

TOWN OF PARADISE VALLEY

Mountain Shadows Estates East Subdivision Tract Improvements

Town Council Work Study Session
April 28, 2016



REQUEST

- HOA requesting approval for improvements to existing subdivision tract that adjoins Lincoln Drive
- Request includes:
 - Modifying existing parking area
 - Re-finishing and adding address sign to existing wall
 - Lighting, landscape and hardscape improvements

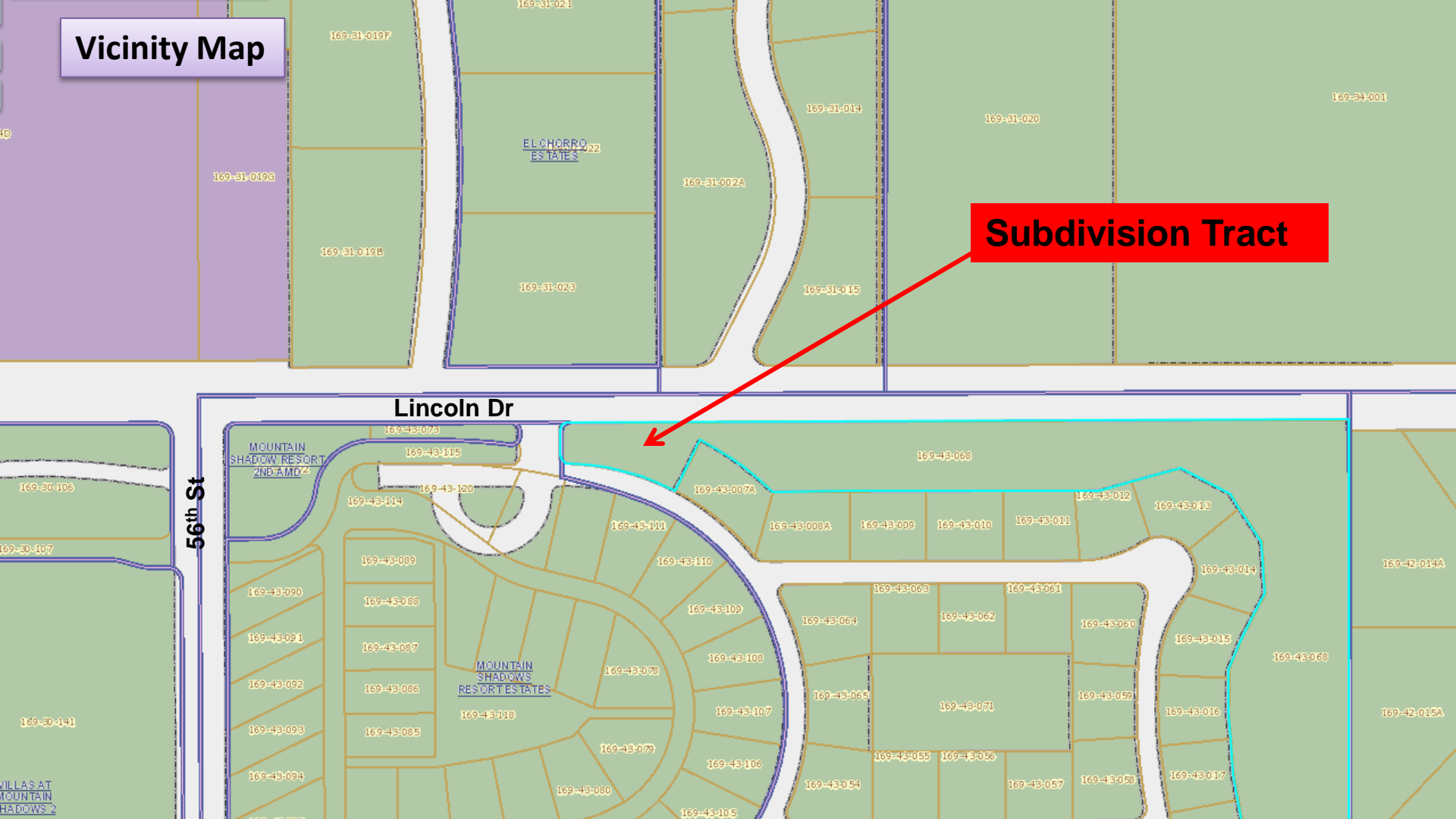


BACKGROUND

- Guard house located in Lot 68 of Mountain Shadows Special Use Permit
- Improvements to guard house area approved via SUP and currently under construction
- Proposed subdivision tract improvements are extension of the improvements to guard house area



Vicinity Map



Subdivision Tract

Lincoln Dr

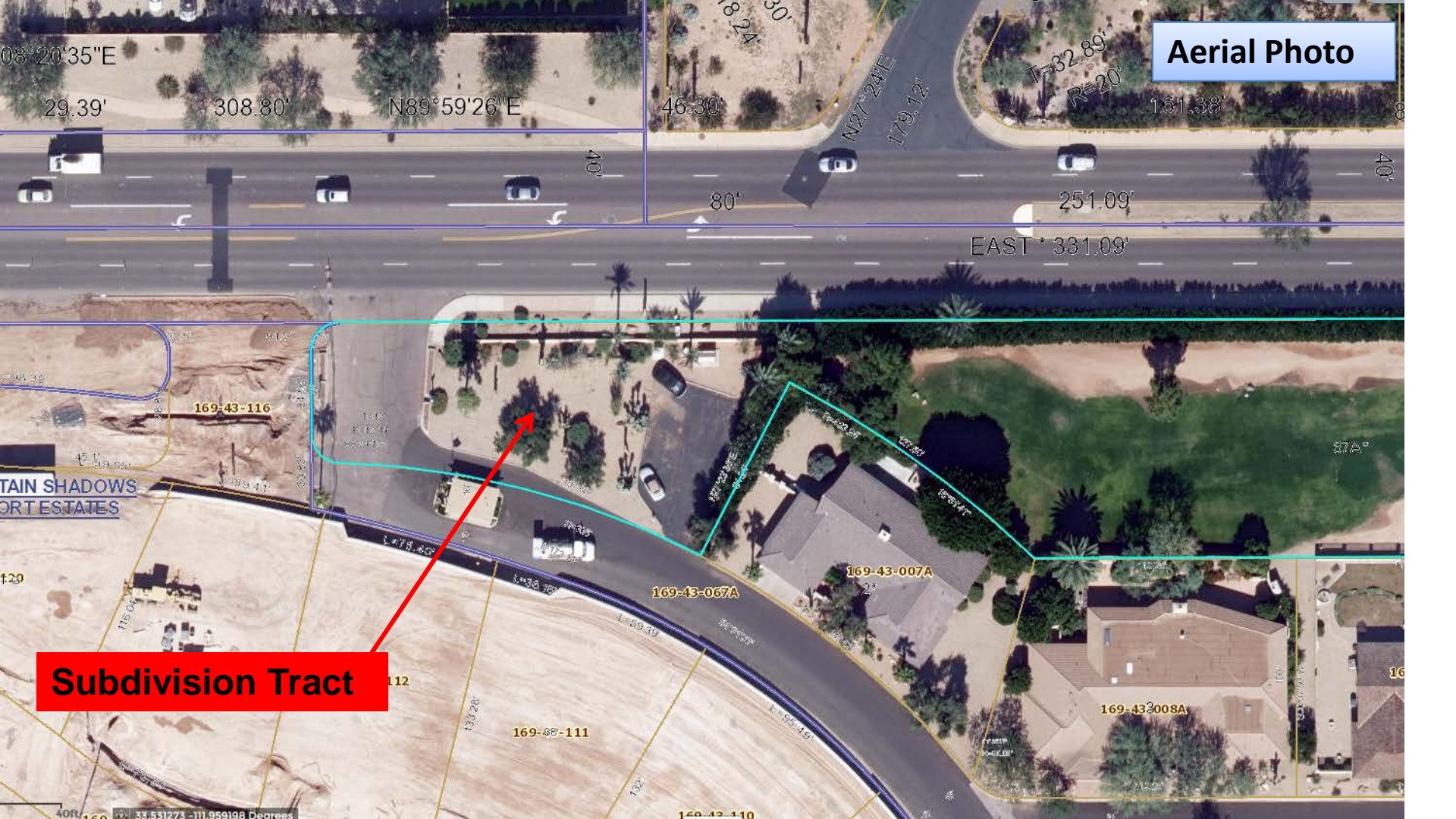
56th St

MOUNTAIN SHADOWS RESORT ZNB AMD #2

MOUNTAIN SHADOWS RESORT ESTATES

VILLAS AT MOUNTAIN SHADOWS #2

Aerial Photo



08°20'35"E

29.39'

308.80'

N89°59'26"E

46.30'

18.24'

N27°24'E

179.12'

T=32.89'

R=20'

161.38'

80'

251.09'

EAST * 331.09'

169-43-116

STAIN SHADOWS
PORT ESTATES

169-43-007A

169-43-067A

169-43-008A

Subdivision Tract

33.531273 -111.959198 Degrees

SCOPE OF IMPROVEMENTS

- **Modified Parking Area:**

- Six parking spaces
- Concrete paver surface
- 6' tall screen wall
- Landscaping placed between screen wall and paver surface

- **Screen Wall:**

- Setback 25' from north property line
- Stucco finish and painted to match guard house



SCOPE OF IMPROVEMENTS (CONT.)

- Existing 3' Tall Wall:

- Re-stuccoed and painted to match guard house
- Back-lit address sign placed on wall:
 - Compliant with Town lighting standards
 - Light source is back-lit and not visible
 - Output of 0.1 foot candles measured at property line (0.75 foot candles allowed)



SCOPE OF IMPROVEMENTS (CONT.)

■ Lighting Improvements:

- Six light bollards placed around parking area
- 3' tall with bronze finish
- Compliant with Town's lighting standards:
 - Light source recessed into fixture and not visible
 - Output of 0.0 foot candles measured at the property line (0.75 foot candles allowed)

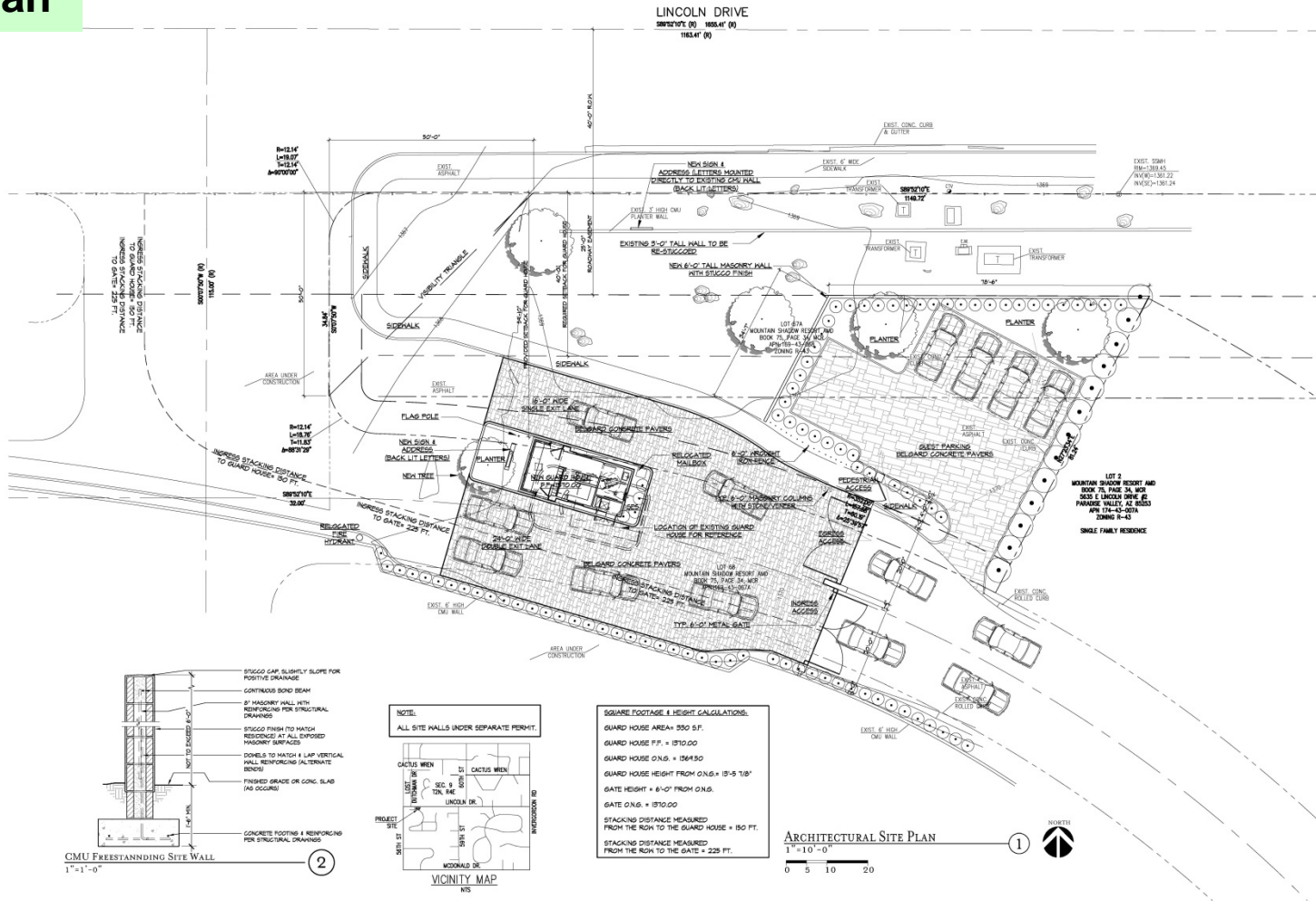


SCOPE OF IMPROVEMENTS (CONT.)

- Landscape & Hardscape Improvements:
 - Sidewalk adjoining Lincoln Drive extended to connect to parking area
 - Landscape improvements include:
 - Decomposed granite throughout tract
 - New landscaping around parking area - cacti, succulents, creosote, and cloud sage bushes.
 - Three retention basins



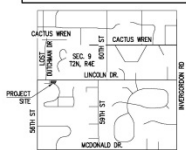
Site Plan



CMU FREESTANDING SITE WALL
1"=1'-0"

2

NOTE:
ALL SITE WALLS UNDER SEPARATE PERMIT.



VICINITY MAP
N/A

SQUARE FOOTAGE & HEIGHT CALCULATIONS:

GUARD HOUSE AREA = 350 S.F.
GUARD HOUSE F.F. = 1870.00
GUARD HOUSE D.N.G. = 1564.50
GUARD HOUSE HEIGHT FROM D.N.G. = 13'-5 TAB'
GATE HEIGHT = 6'-0" FROM D.N.G.
GATE D.N.G. = 1870.00
STACKING DISTANCE MEASURED FROM THE ROOF TO THE GUARD HOUSE = 150 FT.
STACKING DISTANCE MEASURED FROM THE ROOF TO THE GATE = 225 FT.

ARCHITECTURAL SITE PLAN

1"=10'-0"

0 5 10 20

1



NEW GUARD HOUSE FOR:
Mountain Shadows East
PARADE E. LINCOLN DRIVE,
PARADISE VALLEY, AZ 85555

ARCHITECTURE
Candelaria Design
6000 EAST CLAYMAN ROAD, SUITE 100, SCOTTSDALE, AZ 85251
480-464-2001
CANDELARIADESIGN.COM



EXP. 09.30.2016
MAR. 2016

Drawn By: MRC
Scale: 1"=10'-0"
Sheet:

SITE PLAN

A1.1

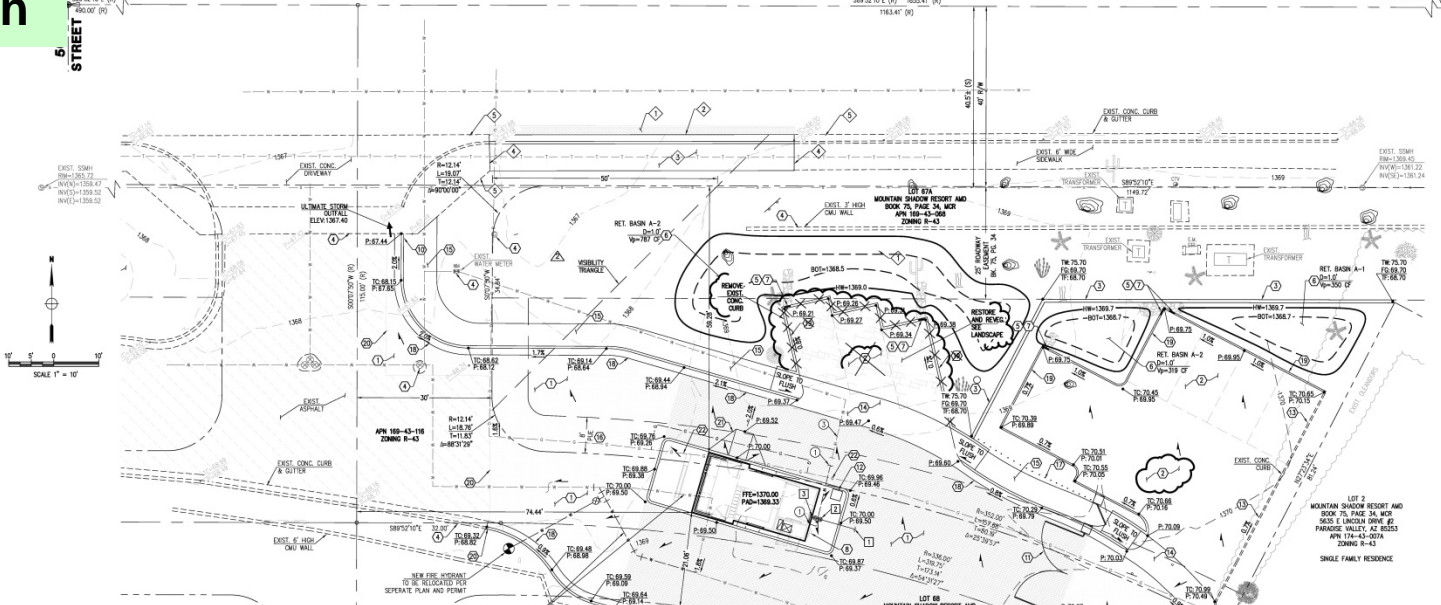
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Civil Plan

STREET
6'
15'
SCALE 1" = 10'

LINCOLN DRIVE
116.47 (R)
116.47 (R)
46.21 (D)
42.71 (D)

TONE B, HATCHING
NE 1/4 COR. W 1/2, NE 1/4, SW 1/4 SEC. 9, T.26, R.4E.



PRIVATE SANITARY SEWER KEY-NOTES

- 1) CONNECT TO EXISTING ON-SITE SANITARY SEWER SYSTEM CONTRACTOR TO LOCATE, VERIFY AND INSPECT EXISTING SEWER SERVICES FOR BLOCKAGE AND DETERMINE FLOW CAPACITY. REFER TO PLUMBING PLANS AND DETAILS FOR NEW BUILDING POINTS OF CONNECTION.
- 2) INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER MAG STD DET. 201-2.
- 3) FOR CONTINUATION SEE PLUMBING PLANS.

PRIVATE WATER KEY-NOTES

- 1) CONNECT TO EXISTING ON-SITE DOMESTIC WATER SYSTEM CONTRACTOR
- 2) TO VERIFY AND INSPECT EXISTING WATER SERVICES FOR BLOCKAGE AND DETERMINE FLOW CAPACITY. REFER TO PLUMBING PLANS AND DETAILS FOR NEW BUILDING POINTS OF CONNECTIONS.
- 3) FOR CONTINUATION SEE PLUMBING PLANS.
- 4) APPROXIMATE LOCATION OF EXISTING WATER SERVICE LINE. CONTRACTOR SHALL VERIFY ACTUAL LOCATION.

OFFSITE PAVING KEY-NOTES

- 1) CONSTRUCT 2" A.C. PAVEMENT OVER 6" A.B.C. ON MATCH EXISTING STREET SECTION, WHEREVER IS GREATER PER MAG STANDARD SPECIFICATIONS. (15 1/2")
- 2) CONSTRUCT 6" VERTICAL CURB AND GUTTER PER MAG STD DET. 200-1, TYPE "X" (60 L.F.)
- 3) CONSTRUCT CONCRETE SIDEWALK PER MAG STD DET. 200-.4 (404 S.F.)
- 4) MATCH EXISTING GRADE.
- 5) PROTECT IN PLACE.

GRADING & DRAINAGE KEY-NOTES

- 1) CONSTRUCT SUPPLEMENTARY 2" A.C. PAVEMENT OVER # 6 A.B.C. ON COMPACTED SURFACE FOR SOLS ENGINEERS RECOMMENDATIONS.
- 2) NEW DECORATIVE PAVINGS ON COMPACTED SUBGRADE. INDICATES PATTERN, TEXTURE AND COLOR FOR ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 3) NEW 6" CMU WALL PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS WITH FINISHED GRANITE PER TOPIARY PARADEIS VALLEY STANDARD DETAIL, APPROVED UNDER SEPARATE PERMIT.
- 4) PROTECT IN PLACE.
- 5) NEW 2" DRAINAGE CURB OPENING AT PAVEMENT GRADE.
- 6) CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARPY BOTTOM OF BASIN TO BEED TO MAINTAIN BEE COMPACTION AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- 7) INSTALL ANGLAR RIP-RAP "SHALE 2004", 1/2" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC BARRIER SERIES OF APPROVED EQUAL.
- 8) NEW ELECTRIC FEEDS LOCATION. REFER TO ELECTRIC PLANS AND DETAILS FOR NEW BUILDING POINTS OF CONNECTIONS.
- 9) TRANSITION FROM ROLLED CURB TO VERTICAL CURB PER MAG STD DET. 200-2.
- 10) NEW CURB TERMINATION PER MAG STD DET. 222.
- 11) NEW GATE FOR INDUSTRIAL PLUMBING AND DETAILS, APPROVED BY FIRE DEPARTMENT UNDER SEPARATE PERMIT.
- 12) NEW RELOCATED WALLBOX PER ARCHITECTURAL PLANS AND DETAILS.
- 13) REMOVE EXISTING ROLLED CURB AS NOTED.
- 14) CONSTRUCT 6" SPOK CONCRETE APRON, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 15) NEW CONCRETE SIDEWALK, INDICATES PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 16) CONTRACTOR TO CONTACT UTILITY COMPANIES FOR RELEASE OF EASEMENT.
- 17) NEW 6" WROUGHT IRON FENCE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS, APPROVED UNDER SEPARATE PERMIT.
- 18) CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DET. 200-1, TYPE "A".
- 19) CONSTRUCT 6" SINGLE CURB PER MAG STD DET. 222, TYPE "A".
- 20) MATCH EXISTING.

- 21) NEW RAMP ASPHALT RAMP FOR ADA ACCESS TO BUILDING.
- 22) EXISTING GASLINE TO BE RELOCATED FROM NEW STRUCTURE PER UTILITY COMPANY.
- 23) CONSTRUCT ROLLED CURB & GUTTER PER MAG STD DET. 200-1, TYPE "C".

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT

$V_{100-2H} - V_{100-2H(20)} = 3071$

DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT C _s	VOLUME REQUIRED C _v	RETENTION BASIN ID	CONTOUR ELEVATION	CONTOUR AREA S.F.	C _w - WEIGHTED RUNOFF COEFFICIENT	DEPTH FT	VOLUME PROVIDED C _v
A	16,809	0.72	1,444	A1	HW	1,369.70	454	1.00	300
					BTM	1,369.70	246		
	A2	HW	1,369.70	468	1.00	319			
		BTM	1,369.70	182					
	A3	HW	1,369.00	1,107	1.00	787			
		BTM	1,368.00	467					
TOTAL			1,444					1,456	

WEIGHTED RUNOFF COEFFICIENT, C_w

SURFACE TYPE	WEIGHT COEFFICIENT C	AREA SQ FT	C*AREA
ROOF	0.85	161	137
CONCRETE PAVEMENT	0.65	10,007	6,505
LANDSCAPE	0.35	6,290	2,182
TOTAL		10,458	12,024
C _w = C * AREA / TOTAL AREA			0.72

MOUNTAIN SHADOW RESORT EAST GUARD HOUSE 6545 E LINCOLN DRIVE PARADISE VALLEY, AZ 85253

DATE: 04/14/18
DESIGNED BY: MP
DRAWN BY: DM
CHECKED BY: J
SCALE: 1/4" = 1'-0"

REVISED ELEVATIONS:
1. REVISED ELEVATIONS
2. ADDD VISIBILITY TRAILER
3. REPLACE W/ W/ER THRUALL

DATE: 02/07/18
DATE: 04/14/18

STAGE: 1: PRELIMINARY
STAGE: 2: GRADING & DRAINAGE
STAGE: 3: UTILITIES

PROJECT NO: 17-14-43-DOTA
ZONING: R-43

SINGLE FAMILY RESIDENCE



SCALE: 1/4" = 1'-0"
DATE: 04/14/18

Lighting Plan



CREATIVE DESIGNS
IN LIGHTING
1900 E. Indian School Road
Phoenix, Arizona 85026
480.248.7822
design@cdli.com
www.cdli.com

1976 37 2015
years of architectural
lighting design

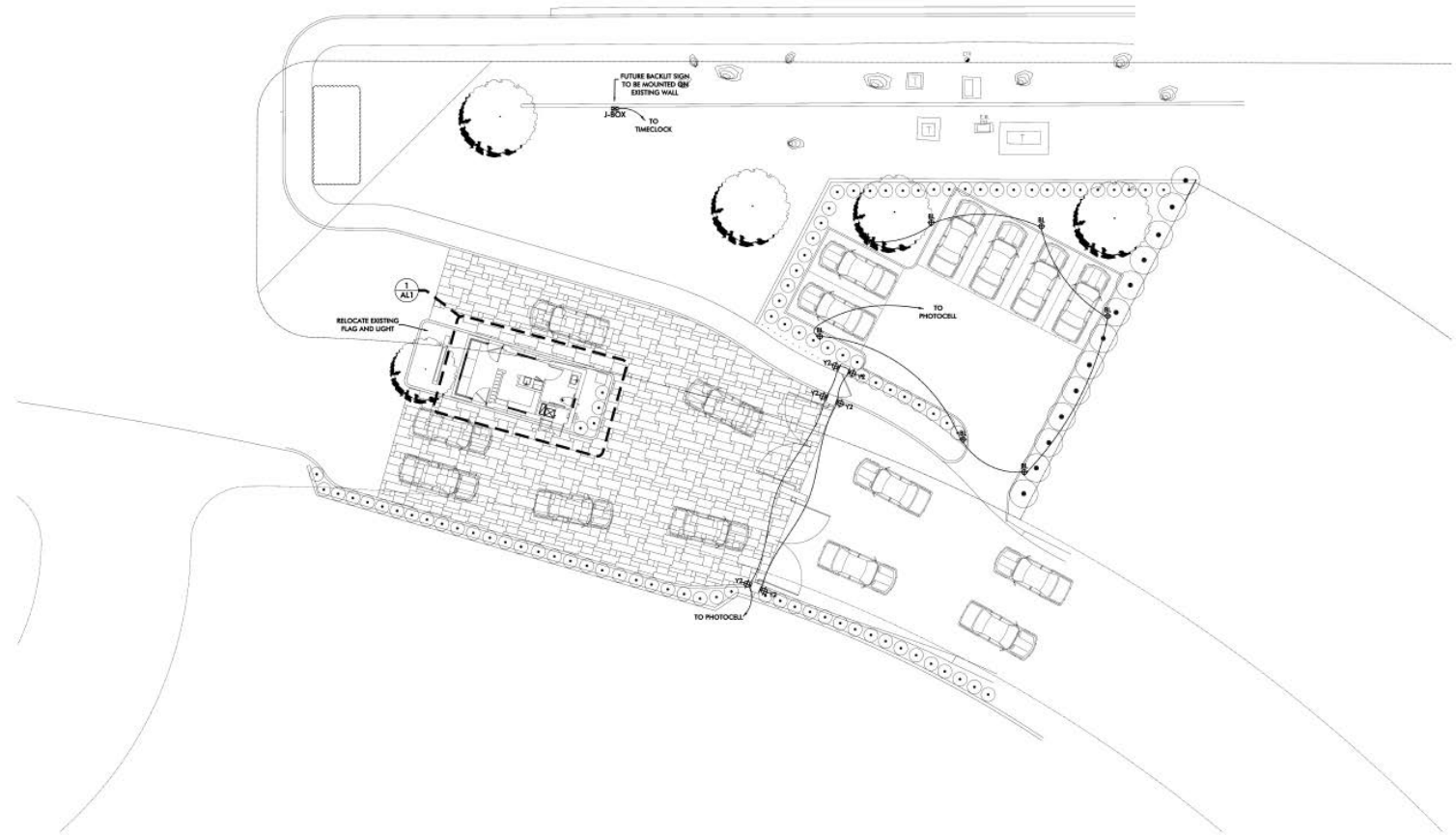
ENTRANCE AND GUARD HOUSE MOUNTAIN SHADOWS EAST, PARADISE VALLEY, AZ

REVISIONS		
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH
△	REVISED	Z.JH

DATE	2.23.15
SCALE	1"=10'
PROJECT NUMBER	1308-15
DRAWN BY	Z.JH
CHECKED BY	IN

SHEET NAME
SITE LIGHTING PLAN

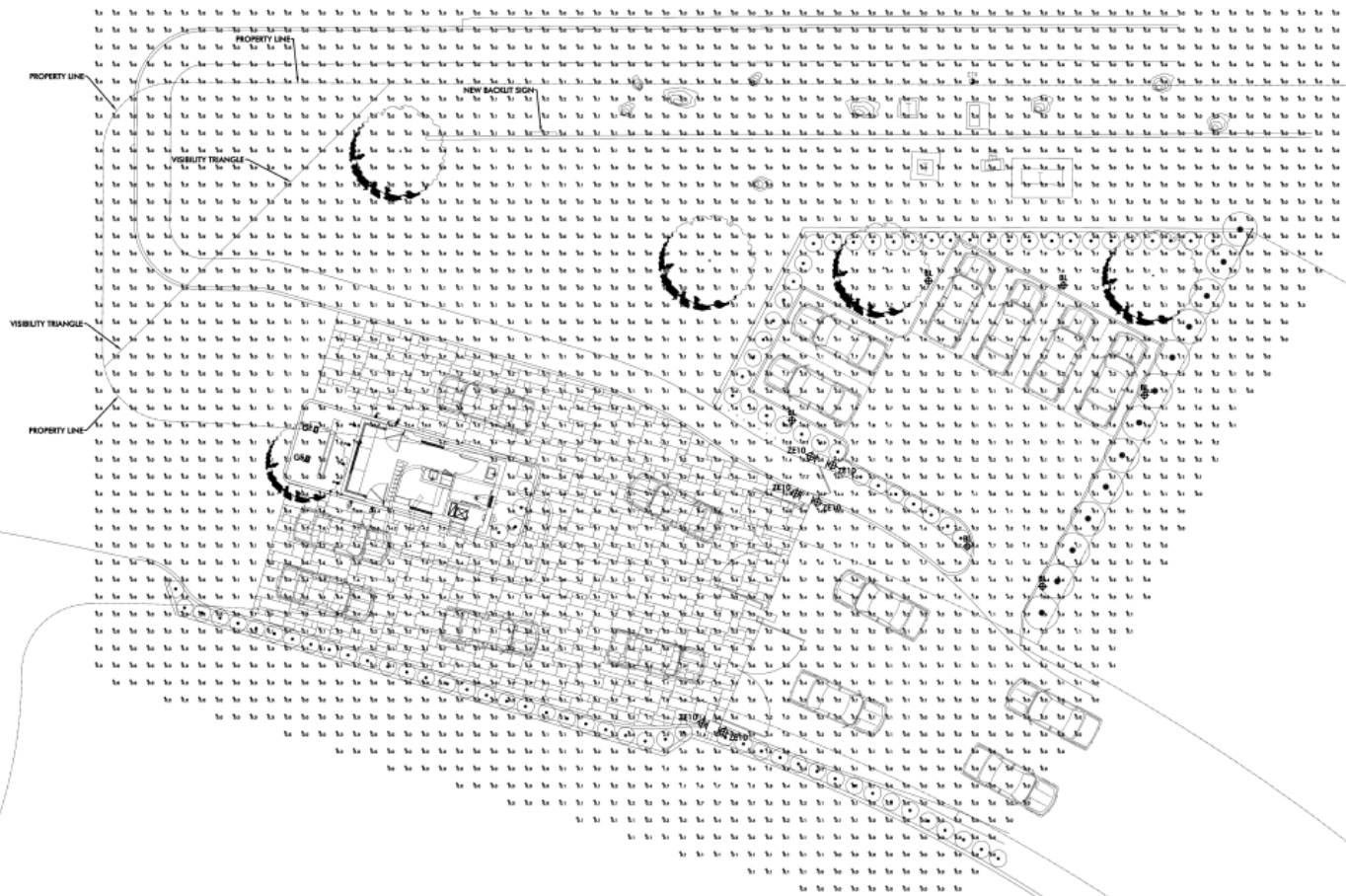
SHEET NUMBER
AL2



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Photometric Plan

PROJECT NAME	DATE	SCALE



CREATION
 1900 E
 Photo
 de
 19
 year
 PHOTO

Bollard Light

TYPE BL

Cree Edge™ Series LED Pathway Luminaires

Product Description
Cree Edge™ series LED luminaire housing mounts standard 4" x 2" recessed luminaire on selected luminaire bodies. Luminaire housing is made from high quality aluminum die cast and finished in powder coat paint for these 4" x 2" luminaire housings. Cree Edge™ is a luminaire housing for use in outdoor applications. The luminaire housing is made from high quality aluminum die cast and finished in powder coat paint. Luminaire housing is made from high quality aluminum die cast and finished in powder coat paint.

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
BL-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

TYPE BL

Cree Edge™ LED Pathway Luminaires

Product Description

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
BL-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

TYPE BL

Cree Edge™ LED Pathway Luminaires

Product Description

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
BL-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

TYPE LA

HALO™

Product Description

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
LA-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

TYPE LA

SORAA LED MR16 LAMPS

Product Description

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
LA-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

TYPE LA

SORAA SNAP SYSTEM LED MR16 ACCESSORIES

Product Description

Performance Summary

Warranty	5 Year
Input Power	10W
Output Power	10W
Color Temperature	3000K

Accessories

Mounting	10W
Input Power	10W
Output Power	10W
Color Temperature	3000K

Ordering Information

Part No.	Color	Mounting	Input Power	Output Power	Color Temperature
LA-10W-3000K-10W	White	10W	10W	10W	3000K

CREE

Address Sign

39"

12"

36"

12"

12"

5635

SCALE: 1 1/2" = 1' 0"

SIMULATED NITE VIEW

PRODUCT C

FABRICATE & INSTALL ONE (1) SET OF ALUMINUM REVERSE CHANNEL ADDRESS NUMERALS

1.5" RETURNS - ALL PAINTED MAP 41-313 DARK BRONZE
 CLEAR LEXAN BACKS - MOUNT w STUDS & SPACERS @ 1/2" STANDOFF
 HALO ILLUMINATION w WHITE LED
 FONT: PALATINO SEMI-BOLD

NO. OF UNITS	2	DATE	10/13/13
PROJECT NO.	21-25734	DESIGNED BY	[Signature]
CLIENT	CLLUM HOMES - MOUNTAIN SHADOWS	DATE	10/13/13
LOCATION	10000 MOUNTAIN SHADOWS L CVR	SCALE	1/2" = 1'
DATE	10/13/13	BY	[Signature]
APP. BY	[Signature]	CHECKED BY	[Signature]

FLUORESCO
 AN AMERICA COMPANY
 IRRADIANT

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Aerial Photo



DISCUSSION

- Modified parking, new lighting, and landscape improvements consistent with existing gated subdivision use
- Chapter 6 of the Town Code requires TC approval on subdivision improvements
- Improvements compliant with Town Code and Zoning Ordinance:
 - Parking area screen wall meets setback and height requirements
 - Address sign and lights are compliant with lighting standards
 - Concrete paver parking complies with General Plan:
 - Reduction of dust via paved surface



NEXT STEP

- Scheduled for action at May 12, 2016 Town Council meeting.



QUESTIONS?

