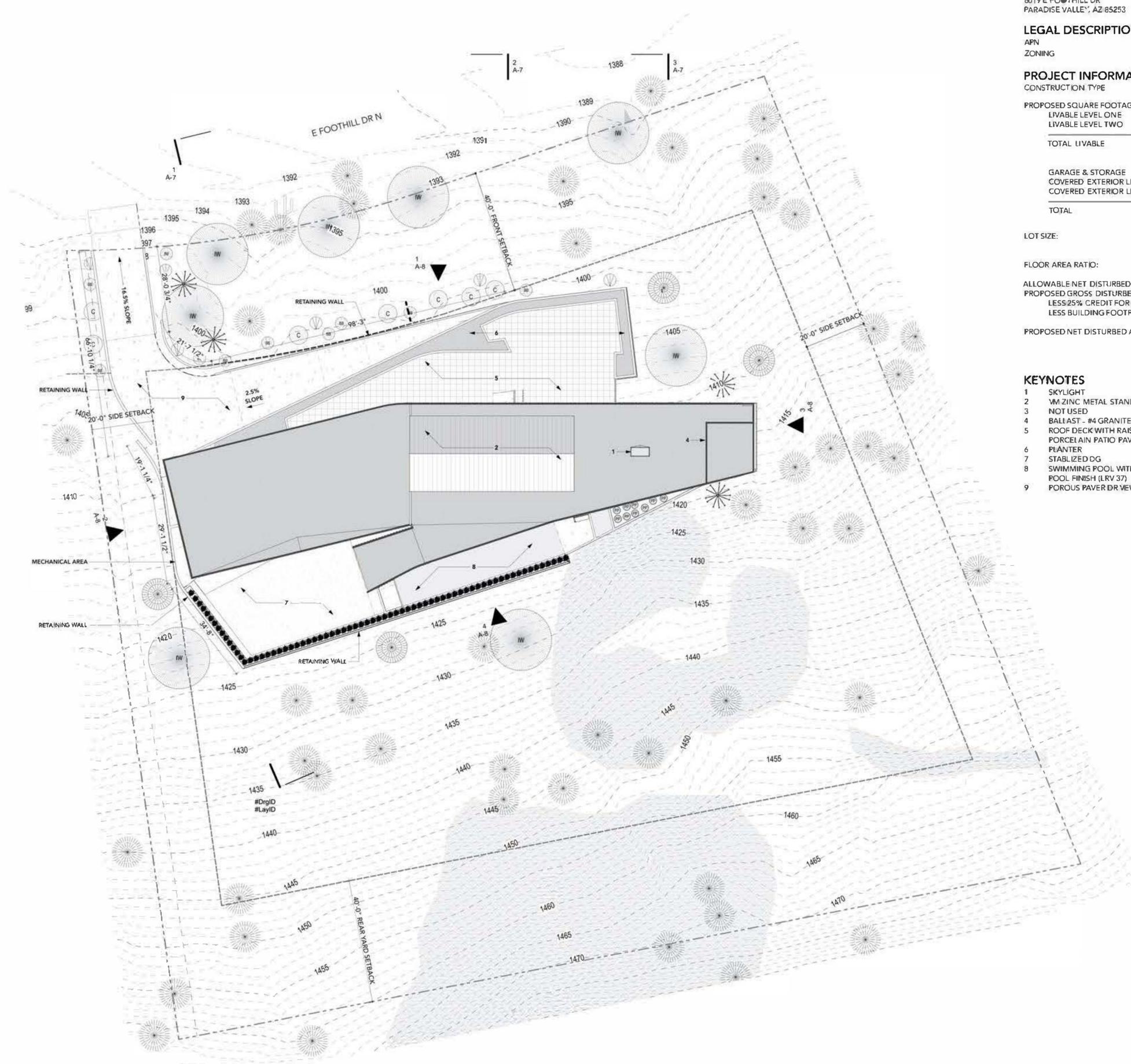
FLOOR AREA RATIO: 22.30% < 25%

ALLOWABLE NET DISTURBED AREA 14,05% (9,733 SF)
 PROPOSED GROSS DISTURBED AREA 20,171 SF
 LESS 25% CREDIT FOR PAVERS 4,081 SF x 0.25 = 1,020 SF
 LESS BUILDING FOOTPRINT AREA 7,671 SF

PROPOSED NET DISTURBED AREA 9,387 SF < 9,733 SF

KEYNOTES

- 1 SKYLIGHT
- 2 VM ZINC METAL STANDING SEAM ROOF - BRUN/BROWN (LRV 8)
- 3 NOT USED
- 4 BALLAST - #4 GRANITE AGGREGATE (LRV 14)
- 5 ROOF DECK WITH RAISED TILE SURFACE - MUTUAL MATERIALS
- 6 PORCELAIN PATIO PAVER - SEASTONE GREY (LRV 23)
- 7 PLANTER
- 8 STABILIZED DG
- 9 SWIMMING POOL WITH SW7073 NETWORK GRAY ULTRA-POZ PLASTER POOL FINISH (LRV 37)
- 10 POROUS PAVER DR VEWAY - DAVIS COLOR SILVERSMOKE 8084 (LRV 30)



ARCHITECTURE INFRASTRUCTURE RESEARCH INC.
 6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253

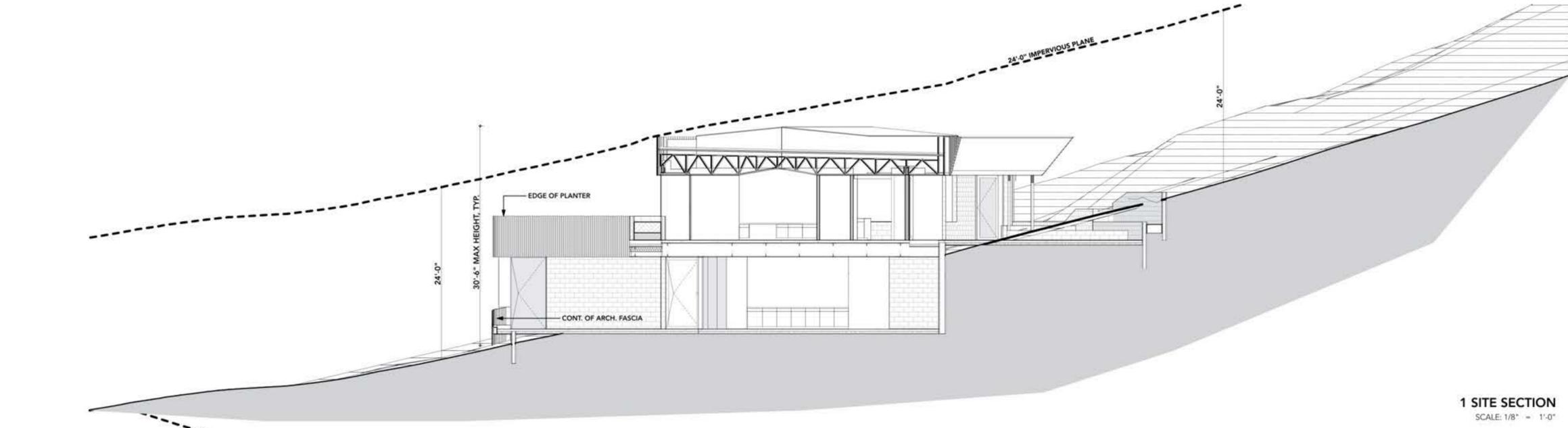
**FOOTHILL
 RESIDENCE**

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253

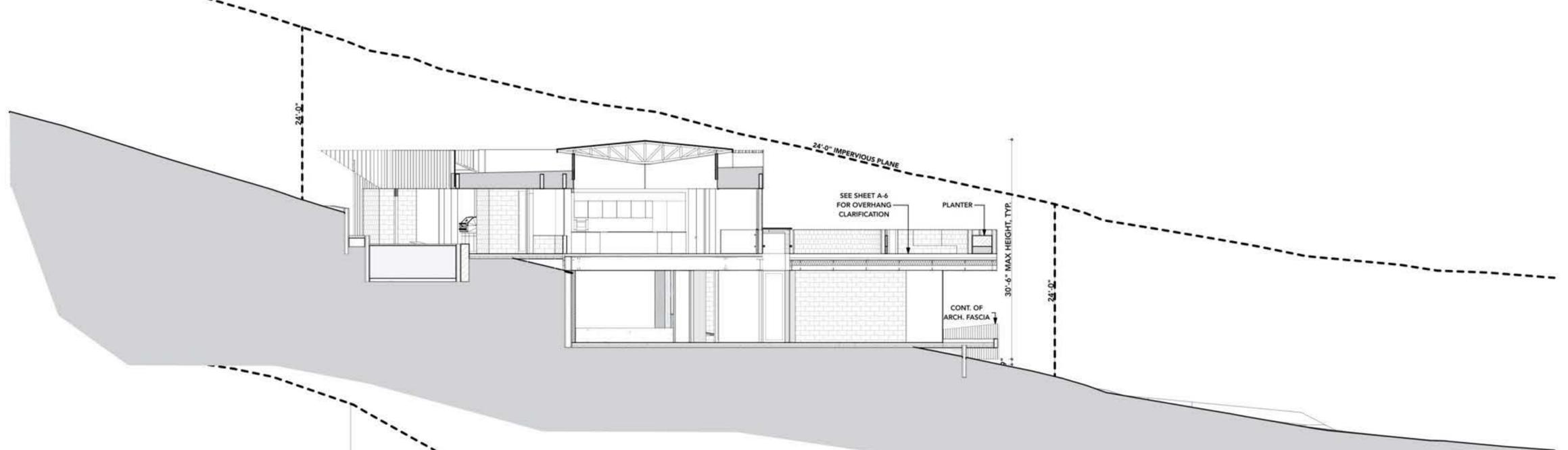
DATE 08/27/20
 DRAWN AS SHOWN
 CHECKED DP/JP
 PROJECT NO 17013

SITE PLAN

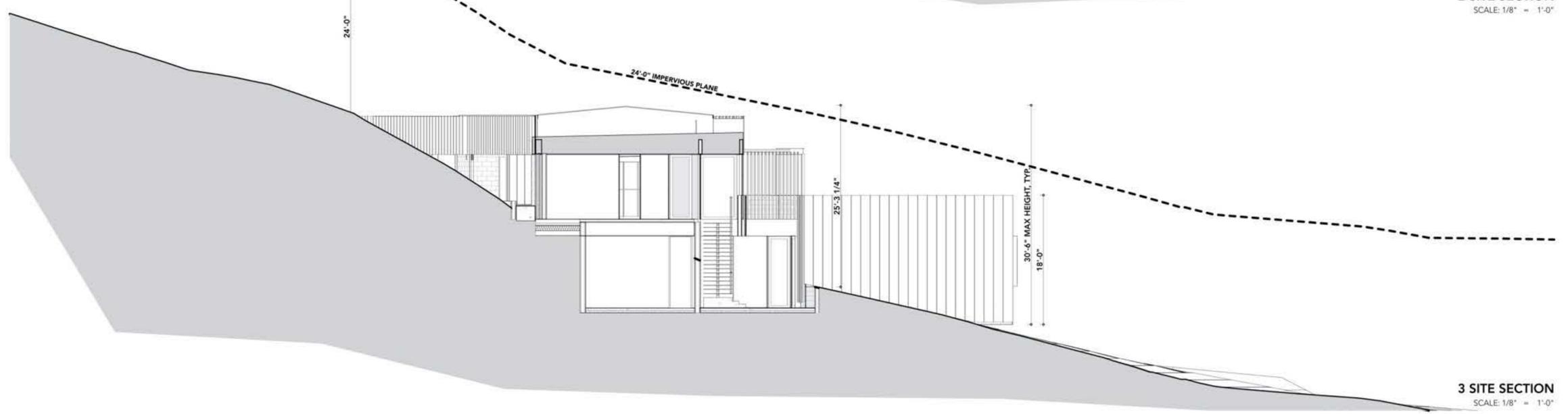
DRAWING TITLE
 50% BID SET



1 SITE SECTION
SCALE: 1/8" = 1'-0"



2 SITE SECTION
SCALE: 1/8" = 1'-0"



3 SITE SECTION
SCALE: 1/8" = 1'-0"



DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

SITE SECTIONS

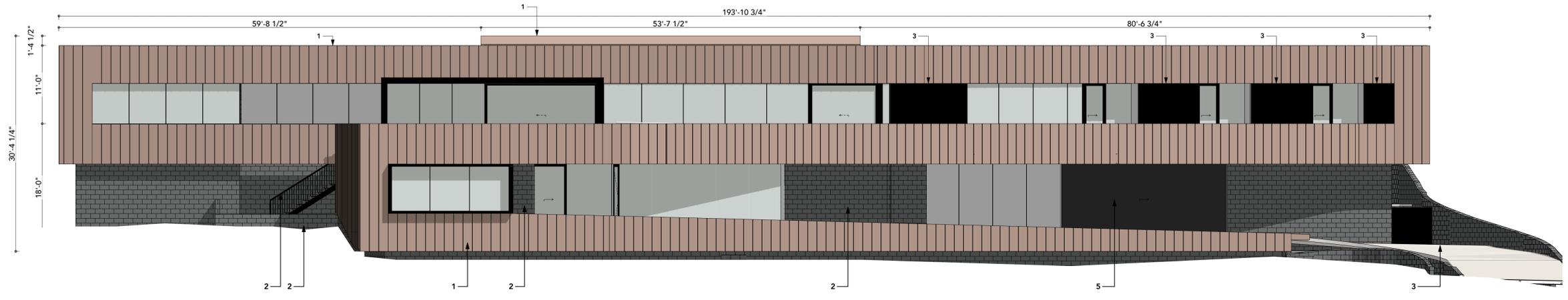
DRAWING TITLE:
50% BID SET
PROJECT PAGE



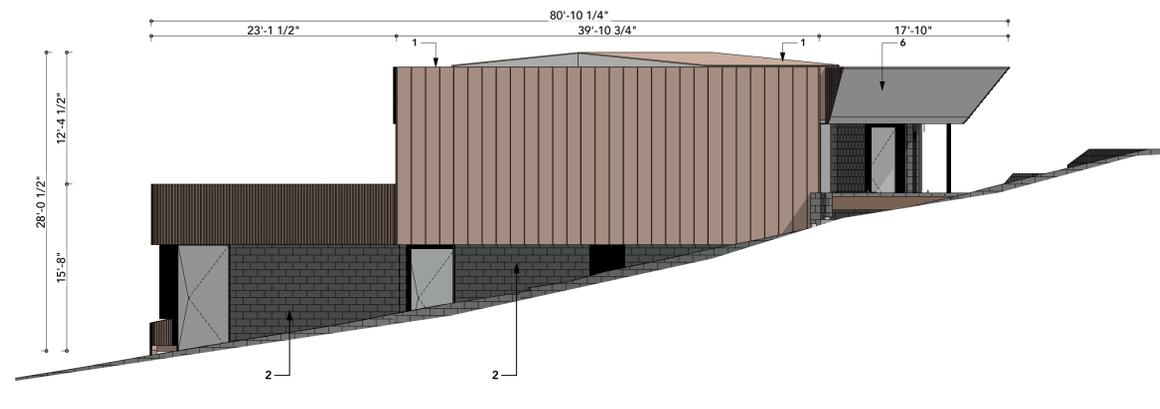
DATE: 08/24/20
 SCALE: AS SHOWN
 DRAWN: DP/JP
 JOB: 17013

ELEVATIONS

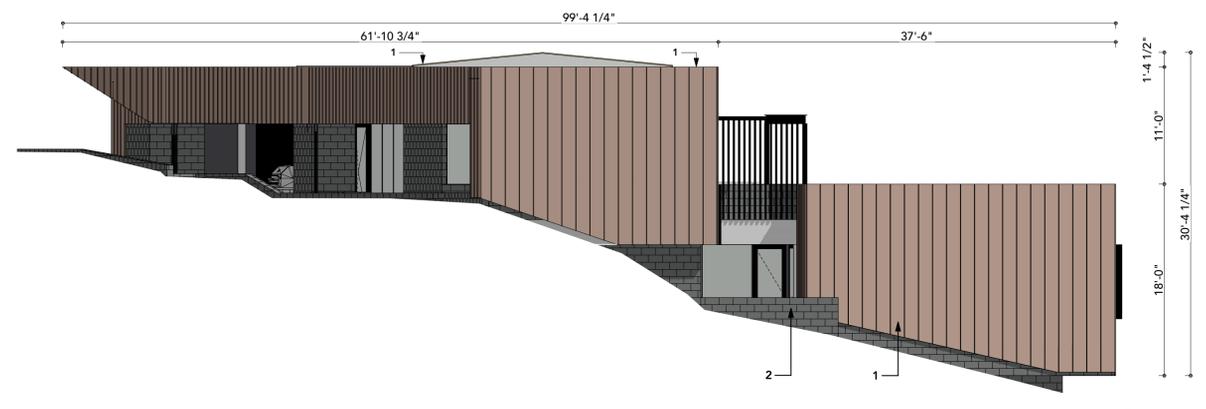
DRAWING TITLE:
 PROJECT PHASE: 50% BID SET



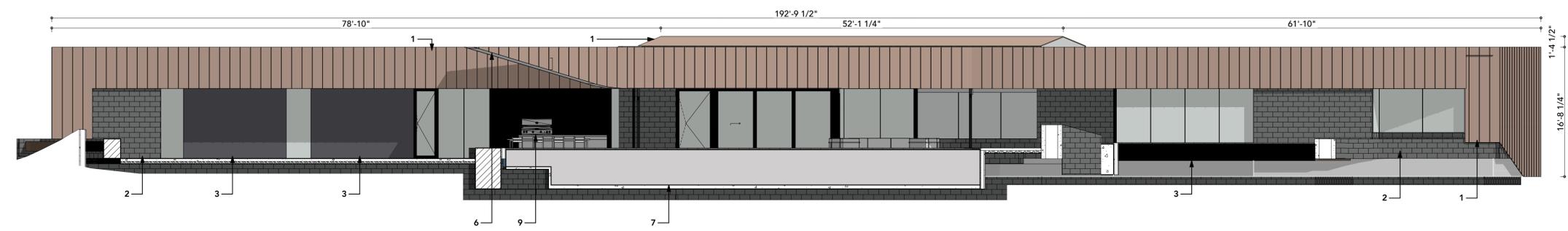
1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

- KEYNOTES**
- 1 VM ZINC PIGMENTO - BRUN/BROWN (LRV 8)
 - 2 SUPERLITE COLOR INTEGRATED MASONRY - OPAL (LRV 15)
 - 3 COLOR INTEGRATED STUCCO - SW 6994 GREEN BLACK (LRV 4)
 - 4 DARK BRONZE ALUMINUM (LRV 3) - ALL DOOR/WINDOW FRAMES
 - 5 SW7073 NETWORK GRAY PAINTED METAL SLIDING GARAGE DOOR (LRV 37)
 - 6 SW7073 NETWORK GRAY PLASTER FINISH (LRV 37) - ALL EXT. SOFFITS
 - 7 SW7073 NETWORK GRAY ULTRA-POZ PLASTER POOL FINISH (LRV 37)
 - 8 MUTUAL MATERIALS PORCELAIN PATIO PAVER - SEASTONE GREY (LRV 23)
 - 9 MAXIM GT14 GRANDHALL GRILL (OR EQUIVALENT) (LRV 3)

PLANT LEGEND

CACTI	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	FOUQUIERIA SPLENDENS	OCOTILLO	8 CANE MIN.	4

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	LARREA TRIDENTATA	CREOSOTE	15 GAL	7
	ENCELIA FARINOSA	BRITTLEBUSH	5 GAL	10
	JUSTICIA CALIFORNICA	CHUPAROSA	5 GAL	6
	AGAVE PARRYI	PARRY'S AGAVE	3 GAL	71

ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	PENSTEMON PARRYI	BEARDTONGUE	1 GAL	28
	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL	12
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1 GAL	17
	PENSTEMON EATONII	BEARDTONGUE	1 GAL	23

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	OLNEYA TESOTA	IRONWOOD	36" BOX	8

	EXISTING PALO VERDE TO REMAIN (37)
	EXISTING PALO VERDE TO BE SALVAGED (4)



LED MR16

7.8MR16/PER/927/S10/Dim/EC/12V 10/1FB

Philips LED MR-16 lamps with single optic technology provide the look and color quality of traditional halogens while using a fraction of the energy. A perfect fit for spot lighting, they are compatible with most existing fixtures with MR16 GU5.3 holders and are designed as a retrofit replacement for halogen or incandescent spots.

Product data			
General information	Lamp Current (Nom)	880 mA	
Base	GU5.3 / GU5.3	35 W	
ES RoHS compliant	Yes	Starting Time (Nom)	0.5 s
Nominal Lifetime (Nom)	20000 h	Warm Up Time to 60% Light (Nom)	0.5 s
Switching Cycle	50000K	Power Factor (Nom)	0.7
Technical Type	7.8-35W	Voltage (Nom)	ac electronic 12 V
Light Technical	Temperature		
Color Code	927	T-Cases Maximum (Nom)	85 °C
Beam Angle (Nom)	10°	Controls and Dimming	
Initial Lumen (Nom)	480 lm	Dimmable	Yes
Luminous Intensity (Nom)	5300 cd	Approval and Application	
Color Designation	Warm White (927)	Energy Efficiency Label (EEL)	Not applicable
Correlated Color Temperature (Nom)	2700 K	Suitable For Accent Lighting	Yes
Luminous Efficacy (rated) (Nom)	81.00 lm/W	Energy Consumption kWh/1000 h	~1.9Wh
Color Consistency	±3	Product Data	
Color Rendering Index (Nom)	95	Order product name	7.8MR16/PER/927/S10/Dim/EC/12V 10/1FB
LLMF At End Of Nominal Lifetime (Nom)	35%	EAN/UPC - Product	04861747020
Operating and Electrical	Order code	405158	
Input Frequency	~ 60		
Power (Rated) (Nom)	7.8 W		

Date sheet: 2020, June 18

data subject to change

LANDSCAPE LIGHTING LAMP. SEE SHEET A-10



FOOTHILL RESIDENCE
6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253

DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
REV: 17013
LANDSCAPE PLAN

50% BID SET
PROJECT PHASE

LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

A-9

PATH LIGHT:

OIWL SERIES **OIWL-103**
IN-GROUND DRIVE-OVER WELL LIGHT



FEATURES:

- ANGLED LED:** Full beam angle (120°) wide light distribution. Ideal for parking garages, walk-in refrigeration facilities, loading docks, and more.
- CASE PROTECTION:** Shatter-resistant polycarbonate housing with PVC lens. The one-piece design allows for easy installation and maintenance by simply lifting the cover cap.
- LENS:** Clear, heat-treated, reinforced polycarbonate lens.
- LAMP/WATTAGE:** 10W Incandescent or 10W LED.
- LISTINGS:** UL Type E for wet locations.

Dimensions:



Ordering Guide > Example: OIWL-103-MR16-10W-LED-12-CL

OIWL-103	MR16	12V	CL
SERIES OIWL-103 - In-ground Drive-over Well Light	LAMP TYPE/WATTAGE MR16 - 10W Incandescent or 10W LED	VOLTAGE 12V	COLOR CL - Clear Lens

MUST BE USED WITH REMOTE TRANSFORMER

ORACLE > WWW.ORACLELIGHTING.COM > TEL: (323) 888-1973 > FAX: (323) 888-1977

ACCENT LIGHT:

OLD SERIES **OLD2**
BRASS DIRECTIONAL SPOT LIGHT WITH HOOD

Catalog Number: OLD2-MR16-12V-WB

Project Name: _____

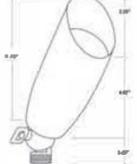
Type: Uplight



FEATURES:

- ANGLED LED:** Full beam angle (120°) wide light distribution. Ideal for parking garages, walk-in refrigeration facilities, loading docks, and more.
- CASE PROTECTION:** Shatter-resistant polycarbonate housing with PVC lens. The one-piece design allows for easy installation and maintenance by simply lifting the cover cap.
- LENS:** Clear, heat-treated, reinforced polycarbonate lens.
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- LISTINGS:** UL Type E for wet locations.

Dimensions:

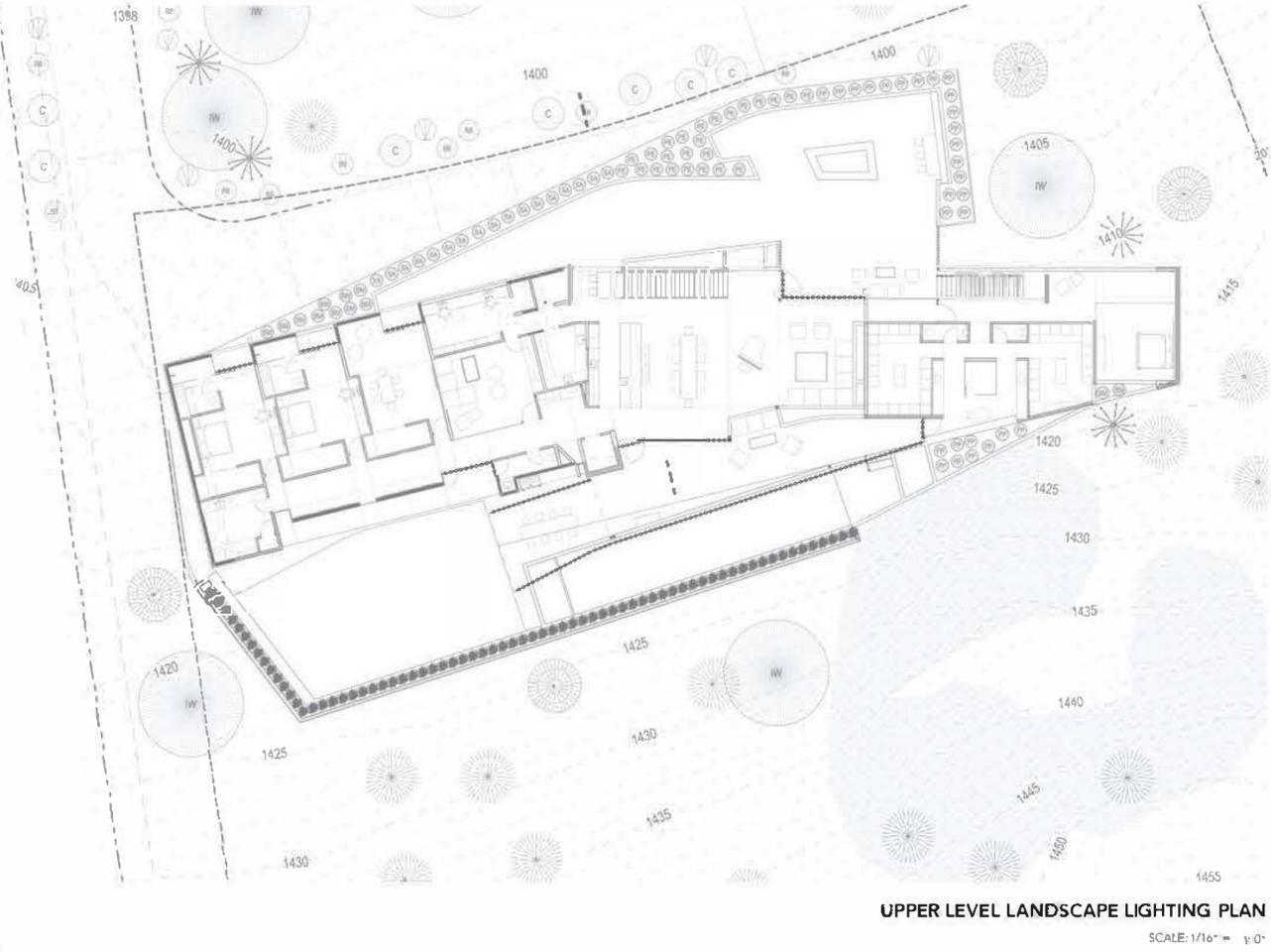


Ordering Guide > Example: OLD2-MR16-10W-LED-12-BZ

OLD2	MR16	12V	WB
SERIES OLD2 - Directional Spot Light	LAMP TYPE/WATTAGE MR16 - 10W Incandescent or 10W LED	VOLTAGE 12V	COLOR WB - Weathered Brass

MUST BE USED WITH REMOTE TRANSFORMER

ORACLE > WWW.ORACLELIGHTING.COM > TEL: (323) 888-1973 > FAX: (323) 888-1977



IR
ARCHITECTURE | INFRASTRUCTURE | RESEARCH | INTERIORS

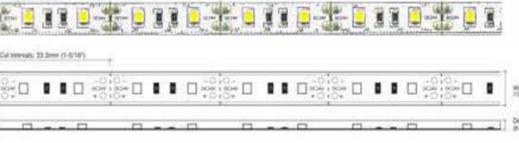
FOOTHILL RESIDENCE
6019 E FOOTHILL DR., PARADISE VALLEY, AZ 85253

KELVIX

PERFORMANCE 300 (OUTDOOR)

PH SERIES | RUBBER COATED | LINEAR LED LIGHTING

Fixture Type: _____
Project: _____
Location: _____



MODEL	P127K-WR-24V	P150K-WR-24V	P185K-WR-24V	P194K-WR-24V	P195K-WR-24V
Length	2780K	3800K	3550K	4900K	3700K
Lumens	322 lm/ft	339 lm/ft	340 lm/ft	347 lm/ft	356 lm/ft
Rating	IP67	IP67	IP67	IP67	IP67

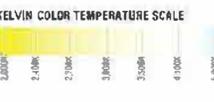
PRODUCT FEATURES:

- 30° x 8mm
- Dimmable
- 50,000 hours life
- 5-year warranty
- UL-listed for indoor and outdoor use
- 3M™ industrial adhesive backing
- For use with 24V power supplies

SPECIFICATIONS:

- Series: PH - Performance 300 (Outdoor)
- Input Voltage: 24V DC / Constant Voltage
- Watts per Foot: 3.2W/ft @ Maximum Run Length
- Beam Spread: 120°
- Max Run Length: Unlimited (power every 30ft)
- Production Intervals: 1.6' / 16" (33.3mm)
- End Cap Dimensions: 1/2" (12.7mm) x 3/8" (9.5mm)
- Tape Dimensions: 7/16" (11.2mm) x 1/4" (6.4mm)
- CRI: 90+
- Color: 2835
- Operating Temperature: P/N/A, T +35°C (95°F), DMX: 18-30°C
- Temp Range: -40°F (-40°C) to 149°F (65°C)

KELVIN COLOR TEMPERATURE SCALE



TOTAL WATTAGE USED AT EACH LENGTH

3ft	9.6W	10.2W	10.8W	11.4W	12.0W	12.6W	13.2W	13.8W	14.4W	15.0W
4.2	13.4W	14.1W	14.8W	15.5W	16.2W	16.9W	17.6W	18.3W	19.0W	19.7W
8.4	26.8W	28.2W	29.6W	31.0W	32.4W	33.8W	35.2W	36.6W	38.0W	39.4W
12.6	40.2W	42.3W	44.4W	46.5W	48.6W	50.7W	52.8W	54.9W	57.0W	59.1W
16.8	53.6W	56.4W	59.2W	62.0W	64.8W	67.6W	70.4W	73.2W	76.0W	78.8W
21.0	67.0W	70.5W	74.0W	77.5W	81.0W	84.5W	88.0W	91.5W	95.0W	98.5W
25.2	80.4W	84.6W	88.8W	93.0W	97.2W	101.4W	105.6W	109.8W	114.0W	118.2W
29.4	93.8W	98.8W	103.8W	108.8W	113.8W	118.8W	123.8W	128.8W	133.8W	138.8W
33.6	107.2W	113.0W	118.8W	124.6W	130.4W	136.2W	142.0W	147.8W	153.6W	159.4W

ORACLE > WWW.ORACLELIGHTING.COM > TEL: (323) 888-1973 > FAX: (323) 888-1977

LOW VOLTAGE LANDSCAPE LIGHTING

TYPE	QTY.	MNFCTR	DESCRIPTION	FINISH	WATTAGE	LUMENS	TEMP
Path	5	Oracle	In-Ground Drive-Over Wall Light	Stainless Steel	10W LED	<250	3000K
Accent	3	Oracle	OLD2 Series Spot with Hood	Weathered Brass	10W LED	<150	2800K

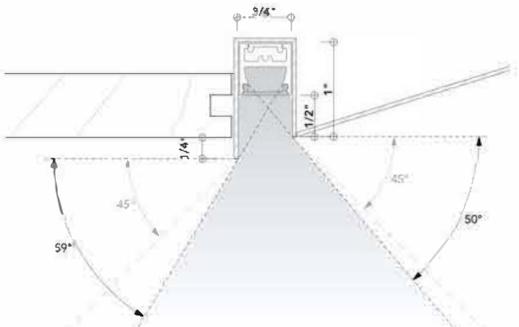
LOW VOLTAGE EXTERIOR BUILDING LIGHTING

TYPE	QTY.	MNFCTR	DESCRIPTION	FINISH	WATTAGE	LUMENS	TEMP
Tape	494 LF	Kelvix	Performance-300 (Outdoor)	N/A	3.2W LED	322	2700K

ALLOWABLE NUMBER OF UPLIGHTS = 9 MAX (ONE LIGHT PER 1,000 ALLOWABLE DISTURBED AREA AT 9,237 SF/1000 = 9 UPLIGHTS)

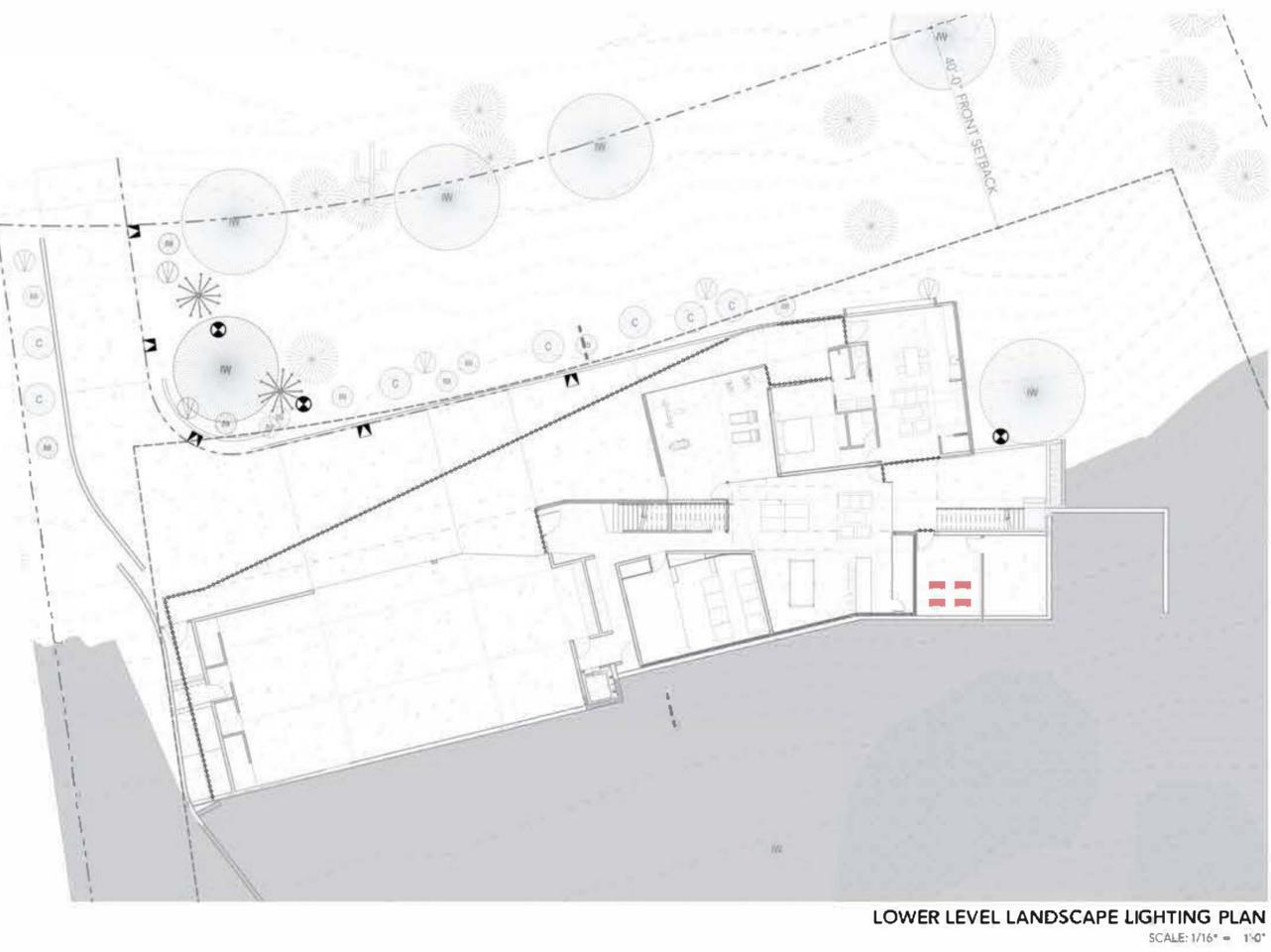
ALL LIGHTING SHALL HAVE A MAXIMUM COLOR TEMPERATURE OF 3000K

TAPE TO BE RECESSED IN BUILDING SOFFIT PER DETAIL BELOW. DOES NOT HAVE EXPLICIT LANGUAGE ABOUT LED TAPE LIGHT; THIS SPECIFICATION & DETAIL ARE PER PREVIOUSLY APPROVED HILLSIDE DETAIL.



LED RECESS DETAIL, TYP.

SCALE: 1" = 1'-0"



DATE: 08/27/20
STATUS: AS SHOWN
DRAWN BY: DP/JJP
DATE: 17013

LANDSCAPE & BUILDING LIGHTING PLAN

50% BID SET
PROJECT PAGE

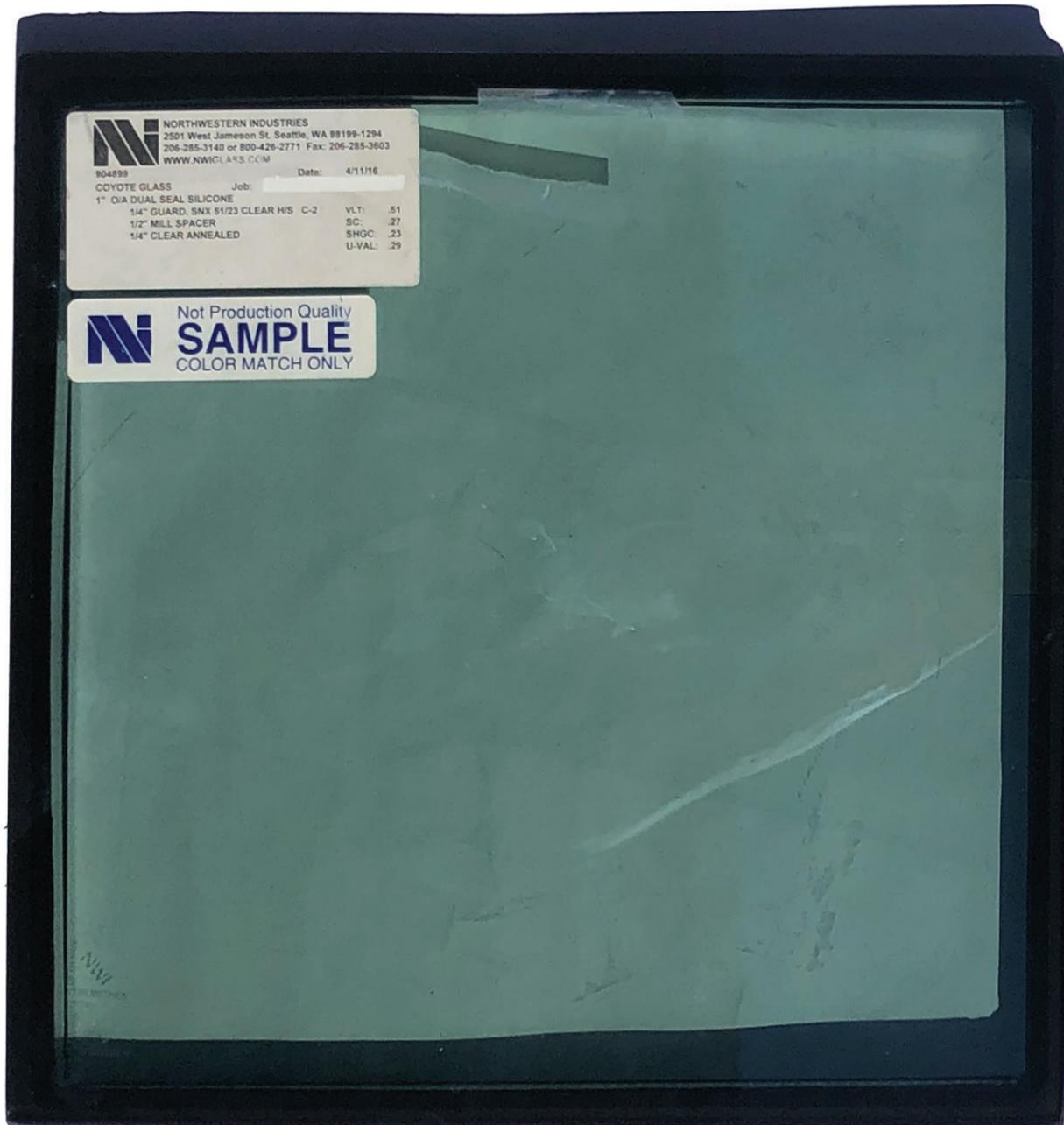
A-10



3/4" NATURAL PEA GRAVEL
LRV VARIES, OVERALL LESS
THAN 38



MAXIM GT14 GRANDHALL
GRILL (OR EQUIVALENT)
LRV 3



1" CLEAR IGU WINDOWS



MUTUAL MATERIALS
PORCELAIN PATIO PAVER
SEASTONE GREY
LRV 23



SW7073 NETWORK GRAY
PAINT/PLASTER
LRV 37



SUPERLITE COLOR
INTEGRATED BLOCK
OPAL
LRV 15



VM ZINC - PIGMENTO
BRUN/BROWN
LRV 8



POROUS CONCRETE PAVER
SILVERSMOKE 8084
LRV 30



COLOR INTEGRATED STUCCO
SW 6994 GREEN BLACK
LRV 4