

TOWN OF PARADISE VALLEY

The Villas at Mountain Shadows II Preliminary Plat (PP 15-02)



Town Council
September 10, 2015

Request

Preliminary Plat for 8-lots and 1 tract
for Resort Residential at
Mountain Shadows Resort SUP



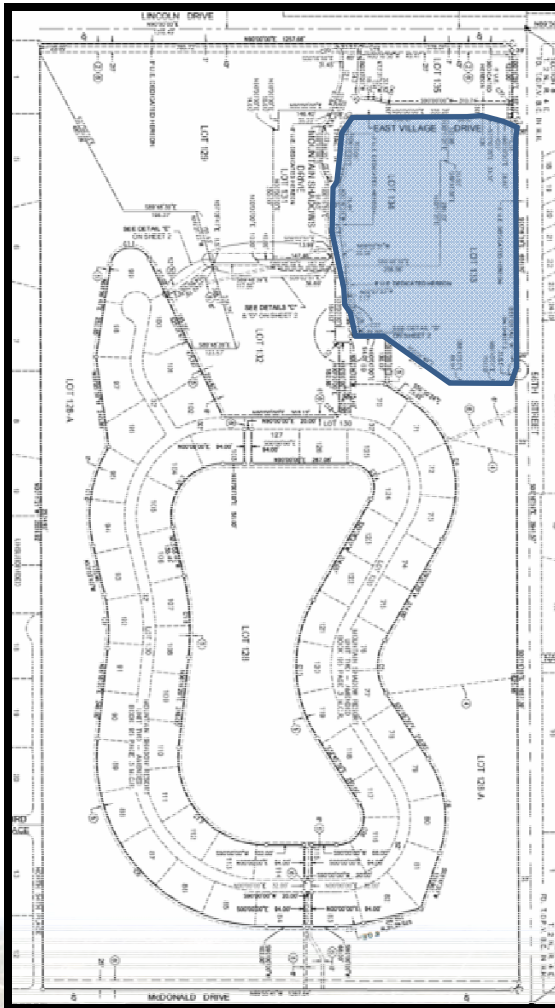
Vicinity Map

Subject Property

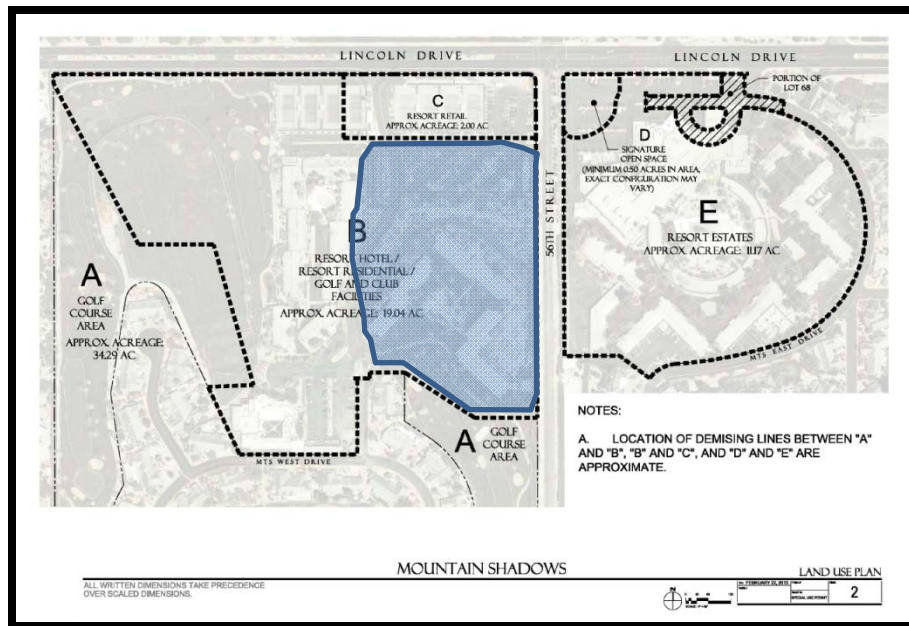


Overall Map

- Lot 133 and 134
- SUP Stip III.E.43 allows subdivision via plats/maps



Background



- April 2013, Council approved Ord. 653 and development agreement for new SUP
- Plat on portion of Area B
- Area B allows Resort Residential



Resort Residential

- Allowed in the hotel rental program
- Allowed by any form (e.g. attached/detached homes)
- Allowed by separate lot/horizontal regime
- Required to meet setbacks/height Sheet 5
- Overall 300,000 SF FAR cap in Area B



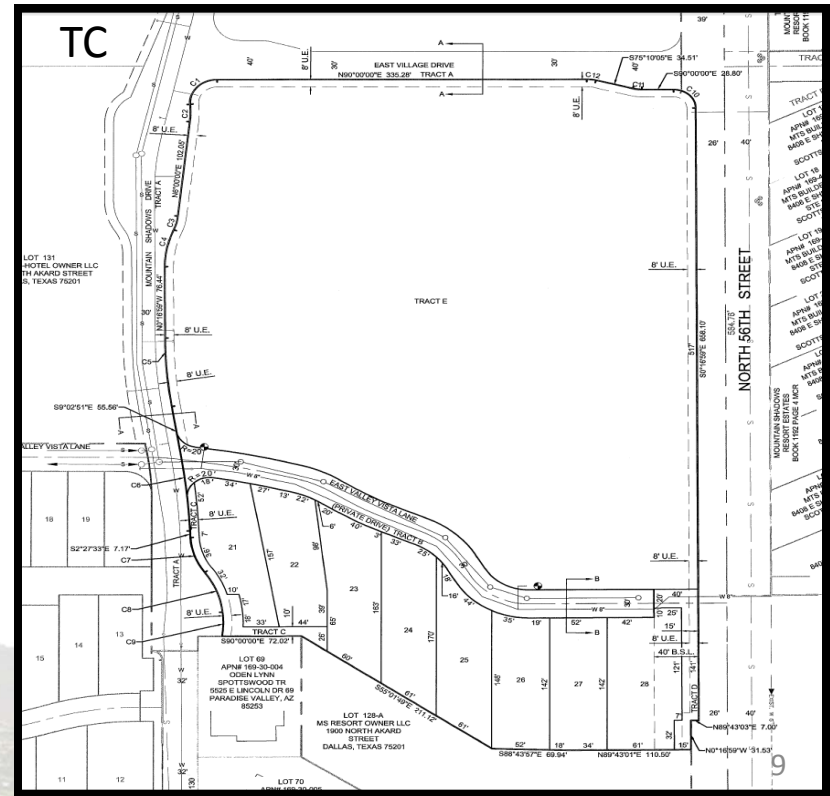
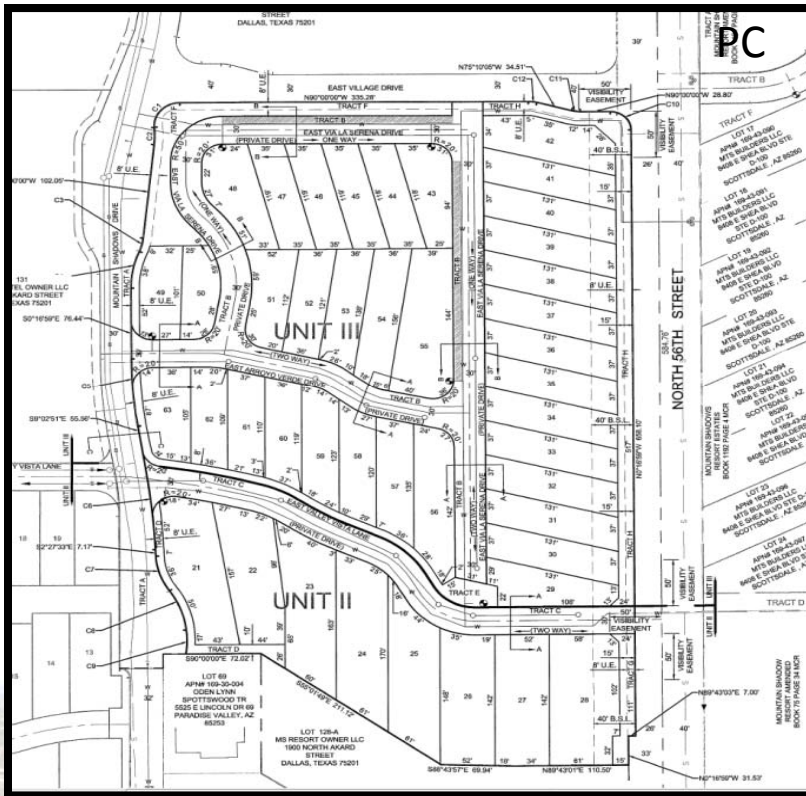
Requirements – Processing

- Plat held to SUP standards & Development Agmt
- Administrative review/approval process
 - All SUP standards met = approvable
 - Typical requirements for ROW, easements, lot size, lot width, setbacks etc. do not apply
 - No legislative discretion
 - 40 calendar day review period



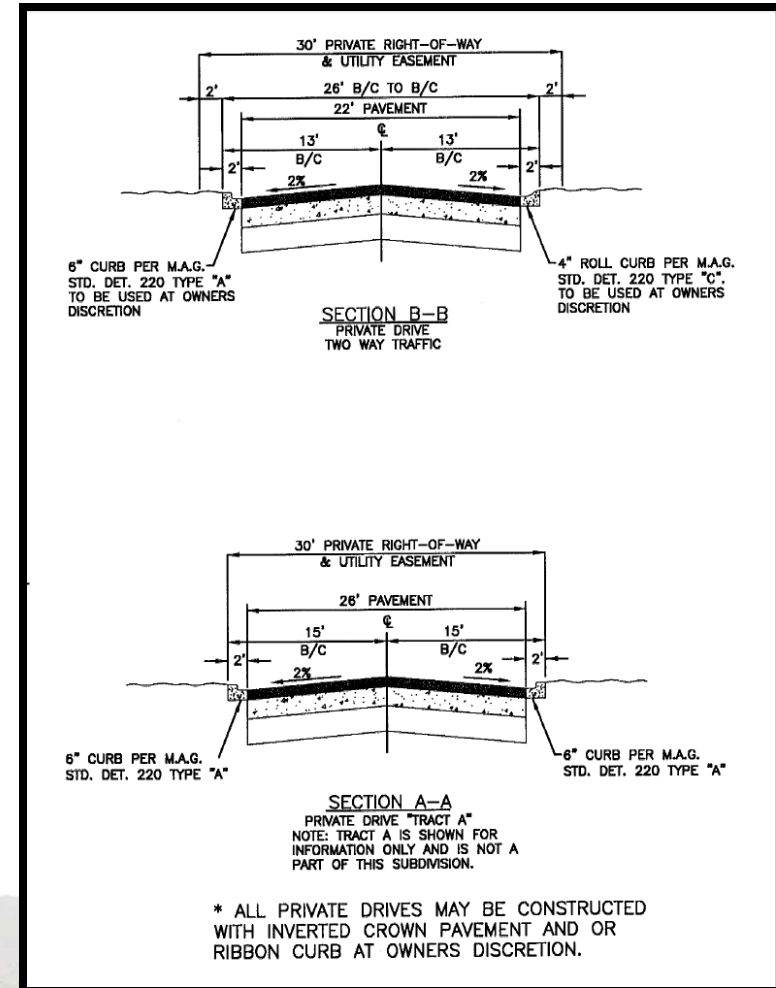
PC to TC Pre-Plat Comparison

- Substantially compliant (56th St Exit; Tract E)



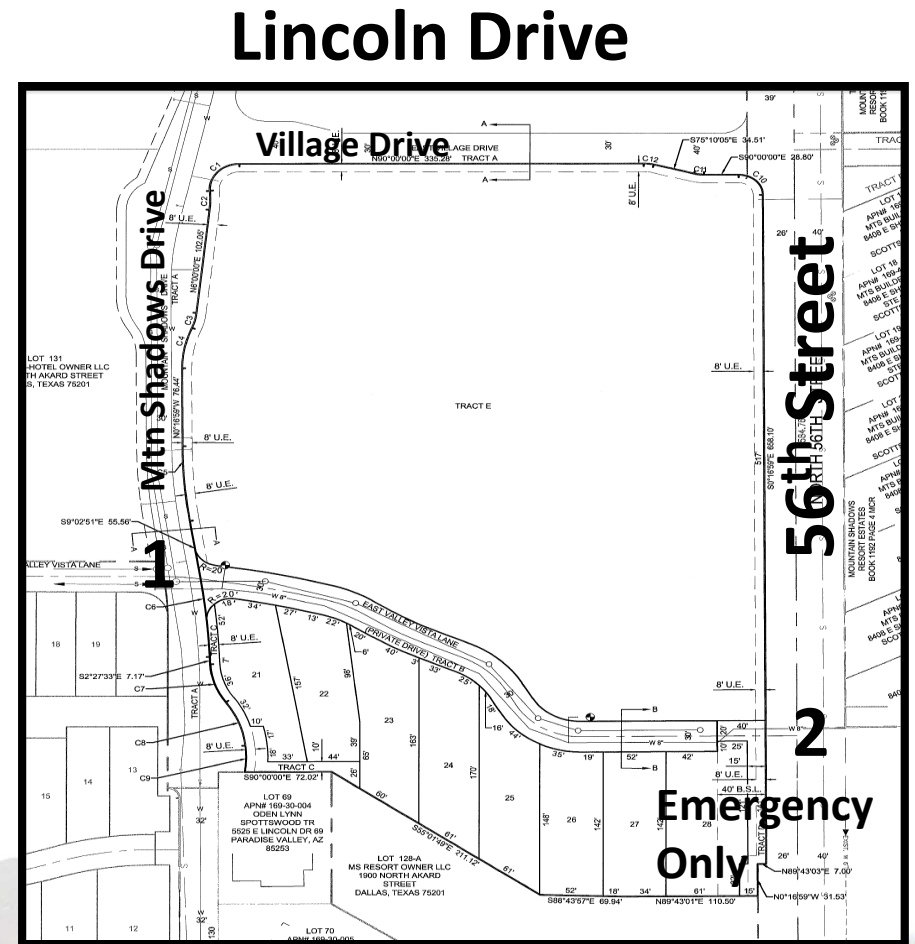
Roadways, Parking

- Plat will connect to public ROW of 56th St & Lincoln Dr via Tract A
- Proposed roads comply with minimum 30' ROW width and 26' pavement width
- Each lot will accommodate at least two vehicle parking spaces per the SUP



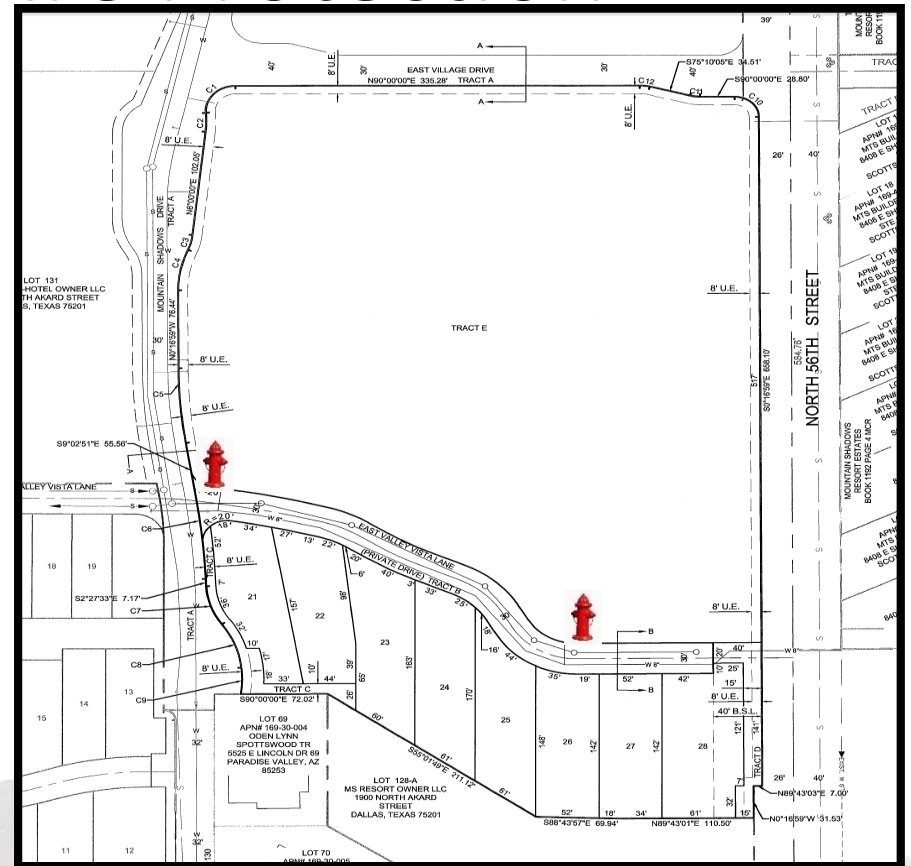
Emergency Access

- IFC authorizes ability for multiple access if potential impairment
- 56th St Access provided

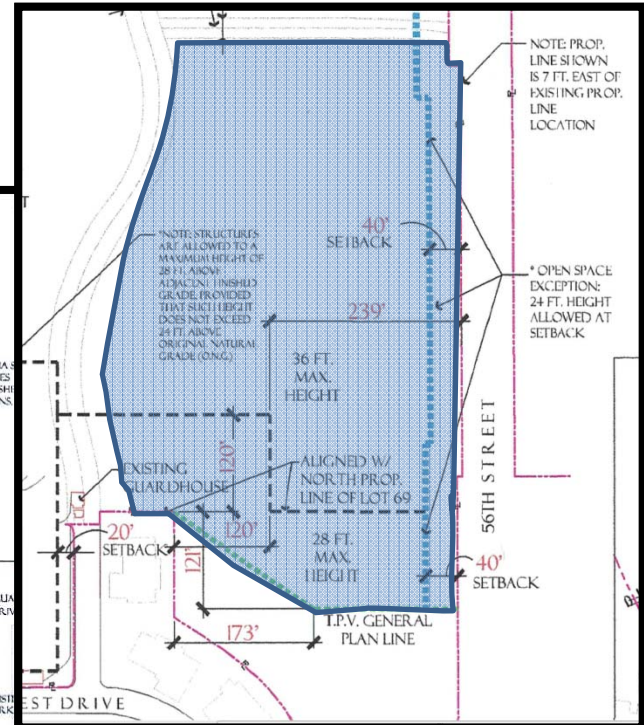
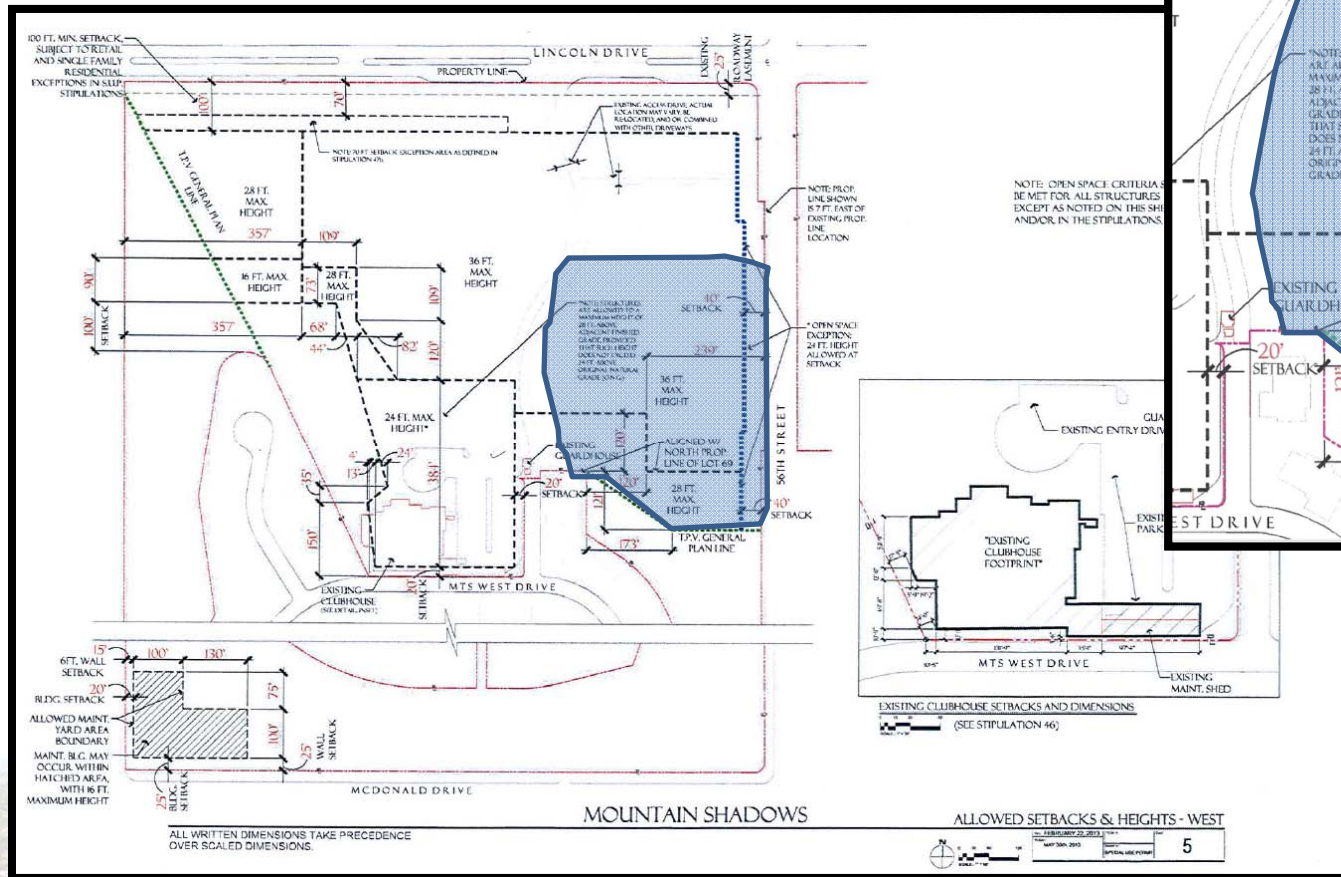


Drainage, Utilities, Fire Protection

- Drainage reviewed by Town Engineer
- Storm water flow via private roads into retention under E. Village Drive/golf course
- 2 new hydrants
- Water pressure exceeds minimum Town 1,500 gpm standard



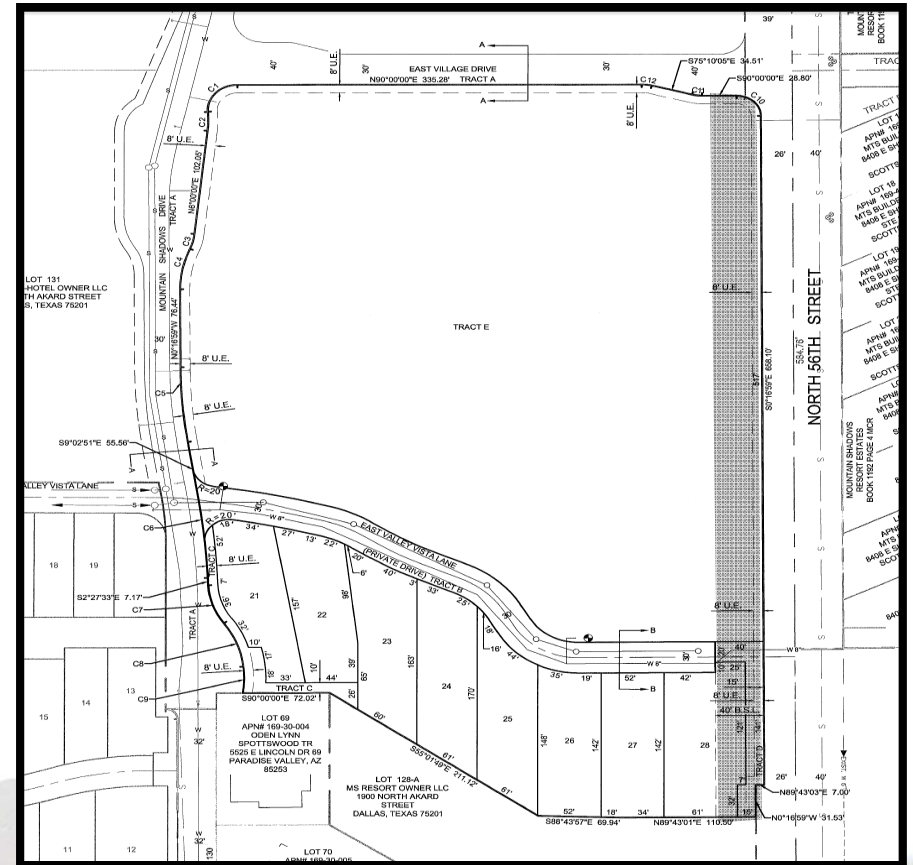
Setbacks/Height



28' height
 40' Setback
 Comply w/OSR 56th St

Size, Shape, Setbacks

- Typical requirements do not apply
- No minimum lot size, width or shape per SUP
- Plat complies with the 40' setback from 56th Street



Commission Recommendation (Summary)

Recommendation of approval, subject to 5 stipulations :

1. Final Plat be in substantial compliance with the Preliminary Plat
2. Final Plat shall include any and all necessary easements and/or tracts
 - For drainage consistent to overall grading/drainage plans, depicted prior to plat recordation
 - For utilities, with correspondence from said utility providers on final locations in process given to the Town prior to Planning Commission recommendation of the Final Plat
3. Prior Final Plat recordation, provide copy of the CC&R's for review



Recommendation (Summary)

4. Final subdivision improvements

- Shall be in substantial compliance with improvement plans (e.g. sewer, water, grading)
- Prior to plat recordation, Town receives all assurances necessary to guarantee completion in public ROW
- Town Engineer shall approve final improvement plans prior to issuance of building permit for a residential unit

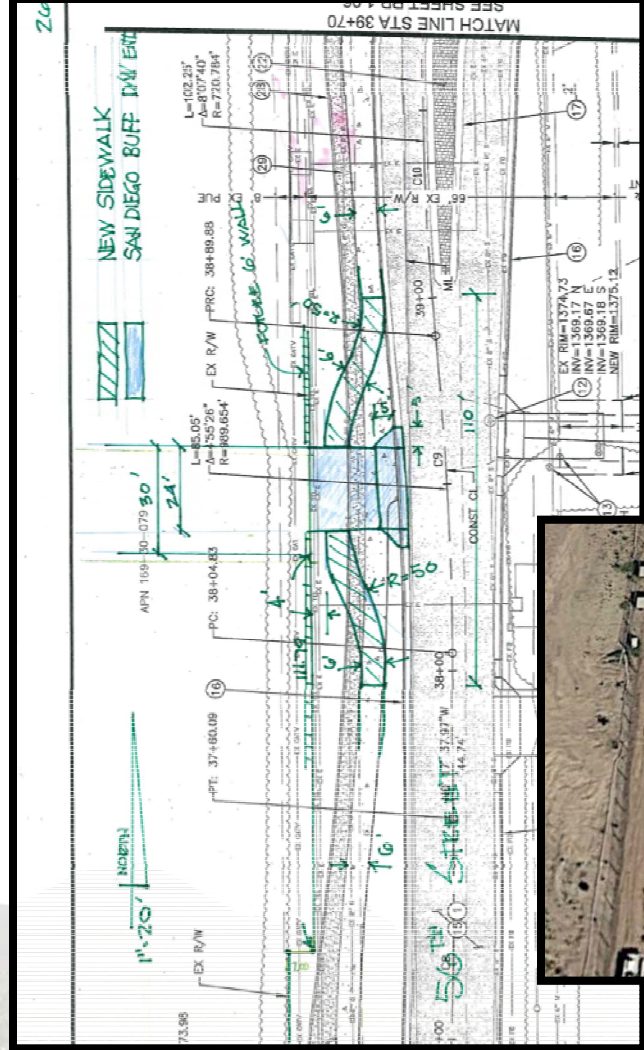
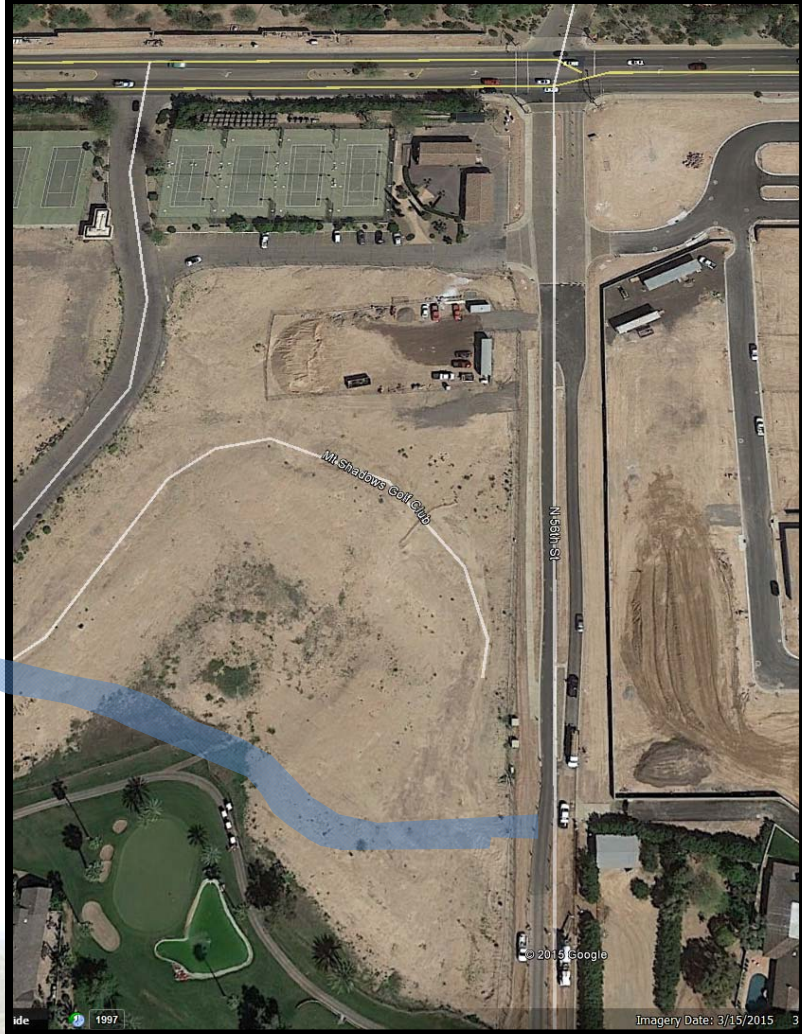
5. Within 30 days of approval of the Final Plat, the applicant shall submit to the Town mylars and plans in a pdf format

~~6. PROVIDED. Demonstrate through graphics/visuals no conflict with exit onto 56th Street~~





56th St Graphic

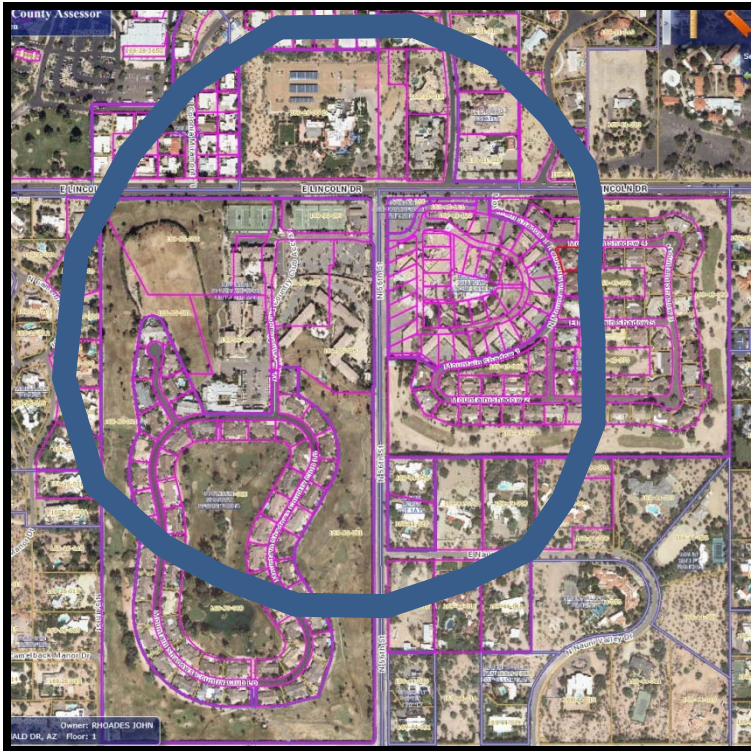


Next Steps

- Council action on September 24
- Commission/Council Final plat at later date



Public Comments



- Property owners within 1,000' mailed notice
- No comments received



Approximate 1,000' radius

Questions?

Lincoln Drive

