



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda Board of Adjustment

Wednesday, September 2, 2020

5:30 PM

Council Chambers

1. CALL TO ORDER

2. ROLL CALL

THIS MEETING WILL BE HELD BY REMOTE PARTICIPATION ONLY

PUBLIC PARTICIPATION IN THE MEETING

Members of the public are encouraged to participate in the meeting via the following options:

- 1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
 - (a) Click on Calendar Tab*
 - (b) Look for Board of Adjustment meeting (you may have to select it from the dropdown list) and find the meeting date*
 - (c) Click the "In Progress" link in the column titled Video**
 - 2. Zoom Conference*
 - (a) Computer: <https://zoom.us/j/6678902153>*
 - (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153*
 - 3. Submitting questions and comments:*
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)*
 - (b) Email pmichaud@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)*
 - 4. Speaking during Call to the Public / Public Hearings*
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153*
 - (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address*
- (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)*
- Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Planning Commission will attend by audio/video conference call.*

Notice is hereby given that members of the Public Body will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

3. EXECUTIVE SESSION

The Public Body may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

4. STUDY SESSION ITEMS

Work/Study is open to the public however the following items are scheduled for discussion only. The Public Body will be briefed by staff and other Town representatives. There will be no votes and no final action taken on discussion items. The Public Body may give direction to staff and request that items be scheduled for consideration and final action at a later date. The order of discussion items and the estimated time scheduled to hear each item is subject to change.

5. PUBLIC HEARINGS

The Public Body may take action on this item.

A. **20-320** **Rauch Variance - 5230 E. Palo Verde Place (APN: 169-29-015)**
 Case No. BA-20-02

Attachments: [A - Vicinity Map & Aerial Photo](#)
 [B -Application](#)
 [C - Narrative & Plans](#)
 [D- Notification Material](#)
 [E - Public Comment](#)

B. **20-323** **Kelly Variance - 5235 E. San Juan Ave. (APN 172-47-035).**
 Case No. BA-20-01

Attachments: [A - Vicinity Map & Aerial Photo](#)
 [B- Application](#)
 [C - Narrative & Plans](#)
 [D - Notification Materials](#)

C. **20-324** **Hogan Variance - 5434 E. Lincoln Drive No. 49 (APN 169-28-060).**
 Case No. BA-20-03

Attachments: [A - Vicinity Map & Aerial Photo](#)
 [B - Application](#)
 [C -Narrative & Plans](#)
 [D - Noticing Materials](#)

6. ACTION ITEMS

The Public Body may take action on this item.

7. CONSENT AGENDA

All items on the Consent Agenda are considered by the Public Body to be routine and will be enacted by a single motion. There will be no separate discussion of these items. If a Commissioner or member of the public desires discussion on any item it will be removed from the Consent Agenda and considered separately.

A. [20-325](#) Approval of the May 6, 2020 Board of Adjustment Meeting Minutes

Attachments: [05.06.20 Minutes Draft](#)

8. STAFF REPORTS**9. PUBLIC BODY REPORTS****10. FUTURE AGENDA ITEMS****11. ADJOURNMENT**

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the Planning Commission meeting.



Action Report

File #: 20-320

TO: Chair and Board of Adjustment

FROM: Paul Michaud, Planning Manager
George Burton, Senior Planner
Loras Rauch, Special Project Planner

DATE: September 2, 2020

DEPARTMENT: Community Development

AGENDA TITLE:

**Rauch Variance - 5230 E. Palo Verde Place (APN: 169-29-015)
Case No. BA-20-02**

A. MOTION FOR APPROVAL

I move for **[approval]** of Case No. BA-20-02, a request by David and Julie Rauch, currently under contract to purchase the property at 5230 E. Palo Verde Place; for two variances from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow an addition to the primary residence to encroach into the setback and, 2) Article XXIII, Nonconformance, Sec 2307, to allow existing nonconforming portions of the primary residence to remain and to be modified.

The variance shall be in compliance with the submitted plans and documents:

1. The Zoning Adjustment Case Narrative, prepared by Rose Law Group and dated Revised July, 2020;
2. Site Plan, Sheet A1.1, prepared by Matthew Thomas Architecture and dated July 9, 2020; and
3. Exterior Elevations, Sheet A2.1, prepared by Matthew Thomas Architecture and dated July 9, 2020.

Reasons for Approval:

I find that there are special circumstances, applicable to only the subject lot, meeting the variance criteria.

B. MOTION FOR DENIAL

I move for **[denial]** of Case No. BA-20-02, a request by David and Julie Rauch, currently under contract to purchase the property at 5230 E. Palo Verde Place; for two variances from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow an addition to the primary residence to encroach into the setback and, 2) Article XXIII, Nonconformance, to allow existing nonconforming

portions of the primary residence to remain and to be modified.

Reasons for Denial:

I find that the variance requested does not meet the variance criteria.

BACKGROUND:

Request

The applicant requests two variances

1. A request for variances to the rear setback of 28.14 feet where 40 feet is required and the side setback of 14.99 feet where 20 feet is required, and
2. Allow existing nonconforming portions of the primary residence to remain while also being allowed to be modified.

The first variance is to allow for the existing legally nonconforming setbacks to be retained and allowing for one (1) of three (3) small additions to partially encroach within the existing legally nonconforming rear setback. This small addition (148 SF) encroaches into the Town's 40-foot rear yard setback but seeks to maintain the same rear setback (28'-2") of the house which has been in place since the construction of the home; so it does not increase the overall deviation. The master bedroom addition which will encroach into the rear yard setback is 20 feet tall measured from the lowest natural grade (LNG) and is compliant with the Town's height limits. The Town Code limits the primary residence to a maximum overall height of 24 feet tall measured from LNG and the Town's Open Space Criteria. The Open Space Criteria is an imaginary tent that is placed over the home in which the 24' height limit cannot be utilized until 60 feet away from all property lines.

The second variance is for the remodeling the applicant will conduct post-purchase that will surpass the fifty (50%) percent threshold of the existing square footage per Article XXII, Section 2307. The substantial remodel and improvements will raise the entire roof height by two (2) feet to a total of 16 feet; including those portions that are within the existing nonconforming setbacks. As proposed, the raised roof height of up to two (2) feet will still be well within the allowable building height restrictions and will not encroach into the required Open Space per Sec 1001.

Lot Conditions

Lot 15, Paradise Valley Estates, is approximately 45,231 square feet and is not square but rather trapezoidal with the width at the street being 150 feet and the rear 170 feet. The Town's current minimum lot width standards are 165 feet. The property is longer and narrower than a standard square lot might be. The property has a wash that runs through it at an angle and incumbers approximately 8720 SF or about 19% of the total lot coverage. The wash does not currently have a drainage easement established but per the "case narrative" the applicant will comply with the Town Code Sec. 5-10-7(C) and dedicate such easement prior to any permit being issued; if deemed necessary by the Town Engineer.

Lot History

The subject property is Lot 15 of the Paradise Valley Estates subdivision. The subdivision was

platted in 1954 and the home was constructed in 1958 under Maricopa County jurisdiction. The property was annexed into the Town in 1982 and zoned R-43. The following permits were issued by the Town:

- August 17, 1984. Building permit issued for a guest house.
- May 5, 1986. Building permit issued for an addition to the main house.
- June 5, 1986. Building permit issued for a retaining wall.
- July 29, 1986. Building permit issued for a pool and spa.
- May 10, 2000. Building permit issued for a new roof and relocate the front door.

The existing home was built with a 28.14 feet rear setback and a 14.99 feet side setback which are legally nonconforming setbacks. The applicant is seeking to maintain these existing setbacks while proposing three (3) small additions as they update this older home to bring it up to modern standards. The additions are: a new covered entry (96 SF) on west elevation; a kitchen area (201 SF) at southeast corner of house; and, a small addition (190 SF) to accommodate a closet in the master bedroom at the rear of the house. A portion (148 SF) of this addition to the master bedroom encroaches into the existing legally nonconforming rear setback but only to the same point as the existing home already does and it will adhere to the twenty (20) foot side setback as currently required by the Town.

The current design of the house is that of a 1950's ranch style and has both low gable and shed style roofs. The proposed heightened roof will provide modernization for the interior of the home, unify the roof elements by eliminating the shed roofs and still maintain the historic ranch character for the surrounding neighborhood.

There are no changes proposed at this time to the existing guest house (just paint) or pool which are also both legally nonconforming uses (nonconforming setbacks). The applicant has been made aware that should changes be proposed to either of these in the future, they would need to either conform to the development standards or go through the variance process.

The current property owner, Susan French, authorized the applicant to submit the variance application. A copy of the letter of authorization is included in Attachment B.

DISCUSSION/ FACTS:

Variance criteria:

Town Code and Arizona Revised Statutes set criteria an applicant must meet before a Board of Adjustment may grant a variance request. If the Board finds an applicant meets all of these criteria, the Board may grant the variance. However, if the Board finds the applicant does not meet all of the criteria, the Board may not grant the variance. The following are staff's findings with regard to such variance criteria.

1. *"Such variance... will serve not merely as a convenience to the applicant but are necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstances."* (Town Code Section 2-5-3(C)2).

Findings in Favor (FIFs):

The property hardship is the wash that traverses the property and reduces the developable area of the lot by approximately 19%. Additionally, the lot frontage is narrower, and the wash covers a large portion of the front of the property, so the buildable area of the lot was pushed further back into the lot and more to the east side of the lot. The existing home conformed to the setbacks that were in place at the time of construction in Maricopa County; which are not compliant with the Town's R-43 rear yard setback requirement. The home is 4,402 SF, (5,302) including the guest house, which is less than the typical square footage of homes in Paradise Valley (of approximately 8,000 square feet).

Findings Opposed (FOPs):

Instead of requesting a variance the applicant could demo those portions of the home that encroach into the setback (portions of the existing garage and master suite) eliminating the nonconformity issue and since they are already raising the roof, they could build a larger two-story home on the lot that conforms to the current setbacks.

2. *The “special circumstances, hardship, or difficulty [do not] arise out of misunderstanding or mistake...” (Town Code Section 2-5-3(C)4(b)).*

FIFs:

The hardship is not out of misunderstanding or mistake. The reduced buildable area of the front portion of the lot was caused by the presence of the wash traversing the property and how the lot was platted. This necessitated that the home be located further back from the road than other homes in the neighborhood; yet still in conformance with the setbacks at the time the home was constructed.

The applicant is doing their due diligence prior to purchasing the property and is seeking clarification as to the permissibility of maintaining the existing legal nonconforming setbacks while trying to modernize a decades old home to today's standards. Retaining and modernizing existing housing stock rather than tearing down and rebuilding helps maintain the historic character of the neighborhood and is a benefit to the community.

FOPs:

Even though the encroachment is no more than already exists the applicant might consider other alternatives than to construct a master bedroom closet at that location (Variance #1). The applicant also could choose to raise not more than fifty (50%) percent of the roof area and add a second story to the home (a whole new master suite) rather than raising 100% of the roof just two (2) feet to maintain a single-story home in the historic character as currently exists (Variance #2).

3. *“Such variance from ... the strict application of the terms of [the Zoning Ordinance] ... are in harmony with its general purposes and intents...” (Town Code Section 2-5-3(C)2).*

FIFs:

Because of the unique circumstances of the lot, both the primary residence and the guesthouse are set back further from the street than is required by code. This provides a large open feel to the street which is a goal of the Town. Additionally, the applicant is endeavoring to maintain the single-story design and historic architectural character of the home while modernizing it with the least possible

impact to the neighborhood. This is in keeping with the General Plan policy of encouraging redevelopment that respects and responds to existing physical characteristics that contribute to the overall character and livability of the neighborhood.

Rather than creating a very modern looking home with a flat cantilevered roofline and metal design the applicant is seeking to raise the roof by two (2) feet to provide more light and air to the interior of the home but maintain the gable roof style that is in keeping with the historic character for the neighborhood.

The application has seven (7) letters of support for their request from neighbors; all whom believe this proposal to be a positive impact to the neighborhood.

FOPs:

The variance does not meet the intent of the Code. Raising the roof and remodeling the house will extend the life of the nonconforming portion of the house. Also, the new master closet addition increases the nonconforming aspect of the house by placing additional structure into the rear yard setback.

4. *"The special circumstances, hardship or difficulty applicable to the property are [not] self-imposed by the property owner, or predecessor..." (Town Code Section 2-5-3(C)4).*

FIFs:

The request is not self-imposed. Due to the wash that traverses the lot and the shape of the lot, the applicant has an existing home that was built in the back of the lot. The home is on septic with the septic tank located in the front yard and out of the wash which only further reduces the buildable area in the front portion of the lot. The existing home is smaller than typical homes in Paradise Valley and the applicant is trying to modernize an existing 1960's home while maintaining the historic character and matching the existing setback conditions.

FOPs:

The request is self-imposed since other options exist such as: do nothing to the property and let it continue to age; improve the property but only cosmetically and not entirely up to current market demands or design trends; or demolish the home and build a new bigger and better home.

5. *Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district." (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

The wash and size of the lot limit the buildable area to the rear of the property. The applicant has a difficult lot to build on and is trying to work with existing conditions rather than diverting the wash to create more buildable area. This wash appears to run in its natural course and simply traverses the property from the northeast corner through to the southeast encumbering a good deal of the buildable portion of the lot. Being one of the first homes built in this subdivision, the original owner simply built the residence further back on the lot and away from the wash. Subdivision development

practices have changed over the decades and it might be fair to say that newer developments with similar wash impacts would be engineered in a manner that would provide lots with more unencumbered buildable area than this lot was afforded. However, the Town Code also encourages the maintenance of washes in their natural state. By working with the existing conditions of the site, the applicant is able to help maintain the wash in accordance with the Code.

Additionally, the applicant may be required to dedicate a drainage easement for this wash which would also include a five (5') foot buffer beyond the wash boundaries for maintenance. This would further reduce the useable area of the lot.

FOPs:

Arizona Revised Statutes and the Town Zoning Ordinance do not require the most optimal or profitable use of a property. The use of the property was established around 1959, the house is already built, one of the variances seeks to maintain the existing legally nonconforming setbacks and the other variance seeks allowances to modernize more than 50% of the residence. Despite these circumstances, other alternatives exist such as the house could be left as is or change the scope of the remodel to meet current codes.

6. *The variance would not “constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.” (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

Other properties in Paradise Valley have been torn down and rebuilt with larger more updated homes. This applicant is seeking to maintain the existing home rather than tear it down and rebuild. They are seeking approval to maintain the historic setbacks and to modernize it with minimal visual impact and in keeping with the historic character of the neighborhood.

The requested variances are the minimum necessary to preserve and modernize this old home which in turn will further enhance the existing neighborhood.

FOPs:

All other properties in the R-43 district must meet the current setback requirements. It is the encroachment into these current setbacks that create the nonconforming circumstances for this property. If the setbacks were compliant with current code, the applicant would be free to remodel 100% of the home and there would be no need for the second variance request.

COMMENTS: Staff received seven (7) letters of support for the variance from neighbors. Staff did not receive any opposition letters, comments or inquiries regarding this request.

COMMUNITY IMPACT: None.

FISCAL IMPACT None.

CODE VIOLATIONS: None.

File #: 20-320

ATTACHMENTS

- A - Vicinity Map & Aerial Photo
- B - Application
- C - Narrative & Plans
- D - Notification Materials
- E - Public Comment



VICINITY MAP

Subject Property

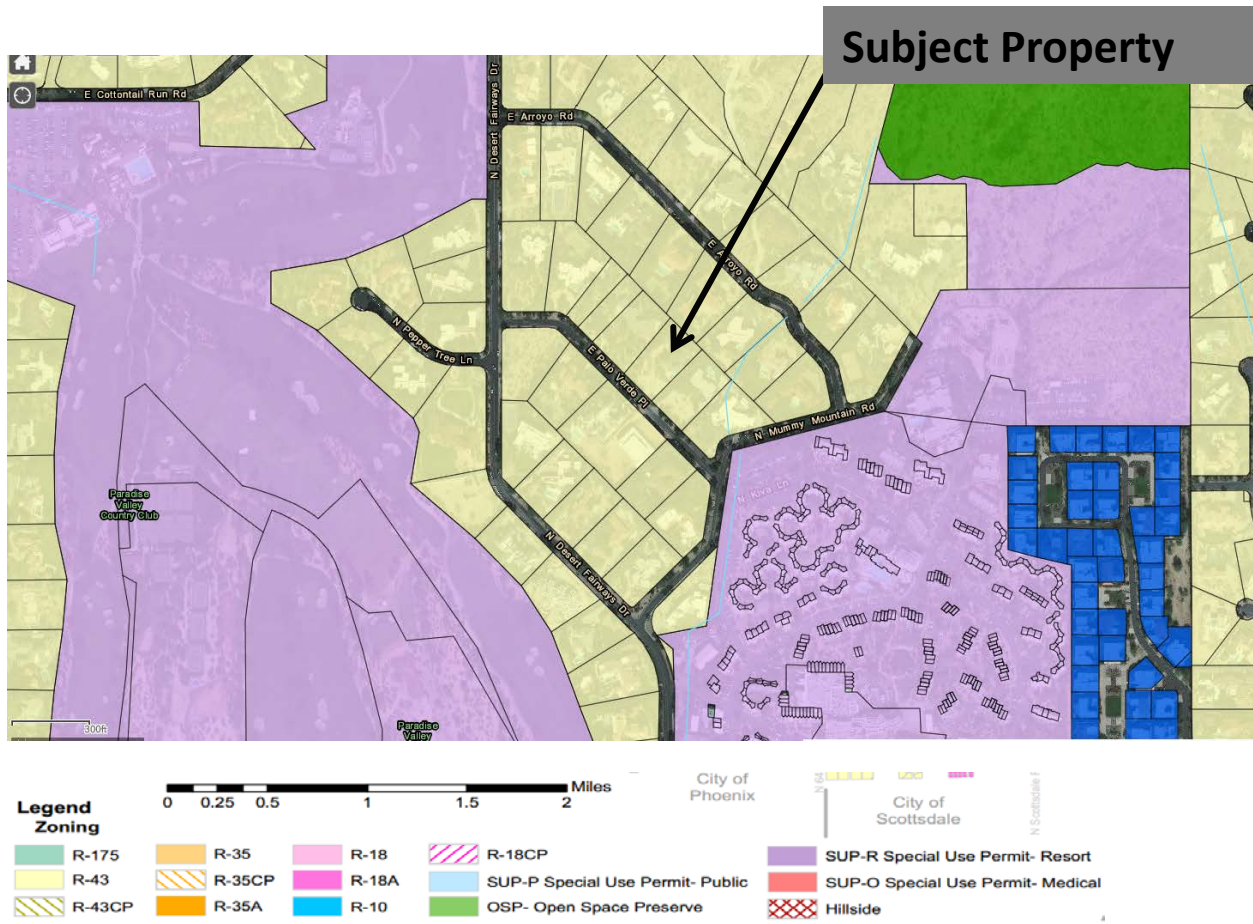


Paradise Valley Estates Lot 15

5230 E Palo Verde Place



ZONING



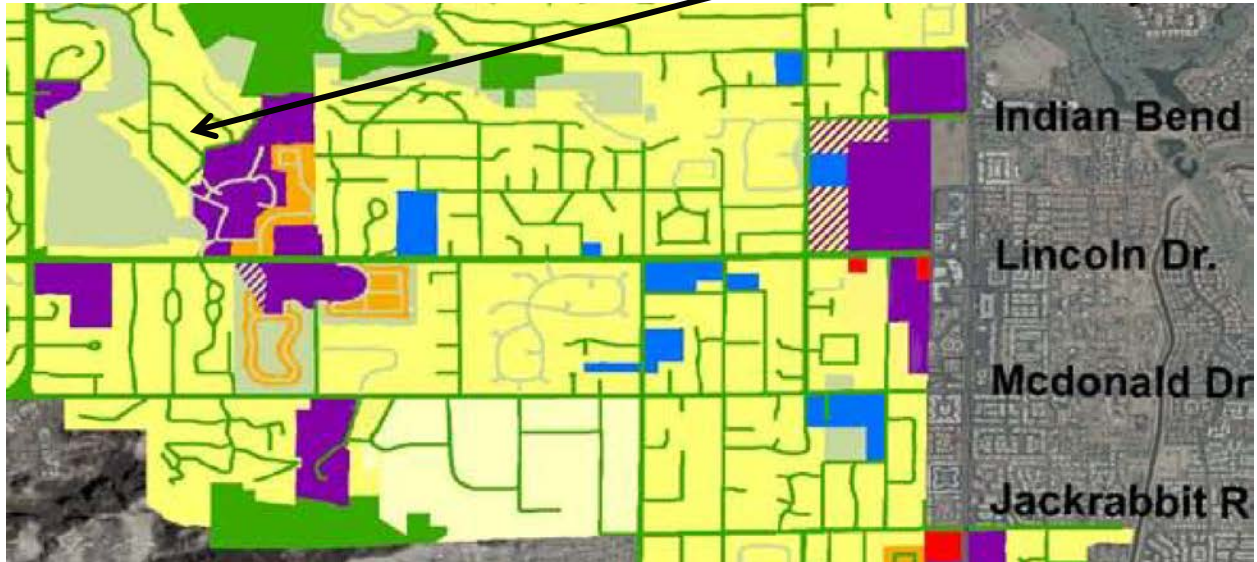
Paradise Valley Estates Lot 15

5230 E Palo Verde Place



GENERAL PLAN

Subject Property



Legend

Low Density Residential OR Resort/Country Club	Private Open Space
Private Open Space OR Resort/Country Club	Public Open Space
Very Low Density Residential	Medical Office
Low Density Residential	Public/Quasi Public
Medium Density Residential	Resort/Country Club

Paradise Valley Estates Lot 15

5230 E Palo Verde Place

APPLICATION TO BOARD OF ADJUSTMENT FOR VARIANCE

DATE: 4/13/2020

LOCATION OF PROPERTY: 5230 E Palo Verde Place, Paradise Valley
ADDRESS

LEGAL DESCRIPTION: See attached

OWNER: See attached owner authorization
PRINTED NAME

X

SIGNATURE

ADDRESS

PHONE #

ENGINEER/OTHER:

PRINTED NAME

X

SIGNATURE

ADDRESS

PHONE #

APPLICANT/

REPRESENTATIVE: Nick Labadie
PRINTED NAME

X

SIGNATURE

7144 E Stetson Drive, Suite 300, Scottsdale, AZ 85281
ADDRESS

480-240-5640

PHONE #

480-505-3925

FAX #

THE ABOVE APPLICANT HEREBY APPLIES FOR A VARIANCE AS INDICATED
BELOW IN ACCORDANCE WITH THE ZONING ORDINANCE AND SECTION 2-5-3 OF
THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY.

STATE HARDSHIP INVOLVED OR GROUNDS FOR APPEAL TO THE BOARD OF ADJUSTMENT. (Please attach additional sheets as necessary).

See attached

PROPERTY OWNER / AGENT AUTHORIZATION

APPLICATION FOR ZONING/BUILDING PERMITS/LAND USE ENTITLEMENTS

Property Address: **5230 E Palo Verde Place**

Assessor's Parcel No. **169-29-015**

As the Property Owner of the property located at the address above, I/we authorize Rose Law Group, pc, to act as an agent on my/our behalf for the sole purpose of requesting and processing a variance, or any other entitlements necessary. I/We understand that any application may be approved, modified or denied with conditions, and that such conditions or modifications must be complied with prior to issuance of building permits.

I/We further understand that signing of this authorization in no way creates an obligation of any kind.

Printed Name:

Susan W. French

Title/Company:

Susan W. French survivors trust

Authorized Signature:

DocuSigned by:

Susan W. French

Date:

4E5D5C2BD62143C...
3/13/2020

Rauch Variance for Reduced Setbacks

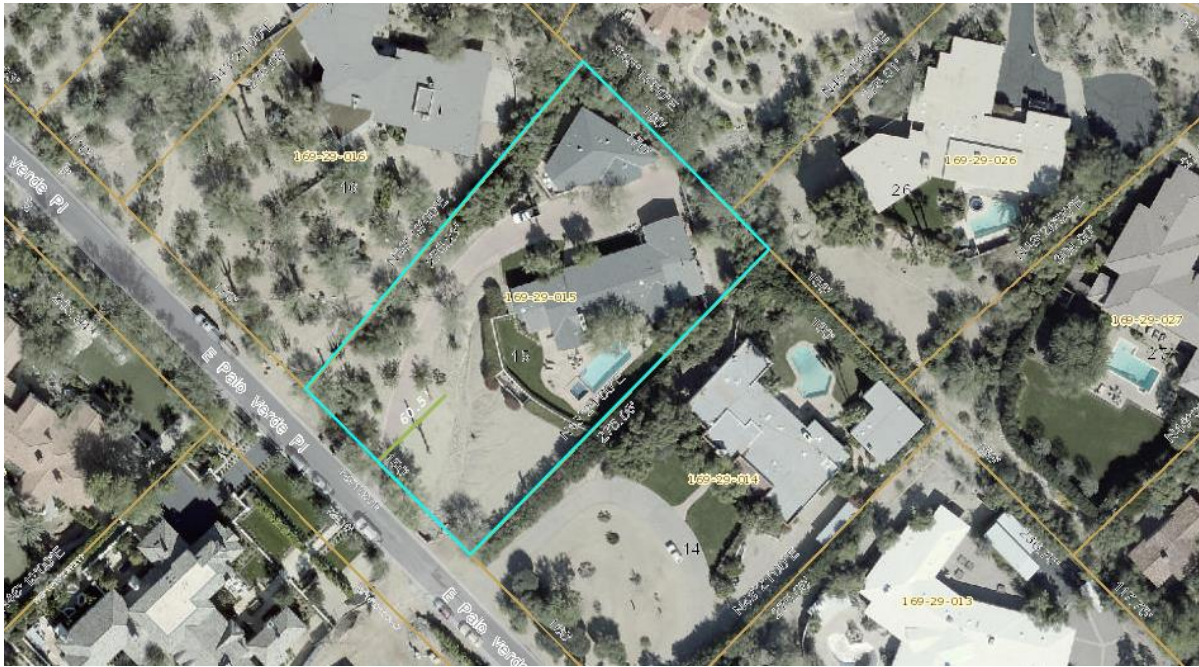
5230 E Palo Verde Place

Paradise Valley, Arizona 85253

APN: 169-29-015

April, 2020

Revised July, 2020



Prepared by:

Rose Law Group

7144 E Stetson Drive, Suite 300

Scottsdale, AZ 85255

480.240.5640

Jordan Rose

Nick Labadie

David and Julie Rauch ("Applicants") are purchasing the property at 5230 E Palo Verde Place (the "Property") in the Town of Paradise Valley (the "Town"), see **Exhibit A, Vicinity Map**, with an existing home that appears to have been built around 1959 according to Maricopa County's online mapping tools (see **Exhibit B, Historical Photo**). The Rauchs' intent is to update this older home throughout while maintaining its appropriateness for the natural surroundings and the neighborhood. The substantial remodel and improvements will be primarily internal, maintain the footprint of the home, and be conducted in a way such that the only noticeable changes will be rejuvenating the Property. There are no new structures proposed, no additions proposed, and no increase to any of the current setback deviations - which have not changed in well over half a century.

The Property is zoned R-43, is approximately 45,231 square feet and is generally trapezoidal in shape with the front property line being 20 feet narrower than the rear. There is also a massive wash that runs from the northern corner to the southern corner where it spreads out over a large area as shown in the photo below (also see **Exhibit E, Wash Plan**).



Approximate location of wash and affected area of lot.

This wash posed a significant challenge to the location of the home on the Property during its original construction, forcing it to the rear of the lot and shifting it to one side and poses a similar challenge today. The home and guest house were constructed to avoid this wash, which placed each partially within what

would become the setback areas after annexation into the Town. The exact deviations are shown on **Exhibit C, Site Plan and Elevations** and **Exhibit D, Context Plan**. Both structures are currently within the required setbacks but are legally nonconforming and therefore do not need variances. However, while the proposed improvements will not change the footprint, it is anticipated that the interior changes in combination with replacement of windows and doors will certainly exceed the 50% allowed by the Town's Zoning Ordinance (the "Ordinance") triggering the need for variances to be granted for the deviations into the setback areas for the primary residence. There are no changes proposed to the guest house or pool, which are both legally non-conforming uses. It is understood that should changes be proposed to either of these in the future, they would need to either conform to the development standards or go through the variance process.

REQUEST

The purpose of this application is to request variances from Article X, Section 1001, Table 1001-A1 of the Ordinance to allow for the mostly internal remodel of more than 50% of the existing home that has been encroaching into the setback for many years. In other words, this request is to allow the Rauch Family to remodel the primary residence as it sits without any additional setback encroachments. Table A, below, specifies each deviation requested. There are no other deviations requested at this time.

Table A – Requested Deviations

Requested deviations from Article X, Sec. 1001, Table 1001-A1 Primary Building Area, Width, Story, and Setback Limitations		
	Required	Requested
Rear Setback	40'	28.14'
Side Setback	20'	14.99'

The existing height of the home is 12.24 feet and the accessory structure is 15.53 feet. The height of the primary residence is proposed to increase (maintaining roof shape and design) by 2 feet and will not encroach into the required Open Space per Sec. 1001 (see **Exhibit C, Site Plan**). There is no change proposed to the guest house. The side setback for the pool is also existing non-conforming, but no changes are proposed to the pool. The home is not connected to sewer and therefore makes use of a septic system (located on Exhibit C, Site Plan). The wash does not currently have a drainage easement established, but the applicant will comply with the Town Code Sec. 5-10-7(C) requiring a drainage easement be created benefiting the Town prior to any permit or certificate of occupancy being issued, if it is determined that the wash in the front yard, or anywhere else on the Property, meets the definition of a watercourse.

The Applicants are in the process of purchasing the Property and pursuing this application to facilitate that purchase, which would close upon approval of this application. Because they do not yet own the Property, they have not prepared full plans for the remodel. However, they are conducting sufficient due diligence to know that the remodeling of the primary residence they will conduct post-purchase will

indeed surpass the 50 percent threshold of the existing square footage per Article XXIII, Section 2307. The requested deviations are known with certainty as it is an existing structure whose setbacks will not be altered as a part of the remodeling.

Section 2-5-3(C)(2)(a) of the Town Code of Paradise Valley authorizes the Board of Adjustment to permit “such variances from and exceptions to the strict application of the terms of this section” that it finds are in harmony with the general purposes and intents of the Town Code and they meet the requirements below. We believe that the existing home, which is not proposed to change as would affect the setbacks, is in harmony with the purposes and intent of the Town Code, which is demonstrated in part by the Town annexing this property with the existing home and setback deviations. The specific variance criteria are discussed below.

1. ***“Such variance...will serve not merely as a convenience to the applicant, but [is] necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstances”***

This request is not being made to build a larger home, move structures, or in any other way increase the setbacks that have existed on the site since the home’s original construction. Instead, this request officially permits a condition that has existed on the Property since it was made a part of the Town so that the home itself can be updated and improved to today’s standards, which is a benefit to the Town and the community. There are three small additions proposed to the Primary Structure to 1) construct a covered entry (96 SF), 2) fill in an odd cutout in the southern corner of the home in the kitchen (201 SF), and 3) enlarge the master bedroom to accommodate a closet and bring it up to modern standards (190 SF). Only the master bedroom addition is partially within the existing setbacks (148 SF) but does not increase the overall deviation that has been in place since the construction of the home (see Exhibit C, Site Plan). It should be noted that, at 4,402 SF (5,302) including the guest house, the home, even with the proposed additions, is far below the typical home in Paradise Valley and what would likely be constructed on this parcel if the existing home were demolished and a new one built.

The Property is burdened by a massive wash that greatly reduces the developable area of the parcel (8,720 SF and 2.8 foot depth) and forced the existing structures into the rear corners of the Property. The trapezoidal shape of the Property further reduces the buildable area in the front of the lot and pushes the buildable area even farther to the rear corners. The result is the original structure being constructed in the northeast corner and the guest house being built in the northern corner. The majority of the front of the Property is covered by the wash, which spreads out across the south corner.

Even if the guest house could have been built in the front of the Property, that is a far less desirable location from the perspective of the neighborhood and the Town, which encourages guest houses to

be pushed farther from the front property line by having a larger front setback (60 feet) for accessory structures than for primary structures (40 feet).

The development standards in Tables 1001-A1 allow similarly zoned properties in the Town more than enough buildable area to construct a similarly sized primary residence and guest house without encroaching on the setbacks; however, due to the large wash and shape of the Property, the buildable area is greatly reduced, forcing the structures to need the requested minor deviations.

2. *“The ‘special circumstances, hardship, or difficult [do not] arise out of misunderstanding or mistake...”*

The hardship of the wash and non-rectangular lot shape are not the result of misunderstanding or mistake. The wash existed in this location long before the lot was created and the shape of the lot provides some variation within the subdivision, which is a desirable condition. The result happens to create a situation where the buildable area is not entirely outside of the required setback, which were not likely in place at the time of construction as the home was built prior to being annexed.

Had the home been able to be constructed any closer to the front of the Property, it most likely would have been to provide a larger rear yard. The existing location does provide good views but does not allow for a private rear yard at all. A balance between the two would have been preferable but not possible given the lot’s unique challenges.

3. *“such variance from...the strict application of the terms of [the Zoning Ordinance]...are in harmony with its general purposes and intents...”*

The requested variances are completely in harmony with the general purposes and intents of the Ordinance. There is significant open space between the homes in the neighborhood, there have never been any complaints about the location of either structure, and the home has been a beneficial part of the Town for several decades. As a result of the unique hardships, the home and guest house are both set farther back from the street than they would otherwise, which creates a large open feel to the street, which is a goal of the Town.

Article I, Section 101 of the Ordinance states its purpose to be “securing adequate light, pure air, and safety from fire and other dangers; conserving the values of land and buildings through the Town of Paradise Valley; lessening or avoiding congestion in the public streets; and promoting the public health, safety, comfort, morals and welfare of the citizens of the Town of Paradise Valley.”

Article 23 of the Ordinance regarding Non-conforming Uses does not specify its intent; however, it can be inferred that the intent is to allow existing non-conforming uses to be maintained but

encourage their gradual conversion to conforming over time. Section 2313 very clearly states that nothing in Article 23 shall prohibit property owners from applying to the Board of Adjustment for a variance where the strict application of the terms of that Article would cause an undue hardship, as described above.

It could not be argued that this request is anything but entirely in harmony with that purpose. It covers much less of the Property than many similarly zoned homes in the Town do, providing adequate light and pure air. The still substantial separation from surrounding structures adds to fire safety, and the improvement of the Property without expanding the footprint will conserve and even increase the value of the land on this Property and the surrounding. Allowing for responsible improvement of residential stock within the Town promotes the overall public health, safety, and comfort of the citizens of the Town. Prioritization and preservation of the private property rights of its residents is also certainly in line with the morals of the citizens of the Town.

In evidence of the fact that the request is in harmony with the intents and purposes of the Ordinance, several of the surrounding neighbors have submitted letters of support (see Exhibit F, Support Letters) indicating their belief that approval of this request will be a benefit to the community and Town.

4. *"The special circumstances, hardship or difficulty applicable to the property are [not] self-imposed by the property owner, or predecessor..."*

For the same reasons that the hardship and unique circumstances on the Property were not created by mistake or misunderstanding, neither were they created by the applicant. For any owner of this home, the options are only to do nothing to improve the Property and let the home slowly deteriorate until condemned, improve the Property only cosmetically which would not preserve the value of the land as its interior design fell farther and farther behind the market and trends, or improve the Property in such a way that would trigger the need for the requested variance. That could be done as the applicant is requesting, which is in harmony with the neighborhood, natural surroundings, and purpose of the Ordinance by not increasing the historical setback encroachment, or it could be done by demolishing the existing home and constructing one that would take up much more of the parcel, be two-stories, and be a nuisance to its neighbors by necessarily maximizing the square footage against the cost of the land and construction. The applicant is choosing the former and thereby ensuring their improvements will have only positive impacts on the Property, neighbors, and Town.

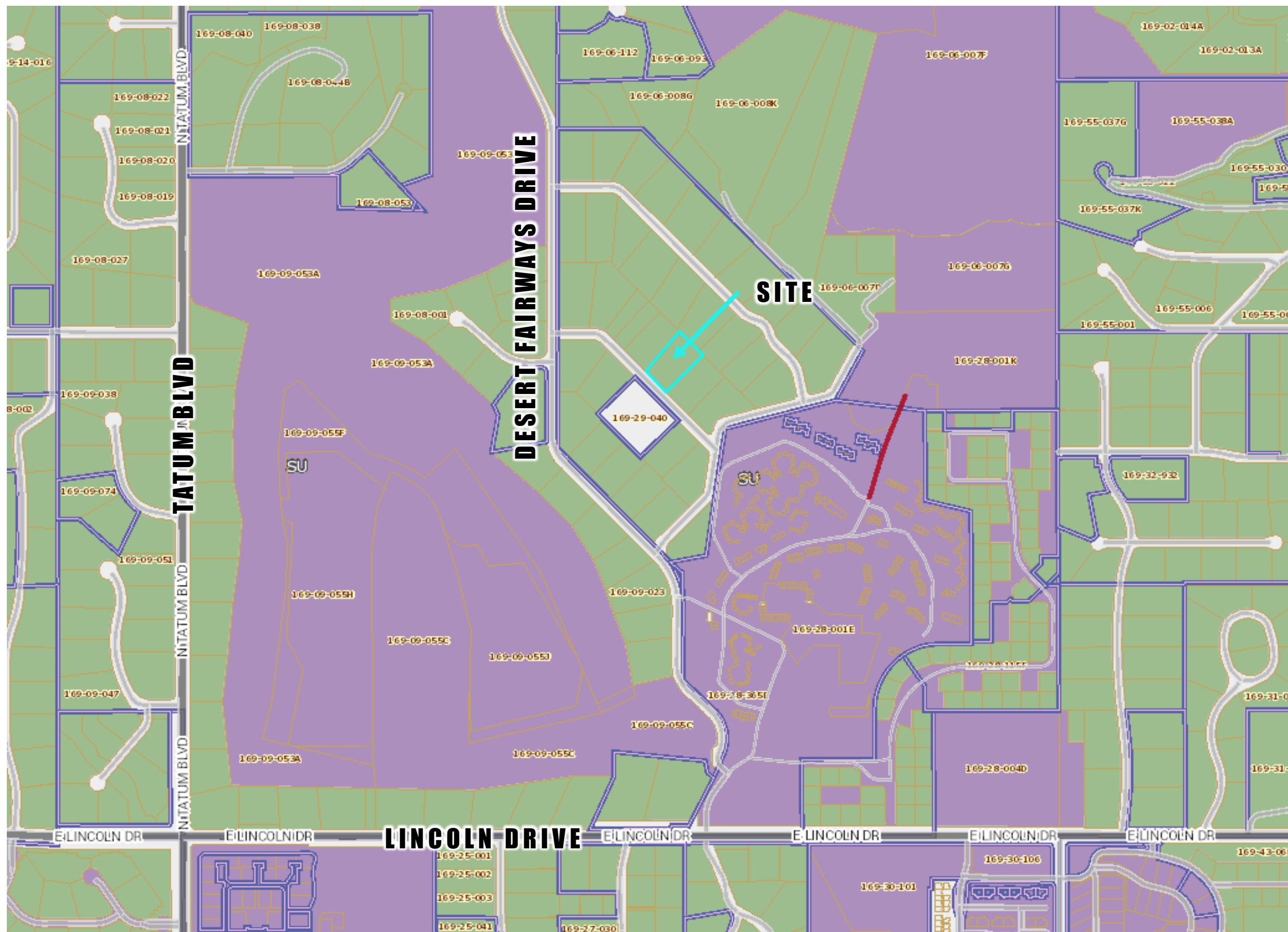
5. *"Because of the special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district."*

Because of the large wash and trapezoidal shape, the strict application of the Ordinance would deprive the applicant of a large amount of developable area as compared to similarly zoned land. On a square R-43 lot that is 43,560 square feet (1 acre), the front side and rear setbacks cover 21,845.34 square feet or 50.1% of the total lot area leaving a property owner the opportunity to choose from a little less than half (49.9%) of the parcel as buildable area. Unfortunately, in this case, the large wash and front property line that is 20 feet narrower than the rear, the Property has significantly less than 49.9% available as buildable area. In fact, reducing the setbacks to the requested distance still provides them with less than similarly zoned lots. Given dimensions of the Property and setbacks, this property begins with only 48.2% buildable area. The wash further reduces the buildable area by 8,720 square feet for a total of just 30%, far below what is buildable on a similarly zoned parcel.

6. ***“The variance would not ‘constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is located’”.***

Granting this variance will not grant any kind of special privilege to the applicant. It merely permits the structures that have been in place for many decades. As you can see in Exhibit B, Historical Photo, this home was one of the first to be built in the subdivision and was in the same location and footprint it is today. The requested variances are the absolute minimum necessary to preserve the applicant’s property rights. It permits the existing structures as they are and still does not create as much buildable area on the Property as similarly zoned properties in this subdivision and within the Town. Therefore, granting this request could not possibly be considered a special privilege.

Exhibit A



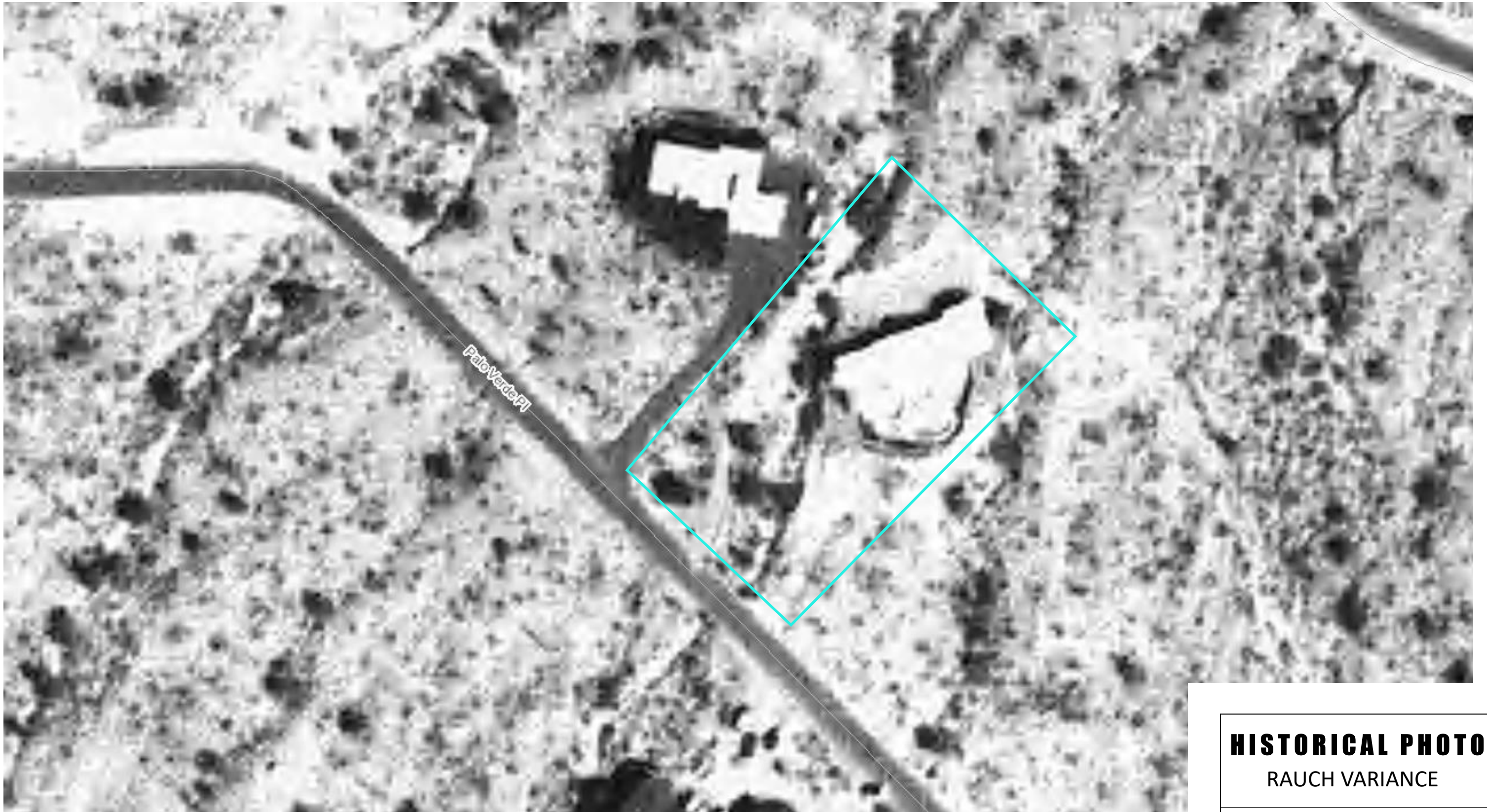
VICINITY MAP

RAUCH VARIANCE

Request for reduced rear and side setbacks
5203 E Palo Verde Place
APN: 169-29-015



Exhibit B

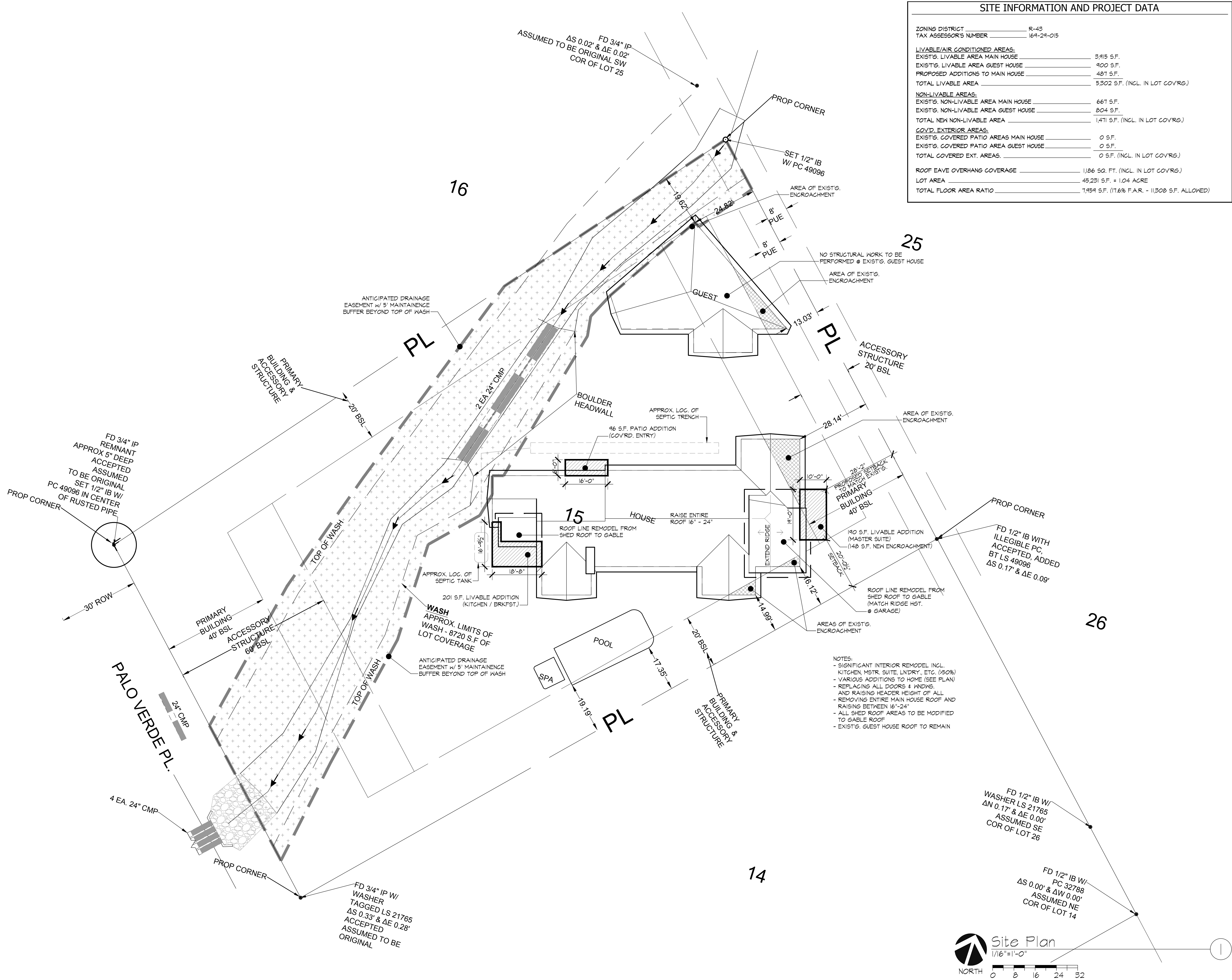


HISTORICAL PHOTO
RAUCH VARIANCE

Request for reduced rear and side setbacks
5203 E Palo Verde Place
APN: 169-29-015



Exhibit C



SITE INFORMATION AND PROJECT DATA	
ZONING DISTRICT	R-43
TAX ASSESSOR'S NUMBER	164-24-015
LIVABLE/AIR CONDITIONED AREAS:	
EXIST'G. LIVABLE AREA MAIN HOUSE	5,415 S.F.
EXIST'G. LIVABLE AREA GUEST HOUSE	900 S.F.
PROPOSED ADDITIONS TO MAIN HOUSE	487 S.F.
TOTAL LIVABLE AREA	5,302 S.F. (INCL. IN LOT COVRG.)
NON-LIVABLE AREAS:	
EXIST'G. NON-LIVABLE AREA MAIN HOUSE	667 S.F.
EXIST'G. NON-LIVABLE AREA GUEST HOUSE	804 S.F.
TOTAL NEW NON-LIVABLE AREA	1,471 S.F. (INCL. IN LOT COVRG.)
COVD. EXTERIOR AREAS:	
EXIST'G. COVERED PATIO AREAS MAIN HOUSE	0 S.F.
EXIST'G. COVERED PATIO AREA GUEST HOUSE	0 S.F.
TOTAL COVERED EXT. AREAS	0 S.F. (INCL. IN LOT COVRG.)
ROOF EAVE OVERHANG COVERAGE	1,186 SQ. FT. (INCL. IN LOT COVRG.)
LOT AREA	45,231 S.F. = 1.04 ACRE
TOTAL FLOOR AREA RATIO	7,454 S.F. (17.6% F.A.R. - 11,308 S.F. ALLOWED)

mta

MATTHEW THOMAS ARCHITECTURE

LLC

PHOENIX, ARIZONA

A REMODEL & ADDITION FOR THE:

Rauch Family

5203 E. Palo Verde Place
Paradise Valley, AZ 85253

2021

All reports, drawings, specifications, contracts, bills, field notes, and other documents and communications prepared by Matthew Thomas Architecture, LLC (mta) are the property of Matthew Thomas Architecture, LLC (mta). Matthew Thomas Architecture, LLC (mta) shall retain the right to use any and all information, reports, drawings, specifications, contracts, bills, field notes, and other documents and communications prepared by Matthew Thomas Architecture, LLC (mta) for any and all purposes, including but not limited to the preparation of future reports, drawings, specifications, contracts, bills, field notes, and other documents and communications prepared by Matthew Thomas Architecture, LLC (mta). This notice shall be printed on all reports, drawings, specifications, contracts, bills, field notes, and other documents and communications prepared by Matthew Thomas Architecture, LLC (mta). EXPIRES: 12.31.20



07.09.20

03

Revision
Date

02

Revision
Date

01

Revision
Date

Drawn By: m.t.

Scale: 1/16" = 1'-0"

Drawing:

Site Plan

Sheet:

A1.1

© Copyright 2020

NORTH

Site Plan

1/16"=1'-0"

0

8

16

24

32



03	Revision Date
02	Revision Date
01	Revision Date

Scale: $1/4" = 1'-0"$

Ext. Elevs.

A2.1

© Copyright 2020



Exhibit D



CONTEXT PLAN

RAUCH VARIANCE

Request for reduced rear and side setbacks
5203 E Palo Verde Place
APN: 169-29-015
1 OF 2





A



B



C



D



E



F



G

CONTEXT PLAN

RAUCH VARIANCE

Request for reduced rear and side setbacks
 5203 E Palo Verde Place
 APN: 169-29-015
 2 OF 2





I



H

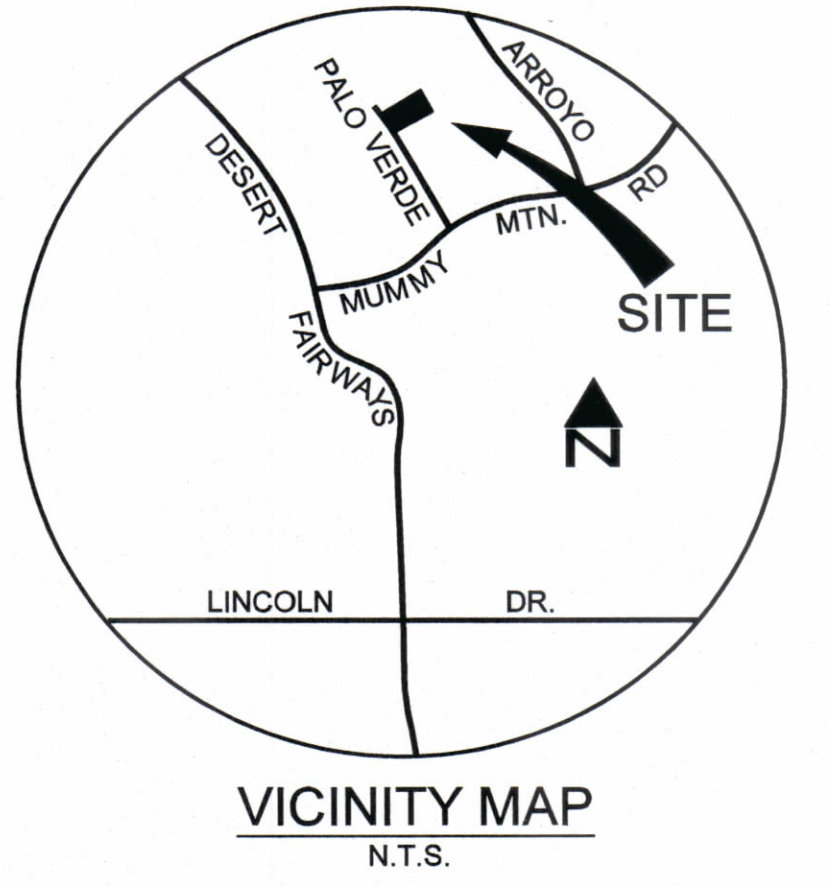
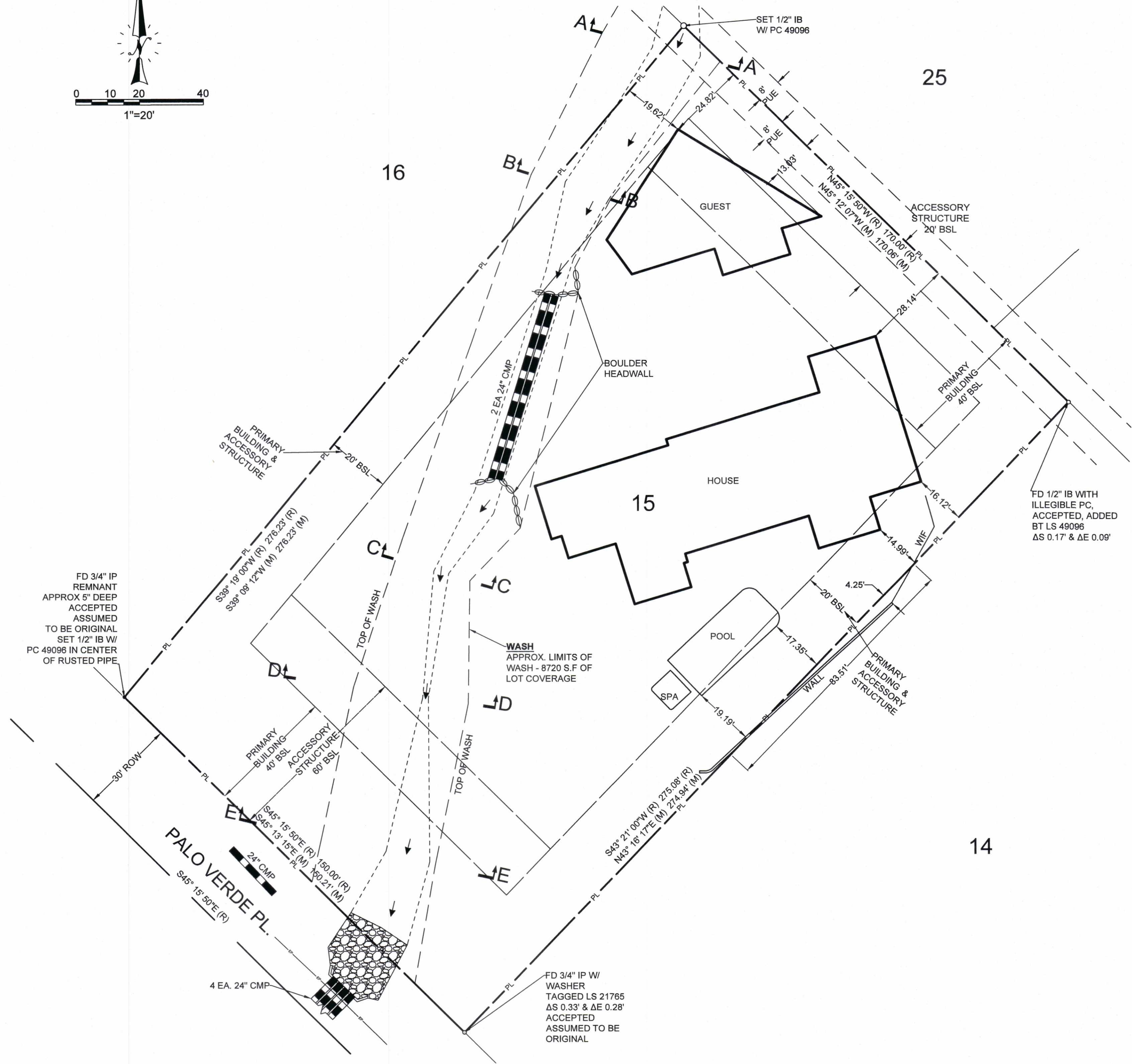
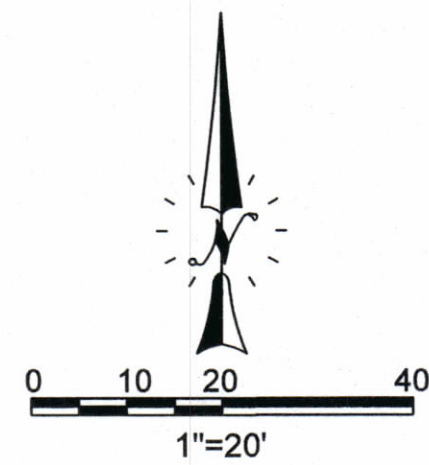
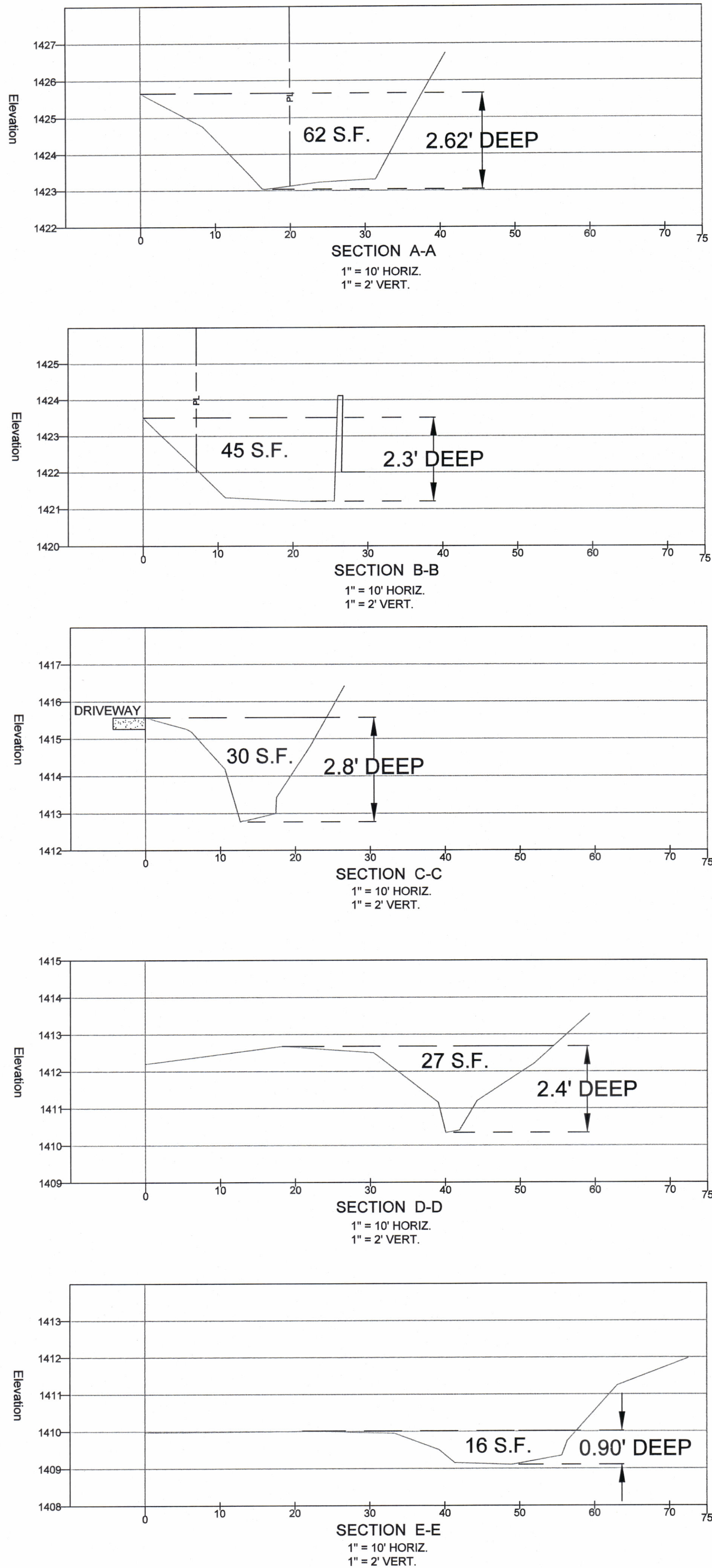
CONTEXT PLAN

RAUCH VARIANCE

Request for reduced rear and side setbacks
 5203 E Palo Verde Place
 APN: 169-29-015
 2 OF 2



Exhibit E



OWNER
SUSAN W FRENCH SURVIVORS TRUST
5234 E PALO VERDE PL.
PARADISE VALLEY, ARIZONA 85253

SITE ADDRESS
5230 E PALO VERDE PLACE
PARADISE VALLEY, ARIZONA 85253

LEGAL DESCRIPTION
LOT 15, PARADISE VALLEY ESTATE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 61 OF MAPS, PAGE 4.

AREA
45,231 SQ. FT.

ZONING
R-43

A.P.N.
169-29-015

BASIS OF BEARING
THE COMMON LINE BETWEEN LOTS 25 AND 26 AND LOTS 14 AND 15 FROM THE MOST EASTERLY CORNER OF LOT 14 TO THE MOST WESTERLY CORNER OF LOT 25 WITH THE BEARING OF N45°15'50"W AS SHOWN ON THE PARADISE VALLEY ESTATES PLAT RECORDED IN BOOK 61, PAGE 4 MARICOPA COUNTY RECORDS.

Two working days before you dig
CALL FOR THE BLUE STAKES
Within Maricopa County
602-263-1100
Within Maricopa County
1-800-782-5348
BLUE STAKE CENTER



SITE PLAN
5230 E. PALO VERDE PLACE
PARADISE VALLEY, ARIZONA 85253

Scale 1"=20'
Date 07/02/2020
Rev
Designed SC
Drawn AJ
File: 2821 PALO VERDE 08.30.2020.dwg

GOOKIN ENGINEERS
ENGINEERS • HYDROLOGISTS • PLANNERS • SURVEYORS
4203 NORTH BROWN AVENUE
SCOTTSDALE, ARIZONA 85251
480-947-3741
Civil@Gookin.biz

SHEET 1 of 1 SHEETS
JOB NO. 2621

Q.S. 22-40

Exhibit F

Mr. Jeremy Knapp
Community Development Director
Town of Paradise Valley
6401 East Lincoln Drive
Paradise Valley, AZ 85253

Re: Variance application for 5230 East Palo Verde Place

Mr. Knapp:

I live at 5234 East Palo Verde Place, which is immediately adjacent to the east of the subject property. The applicant is currently under contract to buy this property from our family and we are pleased to hear that they have plans to keep the original home layout. I support their plans and a setback variance that allows them to keep the existing structures in place. I am also aware that the lot is encumbered by a large wash, which I hope will be taken into consideration during your evaluation of the variance request.

Regards,
Susan W. French
Home address:
5234 East Palo Verde Place
Paradise Valley, AZ 85253

From: [Phil Schneider](#)
To: [George Burton](#)
Subject: Fwd: Variance Application for 5230 East Palo Verde Place, Paradise Paradise Valley, AZ
Date: Friday, March 27, 2020 3:04:40 PM

EXTERNAL

Mr. George Burton
Senior Planner
Town of Paradise Valley

Dear Mr. Burton,

We have been residents of the home at 5245 E. Arroyo Rd. since the early 1970's. The southwest corner of our lot touches the northeast corner of the 5230 East Palo Verde Place for which the variance is sought, and our home looks generally to the south over that lot toward the Valley.

We are pleased that the applicant intends to keep the current home footprint. Assuming the maximum height of the house is not to be increased, we support the variance requested in the application that would allow the existing structure to stay in place while taking into account the presence of the substantial wash on the property. We believe the variance requested provides a beneficial solution.

Respectfully,

Nancy and Phil Schneider

March 27, 2020

From: [Bill Jury](#)
To: [George Burton](#)
Subject: RE: Variance Application for 5230 East Palo Verde Place, Paradise, Valley, Az. 85253
Date: Monday, March 30, 2020 2:41:18 PM

EXTERNAL

From: Bill Jury [mailto:bill.jury@ymail.com]
Sent: Monday, March 30, 2020 12:19 PM
To: 'gburton@paradisevalleyaz.gov'
Subject: Variance Application for 5230 East Palo Verde Place, Paradise, Valley, Az. 85253

Mr. George Burton
Senior Planner
Town of Paradise Valley

Dear Mr. Burton,

We have owned and resided in the house located at 5251 E. Arroyo Road, Paradise Valley, AZ. 85253 (Lot 27, Paradise Valley Estates) since 2008. While our Lot does not touch or abut the property located at 5230 East Palo Verde Place, AZ. 85253 (Lot 15, Paradise Valley Estates), it is located very close thereto as noted in one of the photographs in the application. Part of the view from our Lot is to the South/Southwest over Lot 15 towards the Valley.

We are pleased that the applicant intends to keep the current house footprint. Provided the maximum height of the existing house is not increased, we support the application that would allow the existing structure to stay in place while taking into account the presence of the substantial wash on the property. We believe the variance requested provides a beneficial solution.

Yours truly,

Marilyn and Bill Jury
March 30, 2020

From: [Andy Kroot](#)
To: [George Burton](#); [Jeremy Knapp](#)
Subject: 5230 East Palo Verde Drive
Date: Friday, May 29, 2020 9:55:24 AM

EXTERNAL

Dear George & Jeremy-

My name is Andy Kroot and I am a Paradise Valley resident living at 7541 N. Shadow Mountain Rd. I fully support the French's & Rauch's plan for their renovation and variance. This will be a great improvement to the neighborhood.

Thanks.

Andy

Andy Kroot
Partner
Kroot & Associates
4102 East Indian School Road
Phoenix, AZ 85018
(602) 430-8580 Cell
andy@andykroot.com
www.andykroot.com

From: [William Metzler](#)
To: [George Burton](#); [Jeremy Knapp](#)
Subject: Rauch Property
Date: Sunday, May 31, 2020 12:00:30 PM

EXTERNAL

George and Jeremy:

I am writing to express my strong support for the Rauch/French variance application related to 5230 E. Palo Verde Place. My home is at 6811 N. Desert Fairways Drive, a few hundred yards away. I have reviewed the drawings and elevations that were submitted and I am thrilled that someone would make an effort to retain the existing structures with only minor exterior changes (raising the roof a bit and adding a total of a few hundred square feet, spread among a few strategic locations). If allowed, the house would retain the original Paradise Valley feel – both somewhat smaller and with a lower roofline than most of what is being built today. Basically the same feel it had when annexed into the town, and which is has maintained for decades. Only, perhaps a little bit better!

This approach is a significant positive for the neighborhood, and I believe it meets both the letter and the spirit of the approval criteria. I sincerely hope the variance is approved.

Regards,

Bill

William R. Metzler

wmetzler@westcoastcap.com

West Coast Capital Partners, LLC

P: 480-425-9400 | C: 310-614-1918 |

From: [George Getz](#)
To: [George Burton](#)
Cc: [Jeremy Knapp](#)
Subject: Rauch variance request
Date: Monday, June 1, 2020 11:58:55 AM

EXTERNAL

My name is George Getz. I live at 5223 E. Palo Verde Place, Paradise Valley, Az. 85253. (Right across the street from the proposed variance requested home)

I am writing you in support of the above referenced based upon:

The French's and Rauch's variance request and believe it meets the approval criteria.
The request is for a very minor variance to permit the remodel of the existing home, raise the roof two feet, and add a total of 400 SF spread across three areas.
I do not believe that approval of this request will have any negative impact on any surrounding properties.
The request for a single story with max height 10' below limit is a far better alternative than what is allowed by right in this zoning district.
The request maintains the required open space.
The changes to the home are almost entirely internal.
No new structures are proposed.
This is the best option for the neighborhood as it maintains the feel of the property but still modernizes to avoid eventual demo and rebuild.
The home was originally built with these setbacks long before being annexed into the Town.
The applicants are not increasing any of the setback deviations that were established originally with the construction of the home.

I would hate to see this variance get denied and a new, larger (push the envelope) house get built. The character of this home fits our neighborhood.

Thank you for your consideration

George Getz
5223 E. Palo Verde Place
Paradise Valley, Az. 85253
602-524-0664

June 3, 2020

Town of Paradise Valley
Mr. George Burton (by email)
Mr. Jeremy Knapp (by email)

Re: Application for variance – 5203 E Palo Verde Place - Rauch

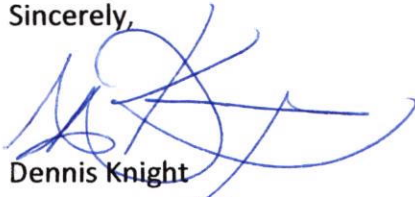
Gentlemen.

We are residents of 5248 E Arroyo Road, Paradise Valley. Mr. & Mrs. Rauch have given us a copy of a site plan and building elevations relating to the above application.

As we understand it, the application would permit the renovation of the home including a height increase of only two feet and an addition of 400 square feet of floor area split between three parts of the home. We also understand the home, as currently constructed, violates current Town of Paradise Valley setback requirements and that the applicant wishes to make the renovation using the existing setbacks.

We are pleased with the application and heartily support it. We are happy that the home is not being razed and replaced with a large and much more intrusive two-story home. The addition of the two feet of height and the 400 sq. ft. of floor space should not have a negative impact on anyone and the renovation should be an improvement for the neighborhood.

Sincerely,

A handwritten signature in blue ink, appearing to read 'DK', with a large, sweeping flourish extending to the right.

Dennis Knight

A handwritten signature in blue ink, appearing to read 'Margot Knight', with a large, sweeping flourish extending to the right.

Margot Knight

5248 E Arroyo Road
Paradise Valley, AZ 85253

NOTICE

Notice is hereby given that the Town of Paradise Valley Board of Adjustment will hold a hearing on the following proposed project. If you have questions about this application, please call the Planning Department at (480) 348-3692.

Applicant Name / Contact: Jordan Rose, Nick Labadie

Applicant's Company Name: Rose Law Group

Phone Number: 480-240-5640 **Fax Number:** 480-505-3925 **Email:** nick@roselawgroup.com

Project Name: Rauch Variance

Project Location: 5230 E Palo Verde Place

Acreage: 1.04 acres

Existing Zoning: R-43

Brief Narrative of Project Proposal: Consideration of a variance from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow an addition to the primary residence to encroach into the setback and 2) Article XXIII, Nonconformance, to allow existing nonconforming portions of the primary residence to remain and to be modified, including a request for variances of the rear setback of 28.14 feet where 40 feet is required and the side setback of 14.99 feet where 20 feet is required. The existing home has had these setbacks since the original construction prior to 1960. A small addition (190 square feet) is proposed within the rear setback area but will not encroach into the rear setback any farther than the existing home already does. The roof is also proposed to be raised up to 2 feet higher, but the home will remain single story, be well under the maximum height and provide more open space than is required.

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

<u>Board of Adjustment Meeting Date/ Time/Place</u>
Meeting Date: September 2 nd , 2020
Meeting Time: 5:30 PM
Meeting Place: 6401 E Lincoln Drive Paradise Valley, AZ 85253 Council Chambers
Town of Paradise Valley, Arizona Planning Department 480-348-3692 <u>Additional Meeting Information on back of page</u>

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> or contact Senior Planner George Burton at 480-348-3525 or gburton@paradisevalleyaz.gov to determine if the Board of Adjustment meeting will be held only by remote participation. If held only by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Town Council meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
2. Zoom Conference (a) Computer: <https://zoom.us/j/6678902153> (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting) (b) Email gburton@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting) 4. Speaking during Call to the Public / Public Hearings (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153 (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

These meeting participation guidelines are pursuant to Town Council Resolution 202008 adopted March 17, 2020. Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Board of Adjustment may attend by audio/video conference call.



NOTICE OF HEARING
TOWN OF PARADISE VALLEY
Board of Adjustment and Appeals
1000 E. GARDEN STREET, PARADISE VALLEY, ARIZONA
P. 05000 050000 050000 050000 050000

05230

AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date August 7, 2020, and such notification has been mailed on the following date August 10, 2020.


Signature

The foregoing instrument was acknowledged by me this 10th day of August, 2020, by Kayla Bertoldo.

Name



NOTARY PUBLIC

My commission expires:

June 5, 2023



AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, Kayla Bertoldo, depose and state that the attached notice, of proposed application _____ located at 5230 E. Palo Verde Pl. for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of September 2, 2020 is a true and correct copy of a notice which I cause to be posted by the following day of the week Monday, and on the following date August 3, 2020 in the following location(s):
5230 E. Palo Verde Place, Paradise Valley, AZ 85253

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

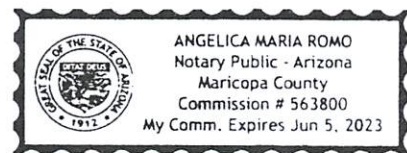
DATED this 10 day of August, 2020.

[Signature]
Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 10th day of August, 2020.

[Signature]
NOTARY PUBLIC

My commission expires:
June 5, 2023



Parcel Number	Owner	Property Address	Mailing Address
169-06-003H	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-007D	THIRTEENTH AMENDED AND RESTATED JIM CHAMBERLAIN 2007 TRUST	7000 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	7000 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253
169-06-007E	CAMELBACK PROPERTIES INN INC	7002 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-06-007F	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-007G	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-06-008F	STEVEN G LISA PARADISE VALLEY RES TRUST/ETAL	7113 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7113 N DESERT FAIRWAY DR PARADISE VALLEY AZ 85253
169-06-008G	STEVEN G LISA ALASKA TRUST	7117 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7113 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-06-008H	ADOW ARTHUR B/BONNIE L TR	7111 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7111 N DESERT FAIRWAYS LN SCOTTSDALE AZ 85253
169-06-008J	LD 6635 LLC	6936 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6635 N LOST DUTCHMAN PARADISE VALLEY AZ 85253
169-06-008K	LD 6635 LLC	6936 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6635 N LOST DUTCHMAN PARADISE VALLEY AZ 85253
169-06-008L	PARADISE VALLEY ARIZONA HOLDINGS LLC	7100 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	7100 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253
169-06-008M	JON M MALINSKI QUALIFIED PERS RES TR II/ETAL	7120 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	1150 HIGHWAY 7 EXCELSIOR MN 55331
169-06-093	WILLIAM EARLY TAIT TRUST	7403 N LAS BRISAS LN PARADISE VALLEY 85253	3131 E CAMELBACK RD PHOENIX AZ 85016
169-06-112	LEIGH R LARSON QUAL PER RES TRUST S/ETAL	7401 N LAS BRISAS LN PARADISE VALLEY 85253	40803 N BRANGUS RD SCOTTSDALE AZ 85262
169-08-001	CHELSEA HOLDINGS LLC	6855 N PEPPER TREE LN PARADISE VALLEY 85253	9250 CUNNINGHAM RD CINCINNATI OH 45243
169-08-002	LAURA H THILMAN REVOCABLE TRUST	6854 N PEPPER TREE LN PARADISE VALLEY 85253	6854 N PEPPER TREE LN PARADISE VALLEY AZ 85253
169-08-003	LOVE MARK H	6830 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6830 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-08-004	PNGP LLC	7008 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	PO BOX 1097 SOUTHAMPTON NY 11969
169-08-005	KINGFISHER TRUST	7020 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7020 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-08-006	BALLARD EXPLORATION COMPANY INC	7221 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	1021 MAIN STREET STE 2310 HOUSTON TX 77002-6606
169-08-037C	PARADISE VALLEY COUNTRY CLUB	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD SCOTTSDALE AZ 85253
169-08-053	COTTONTAIL INVESTMENTS LLC	5001 E COTTONTAIL RUN RD PARADISE VALLEY 85253	7332 E BUTHERUS DR SCOTTSDALE AZ 85260
169-09-021	CAMPANELLA KINTARO A/SHERYL A TR	6610 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6610 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-022	ATWATER A G/DONNA JOHNSON	6620 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6620 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-023	MONTERO FAMILY TRUST	6630 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6630 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-024	MIHKELSON MARTI E/JENNIFER TR	6710 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6710 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-025	LOT 52 HOLDINGS LLC	6726 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6726 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-026	PAUL NEEL CRITCHFIELD AND CLAUDIA R ETAL	6730 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6730 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-09-027	TR WEST LIMITED PARTNERSHIP	6740 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6807 PEPPER TREE LANE PARADISE VALLEY AZ 85253-3346
169-09-030	NORRIS JOAN B TR	6835 N PEPPER TREE LN PARADISE VALLEY 85253	6835 N PEPPER TREE LN SCOTTSDALE AZ 85253
169-09-031	W SCOTT AND KAREN ROBERTSON FAMILY TRUST	6845 N PEPPER TREE LN PARADISE VALLEY 85253	6845 N PEPPERTREE LN PARADISE VALLEY AZ 85253
169-09-053A	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-09-055C	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-09-055F	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-09-055J	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-09-071	TP HOLDINGS LLC	6807 N PEPPER TREE LN PARADISE VALLEY 85253	6807 N PEPPER TREE LN PARADISE VALLEY AZ 85253
169-28-001E	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-001G	MARRIOTT CONDOMINIUM DEVELOPMENT CORP	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-001J	MARRIOTT RESORT HOTEL CONDOMINIUM	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-001K	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-081	RODMAN MANAGEMENT TRUST	5434 E LINCOLN DR 64 PARADISE VALLEY 85253	5434 E LINCOLN DR UNIT 64 PARADISE VALLEY AZ 85253
169-28-082	HEIMS FAMILY REVOCABLE TRUST	5434 E LINCOLN DR 65 PARADISE VALLEY 85253	5434 E LINCOLN DR UNIT 65 PARADISE VALLEY AZ 85253
169-28-083	CHARLES F AND PAMELA F HENDERSON TRUST	5434 E LINCOLN DR 66 PARADISE VALLEY 85253	5434 E LINCOLN DR PARADISE VALLEY AZ 85253
169-28-084	JEAN W AMBLER REVOCABLE TRUST	5434 E LINCOLN DR 67 PARADISE VALLEY 85253	5434 E LINCOLN DR UNIT 67 PARADISE VALLEY AZ 85253
169-28-085	JORGENSEN MARY ANN	5434 E LINCOLN DR 68 PARADISE VALLEY 85253	16 HASKELL DR BRATENAHL OH 44108
169-28-086	DEBARTOLO JACK JR/PATSY LORENE MCLAMORE TR	5434 E LINCOLN DR 69 PARADISE VALLEY 85253	5434 E LINCOLN DR 69 COLONIA MIRAMONTE PARADISE VALLEY AZ 85253-4118
169-28-091	NORDSTROM EXEMPT QTIP TRUST	5434 E LINCOLN DR 74 PARADISE VALLEY 85253	201 1ST AVE SE CEDAR RAPIDS IA 52401
169-28-092	SURVIVORS TRUST	5434 E LINCOLN DR 75 PARADISE VALLEY 85253	6263 N SCOTTSDALE RD UNIT 150 SCOTTSDALE AZ 85250
169-28-112	MUELLER MARK CHARLES/KIM ELIZABETH	5434 E LINCOLN DR 70 PARADISE VALLEY 85253	1278 MAXINE CIRCLE E SHAKOPEE MN 55379
169-28-113	MUELLER MARK CHARLES/KIM ELIZABETH	5434 E LINCOLN DR 71 PARADISE VALLEY 85253	1278 MAXINE CIRCLE E SHAKOPEE MN 55379
169-28-115F	COLONIA MIRAMONTE OWNERS ASSN INC	5434 E LINCOLN DR PARADISE VALLEY 85253	7255 E HAMPTON AVE SUITE 101 MESA AZ 85209
169-28-126	FUHRMAN JEFFREY A	5402 E LINCOLN DR 110 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY HILLS MA 01915
169-28-127	BREAKSTONE DEANNE/SLOTT ROBERT I	5402 E LINCOLN DR 111 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-136	MCGANNON R EUGENE TR	5402 E LINCOLN DR 120 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-137	KARPAS SUZANNE T	5402 E LINCOLN DR 121 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-138	WILLIAMS ROSAMOND S TR	5402 E LINCOLN DR 122 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-139	BORK WALTER A	5402 E LINCOLN DR 123 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-140	GORDON M AND IRENE A TRENHOLME REVOCABLE LIVING TRUST	5402 E LINCOLN DR 124 PARADISE VALLEY 85253	3540 W TINY BIRD CT TUCSON AZ 85745
169-28-141	MILLER OWEN/JANICE TR	5402 E LINCOLN DR 125 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-142	LOIS A GOURLEY TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-143	MICA MCCANN PANZARINO REVOCABLE TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	43 W 9TH ST APT 1F NEW YORK NY 10011
169-28-144	HELLER JOHN E/MARY C	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-145	SPECTOR SHELDON L/JUDITH TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-146	TYLER MAGNESS IREVOCABL TRUST/ETAL	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-147	MAGNESS GARY/TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-148	MUELLER WHITE LUCY TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-149	FRESCHI WILLIAM J JR/LAURA FERGUSON TR	5402 E LINCOLN DR 131 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-150	MORSE JOAN M/DOKUCHITZ PETER S III	5402 E LINCOLN DR 133 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-151	MARY WOOLSEY PORTER EXEMPTION TRUST	5402 E LINCOLN DR 135 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-152	CONOVER CORP	5402 E LINCOLN DR 136 PARADISE VALLEY 85253	548 CABOT BEVERLY MA 01915
169-28-153	FUHRMAN JEFFREY A	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY HILLS MA 01915
169-28-154	JOSHIN INDUSTIES INC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-155	SCOTT FORAKER TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	2892 SOLIMAR BEACH DR VENTURA CA 93001
169-28-156	BRUCE AND KIERNST ALLEN JOINT TRUST	5402 E LINCOLN DR 140 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-157	FUHRMAN JEFFREY A/GRACE MARIE SANCHEZ FUHRMAN	5402 E LINCOLN DR 141 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-158	MAY GARY A & TRUDY G	5402 E LINCOLN DR 142 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-159	EBERSPACHER ROBERT	5402 E LINCOLN DR 143 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-160	YUEH ERIC S	5402 E LINCOLN DR 144 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-161	STRIEGEL STEPHEN P	5402 E LINCOLN DR 145 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-162	SLOTT ROBERT I	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-163	FLORIO JACK J	5402 E LINCOLN DR 147 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-164	MILLER DAVID T/MARY K	5402 E LINCOLN DR 149 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-165	SHERWOOD LLOYD C & ANNE R	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-166	WAYNE R COLBY AND JANET M COLBY REVOCABLE LIVING TRUST/WLOZSEK FAN	5402 E LINCOLN DR 151 PARADISE VALLEY 85253	20976 W COLLEGE DR BUCKEYE AZ 85396
169-28-167	BUROOIJ THOMAS J	5402 E LINCOLN DR 150 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-168	SHIELDS RICHARD F/USE L/SUDAK JAN	5402 E LINCOLN DR 152 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-169	COX REVOCABLE TRUST	5402 E LINCOLN DR 153 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-170	FLORIO JACK J	5402 E LINCOLN DR 154 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-171	JAMES C AND EULALA JO CHAMPION REVOCABLE TR	5402 E LINCOLN DR 155 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-172	CONOVER CORP	5402 E LINCOLN DR 156 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-173	VITE FRANK A & BARBARA A	5402 E LINCOLN DR 157 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-174	GABLE CHRISTOPHER	5402 E LINCOLN DR 158 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-175	SCHLEPPE FAMILY TRUST	5402 E LINCOLN DR 159 PARADISE VALLEY 85253	4694 CARLTON DUNES DR UNIT 8 AMELIA ISLAND FL 32034
169-28-176	MOORE JANE E TR	5402 E LINCOLN DR 160 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-177	GABLE CHRISTOPHER	5402 E LINCOLN DR 161 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-178	HUTCHINSON ROY L/NADINE E TR	5402 E LINCOLN DR 162 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-179	ZUBRIN JAY ROSS & BARBARA E	5402 E LINCOLN DR 163 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-180	CORVETTI JOSEPHINE	5402 E LINCOLN DR 164 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-181	LEE SHORE EQUITIES LLC	5402 E LINCOLN DR 165 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-182	MAY GARY A/TRUDY G	5402 E LINCOLN DR 166 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-183	MARK J BARBANO AND LEANORE V BARBANO 2012 REV	5402 E LINCOLN DR 167 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-184	SABA MARIA RITA	5402 E LINCOLN DR 168 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-185	DARRELL F CHAMPION AND JOY H CHAMPION TRUST	5402 E LINCOLN DR 170 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-186	HELEN GOODWIN ROSE 1986 TRUST/JAMES AND ANNE ROSE JR REVOCABLE CA	5402 E LINCOLN DR 169 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915

169-28-187	SMITH HEATHER M/BOYD E TR/MILLER JANET M TR	5402 E LINCOLN DR 171 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-188	HALPERN PAUL D & MARJORIE	5402 E LINCOLN DR 172 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-189	SHERWOOD LLOYD C JR & ANNE R	5402 E LINCOLN DR 173 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-190	MANEE MONTE STEWART	5402 E LINCOLN DR 200 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-191	PATRICIA A VELGHE TRUST	5402 E LINCOLN DR 201 PARADISE VALLEY 85253	11716 HIGH DR LEAWOOD KS 66211-2226
169-28-192	DAVID A STEIN LIVING TRUST	5402 E LINCOLN DR 202 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-193	PENDELTON JOYCE H TR	5402 E LINCOLN DR 203 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-194	MANGINO DOMINIC J/RITA ANN	5402 E LINCOLN DR 204 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-195	BRITT JEAN C/SARAH C	5402 E LINCOLN DR 205 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-196	BRITT JEAN C/SARAH C	5402 E LINCOLN DR 206 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-197	VERRAN CRAIG.MARIE J	5402 E LINCOLN DR 207 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-198	JOHNSON ROBERT M TR	5402 E LINCOLN DR 208 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-199	DANDURAND RICHARD A/MARTHA L	5402 E LINCOLN DR 209 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-200	BARRY M GOURLEY LIVING TRUST	5402 E LINCOLN DR 210 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-201	THURSTON ELLEN E TR	5402 E LINCOLN DR 211 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-202	ALEXANDER JOHN F/JEANETTE L	5402 E LINCOLN DR 212 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-203	JOHNSON JOYCE A TRUST/WOLFE JENNIFER L	5402 E LINCOLN DR 214 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-204	KILBURG PROPERTIES LLC	5402 E LINCOLN DR 215 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-205	SUGAR JEFFREY/ROBIN A/PRICE LISA	5402 E LINCOLN DR 216 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-206	MURRAY LISA M TR/JOSEPH D/LORRIE J	5402 E LINCOLN DR 217 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-207	CARSON SHERALL A TR	5402 E LINCOLN DR 218 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-208	FUHRMAN CHARLES E	5402 E LINCOLN DR 219 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-209	FOSTER ERNEST W IV/BARBARA A	5402 E LINCOLN DR 220 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-210	LUONGO JOSEPH E & JOAN M	5402 E LINCOLN DR 221 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-211	MERHIGE GREGORY D	5402 E LINCOLN DR 222 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-212	BETH SAIR LIVING TRUST/BETH SAIR TRUST	5402 E LINCOLN DR 223 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-213	GOLDSTEIN KELLIE C/TRACY BRENDAN C	5402 E LINCOLN DR 224 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-214	FLORIO FAMILY TRUST	5402 E LINCOLN DR 225 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-215	BRADSHAW FRANK B JR/FRANK B III/ROBERT W	5402 E LINCOLN DR 226 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-216	SUZANNE N GOLOMB REVOCABLE TRUST	5402 E LINCOLN DR 227 PARADISE VALLEY 85253	1910 WOODGATE LN MCLEAN VA 22101
169-28-217	FLORIO FAMILY TRUST	5402 E LINCOLN DR 228 PARADISE VALLEY 85253	548 CABOT BEVERLY MA 01915
169-28-218	SUZANNE N GOLOMB REVOCABLE TRUST	5402 E LINCOLN DR 229 PARADISE VALLEY 85253	1910 WOODGATE LN MCLEAN VA 22101
169-28-219	STEVENSON NEVIN J/BEVERLY C TR	5402 E LINCOLN DR 230 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-220	VADALABENE CHARLES M	5402 E LINCOLN DR 231 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-221	BERLIN STEVEN M/SHERRY N TR	5402 E LINCOLN DR 232 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-222	CLONINGER JOHN M TR	5402 E LINCOLN DR 233 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-223	DAVIDS JAMES A TR/DAVIDS SUSAN L TR/ETAL	5402 E LINCOLN DR 234 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-224	THOMPSON JOHN R TR/CAROL A TR	5402 E LINCOLN DR 235 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-225	WAYNE R COLBY AND JANET M COLBY REVOCABLE LIVING TRUST/WLOSZEK FAN	5402 E LINCOLN DR 236 PARADISE VALLEY 85253	20976 W COLLEGE DR BUCKEYE AZ 85396
169-28-226	DURKIN JUNE TR/CLIST CHARLES M/PATRICIA E	5402 E LINCOLN DR 237 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-227	EMDEN HOWARD R TR	5402 E LINCOLN DR 238 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-228	STEVENS /TODD/STACY TR/GAINES MARGARET G	5402 E LINCOLN DR 239 PARADISE VALLEY 85253	3801 CANTERBURY RD UNIT 519 BALTIMORE MD 21218
169-28-229	TAN LUIS S TR	5402 E LINCOLN DR 240 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-230	CONKLIN THOMAS W	5402 E LINCOLN DR 241 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-231	FRAYN ANN L TR	5402 E LINCOLN DR 242 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-232	WURZBURG RUTH/GOLDHABER MARK E TR/ETAL	5402 E LINCOLN DR 243 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-233	PEASE JAMES V TR	5402 E LINCOLN DR 244 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-234	FRESCHI WILLIAM J JR/LAURA FERGUSON TR	5402 E LINCOLN DR 245 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-235	MATORA INVESTMENTS LLC	5402 E LINCOLN DR 246 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-236	PAUL EDWARD DEMBOW FAMILY TRUST	5402 E LINCOLN DR 247 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-237	NEWMAN ALAN I/SHARON D	5402 E LINCOLN DR 248 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-238	MERHIGE GLENN R	5402 E LINCOLN DR 249 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-239	LARSEN 2009 TRUST/PETER R LARSEN TRUST/LARSEN ELEANOR	5402 E LINCOLN DR 250 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-240	2013 KAY D CAMPBELL TRUST	5402 E LINCOLN DR 251 PARADISE VALLEY 85253	25283 CABOT RD STE 116 LAGUNA HILLS CA 92653-5509
169-28-241	PATRICIA M HILPERT LIVING TRUST	5402 E LINCOLN DR 252 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-242	KOP SHELTON M/PINTAR SUSAN R TR	5402 E LINCOLN DR 253 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-243	FARRIS MARTIN THEODORE II	5402 E LINCOLN DR 254 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-244	OWEN STEPHANIE JEANNE	5402 E LINCOLN DR 255 PARADISE VALLEY 85253	930 E DENTON LN PHOENIX AZ 85014
169-28-245	KAHN STEPHEN R(LEASE)	5402 E LINCOLN DR 256 PARADISE VALLEY 85253	PO BOX 4900 DEPT 211 SCOTTSDALE AZ 85261
169-28-246	BRADEN LOUIS R	5402 E LINCOLN DR 257 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-247	ROMANO FREDERICK V JR & ROSEMARIE A	5402 E LINCOLN DR 258 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-248	MANCINA DORIS LAVERNE TR	5402 E LINCOLN DR 259 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-249	CHARLES D DIETRICH TR/DIETRICH C M/PULSE C D	5402 E LINCOLN DR 260 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-250	DASBACH WENDY WEIR	5402 E LINCOLN DR 261 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-251	FERGUSON PROPERTIES INC	5402 E LINCOLN DR 262 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA AZ 01915
169-28-252	MARC R MOUALEM REVOCABLE TRUST	5402 E LINCOLN DR 263 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-253	KESSLER MARY E TR/WIRT DENA TR	5402 E LINCOLN DR 264 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-254	LAWRENCE GARY STEVEN/MARGY TR	5402 E LINCOLN DR 265 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-255	BRILL WALLACE LESSA A/HOWARD W	5402 E LINCOLN DR 266 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-256	MALONEY REVOCABLE TRUST	5402 E LINCOLN DR 267 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-257	JANET M STEIN LIVING TRUST	5402 E LINCOLN DR 268 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-258	ROSEN GERALD	5402 E LINCOLN DR 269 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-259	MCBRIDE SUZANNE ERIKA/BLEIMEYER HEIDI A	5402 E LINCOLN DR 270 PARADISE VALLEY 85253	548 CABOT BEVERLY MA 01915
169-28-260	FRY CHARLES L/ALICE J TR	5402 E LINCOLN DR 271 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-261	FRY FAMILY TRUST	5402 E LINCOLN DR 272 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-262	LANG HENRY SPENCER & CAROLYN HADDAD	5402 E LINCOLN DR 273 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-263	ROSE JAMES MCKINLEY JR/ANNE LOUISE BOURNE TR	5402 E LINCOLN DR 274 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-264	HERATY RICHARD M TR	5402 E LINCOLN DR 275 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-265	SABA GREGORY D	5402 E LINCOLN DR 276 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-266	SAMUEL S KAPLAN BRENDA	5402 E LINCOLN DR 277 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-267	MILOBSKY STANLEY A/JOANNE K	5402 E LINCOLN DR 278 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-268	CAVANAUGH JOHN J & GLADYS S TR	5402 E LINCOLN DR 279 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-269	CONOVER CORP	5402 E LINCOLN DR 280 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-270	HELLER JOHN E/MARY C	5402 E LINCOLN DR 281 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915-2543
169-28-271	MIRIAM B SCHLESINGER REVOCABLE TRUST	5402 E LINCOLN DR 282 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-272	GAYLE C PRETE TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-273	CLARK CARL J/CONNIE L TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-274	CHMW SCOTTSDALE LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-275	SOUTHWELL LEONARD J TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-276	MORRIS ROBERT B TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-277	JOHNSON ROBERT M TR/JOYCE A TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-278	GABORIAULT ANDREW L & ELISE	5402 E LINCOLN DR 310 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-279	CENTRAL AG PRODUCTS INC	5402 E LINCOLN DR 309 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-280	WILLIAM AND SUZANNE LANDSTRA FAMILY TRUST	5402 E LINCOLN DR 308 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-281	JOHNSON ROBERT M TR	5402 E LINCOLN DR 307 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-282	SHABAZ WARREN E/MARIAM L	5402 E LINCOLN DR 306 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-283	VITE FRANK A/BARBARA A	5402 E LINCOLN DR 305 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-284	ROSENBERG STEPHEN F/FRANCES D	5402 E LINCOLN DR 304 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-285	SIMS HAROLD W/KIRKPATRICK DIANE	5402 E LINCOLN DR 303 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-286	SMITH LESLIE A	5402 E LINCOLN DR 302 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-287	GAMBRELL EDWIN F/VIRGINIA V	5402 E LINCOLN DR 301 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-288	MAVI PROPERTIES LLC	5402 E LINCOLN DR 300 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-289	QUAD CITIES PROPERTIES	5402 E LINCOLN DR 311 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-290	SLOTT ROBERT I	5402 E LINCOLN DR 312 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-292	PITCHER DANIEL	5402 E LINCOLN DR 314 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915

169-28-293	PITCHER DANIEL/MENDOLA-PITCHER MARCI	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-294	KARPAS SUZANNE T	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-295	SHARPS RUTH P TR/SHARPS JASON S	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-296	WEITZMAN WILLIAM/MARIE ALEXIS TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-297	LEE SHORE EQUITIES LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-298	RAY KELLY SCHILDER/JAMES R	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-299	SULLIVAN CHRISTOPHER E/LINDA C TR/ETAL	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-300	FARRIS MARTIN THEODORE II/BEVERLY	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-301	ALEXANDER JOHN F/JEANETTE L	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-302	JOSHI FAMILY HOLDINGS LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-303	CHUTZPAH LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-304	JOHNSON JOYCE A TR	5402 E LINCOLN DR 325 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-305	MOORE MARIANNE TR	5402 E LINCOLN DR 327 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-306	MCKIBBIN CHARLES R/ANDREA L	5402 E LINCOLN DR 328 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-307A	HAYES MICHAEL/CHRISTINA	5402 E LINCOLN DR 519 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-308A	NOREEN A MOORE REVOCABLE TRUST	5402 E LINCOLN DR 521 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-309A	DAVID A SHERF AND ELIZABETH C SHERP TRUST	5402 E LINCOLN DR 523 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-310A	TAN LUIS S TR	5402 E LINCOLN DR 520 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-311A	TRUST U/I LOIS A GOURLEY	5402 E LINCOLN DR 522 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-312A	CARSON SHERALL A TR	5402 E LINCOLN DR 524 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-313A	SCANTLAND LOUIS L/NANCY C	5402 E LINCOLN DR 525 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-314A	AUERSWALD W HOWARD	5402 E LINCOLN DR 526 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-315A	BOWSER KATHERINE K/THOMAS E/DONNA	5402 E LINCOLN DR 515 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-316A	CASTON ANDIE ARMSTRONG/WOODENBERG ANNE	5402 E LINCOLN DR 516 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-317A	YELLIN MARC J/ELLEN S	5402 E LINCOLN DR 517 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-319A	AB MURPHY COMPANY LLC	5402 E LINCOLN DR 518 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-320A	LEIBSKER LINDA	5402 E LINCOLN DR 527 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-321A	CLARK CARL J/CONNIE L TR	5402 E LINCOLN DR 528 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-322A	FIEDLER RUSSELL E/DOROTHEA M TR	5402 E LINCOLN DR 529 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-323A	HUFF MARY H	5402 E LINCOLN DR 530 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-324A	PICARDI PATRICIA TR	5402 E LINCOLN DR 531 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-325A	OEHLER CHARLES R TR	5402 E LINCOLN DR 532 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-326A	VNNM PARTNERSHIP L P	5402 E LINCOLN DR 533 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-327A	RMJD PARTNERSHIP L P	5402 E LINCOLN DR 534 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-336A	HOGAN LORI J TR/ETAL	5402 E LINCOLN DR 511 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-337A	CARL & CONNIE CLARK TRUST	5402 E LINCOLN DR 512 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-338A	BOWSER THOMAS E/DONNA M	5402 E LINCOLN DR 514 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-363A	WOLFE KATHARINE B/NICHOLAS K	5402 E LINCOLN DR 536 PARADISE VALLEY 85253	46 VINEYARD AVE GUILFORD CT 06437
169-28-364A	LLM PARTNERSHIP L P	5402 E LINCOLN DR 535 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-365E	MARRIOTT CONDOMINIUM DEVELOPMENT CORP	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-365F	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777
169-28-369A	WAYNE G KEES LIVING TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-369B	CONOVER CORP		548 CABOT STREET BEVERLY MA 01915
169-28-370A	NEWMAN MARJORIE G TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-370B	HODGDON HAROLD A & LINDA B		548 CABOT STREET BEVERLY MA 01915
169-28-371A	IOELE STEPHEN A	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-371B	PLATT MARGARET E TR		548 CABOT STREET BEVERLY MA 01915
169-28-372A	DEPALMA PATRIZIA	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-372B	CHAMPION JAMES C/EULALA J TR		548 CABOT STREET BEVERLY MA 01915
169-28-373A	MCLEAN PROPERTIES INC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-374A	JAMES C AND EULALA JO CHAMPION REVOCABLE TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-375A	TRACY BRENDAN C	5402 E LINCOLN DR 469 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-375B	JONAS PEGGY A TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-376A	WEIJO SHARON K/RICHARD O TR	5402 E LINCOLN DR 470 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-376B	FLOWERS DESCENDANT SEPARATE TR FBO G I FLOWER	5402 E LINCOLN DR 471 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-377A	MOORE JANE E TR	5402 E LINCOLN DR 471 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-377B	FARRIS MARTIN THEODORE II/BEVERLY	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-378A	VRABEC BARBARA J TR	5402 E LINCOLN DR 472 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-378B	DOERKEN DEAN A	5402 E LINCOLN DR 459 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-387A	PLATT MARGARET E TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-388A	GOLDSTEIN KELLIE C	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-389A	VITE BARBARA A		548 CABOT STREET BEVERLY MA 01915
169-28-389B	MARRIOTT CONDOMINIUM DEVELOPMENT CORP	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-390A	XENOPHONTOS ANDROULA		548 CABOT STREET BEVERLY MA 01915
169-28-390B	CAROLYN WOOLSEY KINSELLA EXEMPTION TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-391A	L-K ASSOCIATES	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-391B	SHERWOOD LLOYD C & ANNE R		548 CABOT STREET BEVERLY MA 01915
169-28-392A	BERLANTI RICHARD A TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-392B	CHAMPION RONALD L TR	5402 E LINCOLN DR PARADISE VALLEY 85253	2979 S TELEMARCK CIR GREEN BAY WI 54343
169-28-393A	DONALD R SIPES II AND JENNIFER A SIPES JOINT REVOCABLE TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	17600 E 25TH ST S INDEPENDENCE MO 64057-1373
169-28-394A	MUELLEMAN PETER JOSEPH TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-419	LUKE DAVID V/LUKE-HEADLEY ELANE	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-420	ANGUS COTTON TRUST/REV TR OF BEVERLY H COTTON	5402 E LINCOLN DR 331 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-421	JANICE HAMILTON-SOTA TRUST	5402 E LINCOLN DR 332 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-422	ROBERT L WOOLSEY EXEMPTION TRUST	5402 E LINCOLN DR 333 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-423	NEWY SHARPE TR/MICHAEL & ANNE FISHER TR ETAL	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-424	NEWHALL DAVID G/LUDINGTON CAROL ANN	5402 E LINCOLN DR 335 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-425	WEITZMAN WILLIAM/MARIE ALEXIS TR	5402 E LINCOLN DR 336 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-426	MARK J BARBANO AND LEANORE V BARBANO 2012 REV	5402 E LINCOLN DR 333 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-427	WEEKS NANCY R		548 CABOT STREET BEVERLY MA 01915
169-28-428	JANICE R HAMILTON-SOTA REVOCABLE TRUST	5402 E LINCOLN DR 340 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-429	CIMILUCA EMMANUEL & MAUREEN	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915-2543
169-28-430	JAMES C TERPSTRA AND NORMA A TERPSTRA R L TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-431	THOMAS TIMM LIVING TRUST	5402 E LINCOLN DR 343 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-432	RONALD L CHAMPION 2006 SEPARATE PROP TRUST	5402 E LINCOLN DR 344 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-433	SOUTHWESTERN MICH INC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-434	SPEARING WILLIAM JACKSON TR		548 CABOT STREET BEVERLY MA 01915
169-28-435	JANET A MALCOLM REVOCABLE LIVING TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-436	DARRELL F CHAMPION AND JOY H CHAMPION TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-437	CHAMPION MICHAEL J	5402 E LINCOLN DR 348 PARADISE VALLEY 85253	548 CA BOT STREET BEVERLY MA 01915
169-28-438	CHAMPION LOWRY M	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 4900 DEPT 211 SCOTTSDALE AZ 85261
169-28-439	NUTMAN MARTHA J & NUTMAN THOMAS B	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-440	NUTMAN NORMA S	5402 E LINCOLN DR 351 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-441	ACKERMAN LAYNE ELLIS	5402 E LINCOLN DR 352 PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-442	XENOPHONTOS ANDROULA		548 CABOT STREET BEVERLY MA 01915
169-28-443	BRINLEE 2015 TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-444	DASBACH WENDY WEIR	5402 E LINCOLN DR 355 PARADISE VALLEY 85253	548 CABOTT STREET BEVERLY MA 01915
169-28-445	ST JOHN-GILLIGAN VICTORIA	5402 E LINCOLN DR 356 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-446	CHAMPION CHRISTINE JOY	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-447	RAPP FRANK & DORIS E	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-448	CHAMPION WINSTON EJI	5402 E LINCOLN DR 359 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-449	DURONIO GISELA TR	5402 E LINCOLN DR 360 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-450	CHAMPION JAMES C/EULALA J TR		548 CABOT STREET BEVERLY MA 01915
169-28-451	DARRELL F CHAMPION AND JOY H CHAMPION TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-452	MALONEY REVOCABLE TRUST		548 CABOT STREET BEVERLY MA 01915

169-28-453	JAMES C AND EULALA JO CHAMPION REVOCABLE TR	5402 E LINCOLN DR 364 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-454	SHABAZ WARREN/MIRIAM	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT ST BEVERLY MA 01915
169-28-455	KAPLAN SAMUEL S & BRENDA	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-456	VELGHE JAMES C	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-457	TANA SACKETT REVOCABLE TRUST	5402 E LINCOLN DR 367 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-458	COMPTON DUANE/JANIE DVORAK	5402 E LINCOLN DR 368 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 85261
169-28-459	AB MURPHY COMPANY LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-460	AB MURPHY COMPANY LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-461	FIEDLER RUSSELL E/DOROTHEA M TR	5402 E LINCOLN DR 371 PARADISE VALLEY 85253	PO BOX 4900 DEPT 211 SCOTTSDALE AZ 85261
169-28-462	DOVER GORDON JACK/AGNES	5402 E LINCOLN DR 372 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-463	VITE FRANK A/BARBARA A	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-464	MCKIBBIN CHARLES R/ANDREA L	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-465	TAN LUIS S TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-466	BONKATU PROPERTIES LLC	5402 E LINCOLN DR 376 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-467	RICHARD AND JUDITH SANDERSON REVOCABLE TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-468	THOMAS C AND BECKY J MIKOWSKI TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-469	OLCZAK CHRISTINE F TR	5402 E LINCOLN DR 379 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-470	WEBSTER ALICE M TR	5402 E LINCOLN DR 380 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-471	AB MURPHY COMPANY LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-472	CAMELBACK LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 4900 DEPT 211 SCOTTSDALE AZ 85261
169-28-473	DIANA LYNN FAERBER LIVING TRUST	5402 E LINCOLN DR 383 PARADISE VALLEY 85253	9888 E QUARRY TRL SCOTTSDALE AZ 85262-2346
169-28-474	EBERSPACHER ROBERT W/JULIE M/WRIGHT ELAINE M	5402 E LINCOLN DR 384 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-475	GRATHWOHL SUSAN ETAL		548 CABOT STREET BEVERLY MA 01915
169-28-476	CHAMPION JAMES C/EULALA J TR		548 CABOT STREET BEVERLY MA 01915
169-28-479	MILOBSKY STANLEY A/JOANNE K	5402 E LINCOLN DR 564 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-480	SHULA DONALD F TR/MADDEN J E/V J/SHULA D B/KHAHATURIAN H & R REV TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-481	MBL LA JOLLA LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-482	MILLER FAMILY LIMITED PARTNERSHIP	5402 E LINCOLN DR 571 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-483	ROBERT L SMART JR TR/CHRISTOPHER M SMART TR	5402 E LINCOLN DR 572 PARADISE VALLEY 85253	23 COMPTON CT PRAIRIE VILLAGE KS 66208-5205
169-28-484	FRY CHARLES L/ALICE J	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-485	FRY CHARLES L/ALICE J	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-486	VELTRI MICHAEL T J	5402 E LINCOLN DR 575 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-487	BRADEN PEGGY E	5402 E LINCOLN DR 576 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-488	MUELLER JOAN SCHEELE/JAMES W TR		548 CABOT STREET BEVERLY MA 01915
169-28-489	PARKER 2019 TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-490	FRESCHI WILLIAM J JR TR	5402 E LINCOLN DR 579 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-491	SCHILDER PATRICIA M TR/DAVID J	5402 E LINCOLN DR 580 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-492	FRIEDMAN MANAGEMENT TRUST	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-493	HUFF ROBERT L TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-494	MGS DECLARATION OF TRUST	5402 E LINCOLN DR 583 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-495	MIGLIANO VINCENT E	5402 E LINCOLN DR 584 PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-496	MILLER FAMILY LIMITED PARTNERSHIP	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-497	MGS DECLARATION OF TRUST		548 CABOT STREET BEVERLY MA 01915
169-28-498	WELLINGTON MARGARET BRUCE TR	5402 E LINCOLN DR PARADISE VALLEY 85253	548 CABOT STREET BEVERLY MA 01915
169-28-499	CAMELBACK LLC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 4900 DEPT 211 SCOTTSDALE AZ 85261
169-29-001	L GREGG VANCE TRUST	6667 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6667 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253
169-29-002	BARTLETT HAROLD O/JANET E	6701 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6701 DESERT FAIRWAYS PARADISE VALLEY AZ 85253
169-29-003	TESSMER ALAN R/PAMELA M TR	6711 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6711 N DESERT FAIRWAYS PARADISE VALLEY AZ 85253
169-29-004	MEYERS JR/JENNIFER	6723 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6723 E DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-29-005	GUENTHER EDWARD W TR/SALLY R TR	6735 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6735 N DESERT FAIRWAYS PARADISE VALLEY AZ 85253-0787
169-29-006	METZLER FAMILY TRUST	6811 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	6811 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-29-007A	DESERT FAIRWAYS LLC	7017 E PALO VERDE PL PARADISE VALLEY 85253	PO BOX 478 TERRE HAUTE IN 47808
169-29-008A	GETZ GEORGE/DYAN W	5223 E PALO VERDE PL PARADISE VALLEY 85253	6730 N SCOTTSDALE RD STE 250 SCOTTSDALE AZ 85253
169-29-011	BERNARD E FRANCOIS LIVING TRUST/MELINDA MOSS TRUST	5239 E PALO VERDE PL PARADISE VALLEY 85253	5239 E PALO VERDE PL PARADISE VALLEY AZ 85253
169-29-012	SANAI NADER/JESSIE	5245 E PALO VERDE PL PARADISE VALLEY 85253	5245 E PALO VERDE PL PARADISE VALLEY AZ 85253
169-29-013	J M WALL DEVELOPMENT INC	6800 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6712 N 58TH PL PARADISE VALLEY AZ 85253
169-29-014	SURVIVORS TRUST OF THE FRENCH FAMILY TRUST	5234 E PALO VERDE PL PARADISE VALLEY 85253	5234 E PALO VERDE PL PARADISE VALLEY AZ 85253
169-29-015	SUSAN W FRENCH SURVIVORS TRUST	5230 E PALO VERDE PL PARADISE VALLEY 85253	5234 E PALO VERDE PL PARADISE VALLEY AZ 85253
169-29-016	LARRY AND PAULA KORNEGAY REVOCABLE TRUST	5224 E PALO VERDE PL PARADISE VALLEY 85253	5224 E PALO VERDE PL PARADISE VALLEY AZ 85253-3345
169-29-017A	NORTON JOHN R III & DORIS	5212 E PALO VERDE PL PARADISE VALLEY 85253	PO BOX 44015 PHOENIX AZ 85064-4015
169-29-017B	LARRY AND PAULA KORNEGAY REVOCABLE TRUST	5224 E PALO VERDE PL PARADISE VALLEY 85253	5224 E PALO VERDE PL PARADISE VALLEY AZ 85253-3345
169-29-018	NORTON JOHN R III & DORIS S	5212 E PALO VERDE PL PARADISE VALLEY 85253	PO BOX 44015 PHOENIX AZ 85064-4015
169-29-019	GARRET E WEYAND AND SHIRLEY T WEYAND REVOCABLE TRUST	7017 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7017 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-29-020	CARRITT PAMELA J/JAN B TR	5201 E ARROYO RD PARADISE VALLEY 85253	5201 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-021	FOLZ ROLAND/MELANIE A	5211 E ARROYO RD PARADISE VALLEY 85253	5211 E ARROYO RD PARADISE VALLEY AZ 85253-3321
169-29-022	BILSTROM JON W/KATHY KEELER	5221 E ARROYO RD PARADISE VALLEY 85253	5221 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-023	WHITE OWL TRUST	5227 E ARROYO RD PARADISE VALLEY 85253	5227 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-024	FRIEDLAND JACK A/HARRIET S TR	5233 E ARROYO RD PARADISE VALLEY 85253	5233 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-025	BEN ZVI FAMILY TRUST	5239 E ARROYO RD PARADISE VALLEY 85253	5239 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-026	PHILIP F AND NANCY C SCHNEIDER REV TRUST	5245 E ARROYO RD PARADISE VALLEY 85253	5245 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-027	JURY WILLIAM H TR/MARILYN TR	5251 E ARROYO RD PARADISE VALLEY 85253	5251 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-028	SINGER ADAM C TR/IRIS C TR	5257 E ARROYO RD PARADISE VALLEY 85253	5257 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-029	MARY HELEN BONDY REVOCABLE LIVING TRUST	6900 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6900 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253
169-29-030	MARITAL TRUST UNDER ARTICLE IIIB	5254 E ARROYO RD PARADISE VALLEY 85253	78 CEDAR CLIFF RD RIVERSIDE CT 06878
169-29-031	PT DEJEKA ARROYO RE LLC/PT MAJEKA ARROYO RE L	5248 E ARROYO RD PARADISE VALLEY 85253	5248 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-032	GROSS GARY F/BONITA B TR	5242 E ARROYO RD PARADISE VALLEY 85253	5242 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-033	TUFANO-NORTH 69TH LLC	5236 E ARROYO RD PARADISE VALLEY 85253	6051 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-29-034	MUMMYS RETREAT LLC	5230 E ARROYO RD PARADISE VALLEY 85253	4235 BEACH CLUB RD PORT CLINTON OH 43452
169-29-035	ARKULES BARBARA	5224 E ARROYO RD PARADISE VALLEY 85253	5224 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-036A	SUSAN L DRESCHER MULZET REVOCABLE TRUST	5218 E ARROYO RD PARADISE VALLEY 85253	5218 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-037A	CHRISTOPHER A LINES REVOCABLE TRUST	5212 E ARROYO RD PARADISE VALLEY 85253	5212 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-038	DEBORADO LLC	7101 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	10645 N TATUM BLVD STE 200 BOX 474 PHOENIX AZ 85028
169-29-040	EVERWELL LLC	5229 E PALO VERDE PL PARADISE VALLEY 85253	2415 E CAMELBACK RD STE 600 PHOENIX AZ 85016

Mr. Jeremy Knapp
Community Development Director
Town of Paradise Valley
6401 East Lincoln Drive
Paradise Valley, AZ 85253

Re: Variance application for 5230 East Palo Verde Place

Mr. Knapp:

I live at [REDACTED], which is immediately adjacent to the east of the subject property. The applicant is currently under contract to buy this property from our family and we are pleased to hear that they have plans to keep the original home layout. I support their plans and a setback variance that allows them to keep the existing structures in place. I am also aware that the lot is encumbered by a large wash, which I hope will be taken into consideration during your evaluation of the variance request.

Regards,
Susan W. French

[REDACTED]
[REDACTED]
[REDACTED]

To: [REDACTED]

Subject:

Date:

[George Burton](#)

Fwd: Variance Application for 5230 East Palo Verde Place, Paradise Valley, AZ

Friday, March 27, 2020 3:04:40 PM

EXTERNAL

Mr. George Burton
Senior Planner
Town of Paradise Valley

Dear Mr. Burton,

We have been residents of the home at [REDACTED] since the early 1970's. The southwest corner of our lot touches the northeast corner of the 5230 East Palo Verde Place for which the variance is sought, and our home looks generally to the south over that lot toward the Valley.

We are pleased that the applicant intends to keep the current home footprint. Assuming the maximum height of the house is not to be increased, we support the variance requested in the application that would allow the existing structure to stay in place while taking into account the presence of the substantial wash on the property. We believe the variance requested provides a beneficial solution.

Respectfully,

Nancy and Phil Schneider

March 27, 2020

To:

[George Burton](#)

Subject:

RE: Variance Application for 5230 East Palo Verde Place, Paradise, Valley, Az. 85253

Date:

Monday, March 30, 2020 2:41:18 PM

EXTERNAL

From: Bill Jury [REDACTED]

Sent: Monday, March 30, 2020 12:19 PM

To: 'gburton@paradisevalleyaz.gov'

Subject: Variance Application for 5230 East Palo Verde Place, Paradise, Valley, Az. 85253

Mr. George Burton
Senior Planner
Town of Paradise Valley

Dear Mr. Burton,

We have owned and resided in the house located at [REDACTED], Paradise Valley, AZ. 85253 [REDACTED] since 2008. While our Lot does not touch or abut the property located at 5230 East Palo Verde Place, AZ. 85253 (Lot 15, Paradise Valley Estates), it is located very close thereto as noted in one of the photographs in the application. Part of the view from our Lot is to the South/Southwest over Lot 15 towards the Valley.

We are pleased that the applicant intends to keep the current house footprint. Provided the maximum height of the existing house is not increased, we support the application that would allow the existing structure to stay in place while taking into account the presence of the substantial wash on the property. We believe the variance requested provides a beneficial solution.

Yours truly,

Marilyn and Bill Jury
March 30, 2020

[REDACTED]

To:

[REDACTED]

[George Burton](#); [Jeremy Knapp](#)

Subject:

5230 East Palo Verde Drive

Date:

Friday, May 29, 2020 9:55:24 AM

EXTERNAL

Dear George & Jeremy-

My name is Andy Kroot and I am a Paradise Valley resident living at [REDACTED]. I fully support the French's & Rauch's plan for their renovation and variance. This will be a great improvement to the neighborhood.

Thanks.

Andy

Andy Kroot

[REDACTED]

To:

[George Burton](#); [Jeremy Knapp](#)

Subject:

Rauch Property

Date:

Sunday, May 31, 2020 12:00:30 PM

EXTERNAL

George and Jeremy:

I am writing to express my strong support for the Rauch/French variance application related to 5230 E. Palo Verde Place. My home is at [REDACTED], a few hundred yards away. I have reviewed the drawings and elevations that were submitted and I am thrilled that someone would make an effort to retain the existing structures with only minor exterior changes (raising the roof a bit and adding a total of a few hundred square feet, spread among a few strategic locations). If allowed, the house would retain the original Paradise Valley feel – both somewhat smaller and with a lower roofline than most of what is being built today. Basically the same feel it had when annexed into the town, and which is has maintained for decades. Only, perhaps a little bit better!

This approach is a significant positive for the neighborhood, and I believe it meets both the letter and the spirit of the approval criteria. I sincerely hope the variance is approved.

Regards,

Bill

William R. Metzler

[REDACTED]



To: [REDACTED]
Cc: [George Burton](#)
Subject: [Jeremy Knapp](#)
Date: Rauch variance request
Monday, June 1, 2020 11:58:55 AM

EXTERNAL

My name is George Getz. I live at [REDACTED], Paradise Valley, Az. 85253. (Right across the street from the proposed variance requested home)

I am writing you in support of the above referenced based upon:

The French's and Rauch's variance request and believe it meets the approval criteria.
The request is for a very minor variance to permit the remodel of the existing home, raise the roof two feet, and add a total of 400 SF spread across three areas.
I do not believe that approval of this request will have any negative impact on any surrounding properties.
The request for a single story with max height 10' below limit is a far better alternative than what is allowed by right in this zoning district.
The request maintains the required open space.
The changes to the home are almost entirely internal.
No new structures are proposed.
This is the best option for the neighborhood as it maintains the feel of the property but still modernizes to avoid eventual demo and rebuild.
The home was originally built with these setbacks long before being annexed into the Town.
The applicants are not increasing any of the setback deviations that were established originally with the construction of the home.

I would hate to see this variance get denied and a new, larger (push the envelope) house get built. The character of this home fits our neighborhood.

Thank you for your consideration

George Getz

[REDACTED]
[REDACTED]
[REDACTED]

To: [REDACTED]
Subject: Support of a variance request
Date: Monday, June 1, 2020 2:33:46 PM
Importance: High

EXTERNAL

Dear Mr. Burton and Mr. Knapp:

My wife and I live at [REDACTED].

We are writing this email to support the request for approval of a variance of Julie and David Rauch, who are purchasing the home at 5230 E. Palo Verde Drive, and wish to modify the present structure.

- We support the French's and Rauch's variance request and believe it meets the approval criteria.
- The request is for a very minor variance to permit the existing home and 400 SF of small expansion spread across three areas.
- Approval of this request will have no negative impact on any surrounding properties whatsoever.
- The request for a single story with max height 10' below limit is a far better alternative than what is allowed by-right in this zoning district.
- The request maintains the required open space.
- The changes to the home are almost entirely internal.
- No new structures are proposed.
- This is the best option for the neighborhood as it maintains the feel of the property but still modernizes to avoid eventual demo and rebuild.
- The home was originally built with these setbacks long before being annexed into the Town.
- The applicants are not increasing any of the setback deviations that were established originally with the construction of the home.

JACK A. FRIEDLAND, M.D. FACS



To: [REDACTED]
Subject: [George Burton](#); [Jeremy Knapp](#)
Date: proposed remodeling at 5203 E. Palo Verde Place
Wednesday, June 3, 2020 12:03:24 PM

EXTERNAL

Dear Mr. Burton and Mr. Knapp,

My wife and I are writing in support of the Rauch family's plan for remodeling of their new property and home on 5203 E. Palo Verde Place. Our family lives across the street at [REDACTED].

We believe that the remodeling plans will keep the property as true to the original as possible while still making it comfortable for the Rauch family. We support the French's and Rauch's variance request and believe it meets the approval criteria. We understand the request is for a very minor variance to permit the remodel of the existing home, raise the roof two feet, and add a total of 400 SF spread across three areas. We do not believe that approval of this request will have any negative impact on any surrounding properties. Given that the proposed changes to the home are almost entirely internal and that new structures are proposed, we believe this is the best option for the neighborhood as it maintains the feel of the property but still modernizes to avoid eventual demo and rebuild.

The Rauch family seems to be very responsible and considerate in their approach to this remodel. Certainly, the alternative of starting entirely from scratch is not appealing to anyone in our neighborhood, which is why we are so pleased with the proposed revisions presented to us by Mr. David Rauch.

Please do not hesitate to contact me [REDACTED] with questions.

Sincerely,
Nader Sanai

[REDACTED]

June 3, 2020

Town of Paradise Valley
Mr. George Burton (by email)
Mr. Jeremy Knapp (by email)

Re: Application for variance – 5203 E Palo Verde Place - Rauch

Gentlemen.

We are residents of [REDACTED], Paradise Valley. Mr. & Mrs. Rauch have given us a copy of a site plan and building elevations relating to the above application.

As we understand it, the application would permit the renovation of the home including a height increase of only two feet and an addition of 400 square feet of floor area split between three parts of the home. We also understand the home, as currently constructed, violates current Town of Paradise Valley setback requirements and that the applicant wishes to make the renovation using the existing setbacks.

We are pleased with the application and heartily support it. We are happy that the home is not being razed and replaced with a large and much more intrusive two-story home. The addition of the two feet of height and the 400 sq. ft. of floor space should not have a negative impact on anyone and the renovation should be an improvement for the neighborhood.

Sincerely,



Dennis Knight



Margot Knight

[REDACTED]
[REDACTED]



Subject:
Date:



Rauch Variance Request for 5230 E. Palo Verde Place, Paradise Valley
Monday, June 8, 2020 9:07:01 PM

EXTERNAL

George Burton
Senior Planner
Town of Paradise Valley

Dear Mr. Burton,

We live at [REDACTED], directly north of 5230 E. Palo Verde Place, and we share a property line. We have been in communication with Julie and David Rauch regarding the Palo Verde Place property for which they are requesting a variance. We have reviewed their architect's drawings for the proposed extensive internal remodel to the main building and guest house.

We support their request for a variance with these stipulations as discussed with Julie and David Rauch on May 31, 2020:

- * A two-foot maximum increase in the height of only the main building after the extensive internal remodeling. The guest house will remain at its current height after the extensive internal remodeling.
- * There will not be an increase to any of the setback deviations established at the time the home was originally constructed around 1960.
- * A maximum 400 square feet of expansion to the current footprint of the main building in three separate areas. There will be no change to the current footprint of the guest house.
- * No new structures are proposed for the property in this variance.

It is the general consensus among the neighbors with whom we have spoken or heard from, all with adjacent or nearby properties, that the proposed changes are much more appealing and acceptable than the alternative. Another buyer could scrape the structures and build a much larger and higher home. This would clearly have a negative impact on the views we all currently enjoy and the character of our neighborhood.

Best regards,





Action Report

File #: 20-323

TO: Chair and Board of Adjustment

FROM: Paul Michaud, Planning Manager
George Burton, Senior Planner
Loras Rauch, Special Projects Planner

DATE: September 2, 2020

DEPARTMENT: Community Development

AGENDA TITLE:

**Kelly Variance - 5235 E. San Juan Ave. (APN 172-47-035).
Case No. BA-20-01**

MOTIONS

A. MOTION FOR APPROVAL

I move for **[approval]** of Case No. BA-20-01, a request by Bruce and Mary Ann Kelly, property owners of 5235 E. San Juan Avenue; for a variance from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow a new single family residence to encroach into the setbacks, 2) Article V, (R-43) Single-Family Residential District, to allow a pool and pool deck to encroach into the setbacks, 3) Article XXII, Hillside Development Regulations, to allow new and existing retaining walls to exceed the allowable height limit, and 4) Article XXIV, Walls & Fences, to allow existing nonconforming retaining walls to remain and to be modified.

The variance shall be subject to the following stipulations:

1. The improvement shall be in compliance with the submitted plans and documents:
 - a. The Property Narrative, pages 1 - 10, prepared by AIR Architecture Infrastructure Research Inc;
 - b. Site Plan, Sheet A-02, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
 - c. Enlarged Site Plan - Mail Level, Sheet A-03, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
 - d. Enlarged Site Plan - Plan Lower Level, Sheet A-04, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
 - e. Previous vs. Proposed, Sheet A-05, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
 - f. Zoning Analysis, Sheet A-06, prepared by AIR Architecture Infrastructure Research Inc

and dated June 8, 2020;

- g. Existing vs. Typical, Sheet A-07, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
- h. Elevations, Sheet A-09, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
- i. Elevations, Sheet A-10, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
- j. Cross Sections, Sheet A-11, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
- k. Retaining Wall, Sheet A-12, prepared by AIR Architecture Infrastructure Research Inc and dated June 8, 2020;
- l. Preliminary Grading & Drainage Plan Cover Sheet, Sheet C-1, prepared by Land Development Group and dated July 27, 2020
- m. Preliminary Grading & Drainage Improvement Plan Cross Sections Details, Sheet C-2, prepared by Land Development Group and dated July 27, 2020
- n. Preliminary Grading & Drainage Plan Aerial Exhibit, Sheet C-3, prepared by Land Development Group and dated July 27, 2020
- o. Topographic Survey, Sheet A-01, prepared by Global Land Surveying LLC and dated August 15, 2018.

- 2. If the existing retaining wall is not structurally sound and needs to be reconstructed, it shall be rebuilt in the same location and at the same heights as the existing retaining wall (in accordance with the approved plans).

Reasons for Approval:

I find that there are special circumstances, applicable to only the subject lot, meeting the variance criteria.

B. MOTION FOR DENIAL

I move for **[denial]** of Case No. BA-20-01, a request by Bruce and Mary Ann Kelly, property owners of 5235 E. San Juan Avenue; for a variance from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow a new single family residence to encroach into the setbacks, 2) Article V, (R-43) Single-Family Residential District, to allow a pool and pool deck to encroach into the setbacks, 3) Article XXII, Hillside Development Regulations, to allow new and existing retaining walls to exceed the allowable height limit, and 4) Article XXIV, Walls & Fences, to allow existing nonconforming retaining walls to remain and to be modified .

Reasons for Denial:

I find that the variance requested does not meet the variance criteria.

BACKGROUND

Request

The applicant is proposing to redevelop the site and construct a house on the property. The new home, new pool, and new pool deck will encroach into the front yard setback. The existing home was demolished and an existing retaining wall currently remains on the property. The applicant is proposing to keep and use part of this existing retaining wall. Also, due to the grade of the lot, a new

driveway retaining wall will exceed the maximum allowable height limit. As result of these proposed improvements, the applicant requests four variances from the Town Zoning Ordinance:

1. Allow a new single-family residence to encroach approximately 18' into the front yard setback (with a minimum setback of 22'10" measured from the front property line);
2. Allow a pool and pool deck to encroach approximately 20' into the front yard setback (with a minimum setback of 20' measured from the front property line);
3. Allow new and existing retaining walls to exceed the 8' height limit (with the new driveway retaining wall at a 12' maximum height and to maintain the existing retaining wall at a maximum height of 11'8" tall); and
4. Allow a portion of the existing nonconforming retaining wall to remain.

The first variance request is to allow the new home to encroach into the front yard setback. Section 1001 of the Town Zoning Ordinance requires a 40' front yard setback for the primary residence. Due to the curvature of the front property line and the design of the house, the setback varies from 22'10" to 39'6" measured from the front property line (with approximately 1,643 square feet of the house encroaching into the setback).

The second variance request is to allow a new pool and pool deck to encroach into the front yard setback. Section 502 and Section 2207 of the Zoning Ordinance requires a 40' front yard setback for the pool and raised pool deck. Due to the curvature of the front property line and the design of the pool, the setback varies from 20' to 39' measured from the front property line (with over three quarters of the pool and approximately half of the pool deck encroaching into the setback).

The third variance request is to allow a new and existing retaining wall to exceed the 8' height limit. Section 2207.VI of the Town Zoning Ordinance limits retaining walls to a maximum height of 8' tall. The new driveway retaining wall follows the adjoining grade and varies in height to a maximum of 12' tall. The applicant is also proposing to keep approximately half of the existing retaining wall. 41 lineal feet of the retaining wall is on the property and 23 lineal feet of the retaining wall is in the right-of-way. The portion of the wall that is located on the property holds the pads for the house and will tie into the new pool. This portion of retaining wall has a maximum height of 11'8" tall. Staff has concerns that the existing wall may not be structurally sound. As a result, staff added a stipulation identifying that if the variance is granted and the wall is not structurally sound, it must be rebuilt at the same location and same height. Also, the applicant has been informed that an encroachment permit and insurance is required in order to maintain the portion of retaining wall which is located in the Town's right-of-way.

The fourth variance request is to allow the applicant to retain a portion of the existing retaining wall. Section 2415 states that all fence walls must meet current setback and height limits when permits are issued for a new home. As noted above, the applicant is proposing to keep and utilize 41 lineal feet of existing retaining wall. This wall varies in height and has a maximum height of 11'8" tall. The existing retaining wall will be used to help retain the building pad.

Lot Conditions

The property is zoned R-43 hillside and is approximately 98,500 square feet in size (2.6 acres in

size). The lot is partially rectangular square in shape, has a curved frontage, has a side yard that partially adjoins a street (52nd Place), has a building pad slope of approximately 23%, and is encompassed with large rock formations from Camelback Mountain (through most of the property).

Lot History

The subject property is Lot 35 of the Stone Canyon subdivision. The property was platted in 1955 and annexed into the Town in 1961. The property was developed and the original house constructed under Maricopa County's jurisdiction. The original home also encroached into the 40' front-yard setback and was setback approximately 8' from the front property line. The following list of permits is a chronological history of the subject property:

February 17, 1976	Building permit for a remodel
September 22, 2004	Demolition permit to remove the house

DISCUSSION/ FACTS:

Variance criteria:

Town Code and Arizona Revised Statutes set criteria an applicant must meet before a Board of Adjustment may grant a variance request. If the Board finds an applicant meets all of these criteria, the Board may grant the variance. However, if the Board finds the applicant does not meet all of the criteria, the Board may not grant the variance. The following are staff's findings with regard to such variance criteria.

1. *"Such variance... will serve not merely as a convenience to the applicant, but [is] necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstances." (Town Code Section 2-5-3(C)2).*

Findings in Favor (FIFs):

The property hardship is the topography of the lot. Approximately eighty percent of the property is encompassed with a large rock formation from Camelback Mountain; which limits the building area towards the front of the lot. Due to the topography, the property was originally developed with the previous house and pool encroaching into the front yard setback.

The applicant has a difficult lot to build on and is trying to utilize existing site conditions by placing the new house and pool on the existing pad. The new home is reducing the amount of encroachment since the original home was setback approximately 8' from the front property line and the new home is setback approximately 22' from the front property line. Due to the topography of the lot and the limited amount of buildable space, a portion of the new driveway retaining wall exceeds the 8' height limit. The driveway retaining wall follows the grade of the site with approximately 25 lineal feet of the wall over 8' tall (with a maximum height of 12' tall).

Lastly, the applicant is proposing to keep a portion of the existing retaining wall. This wall holds up part of the existing pad and adjoins part of the original driveway. Approximately 41 lineal feet of this wall will remain in order to utilize the existing building pad. The existing driveway in this area will be removed and covered with fill to reduce the visibility of the wall. The applicant is trying to use the existing conditions which helps limit the amount of new disturbance to the

hillside.

Findings Opposed (FOPs):

Arizona Revised Statutes and the Town Zoning Ordinance do not require the most optimal or profitable use of a property. Although not ideal, a smaller house may be constructed and/or additional cut to the hillside may be done in order to reduce the amount of setback encroachment. Also, the existing retaining wall may be removed and the existing pad regraded to reduce the amount of encroachment or to bring the retaining walls into compliance with the height limitations. Lastly, the pool and pool deck may be removed or replaced with a spa in another location that meets setback requirements.

2. *The “special circumstances, hardship, or difficulty [do not] arise out of misunderstanding or mistake...” (Town Code Section 2-5-3(C)4(b)).*

FIFs:

The hardship is not out of mistake or misunderstanding. The topography of the lot is the result of how the property was platted and situated on the hillside in 1955. As a result, approximately eighty percent of the lot is encompassed with a large rock formation.

FOPs:

The applicant should be aware of all special circumstances on the property and plan any designs accordingly. Although not ideal, other options exist such as a building a smaller and setback compliant house, removing of the pool, and reconfiguring the pad and grades for height compliant retaining walls.

3. *“Such variance from ... the strict application of the terms of [the Zoning Ordinance] ... are in harmony with its general purposes and intents...” (Town Code Section 2-5-3(C)2).*

FIFs:

The intent of the hillside ordinance is to minimize the amount of disturbance to the hillside and to preserve the visual openness and the natural features of the mountain. The request meets the intent of the hillside ordinance since the new improvements utilize much of the existing building pad which minimized the amount of new disturbance to the hillside. The house also reduces the amount of encroachment since it has a greater setback than the original home (with the original home at an 8' setback from the front property line and the new home at a minimum setback of 22'10" from the front property line).

There is also variation in the architectural design to help reduce the massing of the home while utilizing the existing pad. The property also has a steep building pad slope of 23 percent, which results in a portion of the new driveway retaining wall and the existing retaining wall exceeding the 8' maximum height limit.

FOPs:

The request does not meet the intent of the code since other alternatives exist. A smaller house may be constructed in order to reduce the amount of encroachment or meet the front yard setback. Also, the existing retaining wall may be removed and the existing pad

regraded to reduce the amount of retaining wall height encroachment. Lastly, the pool and pool deck may be removed or replaced with a spa in another location that meets setback requirements.

4. *"The special circumstances, hardship or difficulty applicable to the property are [not] self-imposed by the property owner, or predecessor..." (Town Code Section 2-5-3(C)4).*

FIFs:

The request is not self-imposed. Due to the topography and shape of the property, the applicant has a difficult lot to build on and is trying to improve the site while utilizing the existing conditions. Approximately eighty percent of the property is encompassed with a large rock formation from Camelback Mountain; which limits the building area towards the front of the lot.

FOPs:

The applicant should be aware of all special circumstances on the property and plan any designs accordingly. Although not ideal, other options exist such as a building a smaller and setback compliant house, removing of the pool, and reconfiguring the pad and grades for height compliant retaining walls.

5. *Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district." (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

The hardship is the topography and shape of the lot. The large and steep rock formation encompasses nearly eighty percent of the lot; which limits the buildable area towards the front of the property. The curved frontage and adjoining street along the south side also result in an odd shaped and smaller building envelope. Per Sheet A-06 of the applicant's plans, the average building envelope on a standard R-43 zoned property is rectangular in shape and 10,890 square feet in area. However, the topography and shape of the subject lot create the building envelope that is triangular and 9,899 square feet in area.

FOPs:

Arizona Revised Statutes and the Town Zoning Ordinance do not require the most optimal or profitable use of a property. Other options exist such as building a smaller house, removing the pool, and modifying the pad and grades to bring the retaining walls into compliance with the 8' height limit.

6. *The variance would not "constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located." (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

The request is not a grant of special privilege. The topography and shape of the lot limit the location and amount of buildable area on the property. These property hardships were prevalent with the original development of the home in the 1950s and are still prevalent today. The original home and pool were developed with setback encroachments in the front yard and the many of the original retaining walls exceeded the 8' height limit. Due to these property hardships, a variance is needed to redevelop the property (with the new house, pool, and pool deck encroaching into the front yard setback and a portion of the new driveway retaining wall and the existing retaining wall exceeding the 8' height limit due to grade and steepness of the lot).

The request meets the intent of the code and is limiting the amount of new disturbance by utilizing much of the existing pad. The new home also reduces the amount of encroachment since it has a greater setback than the original home.

Furthermore, setback encroachments are not atypical for this neighborhood. The applicant identified seven other homes in the area that encroach into the setbacks (see Sheet A-15). The home proposed home is also smaller than the current homes being constructed in Town. The new home is 7,043 square feet, which is less than the average square footage 8,000 square feet.

FOPs:

All other properties in the area must meet requirements outlined in the Town Zoning Ordinance.

COMMENTS: Staff received no comments or inquiries regarding this request.

COMMUNITY IMPACT: None.

FISCAL IMPACT None.

CODE VIOLATIONS: None.

ATTACHMENTS

- A - Vicinity Map & Aerial Photo
- B - Application
- C - Narrative & Plans
- D - Notification Materials

C: Daran Petrucci & Joe Pritchard (Applicant)
Case File BA-20-01



VICINITY MAP

Subject Property

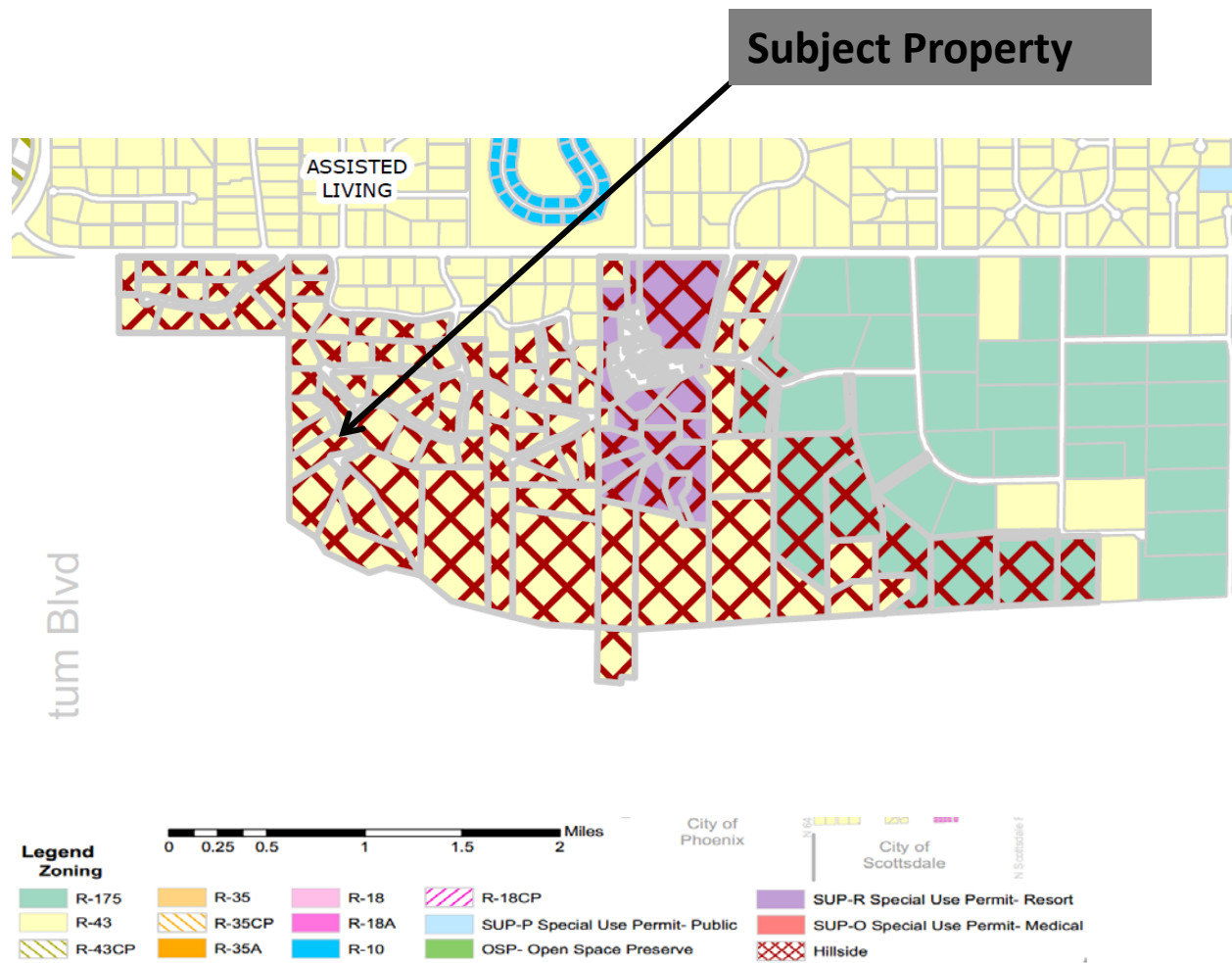


Stone Canyon Lot 35

5235 E San Juan Ave



ZONING

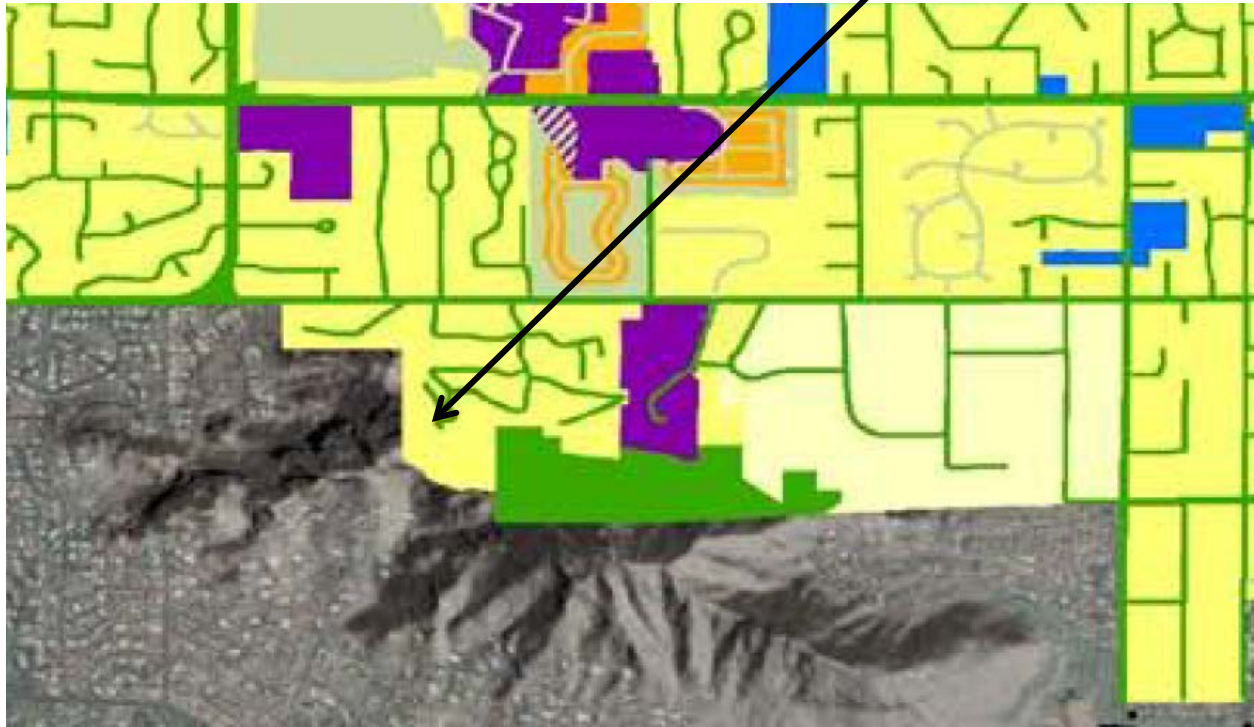


Stone Canyon Lot 35
5235 E San Juan Ave



GENERAL PLAN

Subject Property



Legend

- | | |
|--|---------------------|
| Low Density Residential OR Resort/Country Club | Private Open Space |
| Private Open Space OR Resort/Country Club | Public Open Space |
| Very Low Density Residential | Medical Office |
| Low Density Residential | Public/Quasi Public |
| Medium Density Residential | Resort/Country Club |

Stone Canyon Lot 35
5235 E San Juan Ave

BA-20-01

RECEIVED

JUN - 6 2020

APPLICATION TO BOARD OF ADJUSTMENT FOR VARIANCE

DATE: 05-27-20

LOCATION OF PROPERTY: 5235 E San Juan Ave, Paradise Valley, AZ 85253
ADDRESS

LEGAL DESCRIPTION: LOT 35, STONE CANYON, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 41;
EXCEPTING ALL COAL AND OTHER MINERALS AS RESERVED TO THE UNITED STATES OF AMERICA IN THE RECORDED PATENT OF SAID LAND, PURSUANT TO THE PROVISIONS AND LIMITATION OF THE ACT OF DECEMBER 29, 1916 (STAT.862).

OWNER: Bruce & Mary Ann Kelley

PRINTED NAME

5235 E San Juan Ave, Paradise Valley, AZ 85253

ADDRESS

X

Mary Ann M Kelley
SIGNATURE

PHONE #

ENGINEER/OTHER:

PRINTED NAME

X

SIGNATURE

ADDRESS

PHONE #

APPLICANT/

REPRESENTATIVE: Darren Petrucci

PRINTED NAME

8604 E Via de los Libros, Scottsdale, AZ 85250

ADDRESS

X

Darren Petrucci
SIGNATURE

480 329 1888

PHONE #

N/A

FAX #

THE ABOVE APPLICANT HEREBY APPLIES FOR A VARIANCE AS INDICATED BELOW IN ACCORDANCE WITH THE ZONING ORDINANCE AND SECTION 2-5-3 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY.

STATE HARDSHIP INVOLVED OR GROUNDS FOR APPEAL TO THE BOARD OF ADJUSTMENT. (Please attach additional sheets as necessary).

Property Narrative

Mary Ann and Bruce Kelley purchased 5235 East San Juan Avenue in the Stone Canyon subdivision in October of 2018. This lot is one of the last three building sites situated at the highest point of the southern edge of the Stone Canyon subdivision. Only two other building lots with homes are above this property.

Prior to their purchase, the property was on the market for seven years, with the original home demolished in 2004. The site has been abandoned and in disrepair for over 16 years with an abandoned pool and partially fallen retaining wall, due to water damage incurred by the removal of the original house and water management retaining walls. Prior to the Kelleys' purchase, the property has been a detriment to the neighborhood. After purchasing the lot Mary Ann has had the overgrown landscape removed and Bruce has monitored and chlorinated to prevent mosquito breeding due to occasional rainwater capture in the abandoned pool, and recently had the pool drilled to ensure no future rainwater capture. They have taken these steps to be good neighbors during this time needed to design a new home and apply for the necessary variances required to build on this site. As Petitioners, they are respectfully requesting reasonable variances to build a new home at 5235 E San Juan Ave.

Mary Ann and Bruce Kelley decided to downsize from their recently sold 6,150 square foot. Paradise Valley home to build an approximately 4,655 square foot home with spectacular views in one of Paradise Valley's most unique and challenging hillside sites. This bespoke house will be the culmination of their dream to design and build their own home.

Subdivision / Lot Background

The Stone Canyon subdivision, platted in 1955, consists of 43 lots. Lot 35 is one of three lots that make up the southwestern edge of the subdivision (ref. sheet A-14). Over 80% of the lot has a slope over 25%, with the only buildable area located at the northern end of the lot corner along 52nd Place and San Juan Avenue. It is zoned R-43 (Hillside), and has an area of 99,991 square feet, with a partially demolished retaining wall, abandoned pool, and circular drive from a previous porte cochere entry (ref. image 2004/A-08 of original house).

When Stone Canyon was originally subdivided, in 1955, it was recorded in Maricopa County. The setbacks at the time were less than the current requirements. Also, there was no Hillside Ordinance in effect at that time. On May 24th, 1961, the subdivision was annexed into the Town of Paradise Valley. There have been numerous Hillside Ordinances in effect since that time.

Site Analysis

The natural topography of lot 35 flows down the middle of the lot toward the existing building pad developed in the 1950s (ref. sheet A-01). The original building pad had direct vehicular access from 52nd Place and a secondary access via a lower circular drive at the corner of 52nd

and San Juan Avenue that entered under a covered parking/porte cochere structure that spanned across the driveway. The home was entered via an exterior staircase from this lower level driveway (ref. Historic Photo 2004/A-08).

The existing lower driveway of the house has an existing retaining wall on the northwest corner of the site, of which 17'-8 7/8" in length is in the right-of-way. This retaining wall in the retaining wall is needed to prevent erosion and flooding.

There are four distinct views from the lot. A 115° panoramic view on the north, a high rock outcropping view on the east, a vertical canyon view on the south, and a close rockface view to the west (ref. Views sheet A-17).

Lot 35, unlike the other two lots to the south that make up the vertical slope of Camelback Mountain, has a corner street condition along its flatter buildable area. This corner lot condition has current setback requirements of 40 feet on two sides of the lot with the third side being a vertical rock wall with overhang (ref. Building Setback Diagram 1/A-06). These corner setback requirements combined with the verticality of the other two edges of the site creates great challenges for a feasible building footprint.

The site section (ref. Site Section Diagram 2/A-11) shows the location of the typical site cross-section at the midpoint of the building area. The proposed one-story structure is substantially under the maximum height allowed by the Hillside ordinance (ref. Cross Section Drawings A-11).

Building Design Philosophy

The overall design philosophy is to create a residence that maximizes the views and minimizes the disturbance of the site.

The new proposed 4,655 square foot residence, adjoining patios, 2 car garage, driveway (with retention drywell), and landscaped areas, will occur on the existing building pad with the mechanical room and an additional two car garage below the house, replacing the area where the existing retaining wall has collapsed. This area will be accessed by the existing circular drive that will have the septic tanks underneath. The septic leaching fields will be directly north of the lower drive. Both the existing upper and lower drive will remain. The proposed one-story structure above with an accessible lower level will be well below the allowable maximum building height (ref. Building Section 1/A-11).

In an attempt to minimize excavation and any further disturbance to the site, the home is organized in a linear (East/West) configuration toward the northern edge of the site thereby reducing the amount of cut into the southern slope. This design strategy both minimizes added site disturbance and provides room for natural water flow around the building site.

The site drainage is a combination of guttered roof drain system tying into a site catch basin system that flows into a drywell. The septic system is a dual tank tying into a drip leach system. The area of the drip leach system will be located in an already disturbed area but will be restored to natural state. (see *Preliminary Grading and Drainage Plan for information on the drainage and septic system*)

Requested Variances

1. Setback encroachment for house.
2. Setback encroachment for pool and patio.
3. Existing non-conforming and new retaining wall heights above 8 feet.

Reasons for the Variance

There are three primary hardships that Lot 35 imposes:

1. The “buildable area” of the lot is located on the lower northeast corner and it is irregular in shape. This portion of the site has an existing retaining wall and building pad inside the 40-foot setback required of a corner lot. This corner condition requires a 40-foot setback on each accessible edge of the building area. The existing retaining wall and building pad encroach on the 40-foot setback along East San Juan Avenue by 2,478 square feet, leaving only 75% of the existing retained building pad available for construction under the current zoning.
2. Because of the lot’s steep southern slope, the western edge’s rock wall and the corner lot set back requirements, less than 10% of the total lot area is buildable. This is substantially less than the current R-43 standards. The current standards would allow 23,000 square feet of “buildable area” or 25% of the net lot square footage (ref. R-43 Lot Diagram/A-06). Lot 35 is 99,991 square feet. However, 90,092 square feet of the lot is unbuildable, leaving approximately 9,899 of buildable area, about 10%, with the current setback requirements. Of the 9,899 buildable area 2,455 square feet would result in retaining walls taller than 8 feet in height (ref. Buildable Lot Diagram on sheet A-06). This is almost 3 times less “buildable area” than allowed as compared to a standard lot. Analogously, buildable lots under 10,000 square feet are typically zoned R-10 and have a 20’-0” front yard setback.
3. There are two conditions where retaining wall heights exceeds 8 feet.
 - a. The existing building pad is supported by an existing 85-foot long retaining wall that exceeds the current Hillside zoning limit of 8 feet tall. The existing wall height above 8 feet ranges in height from 15 feet to 9 feet. Portions of this existing wall are not structurally sound, and will be removed, therefore a new 12-foot tall wall on the north side of the pool will be necessary to support the building pad. The grade at the base of this new retaining wall will be raised in

order to minimize the visible height of the retaining wall. The remainder of the existing wall tapers with the slope of the site and will require some structural modifications. The top slope of the wall will be 6" over the material it retains.

The pool and pool deck must remain at this height in order to maintain the single story level of the building and eliminate the need for additional stairs, which would add to the building mass within the setback.

- b. The steep topography presents a challenge for meeting the Hillside retaining wall height limit. The 33% slope of the natural site at the vehicular entry for the home requires that 25 linear feet of the proposed driveway retaining wall will be in excess of 8 feet tall. This wall will taper from a maximum height of 12 feet following the slope of the site down to 8 feet for 25 linear feet. The top of the wall will be 6 inches over the material it retains.

Variance request is the minimum amount needed to cure property hardship because:

- a) To match other setbacks outlined in the code, the northern edge of the proposed property has been designed to be 20 feet from the northern property line. This is an attempt to conform with a normal 20-foot side yard setback (ref. diagram 2/A-06)
- b) The proposed design has the minimum building encroaching over the existing 40-foot setback. Only 1,643 square feet of the proposed 4,655 square foot home is encroaching into the existing setback (776 square feet of interior building structure is encroaching, 325 square feet of roof overhang, and 484 square feet of pool and deck). The Northeastern portion of the proposed design also replaces the existing fallen retaining wall thereby not requiring additional visible retaining wall from the street. This elevation of this portion of the building is "saw toothed" to break down horizontal massing in lieu of replacing the existing retaining wall.
- c) A normal R-43 lot has a "buildable area" of 23,000 square feet (ref. diagram 2/A-06). Lot 35 has "buildable area" of 9,899 square feet. This is a deficiency of 13,101 square feet of "buildable area."

Variance Process

During the variance process we have been working with the Town of Paradise Valley staff to create an appropriate design and a reasonable variance request.

We have proposed a linear configured, one story structure w/a partial lower level that conforms to the existing building pad, creates the minimum site disturbance, and maximizes views (ref. A-03).

It is always our intent to work with current ordinance, however, this site has proven hardships. The limited building area due to the steep slope & rock wall, the irregular shaped lot, and the

40-foot setbacks along the “buildable area” are hardships that grants the need for the requested variance.

Variance Criteria

- 1. “such variance...will serve not merely as a convenience to the applicant, but (is) necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstance.” [Town Code section 2-5-3(c)2].**

Variance request:

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance.

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.

B. Smaller buildable area:

Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The portion of the 85-foot-tall retaining wall will remain (and be structurally modified if needed) to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

The lot suffers from existing conditions that make it nearly impossible to build a house that meets the current required setbacks. We are proposing a new structure that is almost entirely on the existing building pad, with the minimum disturbed areas, and that much of the existing disturbed areas will be returned to natural state. There are no encroachments into the maximum height requirement of the Hillside Code.

2. The “special circumstances, hardship, or difficulties (do not) arise out of misunderstanding or mistake...” [Town Code section 2-5-3(c)4(b)].

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance. As a result of the property platted in 1955, the shape and topography have created the two property hardships:

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.

B. Smaller buildable area:

Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

These conditions are pre-existing and do not arise out of a misunderstanding or mistake.

3. Such variance from.... the strict application of the terms of (the zoning ordinance) ... are in harmony with its general purposes and intents....” [Town Code section 2-5-3(c)2].

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance.

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing and original building pad.

B. Smaller buildable area:

Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a "buildable area" of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall present a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

An attempt to reduce the proposed setback encroachment into the north setback would require significant cuts into the southern hillside, resulting in retaining walls that exceed the height of the roof of the proposed design and significantly increase the disturbed area. Furthermore, the water flow down and around the buildable area would be significantly diverted away from the natural flow.

Because of the substantially reduced "building area" and the lot configuration, the allowable size of the residence is reduced. The proposed residence livable square footage is 4,655 square feet which is much less than the average 8,000 square foot livable residence in Paradise Valley.

The previous residence on this site had a total encroachment of 2,023 square feet into the north building setback, compared to the 1,643 square feet of our proposal (A-05). The design of the house maximizes the existing building pad in order to limit the amount of disturbed area, minimize retaining walls, and to maintain as much of the existing water flow as possible. Instead of proposing a four-car garage, the design calls for two two-car garages. Only 8 square feet of garage encroaches into the setback (A-04). The bedrooms in the northeast corner of the residence on the main level are staggered to minimize the amount of encroachment and break down the massing of the house.

To support the proposed patio and pool, a new 33'-6" long retaining wall will be constructed 2'-6" north of the existing retaining wall. The shift in this new retaining wall will provide structure for the pool a visual break in the massing of the current 85 foot retaining wall. The new wall will be at the same height as the existing retaining wall. The northeast portion of the

existing retaining wall has collapsed. This section will be replaced by a two-car garage and mechanical room to be built below the main level of the residence.

To further reduce the impact of the portion of the existing 85 foot long retaining wall that exceeds 8 feet in height, we propose to raise the grade of the entry drive 2'-3", resulting in the maximum height of the retaining wall to be under 11 feet.

4. "The special circumstances, hardship or difficulty applicable to the property are (not) self-imposed by the property owner, or predecessor.... [Town Code section 2-5-3(c)4]

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance. As a result of the property platted in 1955, the shape and topography has created the two property hardships:

- A. Irregular corner lot shape:
The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller "buildable area," resulting in a 2,478 square foot reduction of the existing building pad.
- B. Smaller buildable area:
Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a "buildable area" of less than 10% of the gross lot size.
- C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.
 - a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
 - b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

These conditions are pre-existing and are not self-imposed by the current property owner or the predecessor.

5. "Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the zoning

ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district.” [Arizona revised statutes 9-462.06 (g)(2)].

As a result of the property platted in 1955, the size, shape and topography has created the three property hardships:

- A. Irregular corner lot shape:
The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.
- B. Smaller buildable area:
Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.
- C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.
 - a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
 - b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

The lot suffers from existing conditions that make it nearly impossible to build a house that meets the current required setbacks. We are proposing a new structure that optimizes the existing building pad. There are very few new disturbed areas, and there are existing disturbed areas, that are being returned to natural state. There are no encroachments into the maximum height requirement of the Hillside Code. A number of similar building lots in the immediate vicinity have been granted similar relief (ref. sheets A-15).

6. The variance would not “constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.” [Arizona revised statutes 9-462.06 (g)(2)].

The lot suffers from pre-existing conditions that make it nearly impossible to build a house that shares the same privileges enjoyed by adjacent neighboring properties of the same zoning

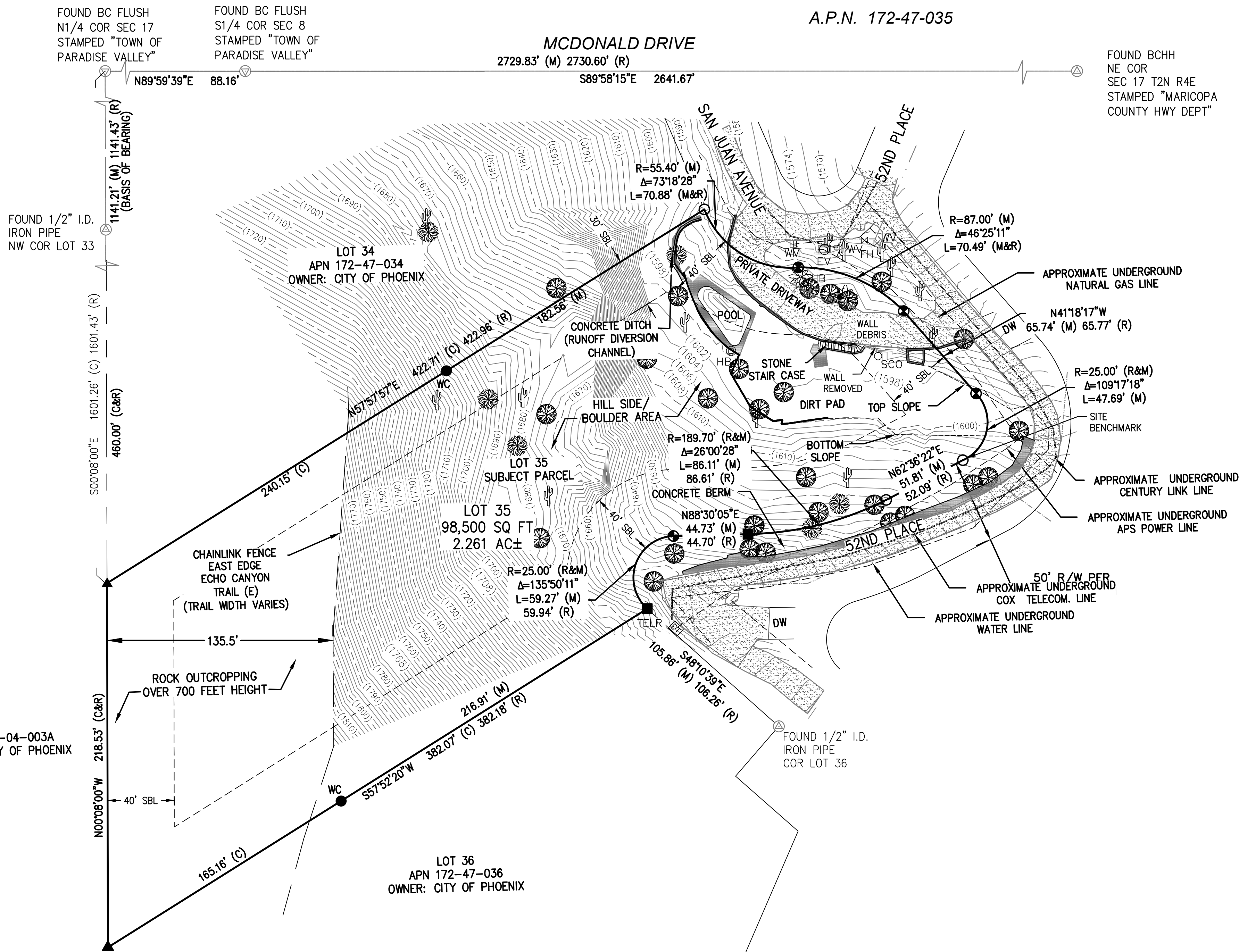
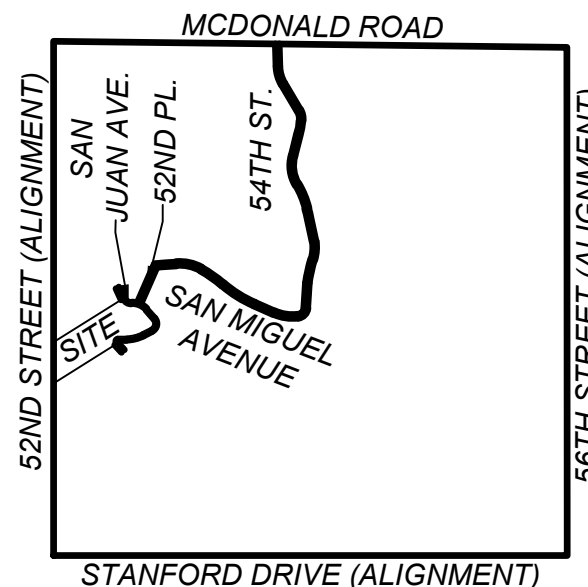
classification. There are seven improved lots in the vicinity with encroachments. Of those seven lots, there are six different encroachments occurring. Of these six types of encroachments, five have front yard encroachments, two have side yard encroachments, and two have carport encroachments (ref. sheet A-15). The residence on lot #40 is 5.4 feet from the north property line (ref. diagram 40/A-15). The variance request does not constitute a grant of special privilege but allows this property to share the similar privileges with adjacent properties.

TOPOGRAPHIC SURVEY

OF LOT 35, STONE CANYON, ACCORDING TO BOOK 62 OF MAPS, PAGE 41, M.C.R. ALSO BEING A PORTION OF THE NORTH HALF OF SECTION 17,
TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

A.P.N. 172-47-035

VICINITY MAP
NTS
NE 1/4 SEC. 17, T2N, R4E



SITE ADDRESS:

5235 E. SAN JUAN
PARADISE VALLEY, AZ 85013

CURRENT OWNER:

5235 E. SAN JUAN AVE, LLC

LEGAL DESCRIPTION:

LOT 35, STONE CANYON ACCORDING TO BOOK 62 OF MAPS, PAGE 41,
RECORDS OF MARICOPA COUNTY, ARIZONA.

GENERAL NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES ARE BASED ON THE SURFACE EVIDENCE OF SAID UTILITIES AND RECORDS
FROM LOCAL UTILITY COMPANIES. NO EXCAVATIONS WERE MADE TO LOCATE BURIED UTILITIES FOR THE PURPOSE OF THIS
SURVEY.

THE PROPERTY HEREIN CONTAINS 98,500 SQ. FT OR 2.26 ACRES, MORE OR LESS

PROPERTY CORNERS ALONG THE WESTERN BOUNDARY ARE ON TOP OF A TALL ROCK OUTCROPPING AND ARE NOT
ACCESSIBLE FROM THE SUBJECT PROPERTY.

DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS
OR SUBSEQUENT OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.

THE EASTERLY EDGE OF ECHO CANYON TRAIL E IS SHOWN AND IT'S WIDTH VARIES FROM 10'+/- AT THE NORTH PROPERTY
BOUNDARY TO 25'+/- ADJACENT TO THE BASE OF SAID ROCK OUTCROPPING.

EASEMENTS THAT MAY BE ON THE RECORD PLAT ARE NOT READABLE AND THEREFORE NOT SHOWN HEREIN.

SUBJECT TO ALL MATTERS OF RECORD NOT SHOWN HEREIN.



SURVEYOR'S CERTIFICATION:

I, BRYAN O'CONNOR HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF
ARIZONA; THAT THIS SURVEY CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY MYSELF
DURING THE MONTH OF JULY, 2018; THAT THE TOPOGRAPHIC FEATURES AND ELEMENTS OF THE
PROPERTY SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF. THAT ALL MONUMENTS ACTUALLY EXISTS AS SHOWN; THAT SAID MONUMENTS ARE
SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

RECORD DOCUMENTS USED:

STONE CANYON, BOOK 62, PAGE 41, M.C.R.
PLSS SUBDIVISION RECORD OF SURVEY, BOOK 734, PAGE 10, M.C.R.
WARRANTY DEED: DOCUMENT NO. 2014-0362911 M.C.R.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE WEST LINE OF THE STONE CANYON
SUBDIVISION MONUMENTED WITH A TOWN OF PARADISE VALLEY BRASS CAP FLUSH
LOCATED ON MCDONALD DRIVE AND A 1/2\"/>

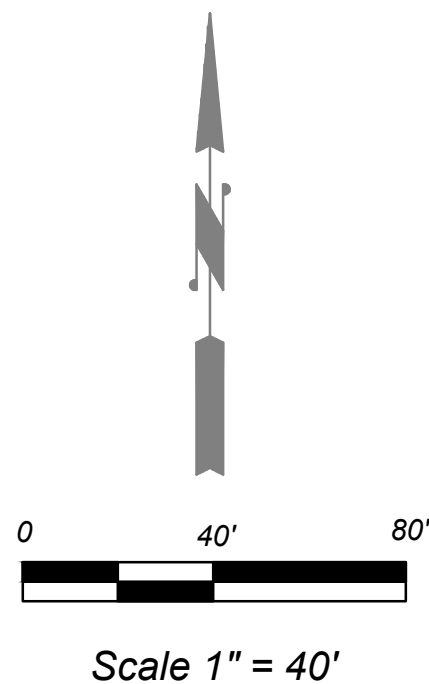
BENCHMARK:

THE BENCHMARK FOR THIS SURVEY IS A BRASS CAP IN HAND HOLE LOICATED AT THE
INTERSECTION OF 56TH STREET AND MCDONALD DRIVE BEING GDAC POINT NUMBER
24544-1 HAVING A PUBLISHED ELEVATION OF 1417.525' (NAVD 1988 DATUM).

THE SITE BENCHMARK FOR THIS SURVEY IS A 1\"/>

LEGEND

	FOUND AS NOTED		BRACH CAP IN HAND HOLE		CACTUS
	CALCULATED NOTHING FOUND OR SET		BRACH CAP FLUSH		MESQUITE TREE
	FOUND PK NAIL TAGGED "WC RLS 30361"		SQ. FT. SQUARE FEET		PALM TREE
	FOUND PK NAIL TAGGED RLS 30361		DW DRIVEWAY		PALO VERDE TREE
	FOUND 1/2" I.D. IRON PIPE TAGGED RLS 30361		WC WITNESS CORNER		SAGUARO CACTUS
	FOUND 1/2" REBAR CAPPED RLS 9428 OR AS NOTED		PROPERTY LINE		TREE (UNKNOWN TYPE)
	(C) CALCULATED DISTANCE		WM WATER METER		
	(R) RECORD DISTANCE PER BK. 62 PG. 41 M.C.R.		EV ELECTRIC VAULT		
	(M) MEASURED DISTANCE		ET ELECTRIC TRANSFORMER		
M.C.R. MARICOPA COUNTY RECORD			HB HOSE BIB		
A.P.N. ASSESSOR PARCEL NUMBER			TEL R TELECOMMUNICATIONS RISER		
	BLOCK WALL (RETAINING)		FH FIRE HYDRANT		
	ROCK WALL (RETAINING)		WV WATER VALVE		
	PAVEMENT (ASPHALT)		SCO SEWER CLEAN OUT		
	CONCRETE		SIGHT LIGHT		



A-01

	Global Land Surveying LLC P.O. BOX 2132 PEORIA, ARIZONA 85380 623 330-6835
Bruce Kelley	DATE: 8/15/18
4659 East Foothill Drive	SCALE: AS SHOWN
Paradise Valley, AZ 85253	SHEET 1 OF 1
NE1/4SEC.17 T 2N R 4E	JOB# 1807018

TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY ACCESS TO THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARC PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSH TOWN APPROVAL IS OBTAINED.
38. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES DURING CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

PRELIMINARY GRADING & DRAINAGE PLAN
5235 E SAN JUAN AVE., PARADISE VALLEY, AZ 85253
LOT 35 - STONE CANYON
A SUBDIVISION PLAT RECORDED IN BOOK 62 OF MAPS, PAGE 41, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2012 IBC SEC. 1803 AND APPENDIX J.
4. 5X MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE 1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONCTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42' FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 202, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.78 ACRES < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES. STABILITY OF EXISTING ROCK PINNING AND NET SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904-2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW DRIVEWAY, NEW POOL, NEW RETAINING WALLS AND OFFSITE IMPROVEMENTS WITH ON-SITE RETENTION.

LEGEND

- FOUND REBAR OR AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- WM WATER METER
- Ⓜ FIRE HYDRANT
- TEL. PEDASTAL
- CABLE TV RISER
- SEWER CLEANOUT
- A/C UNIT
- ELECTRIC METER
- GAS METER
- ★ LIGHT POLE
- GAS LINE
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- FENCE
- 1510 --- EXISTING CONTOUR
- ★ EXIST. DRAINAGE FLOW
- ★ PALM TREE
- ★ TREE
- ★ PALO VERDE TREE
- ★ SAQUARO
- ★ YUCCA
- ★ BARREL CACTUS
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TW:XX.XX TOP OF WALL
- TRW:XX.XX TOP OF RETAINING WALL
- FG:XX.XX FINISH GRADE
- (BW:XX.XX BOTTOM OF WALL
- TF:XX.XX TOP OF FOOTING
- STORM DRAIN PIPE
- RETAINING AGAINST BUILDING
- EXTENDED BUILDING STEM WALL

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP ELEVATION
- ESMT EDGE OF PAVEMENT
- EP EASEMENT
- EX, EXIST. EXISTING
- FG FINISH GRADE
- FO FOUND
- FO GUTTER, GAS
- (W) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TC TOP OF CURB
- TG TOP OF GRATE
- W WEST, WATERLINE

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

SHEET INDEX

- C-1 COVER SHEET
- C-2 PRELIMINARY IMPROVEMENT PLAN DETAILS

DISTURBED AREA CALCULATIONS

EXIST. LOT AREA: 98,500 S.F. (2.26 AC.)
TOTAL FLOOR AREA: 8,203 S.F.
FLOOR AREA RATIO: 8.33% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)
BUILDING PAD SLOPE: 23.13%
VERTICAL: 31 FT
HORIZONTAL: 134 FT
ALLOWABLE NET DISTURBED AREA: 13,839 S.F. (14.05%)
EXIST. GROSS DISTURBED AREA: 21,974 S.F. (22.31%)
BLDG FOOTPRINT: 8,203 S.F.
EXIST. NET DISTURBED AREA: 13,771 S.F. (13.98%)
GROSS NEW DISTURBED AREA: 20,179 S.F. (20.49%)
LESS TEMPORARY AREAS OF DISTURBANCE
TO BE RESTORED AND REVEGETATED: 0 S.F. (0%)
LESS BUILDING FOOTPRINT AREA: 8,203 S.F.
PROPOSED NET DISTURBED AREA: 11,976 S.F. (12.16%)
NO ADDITIONAL DISTURBANCE IS PROPOSED WITH THIS PLAN.
ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.): 4,925 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE (AREA): 0 S.F. (0%)
VOLUME OF CUT: 1,154 C.Y.
VOLUME OF FILL: 516 C.Y.
TOTAL CUT&FILL: 1,670 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. = \$58,170
GRADING PERMIT FEE: \$1,662 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

UTILITIES

WATER: EPCOR WATER COMPANY
SANITARY SEWER: EPCOR
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

EARTHWORK QUANTITIES

CUT: 1,154 C.Y.
FILL: 516 C.Y.
NET CUT: 516 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

GEOTECHNICAL ENGINEER

VANN ENGINEERING, INC
9013 N 24TH AVE., SUITE 7
PHOENIX, AZ 85021
P: 302-943-6997

GRADING SPECIFICATIONS

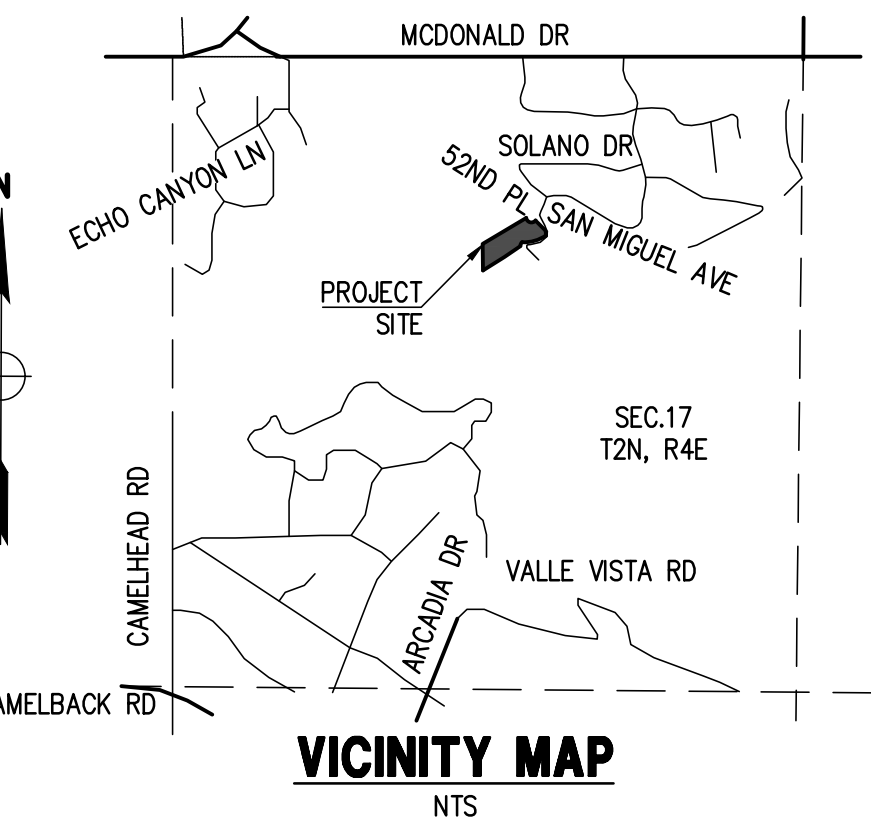
1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE: 6 INCHES
PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
PERCENT PASSING NO. 200 SIEVE: 25% MAX.
PLASTICITY INDEX: 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE MIDDLE OF THE NORTH PROP. LINE AT ELEVATION OF 1582.00.
2. NEW SINGLE FAMILY RESIDENCE IS PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. EXISTING DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. RIPRAP AND Boulders ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.



OWNER

BRUCE D AND MARY ANN KELLEY
4659 E FOOTHILL DR.,
PARADISE VALLEY, AZ 85253

ARCHITECT

A-I-R, INC
7610 E MCDONALD DR., SUITE K
SCOTTSDALE, AZ 85250
P: 480-329-1888

SITE DATA

APN: 172-47-035
ADDRESS: 5235 E SAN JUAN AVE.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 98,500 S.F (2.26 AC.)
OS #: 20-40
TOTAL UNDER ROOF AREA: 7,043 S.F.
FLOOR AREA RATIO: 7.15%

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOW, PE
P: 602 889 1984

BASIS OF BEARINGS

THE WEST LINE OF THE STONE CANYON SUBDIVISION MONUMENTED WITH A TOWN OF PARADISE VALLEY BRASS CAP FLUSH LOCATED ON MCDONALD DR AND 1/2" I.D. IRON PIPE LOCATION ON SAIL WEST LINE THE BEARING OF WHICH IS S00°08'00"E (ASSUMED).

LAND SURVEYOR

GLOBAL LAND SURVEYING, LLC
P.O. BOX 2132
PEORIA, AZ 85380
P: 623-330-6835

BENCHMARK

BRASS CAP IN HAND HOLE LOCATED AT THE INTERSECTION OF 56TH STREET AND MCDONALD DRIVE BEING GDAZ POINT NUMBER 24544-1 HAVING A PUBLISHED ELEVATION OF 1417.525, TOWN OF PARADISE VALLEY (NAVD 88) DATUM.

TEMPORARY SITE BENCHMARK

1" IRON PIPE WITH TAG RLS 30361 LOCATED AT THE SOUTHERLY MOST EASTERLY PC OF THE SUBJECT PROPERTY HAVING AN ELEVATION OF 1608.95, TOWN OF PARADISE VALLEY (NAVD 88) DATUM.

LEGAL DESCRIPTION

LOT 35, STONE CANYON, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 41.

EXCEPTING ALL COAL AND OTHER MINERALS AS RESERVED TO THE UNITED STATES OF AMERICA IN THE RECORDED PATENT OF SAID LAND, PURSUANT TO THE PROVISIONS AND LIMITATIONS OF THE ACT OF DECEMBER 29, 1916 (STAT.862)

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1765 OF 4425		
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE
REGISTRATION NUMBER

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1589.75 AND 1601.00 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1588.75 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

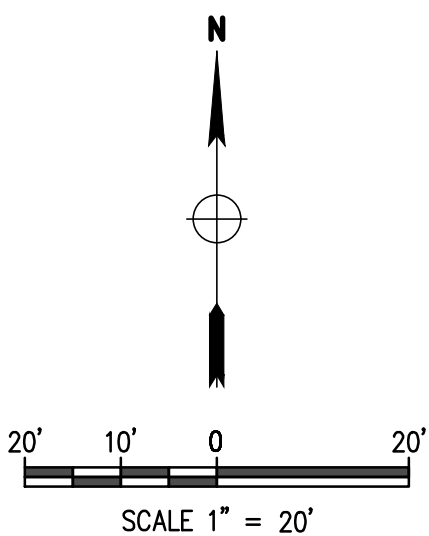
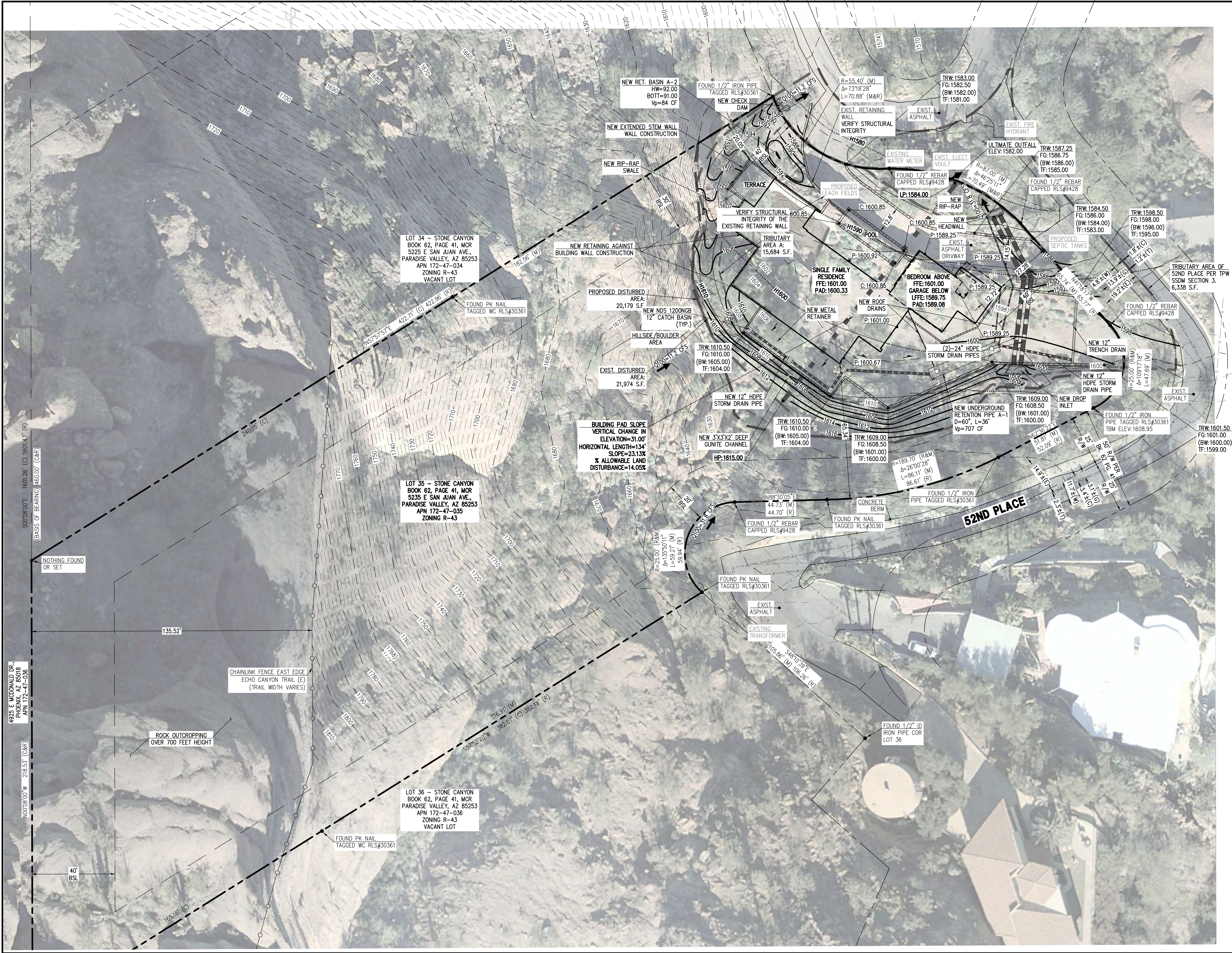
Nick Prodman 07/27/20
REGISTERED CIVIL ENGINEER DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER DATE
TOWN OF PARADISE VALLEY





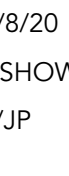
REVISIONS:	DATE:	SCALE: 1"=20'	DATE: 07/27/20
	DESIGNED BY: NP	JOB: 1912261	
	DRAWN BY: CM	VERSION: 1.1	
	CHECKED BY: JJ	PLOT DATE: 07/27/20	

AERIAL EXHIBIT

LOT 35 - STONE CANYON
5235 E SAN JUAN AVE.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALLEYENGINEERING.COM





SITE PLAN

DRAWING TITLE

VARIANCE

PROJECT PHASE

SCHEMATIC DESIGN

A-02

SHEET N°

STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20

SCALE: AS SHOWN

DRAWN: DP/JP

JOB:

ENLARGED SITE
PLAN - MAIN
LEVEL

DRAWING TITLE:

VARIANCE

PROJECT PHASE:

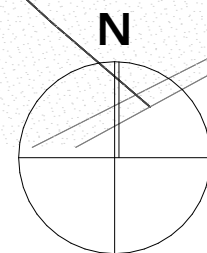
SCHEMATIC DESIGN

A-03

SHEET NO.

1. MAIN LEVEL PLAN

SCALE: 1/8" = 1'-0"



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

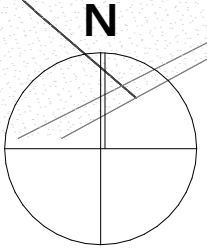
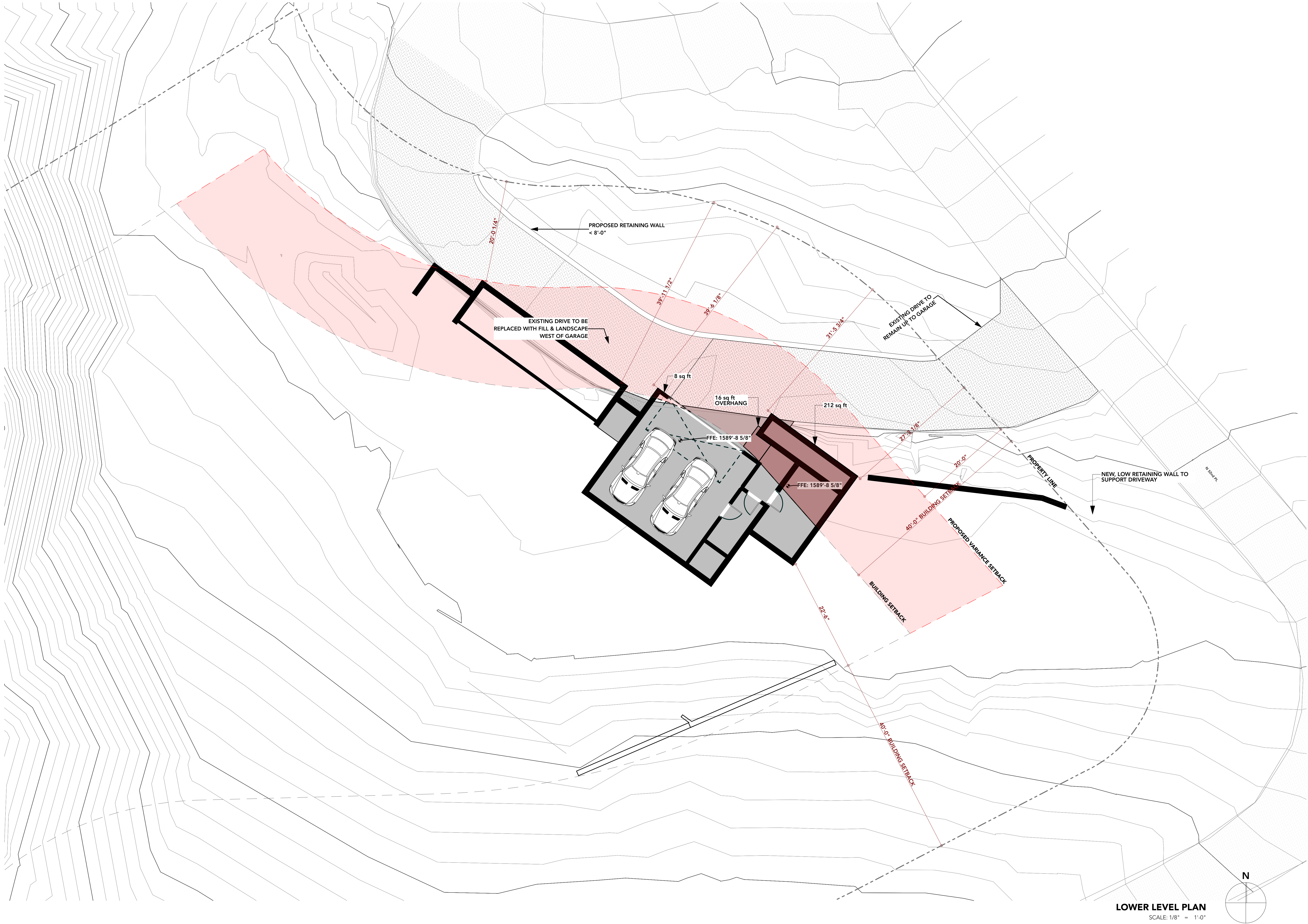
DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

ENLARGED SITE
PLAN- PLAN
LOWER LEVEL

DRAWING TITLE:
VARIANCE

PROJECT PHASE:
SCHEMATIC DESIGN

SHEET NO.



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

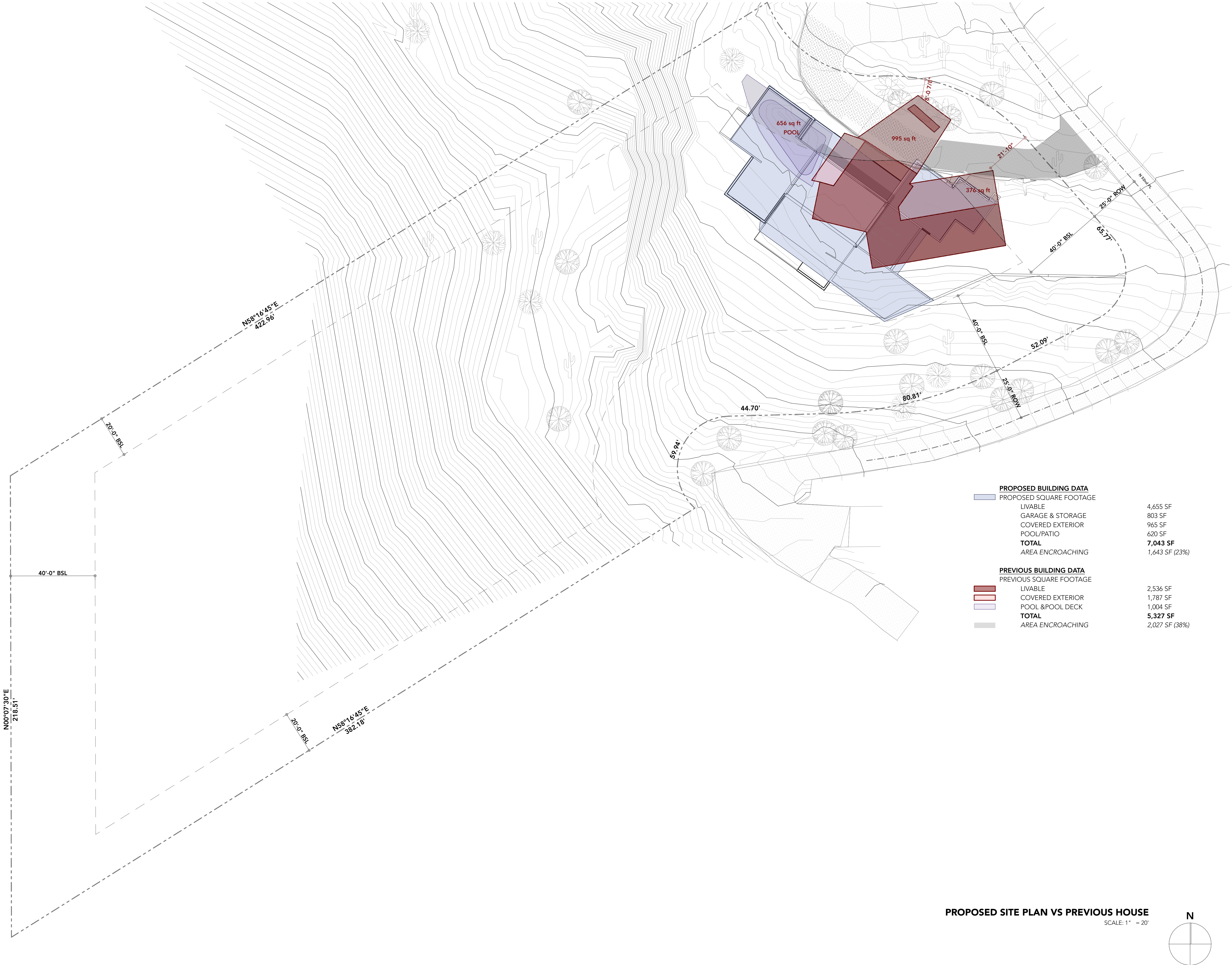
PREVIOUS VS.
PROPOSED

DRAWING TITLE:
VARIANCE

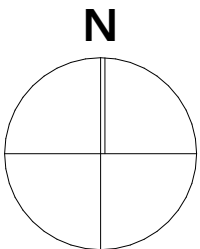
PROJECT PHASE:
SCHEMATIC DESIGN

A-05

SHEET NO.



PROPOSED SITE PLAN VS PREVIOUS HOUSE
SCALE: 1" = 20'



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

ZONING
ANALYSIS

DRAWING TITLE:

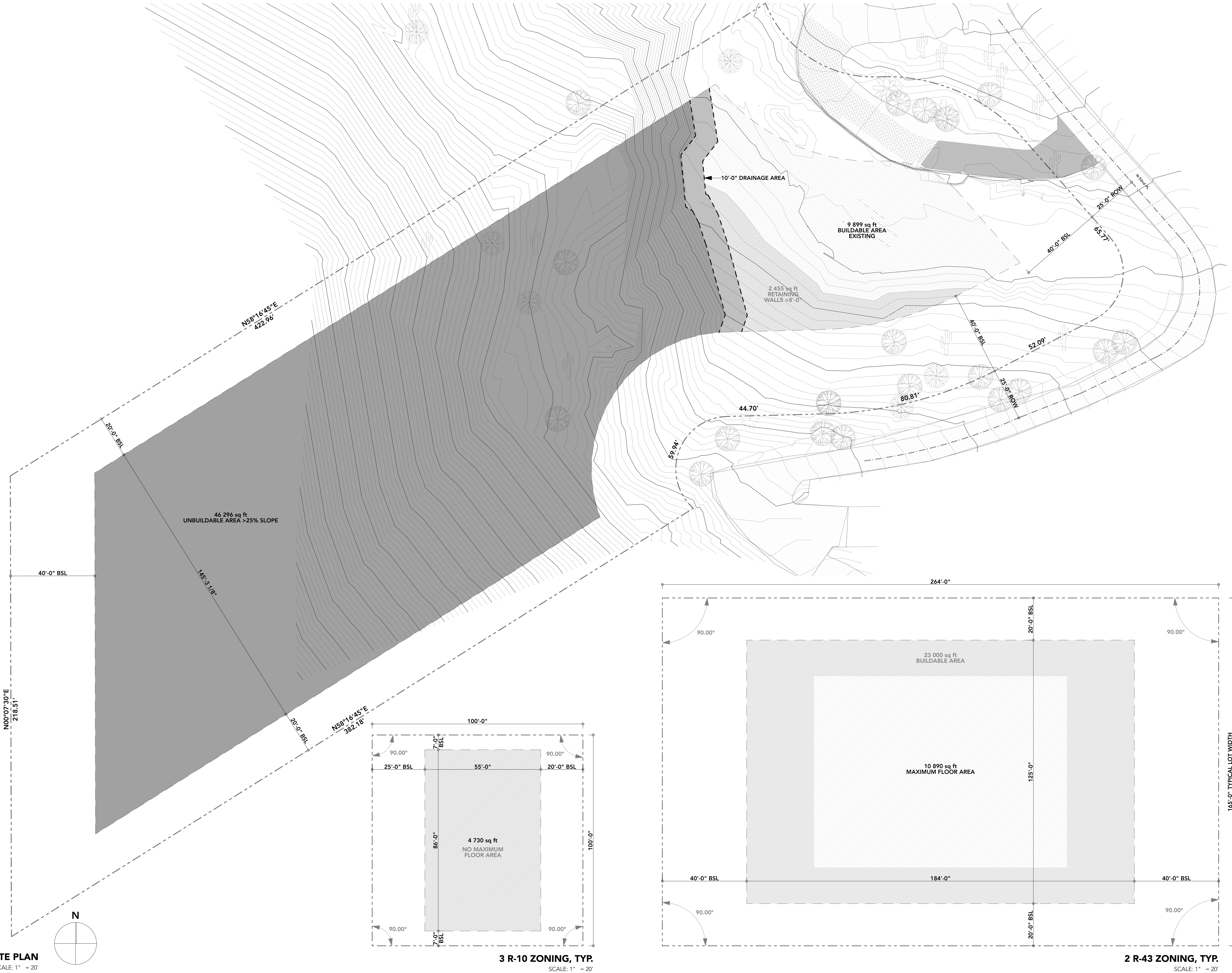
VARIANCE

PROJECT PHASE:

SCHEMATIC DESIGN

A-06

SHEET NO.



1 OVERALL ZONING SITE PLAN

SCALE: 1" = 20'

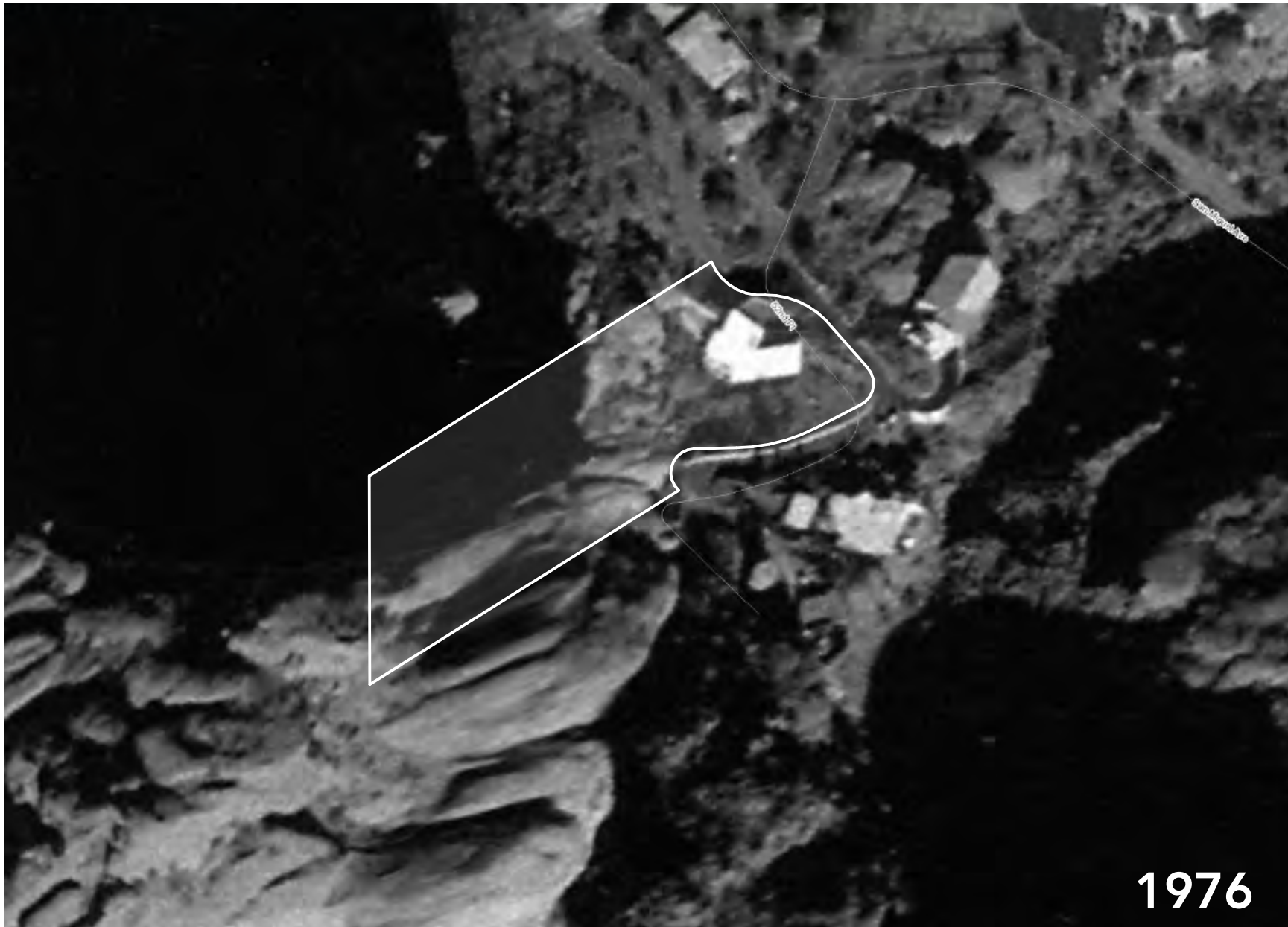
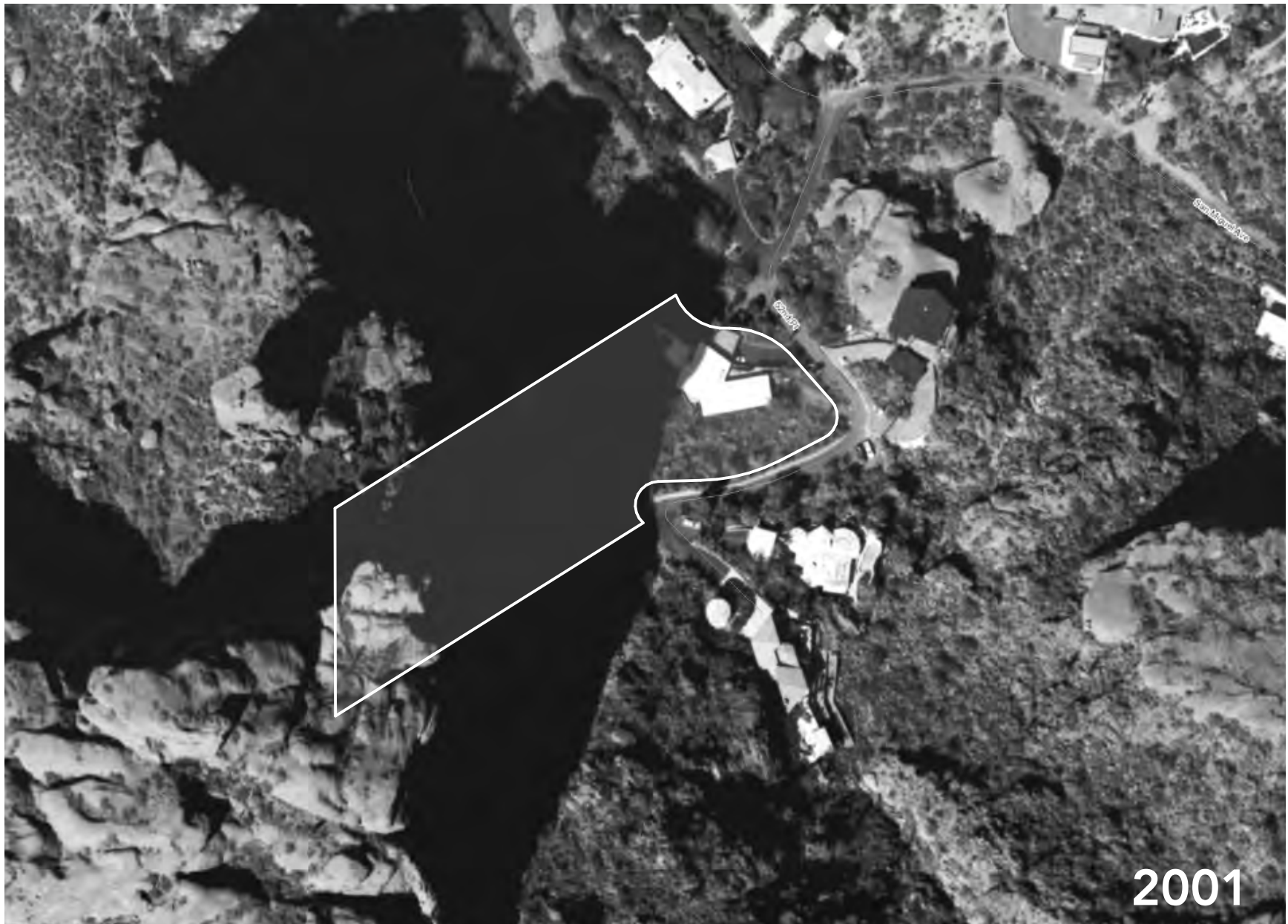
3 R-10 ZONING, TYP.

SCALE: 1" = 20'

2 R-43 ZONING, TYP.

SCALE: 1" = 20'





STONE CANYON RESIDENCE

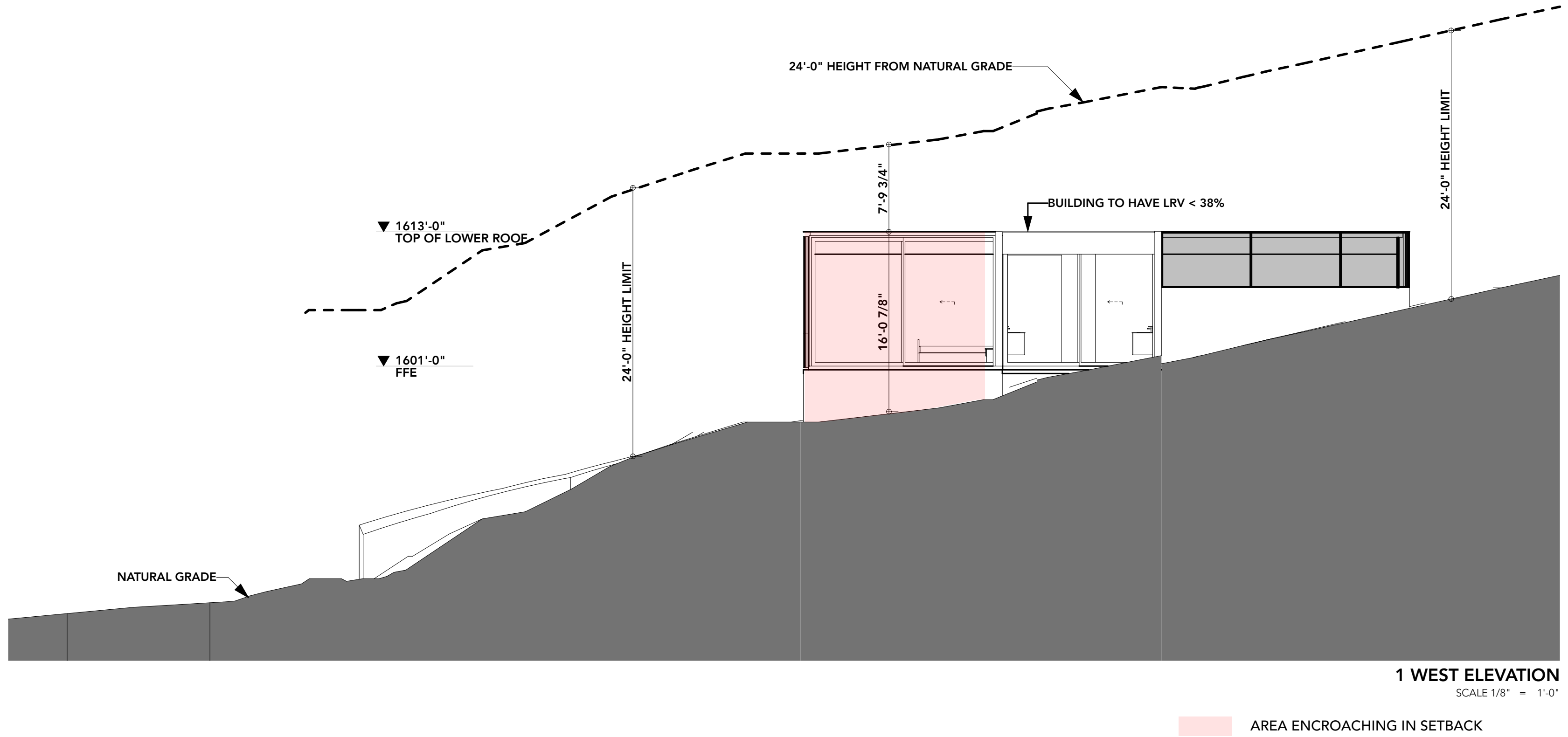
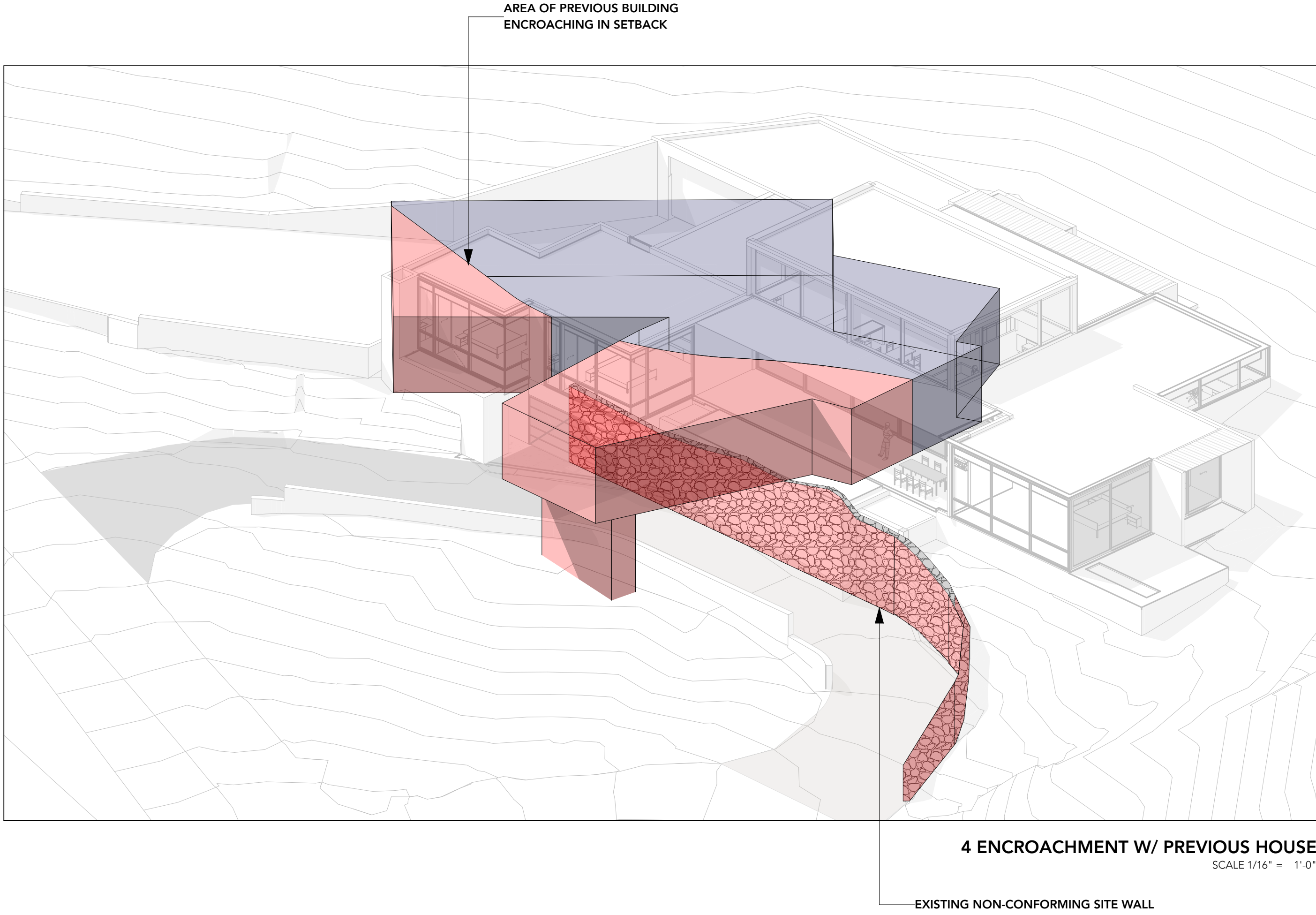
5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

HISTORIC
PHOTOGRAPHS

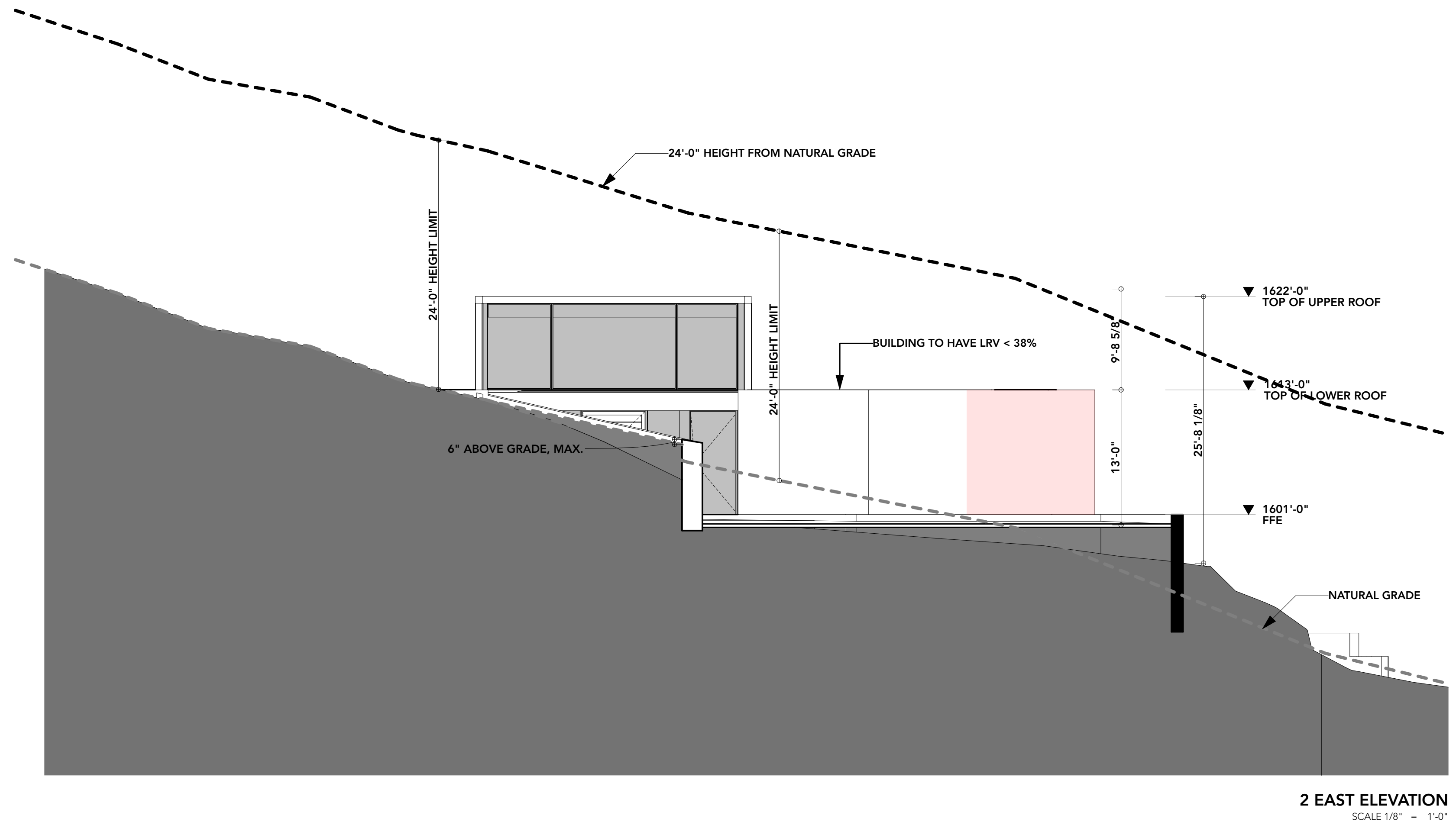
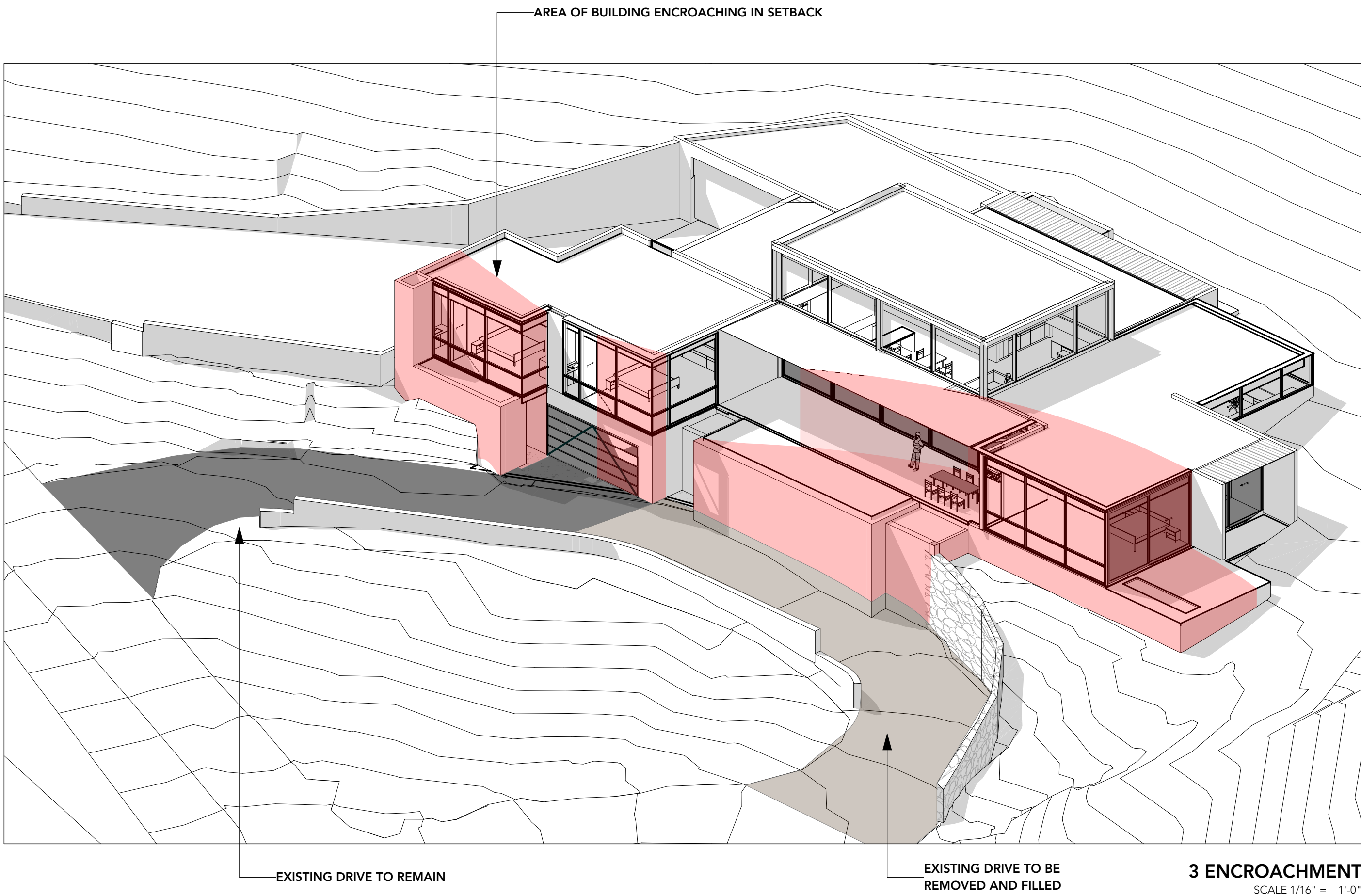
DRAWING TITLE:
VARIANCE
PROJECT PHASE:
SCHEMATIC DESIGN

A-08



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253



DATE: 06/8/20

SCALE: AS SHOWN

DRAWN: DP/JP

CHECKED:

ELEVATIONS

DRAWING TITLE:

VARIANCE

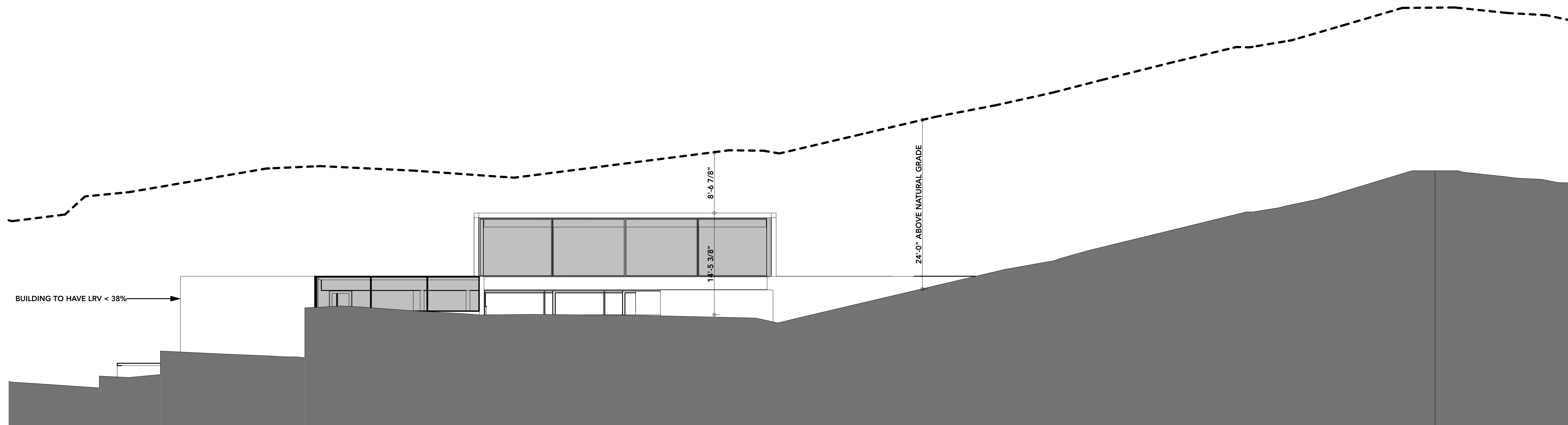
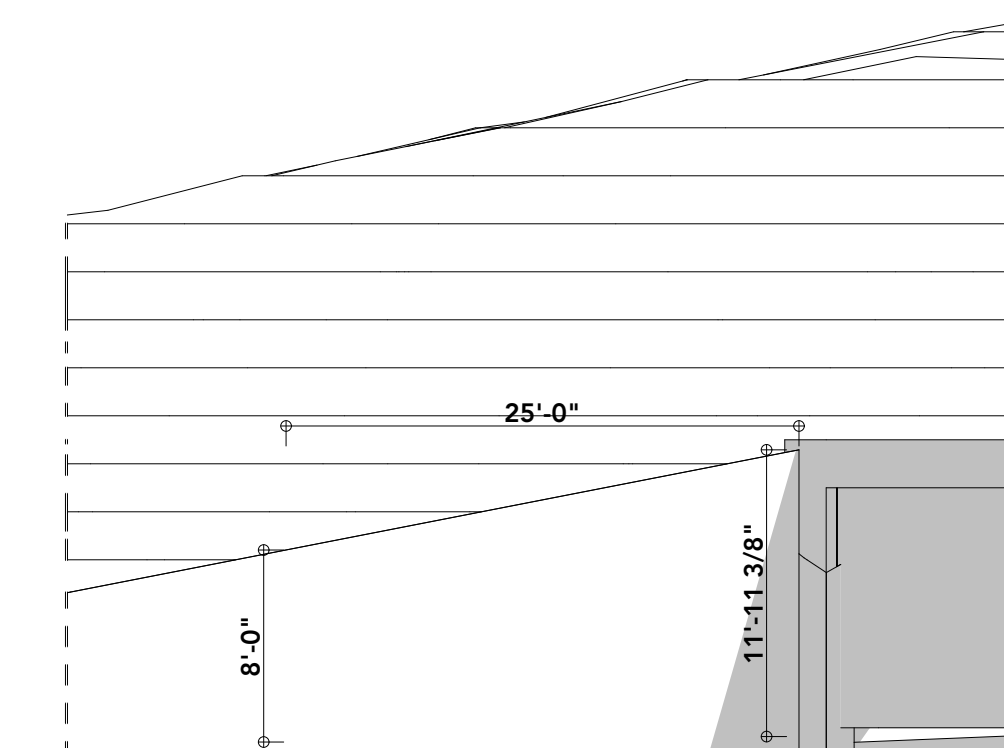
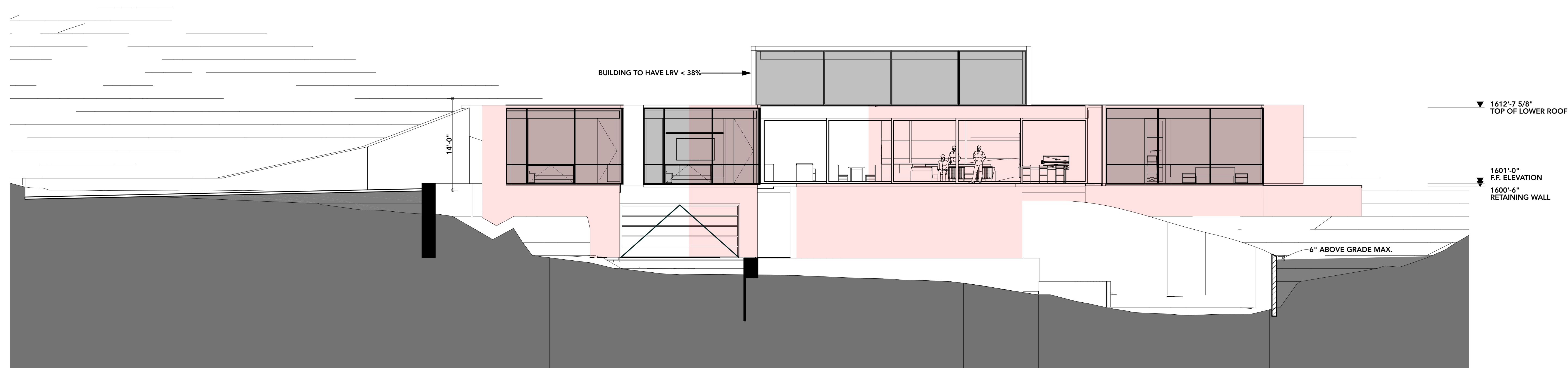
PROJECT PHASE:

SCHEMATIC DESIGN

A-09

SHEET NO.

STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253**1 SOUTH ELEVATION**
SCALE 1/8" = 1'-0"**2 UPPER RETAINING WALL ELEVATION**
SCALE 1/8" = 1'-0"**3 NORTH ELEVATION**
SCALE 1/8" = 1'-0"

DATE: 06/8/20

SCALE: AS SHOWN

DRAWN: DP/JP

JOB:

ELEVATIONS

DRAWING TITLE:

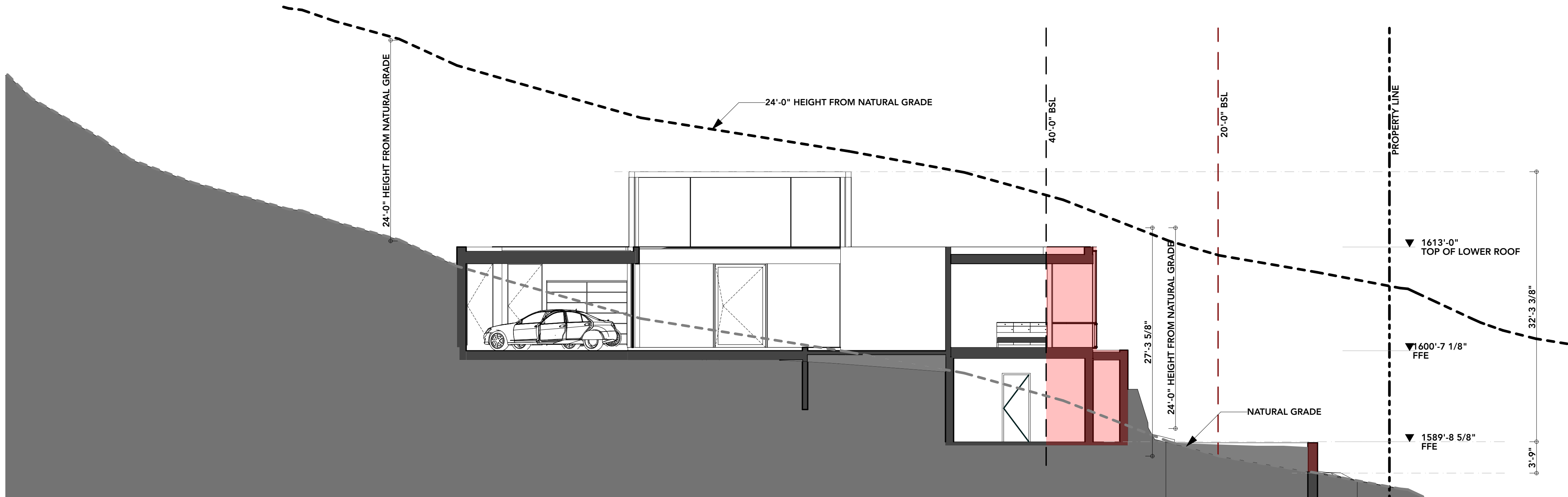
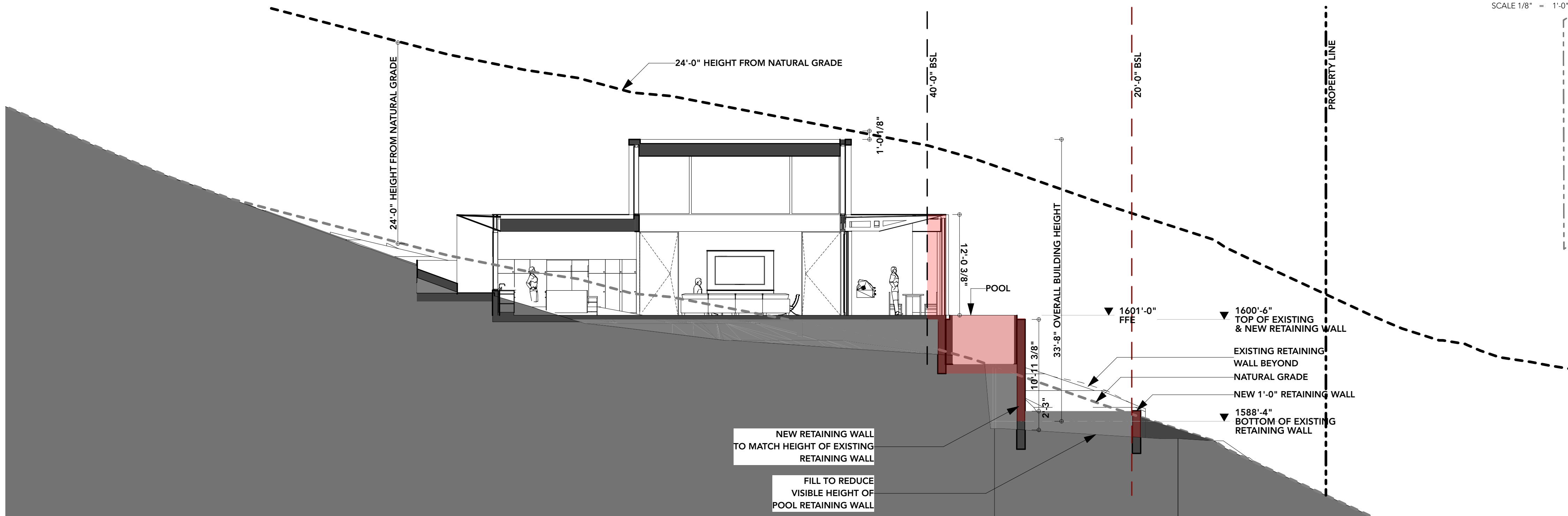
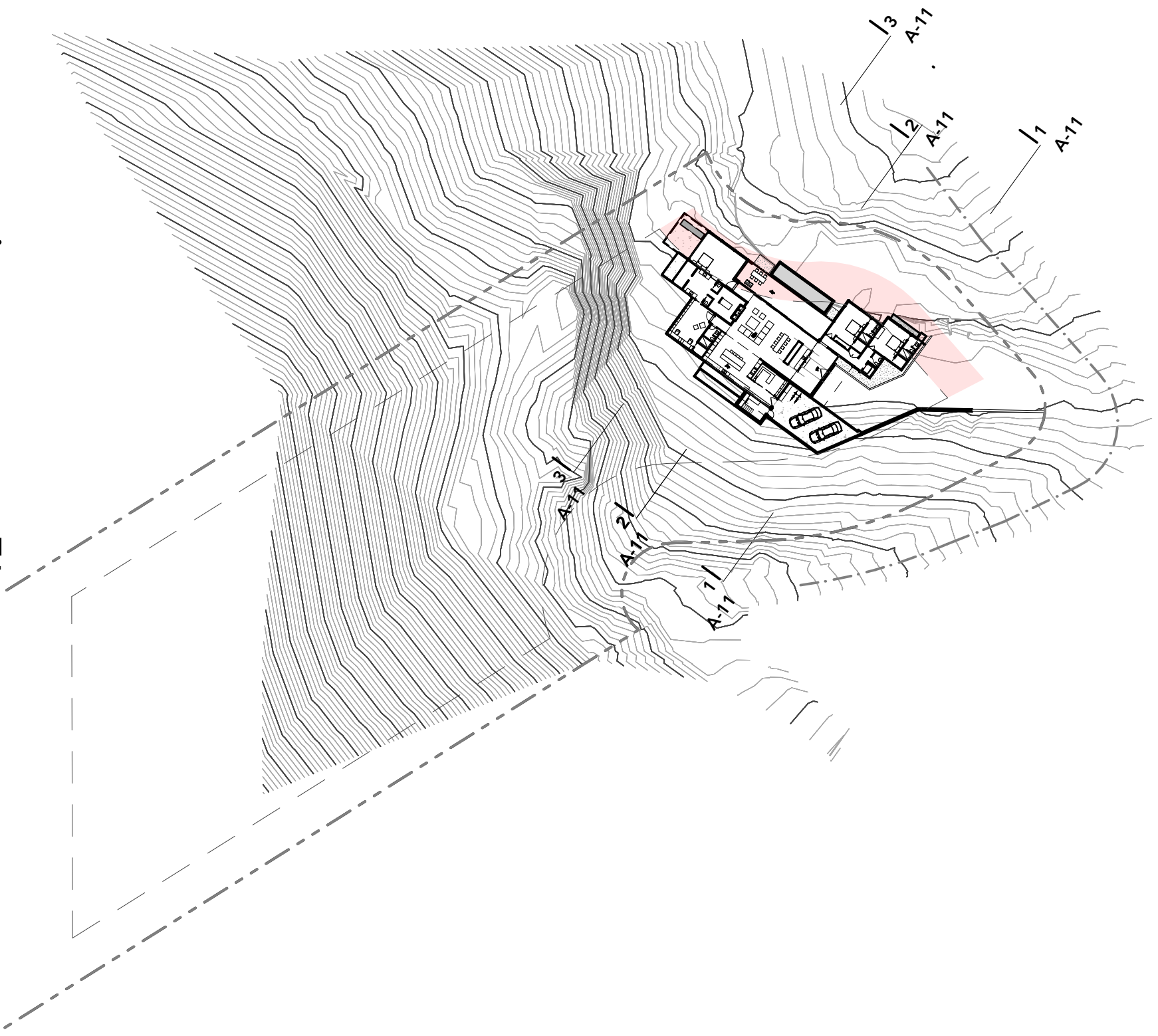
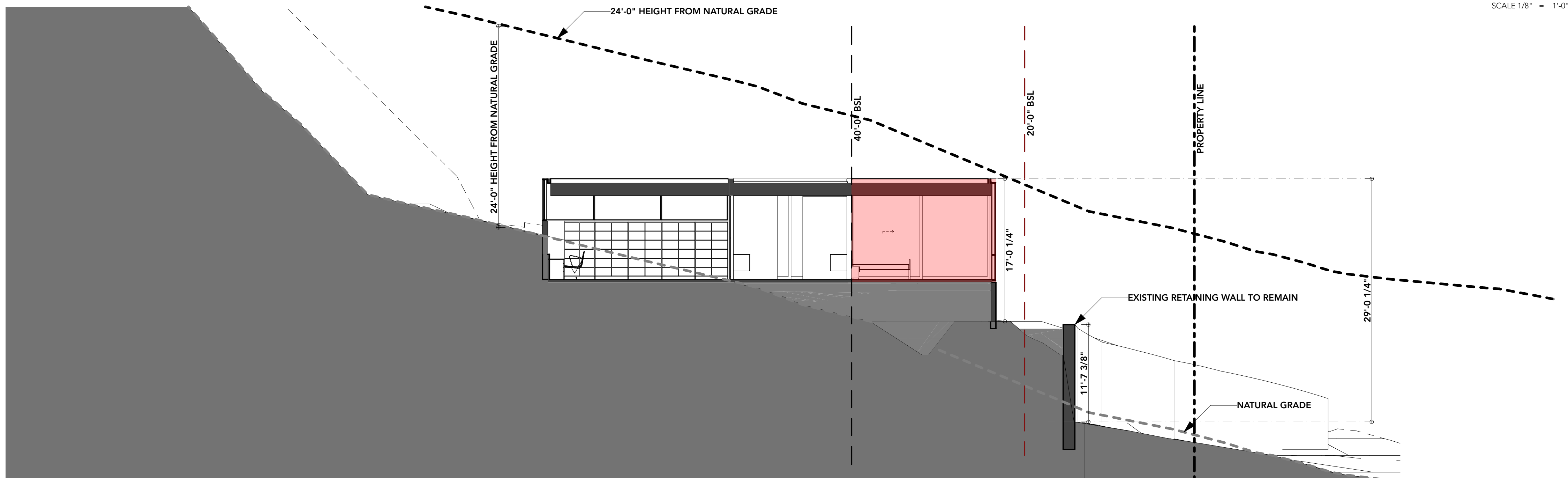
VARIANCE

PROJECT PHASE:

SCHEMATIC DESIGN**A-10**

SHEET NO.

STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 852531 SITE SECTION
SCALE 1/8" = 1'-0"2 SITE SECTION
SCALE 1/8" = 1'-0"3 SITE SECTION
SCALE 1/8" = 1'-0"DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

CROSS SECTIONS

DRAWING TITLE

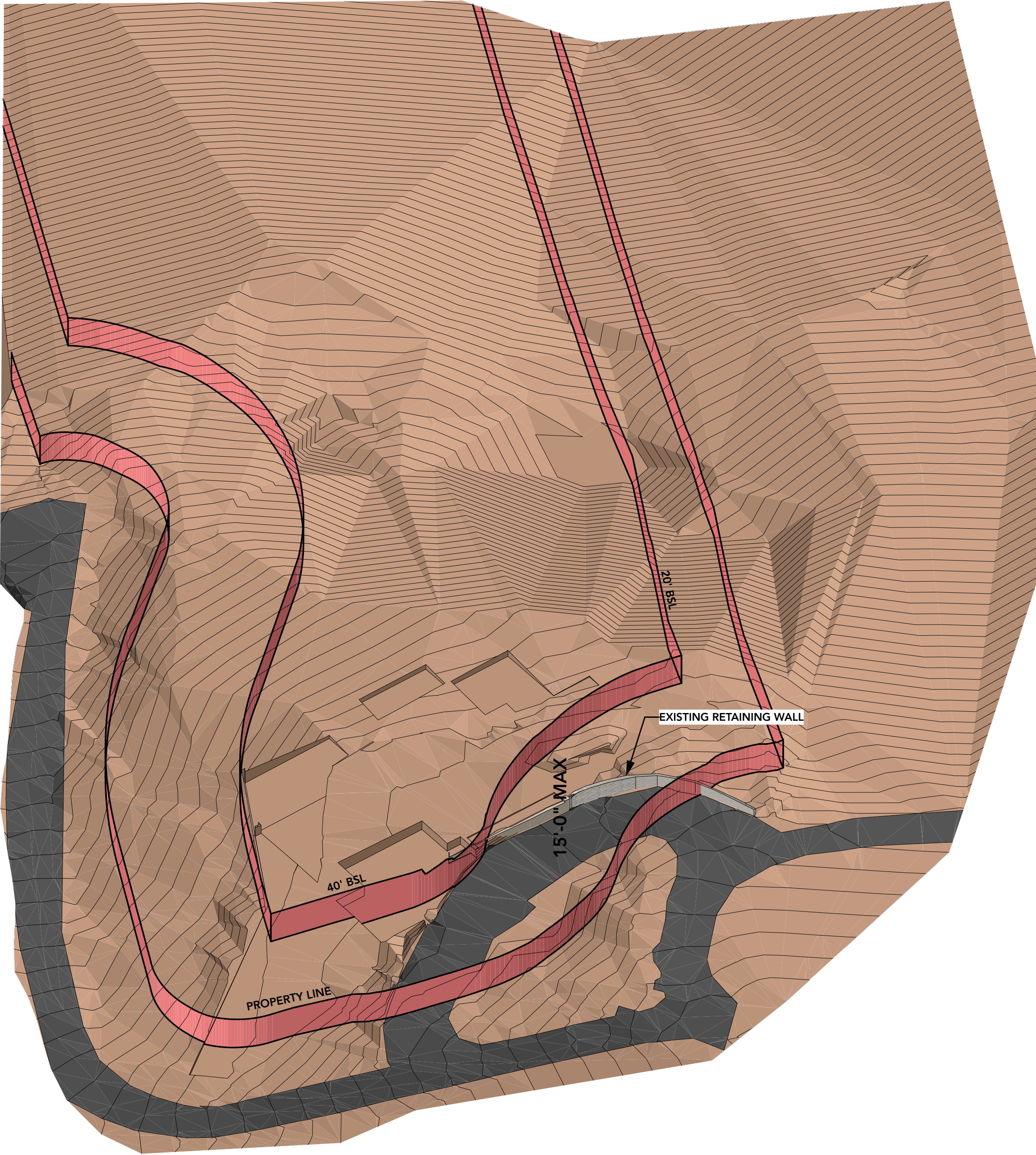
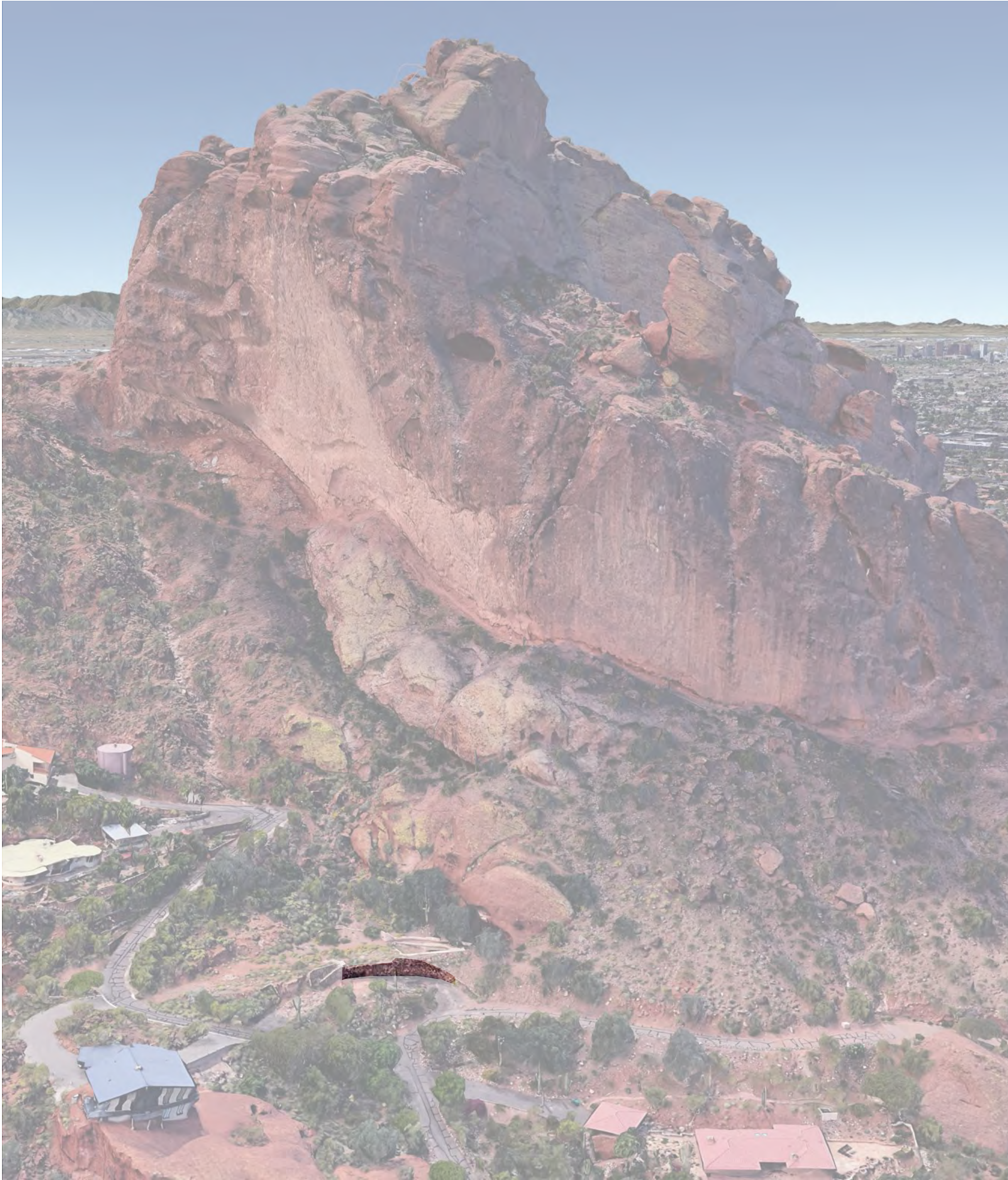
VARIANCE

PROJECT PHASE

SCHEMATIC DESIGN

A-11

SHEET NO.



1 EXISTING WALL DIAGRAM
SCALE 1:359

STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

RETAINING WALL

DRAWING TITLE:

VARIANCE

PROJECT PHASE:

SCHEMATIC DESIGN

A-12

SHEET NO.



STONE CANYON

AIR

ARCHITECTURE - INFRASTRUCTURE - RESEARCH
airspace@a-i-r-inc.com 480.329.1888

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STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

CONTEXT MAP

DRAWING TITLE:
VARIANCE

PROJECT PHASE:
SCHEMATIC DESIGN

A-13

SHEET NO.



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

SUBDIVISION
DIAGRAM

DRAWING TITLE:
VARIANCE

PROJECT PHASE:
SCHEMATIC DESIGN

A-14



STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/16/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB:

CONTEXT W/
ENCROACHMENT

DRAWING TITLE:

VARIANCE

PROJECT PHASE

SCHEMATIC DESIGN

A-15

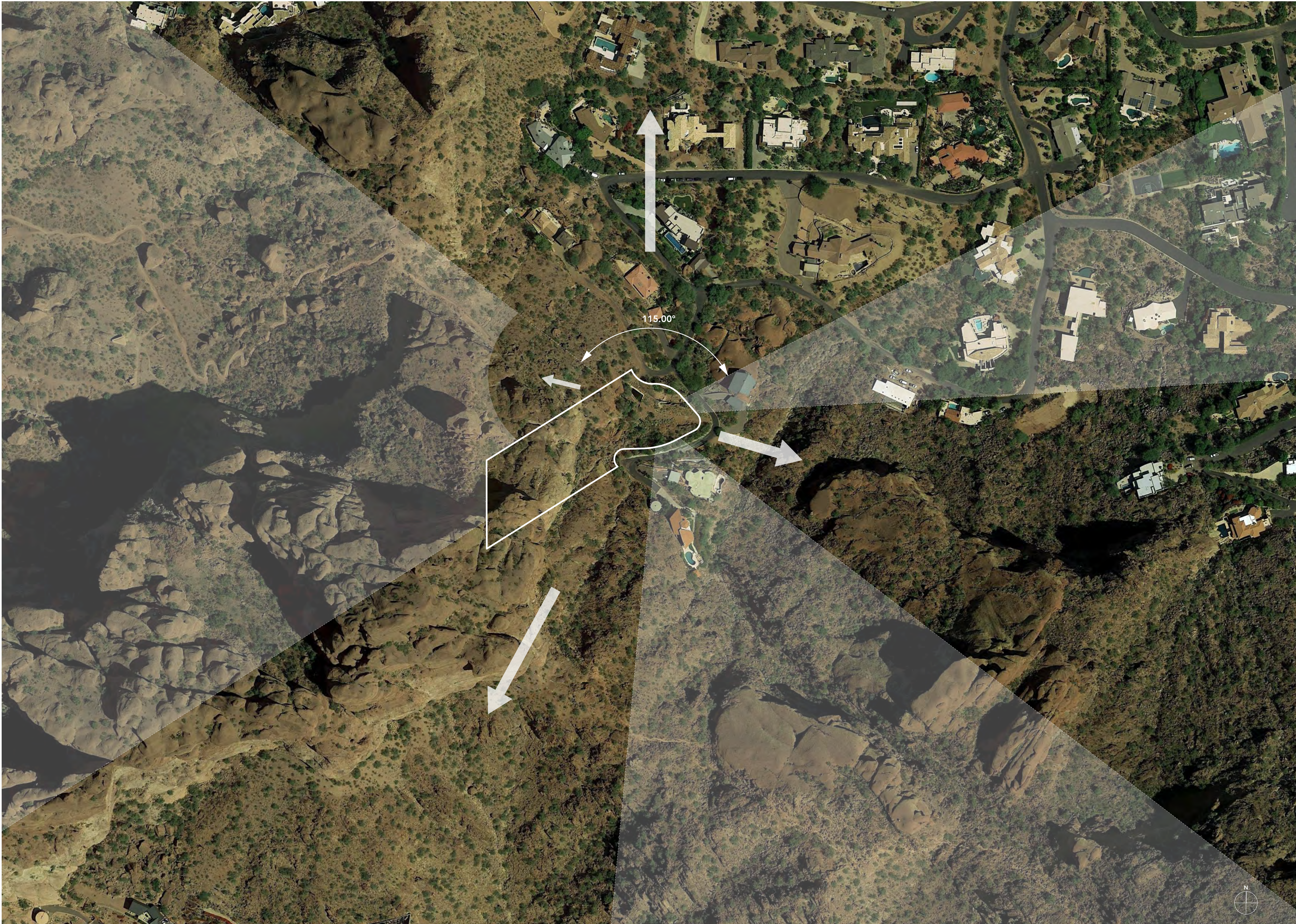
SHEET NO.



SUBJECT PROPERTY

STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253



AIR

ARCHITECTURE - INFRASTRUCTURE - RESEARCH
airspace@a-i-r-inc.com 480.329.1888

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STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20

SCALE: AS SHOWN

DRAWN: DP/JP

JOB:

VIEW CORRIDORS

DRAWING TITLE:

VARIANCE

PROJECT PHASE:

SCHEMATIC DESIGN

A-17

SHEET NO.



AIR

ARCHITECTURE - INFRASTRUCTURE - RESEARCH
airspace@a-i-r-inc.com 480.329.1888

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STONE CANYON RESIDENCE

5235 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253

DATE: 06/8/20

SCALE: AS SHOWN

DRAWN: DP/JP

JOB:

**ROCK
OUTCROPPINGS**

DRAWING TITLE:

VARIANCE

PROJECT PHASE:

SCHEMATIC DESIGN

A-18

SHEET NO.

NOTICE

Notice is hereby given that the Town of Paradise Valley Board of Adjustment will hold a hearing on the following proposed project. If you have questions about this application, please call the Planning Department at (480) 348-3692.

Applicant Name / Contact: DARREN PETRUCCI

Applicant's Company Name: ARCHITECTURE-INFRASTRUCTURE-RESEARCH, INC.

Phone Number: 480 329 1888 Fax Number:

Project Name: STONE CANYON RESIDENCE

Project Location: 5235 E SAN JUAN AVE

Acreage: 2.295

Existing Zoning: R-43

Brief Narrative of Project Proposal: SEE THE ATTACHED

Consideration of a variance from the Zoning Ordinance: 1) Article X, Height and Area Regulations, to allow a new single family residence to encroach into the setbacks, 2) Article V, (R-43) Single-Family Residential District, to allow a pool and pool deck to encroach into the setbacks, 3) Article XXII, Hillside Development Regulations, to allow new and existing retaining walls to exceed the allowable height limit, and 4) Article XXIV, Walls & Fences, to allow existing nonconforming retaining walls to remain and to be modified. The property is located at 5235 E San Juan Avenue (Assessor's Parcel Number 172-47-035).

Meeting Date/ Time/Place

Meeting Date: Wednesday, September 2, 2020

Meeting Time: 5:30 pm

Meeting Place (include address and room number, as applicable):

Town of Paradise Valley Town Hall, 6401 E Lincoln Drive, Paradise Valley, AZ 85253

Town of Paradise Valley, Arizona

Planning Department 480-348-3692

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> and/or contact Senior Planner George Burton at 480-348-3525 or gburton@paradisevalleyaz.gov to determine if the Board of Adjustment meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
 - (a) Click on Calendar Tab
 - (b) Look for Town Council meeting (you may have to select it from the dropdown list) and find the meeting date
 - (c) Click the “In Progress” link in the column titled Video
2. Zoom Conference
 - (a) Computer: <https://zoom.us/j/6678902153>
 - (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153
3. Submitting questions and comments:
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hr prior to meeting)
 - (b) Email gburton@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153
 - (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

(These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Board of Adjustment may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, George Burton on this application at gburton@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Property Narrative

Mary Ann and Bruce Kelley purchased 5235 East San Juan Avenue in the Stone Canyon subdivision in October of 2018. This lot is one of the last three building sites situated at the highest point of the southern edge of the Stone Canyon subdivision. Only two other building lots with homes are above this property.

Prior to their purchase, the property was on the market for seven years, with the original home demolished in 2004. The site has been abandoned and in disrepair for over 16 years with an abandoned pool and partially fallen retaining wall, due to water damage incurred by the removal of the original house and water management retaining walls. Prior to the Kelleys' purchase, the property has been a detriment to the neighborhood. After purchasing the lot Mary Ann has had the overgrown landscape removed and Bruce has monitored and chlorinated to prevent mosquito breeding due to occasional rainwater capture in the abandoned pool, and recently had the pool drilled to ensure no future rainwater capture. They have taken these steps to be good neighbors during this time needed to design a new home and apply for the necessary variances required to build on this site. As Petitioners, they are respectfully requesting reasonable variances to build a new home at 5235 E San Juan Ave.

Mary Ann and Bruce Kelley decided to downsize from their recently sold 6,150 square foot. Paradise Valley home to build an approximately 4,655 square foot home with spectacular views in one of Paradise Valley's most unique and challenging hillside sites. This bespoke house will be the culmination of their dream to design and build their own home.

Subdivision / Lot Background

The Stone Canyon subdivision, platted in 1955, consists of 43 lots. Lot 35 is one of three lots that make up the southwestern edge of the subdivision (ref. sheet A-14). Over 80% of the lot has a slope over 25%, with the only buildable area located at the northern end of the lot corner along 52nd Place and San Juan Avenue. It is zoned R-43 (Hillside), and has an area of 99,991 square feet, with a partially demolished retaining wall, abandoned pool, and circular drive from a previous porte cochere entry (ref. image 2004/A-08 of original house).

When Stone Canyon was originally subdivided, in 1955, it was recorded in Maricopa County. The setbacks at the time were less than the current requirements. Also, there was no Hillside Ordinance in effect at that time. On May 24th, 1961, the subdivision was annexed into the Town of Paradise Valley. There have been numerous Hillside Ordinances in effect since that time.

Site Analysis

The natural topography of lot 35 flows down the middle of the lot toward the existing building pad developed in the 1950s (ref. sheet A-01). The original building pad had direct vehicular access from 52nd Place and a secondary access via a lower circular drive at the corner of 52nd

and San Juan Avenue that entered under a covered parking/porte cochere structure that spanned across the driveway. The home was entered via an exterior staircase from this lower level driveway (ref. Historic Photo 2004/A-08).

The existing lower driveway of the house has an existing retaining wall on the northwest corner of the site, of which 17'-8 7/8" in length is in the right-of-way. This retaining wall in the retaining wall is needed to prevent erosion and flooding.

There are four distinct views from the lot. A 115° panoramic view on the north, a high rock outcropping view on the east, a vertical canyon view on the south, and a close rockface view to the west (ref. Views sheet A-17).

Lot 35, unlike the other two lots to the south that make up the vertical slope of Camelback Mountain, has a corner street condition along its flatter buildable area. This corner lot condition has current setback requirements of 40 feet on two sides of the lot with the third side being a vertical rock wall with overhang (ref. Building Setback Diagram 1/A-06). These corner setback requirements combined with the verticality of the other two edges of the site creates great challenges for a feasible building footprint.

The site section (ref. Site Section Diagram 2/A-11) shows the location of the typical site cross-section at the midpoint of the building area. The proposed one-story structure is substantially under the maximum height allowed by the Hillside ordinance (ref. Cross Section Drawings A-11).

Building Design Philosophy

The overall design philosophy is to create a residence that maximizes the views and minimizes the disturbance of the site.

The new proposed 4,655 square foot residence, adjoining patios, 2 car garage, driveway (with retention drywell), and landscaped areas, will occur on the existing building pad with the mechanical room and an additional two car garage below the house, replacing the area where the existing retaining wall has collapsed. This area will be accessed by the existing circular drive that will have the septic tanks underneath. The septic leaching fields will be directly north of the lower drive. Both the existing upper and lower drive will remain. The proposed one-story structure above with an accessible lower level will be well below the allowable maximum building height (ref. Building Section 1/A-11).

In an attempt to minimize excavation and any further disturbance to the site, the home is organized in a linear (East/West) configuration toward the northern edge of the site thereby reducing the amount of cut into the southern slope. This design strategy both minimizes added site disturbance and provides room for natural water flow around the building site.

The site drainage is a combination of guttered roof drain system tying into a site catch basin system that flows into a drywell. The septic system is a dual tank tying into a drip leach system. The area of the drip leach system will be located in an already disturbed area but will be restored to natural state. (see *Preliminary Grading and Drainage Plan for information on the drainage and septic system*)

Requested Variances

1. Setback encroachment for house.
2. Setback encroachment for pool and patio.
3. Existing non-conforming and new retaining wall heights above 8 feet.

Reasons for the Variance

There are three primary hardships that Lot 35 imposes:

1. The “buildable area” of the lot is located on the lower northeast corner and it is irregular in shape. This portion of the site has an existing retaining wall and building pad inside the 40-foot setback required of a corner lot. This corner condition requires a 40-foot setback on each accessible edge of the building area. The existing retaining wall and building pad encroach on the 40-foot setback along East San Juan Avenue by 2,478 square feet, leaving only 75% of the existing retained building pad available for construction under the current zoning.
2. Because of the lot’s steep southern slope, the western edge’s rock wall and the corner lot set back requirements, less than 10% of the total lot area is buildable. This is substantially less than the current R-43 standards. The current standards would allow 23,000 square feet of “buildable area” or 25% of the net lot square footage (ref. R-43 Lot Diagram/A-06). Lot 35 is 99,991 square feet. However, 90,092 square feet of the lot is unbuildable, leaving approximately 9,899 of buildable area, about 10%, with the current setback requirements. Of the 9,899 buildable area 2,455 square feet would result in retaining walls taller than 8 feet in height (ref. Buildable Lot Diagram on sheet A-06). This is almost 3 times less “buildable area” than allowed as compared to a standard lot. Analogously, buildable lots under 10,000 square feet are typically zoned R-10 and have a 20’-0” front yard setback.
3. There are two conditions where retaining wall heights exceeds 8 feet.
 - a. The existing building pad is supported by an existing 85-foot long retaining wall that exceeds the current Hillside zoning limit of 8 feet tall. The existing wall height above 8 feet ranges in height from 15 feet to 9 feet. Portions of this existing wall are not structurally sound, and will be removed, therefore a new 12-foot tall wall on the north side of the pool will be necessary to support the building pad. The grade at the base of this new retaining wall will be raised in

order to minimize the visible height of the retaining wall. The remainder of the existing wall tapers with the slope of the site and will require some structural modifications. The top slope of the wall will be 6" over the material it retains.

The pool and pool deck must remain at this height in order to maintain the single story level of the building and eliminate the need for additional stairs, which would add to the building mass within the setback.

- b. The steep topography presents a challenge for meeting the Hillside retaining wall height limit. The 33% slope of the natural site at the vehicular entry for the home requires that 25 linear feet of the proposed driveway retaining wall will be in excess of 8 feet tall. This wall will taper from a maximum height of 12 feet following the slope of the site down to 8 feet for 25 linear feet. The top of the wall will be 6 inches over the material it retains.

Variance request is the minimum amount needed to cure property hardship because:

- a) To match other setbacks outlined in the code, the northern edge of the proposed property has been designed to be 20 feet from the northern property line. This is an attempt to conform with a normal 20-foot side yard setback (ref. diagram 2/A-06)
- b) The proposed design has the minimum building encroaching over the existing 40-foot setback. Only 1,643 square feet of the proposed 4,655 square foot home is encroaching into the existing setback (776 square feet of interior building structure is encroaching, 325 square feet of roof overhang, and 484 square feet of pool and deck). The Northeastern portion of the proposed design also replaces the existing fallen retaining wall thereby not requiring additional visible retaining wall from the street. This elevation of this portion of the building is "saw toothed" to break down horizontal massing in lieu of replacing the existing retaining wall.
- c) A normal R-43 lot has a "buildable area" of 23,000 square feet (ref. diagram 2/A-06). Lot 35 has "buildable area" of 9,899 square feet. This is a deficiency of 13,101 square feet of "buildable area."

Variance Process

During the variance process we have been working with the Town of Paradise Valley staff to create an appropriate design and a reasonable variance request.

We have proposed a linear configured, one story structure w/a partial lower level that conforms to the existing building pad, creates the minimum site disturbance, and maximizes views (ref. A-03).

It is always our intent to work with current ordinance, however, this site has proven hardships. The limited building area due to the steep slope & rock wall, the irregular shaped lot, and the

40-foot setbacks along the “buildable area” are hardships that grants the need for the requested variance.

Variance Criteria

- 1. “such variance...will serve not merely as a convenience to the applicant, but (is) necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstance.” [Town Code section 2-5-3(c)2].**

Variance request:

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance.

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.

B. Smaller buildable area:

Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The portion of the 85-foot-tall retaining wall will remain (and be structurally modified if needed) to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

The lot suffers from existing conditions that make it nearly impossible to build a house that meets the current required setbacks. We are proposing a new structure that is almost entirely on the existing building pad, with the minimum disturbed areas, and that much of the existing disturbed areas will be returned to natural state. There are no encroachments into the maximum height requirement of the Hillside Code.

2. The “special circumstances, hardship, or difficulties (do not) arise out of misunderstanding or mistake...” [Town Code section 2-5-3(c)4(b)].

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance. As a result of the property platted in 1955, the shape and topography have created the two property hardships:

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.

B. Smaller buildable area:

Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

These conditions are pre-existing and do not arise out of a misunderstanding or mistake.

3. Such variance from.... the strict application of the terms of (the zoning ordinance) ... are in harmony with its general purposes and intents....” [Town Code section 2-5-3(c)2].

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance.

A. Irregular corner lot shape:

The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing and original building pad.

B. Smaller buildable area:

Because of the lot's steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a "buildable area" of less than 10% of the gross lot size.

C. The steep topography and the existing building pad retaining wall present a challenge for meeting the Hillside retaining wall height limit.

- a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
- b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

An attempt to reduce the proposed setback encroachment into the north setback would require significant cuts into the southern hillside, resulting in retaining walls that exceed the height of the roof of the proposed design and significantly increase the disturbed area. Furthermore, the water flow down and around the buildable area would be significantly diverted away from the natural flow.

Because of the substantially reduced "building area" and the lot configuration, the allowable size of the residence is reduced. The proposed residence livable square footage is 4,655 square feet which is much less than the average 8,000 square foot livable residence in Paradise Valley.

The previous residence on this site had a total encroachment of 2,023 square feet into the north building setback, compared to the 1,643 square feet of our proposal (A-05). The design of the house maximizes the existing building pad in order to limit the amount of disturbed area, minimize retaining walls, and to maintain as much of the existing water flow as possible. Instead of proposing a four-car garage, the design calls for two two-car garages. Only 8 square feet of garage encroaches into the setback (A-04). The bedrooms in the northeast corner of the residence on the main level are staggered to minimize the amount of encroachment and break down the massing of the house.

To support the proposed patio and pool, a new 33'-6" long retaining wall will be constructed 2'-6" north of the existing retaining wall. The shift in this new retaining wall will provide structure for the pool a visual break in the massing of the current 85 foot retaining wall. The new wall will be at the same height as the existing retaining wall. The northeast portion of the

existing retaining wall has collapsed. This section will be replaced by a two-car garage and mechanical room to be built below the main level of the residence.

To further reduce the impact of the portion of the existing 85 foot long retaining wall that exceeds 8 feet in height, we propose to raise the grade of the entry drive 2'-3", resulting in the maximum height of the retaining wall to be under 11 feet.

4. "The special circumstances, hardship or difficulty applicable to the property are (not) self-imposed by the property owner, or predecessor.... [Town Code section 2-5-3(c)4]

This lot suffers from pre-existing conditions that create hardships under the current Zoning Ordinance. As a result of the property platted in 1955, the shape and topography has created the two property hardships:

- A. Irregular corner lot shape:
The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller "buildable area," resulting in a 2,478 square foot reduction of the existing building pad.
- B. Smaller buildable area:
Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a "buildable area" of less than 10% of the gross lot size.
- C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.
 - a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
 - b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

These conditions are pre-existing and are not self-imposed by the current property owner or the predecessor.

5. "Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the zoning

ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district.” [Arizona revised statutes 9-462.06 (g)(2)].

As a result of the property platted in 1955, the size, shape and topography has created the three property hardships:

- A. Irregular corner lot shape:
The corner condition of the buildable area of the lot has two 40-foot setbacks which create a smaller “buildable area,” resulting in a 2,478 square foot reduction of the existing building pad.
- B. Smaller buildable area:
Because of the lots steep southern slope, the rock wall along the western edge and the corner setback requirements the buildable area is significantly reduced. Resulting in a “buildable area” of less than 10% of the gross lot size.
- C. The steep topography and the existing building pad retaining wall presents a challenge for meeting the Hillside retaining wall height limit.
 - a. The existing building pad is supported by an existing 85 foot-long retaining wall. The existing retaining wall height above 8 feet ranges in height from 15 feet to 9 feet. The western 45 feet of the existing 85-foot long retaining wall will remain to support the building pad for the proposed home. The portion of the wall under the pool will be removed, and the pool retaining wall will structurally replace the existing wall to support the building pad.
 - b. The irregular shape of the northern part of the lot combined with the 33% slope of the natural site at the vehicular entry requires 25 linear feet of retaining wall in excess of 8 feet tall. This proposed wall will follow the natural slope and taper from 12 feet tall to 8 feet tall over its 25-foot length.

The lot suffers from existing conditions that make it nearly impossible to build a house that meets the current required setbacks. We are proposing a new structure that optimizes the existing building pad. There are very few new disturbed areas, and there are existing disturbed areas, that are being returned to natural state. There are no encroachments into the maximum height requirement of the Hillside Code. A number of similar building lots in the immediate vicinity have been granted similar relief (ref. sheets A-15).

6. The variance would not “constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.” [Arizona revised statutes 9-462.06 (g)(2)].

The lot suffers from pre-existing conditions that make it nearly impossible to build a house that shares the same privileges enjoyed by adjacent neighboring properties of the same zoning

classification. There are seven improved lots in the vicinity with encroachments. Of those seven lots, there are six different encroachments occurring. Of these six types of encroachments, five have front yard encroachments, two have side yard encroachments, and two have carport encroachments (ref. sheet A-15). The residence on lot #40 is 5.4 feet from the north property line (ref. diagram 40/A-15). The variance request does not constitute a grant of special privilege but allows this property to share the similar privileges with adjacent properties.

AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date AUGUST 7, 2020, and such notification has been mailed on the following date AUGUST 9, 2020.

Signature

The foregoing instrument was acknowledged by me this 11th day of August, 2020, by Joseph Pitchard.
Name

Jennifer Handley
NOTARY PUBLIC

My commission expires:

10-09-2020



AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)


I, JOSEPH PRITCHARD, depose and state that the attached notice, of proposed application VARIANCE FROM ZONING located at 5295 E SAN JUAN AVE for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of SEPTEMBER 2, 2020 is a true and correct copy of a notice which I cause to be posted by the following day of the week SUNDAY, and on the following date AUGUST 9, 2020 in the following location(s):

5295 E SAN JUAN AVE
PARADISE VALLEY, AZ 85253


All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 11th day of AUGUST, 2020.


Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 11th day of August, 2020.


NOTARY PUBLIC

My commission expires:

10-09-2020





Parcel Number	Owner	Property Address	Mailing Address
169-25-021	GRAY BRUCE W/BARBARA	6001 N 51ST PL PARADISE VALLEY 85253	6001 N 51ST PL PARADISE VALLEY AZ 85253
169-26-007A	HILLMAN-KEIM 2002 REVOCABLE TRUST	6002 N 52ND PL PARADISE VALLEY 85253	6002 N 52ND PL PARADISE VALLEY AZ 85253
169-26-007B	KRAKOW FAMILY TRUST	5202 E MCDONALD DR PARADISE VALLEY 85253	5202 E MCDONALD DR SCOTTSDALE AZ 85253
169-26-008	RHOADES JOHN	5234 E MCDONALD DR PARADISE VALLEY 85253	5234 E MCDONALD DR PARADISE VALLEY AZ 85253
169-26-009	ANN V BAKER TRUST	5246 E MCDONALD DR PARADISE VALLEY 85253	5246 E MCDONALD DR PARADISE VALLEY AZ 85253
169-26-010	FLORES HENRY C/VALERIE W TR	5302 E MCDONALD DR PARADISE VALLEY 85253	5302 E MACDONALD DR PARADISE VALLEY AZ 85253
172-04-003A	PHOENIX CITY OF	4925 E MCDONALD DR PHOENIX 85018	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-04-004	ITULE FAMILY TRUST	5135 E VALLE VISTA WY PARADISE VALLEY 85253	5135 E VALLE VISTA WY PARADISE VALLEY AZ 85253
172-04-005	STOUTE MIESHA T	5115 E VALLE VISTA WY PARADISE VALLEY 85253	5115 E VALLE VISTA WY PARADISE VALLEY AZ 85233
172-04-006	ANNNN TRUST	5105 E VALLE VISTA WY PARADISE VALLEY 85253	5105 E VALLE VISTA WY PARADISE VALLEY AZ 85253
172-04-007	BRANDT SUSAN J	5035 E VALLE VISTA WY PARADISE VALLEY 85253	1101 WALNUT ST UNIT 2001 KANSAS CITY MO 64106-4213
172-04-008	CHURGIN DANIEL	5001 E VALLE VISTA WY PARADISE VALLEY 85253	5001 E VALLE VISTA WAY PARADISE VALLEY AZ 85253
172-04-012	C H BOWLING FAMILY TRUST	5123 E MCDONALD DR PARADISE VALLEY 85253	5123 E MCDONALD DR PARADISE VALLEY AZ 85253
172-04-013	SHALACO LLC	5133 E MCDONALD DR PARADISE VALLEY 85253	953 E LIBRA DR TEMPE AZ 85283
172-04-014	ROLLER CHARLES E	5122 E VALLE VISTA WY PARADISE VALLEY 85253	4400 N SCOTTSDALE RD NO 349 SCOTTSDALE AZ 85251
172-04-015	BRADLEY N GROSSMAN REVOCABLE TRUST	5060 E VALLE VISTA WY PARADISE VALLEY 85253	5060 E VALLE VISTA WY PARADISE VALLEY AZ 85253
172-04-081A	LAWRENCE DOLINS TRUST	5625 N ECHO CANYON CIR PHOENIX 85018	5625 N ECHO CANYON CIR PHOENIX AZ 85018
172-04-082A	FREM ROBERT/ELIZABETH O	5627 N ECHO CANYON CIR PHOENIX 85018	3 ROLLINGWOOD DR WORCESTER MA 01609
172-04-083A	KARP ANGELA D/MARK B	5631 N ECHO CANYON CIR PHOENIX 85018	5631 N ECHO CANYON CIR PHOENIX AZ 85018
172-04-084A	KNOWLTON FAMILY LIVING TRUST	5641 N ECHO CANYON CIR PHOENIX 85018	5641 N ECHO CANYON CIR PHOENIX AZ 85018
172-04-085A	DAHL RANDOLF L	5651 N ECHO CANYON CIR PHOENIX 85018	5651 N ECHO CANYON DR PHOENIX AZ 85018
172-04-092A	WOLF EDWIN H/JUDITH G TR	5741 N ECHO CANYON CIR PHOENIX 85018	5741 ECHO CANYON CIRCLE PHOENIX AZ 85018
172-04-113B	ECHO CANYON PROPERTY OWNERS ASSOC		7255 E HAMPTON AVE SUITE 101 MESA AZ 85209
172-47-001	ROSETTE ROBERT A/SHARON	5405 E MCDONALD DR PARADISE VALLEY 85253	5405 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-002	DHDL HOLDINGS LLC	5331 E MCDONALD DR PARADISE VALLEY 85253	6133 N 61ST PL PARADISE VALLEY AZ 85253
172-47-003	RIGBY JOHN DANIEL JR/ANN MCCOOLE	5313 E MCDONALD DR PARADISE VALLEY 85253	5313 E MCDONALD DR PARADISE VALLEY AZ 85253-5118
172-47-004	HUGHES GREGORY J	5301 E MCDONALD DR PARADISE VALLEY 85253	5301 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-005	ELLIS BRIAN J/MARIA S	5275 E MCDONALD DR PARADISE VALLEY 85253	7789 SILVER LAKE CT WESTERVILLE OH 43082
172-47-006	AHIR FAMILY TRUST	5251 E MCDONALD DR PARADISE VALLEY 85253	5251 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-007	CATALO FAMILY REVOCABLE TRUST	5920 N 52ND PL PARADISE VALLEY 85253	5920 N 52ND PL PARADISE VALLEY AZ 85253
172-47-008	PALOMBI FRANCO TR	5238 E PALO VERDE DR PARADISE VALLEY 85253	PO BOX 7761 ARLINGTON VA 22207
172-47-009	5302 PALO VERDE LLC	5302 E PALO VERDE DR PARADISE VALLEY 85253	6611 N HILLSIDE DR PARADISE VALLEY AZ 85253
172-47-010	DAVID AND DAWN LENHARDT FAMILY TRUST	5320 E PALO VERDE DR PARADISE VALLEY 85253	5320 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-011	CHERYL A LONDEN SURVIVORS TRUST	5334 E PALO VERDE DR PARADISE VALLEY 85253	5434 E LINCOLN DR UNIT 67 PARADISE VALLEY AZ 85253
172-47-012	HARRY C SLEIGHEL LIVING TRUST	5404 E PALO VERDE DR PARADISE VALLEY 85253	5404 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-013	STEPHENS KEITH O/ELIZABETH TR	5401 E PALO VERDE DR PARADISE VALLEY 85253	5401 E PALO VERDE SCOTTSDALE AZ 85253
172-47-014	BURY RANDALL	5333 E PALO VERDE DR PARADISE VALLEY 85253	5333 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-015	IRVIN AND SYLVIA COHEN TRUST	5317 E PALO VERDE DR PARADISE VALLEY 85253	5317 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-016	PETER R PHILLIPS FAMILY TRUST	5301 E PALO VERDE DR PARADISE VALLEY 85253	5301 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-017	PATEL MAITRAY/GUPTA INDU	5241 E PALO VERDE DR PARADISE VALLEY 85253	5241 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-018	PERL CRAIG B/LINDA S	5910 N 52ND PL PARADISE VALLEY 85253	5910 N 52ND PL PARADISE VALLEY AZ 85253
172-47-019A	JOZOFF MALCOLM TR/JOZOFF ELLEN JANE TR	5200 E SOLANO DR PARADISE VALLEY 85253	5200 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-020A	SELBY JACK R TR	5226 E SOLANO DR PARADISE VALLEY 85253	5226 E SOLANO DR PARADISE VALLEY AZ 85253

172-47-021 TAKHAR RAJINDER K
 172-47-022 GOUND STEPHEN E/PATRICIA J
 172-47-023 SOUTHERN STAR HOLDINGS LLC
 172-47-024 CLANCY CHARLES GEORGE/JOAN KANE TR
 172-47-025 M-G TRUST
 172-47-030 CONNORS CRAIG RAYMOND
 172-47-031 BOHNETT MARSHA ANN
 172-47-032 CUCULIC LAWRENCE M/MARY JO
 172-47-033 PHOENIX CITY OF
 172-47-034 PHOENIX CITY OF
 172-47-035 KELLEY BRUCE D/MARY ANN M
 172-47-036 PHOENIX CITY OF
 172-47-037A PHOENIX CITY OF
 172-47-037B CURTIS CRAIG L
 172-47-038 NICHOLS ROSCOE DWAYNE
 172-47-039 BYRNES ANDREW R/SHAWNA GLAZIER
 172-47-040 GOODPASTURE ROBERT E
 172-47-041 MCDADE JOHN R II
 172-47-042 SCOON JEFF E G/SUSAN A TR
 172-47-043A WHITTAKER ERIC L
 172-47-043B PHOENIX CITY OF
 172-47-047 M & M FAMILY TRUST
 172-47-053 CROW WILLIAM MATTHEW/VALERIE ASHER
 172-47-054 WILSON SCOTT E/JANE E
 172-47-060 GEBERT STEPHEN /URSULA TR
 172-47-061 DOUGLAS R HANSEN TRUST
 172-47-062 PACE SELDEN REVOCABLE TRUST
 172-47-063 TONN SCOTT/TRACY
 172-47-064 RKB-NFT HOLDING LLC
 172-47-065 MOORE SCOTT HOWARD
 172-47-066 RKDM REVOCABLE TRUST
 172-47-067 ZACHARIAH TERESA C/JOE
 172-47-068 APPEL ROSANNE T
 172-47-077 PHOENIX CITY OF
 172-47-078C PHOENIX CITY OF
 172-47-078D TMS VENTURES LLC
 172-47-083 GOLDMAN YARON PINHAS
 172-47-084 GATESTONE & CO INTERNATIONAL INC
 172-47-085 GRAY BRUCE
 172-47-086 JOHNSTAN VENTURES LLC
 172-47-931 PARADISE VALLEY WATER CO
 172-47-933 SYDDAN LLC
 172-48-004 FERRULLI TINO
 172-48-006C BME I LLC

5228 E SOLANO DR PARADISE VALLEY 85253
 5330 E SOLANO DR PARADISE VALLEY 85253
 5332 E SOLANO DR PARADISE VALLEY 85253
 5336 E SOLANO DR PARADISE VALLEY 85253
 5735 N 54TH ST PARADISE VALLEY 85253
 5237 E SOLANO DR PARADISE VALLEY 85253
 5200 E SAN JUAN AVE PARADISE VALLEY 85253
 5204 E SAN JUAN AVE PARADISE VALLEY 85253
 5215 E SAN JUAN AVE PARADISE VALLEY 85253
 5225 E SAN JUAN AVE PARADISE VALLEY 85253
 5235 E SAN JUAN AVE PARADISE VALLEY 85253

 5631 N 52ND PL PARADISE VALLEY 85253
 5303 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5339 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5345 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5405 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5701 N 54TH ST PARADISE VALLEY 85253
 5623 N 52ND PL PARADISE VALLEY 85253

 5416 E PALO VERDE DR PARADISE VALLEY 85253
 5421 E PALO VERDE DR PARADISE VALLEY 85253
 5417 E PALO VERDE DR PARADISE VALLEY 85253
 5707 N 55TH PL PARADISE VALLEY 85253
 5520 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5501 E SOLANO DR PARADISE VALLEY 85253
 5429 E SOLANO DR PARADISE VALLEY 85253
 5500 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5506 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5501 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5505 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5511 E SAN MIGUEL AVE PARADISE VALLEY 85253

 5507 E SAN MIGUEL LN PARADISE VALLEY 85253
 5718 N 54TH ST PARADISE VALLEY 85253
 5390 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5340 E SAN MIGUEL AVE PARADISE VALLEY 85253
 5338 E SAN MIGUEL AVE PARADISE VALLEY 85253

 5702 N 55TH PL PARADISE VALLEY 85253
 5002 E GRANDVIEW LN PHOENIX 85018

5228 E SOLANO DR PARADISE VALLEY AZ 85253
 2909 W 113TH ST LEAWOOD KS 66211
 16001 N SUNRIDGE DR FOUNTAIN HILLS AZ 85268
 3507 N CENTRAL AVE #500 PHOENIX AZ 85012
 5735 N 54TH ST SCOTTSDALE AZ 85253
 5237 E SOLANO DR PARADISE VALLEY AZ 85253
 5200 E SAN JUAN AVE PARADISE VALLEY AZ 85253
 5204 E SAN JUAN AVE PARADISE VALLEY AZ 85253
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 4659 E FOOTHILL DR PARADISE VALLEY AZ 85253
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 PO BOX 1288 SEDONA AZ 86339
 5303 E SAN MIGUEL PARADISE VALLEY AZ 85253
 5339 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
 5345 E SAN MIGUEL AVE SCOTTSDALE AZ 85253
 PO BOX 2656 SCOTTSDALE AZ 85252
 5701 N 54TH ST PARADISE VALLEY AZ 85253
 4400 N SCOTTSDALE ED UNIT 287 SCOTTSDALE AZ 85251
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 5416 E PALO VERDE DR PARADISE VALLEY AZ 85253
 5421 E PALO VERDE SCOTTSDALE AZ 85251
 5417 E PALO VERDE DR PARADISE VALLEY AZ 85253
 5707 N 55TH PL PARADISE VALLEY AZ 85253
 3707 N MARSHALL WAY UNIT 1 SCOTTSDALE AZ 85251
 5501 E SOLANO DR PARADISE VALLEY AZ 85253
 5635 N SCOTTSDALE RD STE 170 SCOTTSDALE AZ 85250
 2398 E CAMELBACK RD SUITE 1000 PHOENIX AZ 85016
 5506 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
 5501 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
 5505 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
 5 LYNN RD CHERRY HILLS VILLAGE CO 80113
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
 8201 N HAYDEN RD SCOTTSDALE AZ 85258
 131 E LINCOLN AVE FORT COLLINS CO 80524
 415 YONGE ST - 2000 TORONTO ON CANADA M5B2E7
 4040 E CAMELBACK RD STE 275 PHOENIX AZ 85018
 6120 N 31ST CT PHOENIX AZ 85016
 19820 N 7TH ST STE 201 PHOENIX AZ 85024-1694
 4044 N 55TH PL PARADISE VALLEY AZ 85253
 5002 E GRANDVIEW LN PHOENIX AZ 85018
 5221 N SADDLE ROCK DR PHOENIX AZ 85018

172-48-007B	VOLTAGE INNOVATIONS LLC	5285 E RED ROCK DR PHOENIX 85018	8416 OLD MCGREGOR RD WOODWAY TX 76712
172-48-008A	KRK RE LLC	5220 E RED ROCK DR PHOENIX 85018	833 N JEFFERSON ST MILWAUKEE WI 53202
172-48-009A	CAMELBACK RETREAT LLC	5212 E RED ROCK DR PARADISE VALLEY 85253	7141 E RANCHO VISTA DR UNIT 5011 SCOTTSDALE AZ 85251
172-48-009C	CAMELBACK RETREAT LLC	5212 E RED ROCK DR PHOENIX 85018	7141 E RANCHO VISTA DR UNIT 5011 SCOTTSDALE AZ 85251
172-48-010	DROMEDARY-CAMELBACK INVESTMENTS LLC	5023 E RED ROCK DR PHOENIX 85018	PO BOX 1397 TOLLESON AZ 85353
172-48-011	REID K JOE TR	5001 E RED ROCK DR PHOENIX 85018	PO BOX 44022 PHOENIX AZ 85064
172-48-012	HALO INVESTMENT PROPERTIES LLC	4959 E RED ROCK DR PHOENIX 85018	8223 WALLEN LN RAPID CITY MI 49676
172-48-013A	HILL MATTHEW J	4949 E RED ROCK DR PHOENIX 85018	4949 E RED ROCK DR PHOENIX AZ 85018
172-48-022	TYLER R ANDERSON AND NANCY J ANDERSON FAMI	4960 E RED ROCK DR PHOENIX 85018	4960 E RED ROCK DR PHOENIX AZ 85018
172-48-023A	SWARZMAN STEVEN L	5002 E RED ROCK DR PHOENIX 85018	5002 E RED ROCK DR PHOENIX AZ 85018
172-48-024A	BME V LLC	5050 E RED ROCK DR PHOENIX 85018	4949 E RED ROCK DR PHOENIX AZ 85018
172-48-026B	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-48-026E	PHOENIX CITY OF	4948 E RED ROCK DR PHOENIX 85018	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-48-026F	VALE GUY E	4950 E RED ROCK DR PHOENIX 85018	4950 E RED ROCK DR PHOENIX AZ 85018
172-48-026G	RDP ONE MANAGEMENT GROUP LLC	4952 E RED ROCK DR PHOENIX 85018	5221 N SADDLEROCK DR PHOENIX AZ 85018
172-48-026H	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-48-027	PHOENIX CITY OF	4948 E RED ROCK DR PHOENIX 85018	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-50-027M	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003

Feature Information

(1 of 2)

Clear ?

172-47-035

Owner Information

Owner Name:

KELLEY BRUCE D/MARY ANN M

Property Address:

5235 E SAN JUAN AVE PARADISE VALLEY 85253

Mailing Address:

4659 E FOOTHILL DR PARADISE VALLEY AZ 85253

Deed Number:

180770356

Sale Date:

Sale Price:

\$

Property Information

Lat/Long:

33.519484, -111.968626

S/T/R:

17 2N 4E

Jurisdiction:

PARADISE VALLEY

Zoning:

R-43

PUC:

0011

Lot Size (sq ft):

99,991

MCR #:

62-41

Subdivision:

STONE CANYON

Lot #:

35

Floor:

1

Construction Year:

Living Space (sq ft):

Valuation Information

Tax Year:

2021

2020

FCV:

\$938,100

\$854,900

LPV:

\$722,054

\$687,670

Legal Class:

2.R

2.R

Zoom to

Clear Selected

...

Search By

Using the Mous

What I Know

Buffer

Results

Features selected: 105

169-25-021

Owner:

GRAY BRUCE W/BARBARA

Property Address:

6001 N 51ST PL PARADISE VALLEY 85253

Mailing Address:

6001 N 51ST PL PARADISE VALLEY AZ 85253

Latitude:

33.5240877316099

Longitude:

-111.96955822158043

169-26-007A

Owner:

HILLMAN-KEIM 2002 REVOCABLE TRUST

Property Address:

6002 N 52ND PL PARADISE VALLEY 85253

Mailing Address:

6002 N 52ND PL PARADISE VALLEY AZ 85253

Latitude:

33.524266498985426

Longitude:

-111.96835990672565

?



Action Report

File #: 20-324

TO: Chair and Board of Adjustment

FROM: Paul Michaud, Planning Manager
George Burton, Senior Planner
Loras Rauch, Special Projects Planner

DATE: September 2, 2020

DEPARTMENT: Community Development

AGENDA TITLE:

Hogan Variance - 5434 E. Lincoln Drive No. 49 (APN 169-28-060).

Case No. BA-20-03

MOTIONS

A. MOTION FOR APPROVAL

I move for **[approval]** of Case No. BA-20-03, a request by John and Diane Hogan, property owners of 5434 E. Lincoln Drive No. 49; for a variance from the Zoning Article X, Height and Area Regulations, to allow a new single-family residence to encroach into the setback.

The variance shall be in compliance with the submitted plans and documents:

1. The Project Narrative, pages 1 - 3, prepared by Drewett Works/Architecture;
2. Architectural Site Plan, Sheet A1.1, prepared by Drewett Works/Architecture and dated July 22, 2020;
3. Floor Plan -Main, Sheet DR202, prepared by Drewett Works/Architecture and dated July 22, 2020; and
4. Exterior Elevations Plan, Sheet A6.1, prepared by Drewett Works/Architecture and dated July 22, 2020;

Reasons for Approval:

I find that there are special circumstances, applicable to only the subject lot, meeting the variance criteria.

B. MOTION FOR DENIAL

I move for **[denial]** of Case No. BA-20-03, a request by John and Diane Hogan, property owners of 5434 E. Lincoln Drive No. 49; for a variance from the Zoning Article X, Height and Area Regulations, to allow a new single-family residence to encroach into the setback.

Reasons for Denial:

I find that the variance requested does not meet the variance criteria.

BACKGROUND

Request

The applicant is proposing to construct a new home on the property and requests a variance to allow the house to encroach into the rear yard setback. An 18' rear yard setback is required by Town Code and the applicant is proposing an 8' rear setback (with 715 square feet of house encroaching into the setback).

The property is zoned R-10 and Section 1001 of the Town Zoning Ordinance identifies that front, side, and rear yards shall meet the requirements as indicated in the Code, or as shown on a recorded plat, or as existing at the time of annexation. This means that the applicant may use either the setback of what is shown on the recorded plat, what existed at time of annexation, or what is shown in the Town Code. This applies to each yard setback (front, rear, and each side).

Based upon the location of the existing house, the building envelope shown on the subdivision plat, and the setbacks outlined in the Code, the setback for the main house on this property are:

- 6' - Front Yard/West Setback
- 18' - Rear Yard/East Setback
- 4.7' (but effectively a 10' setback due to an access easement) - Side Yard/North Setback
- 11' - Side Yard/South Setback

Lot Conditions

The property is zoned R-10, is approximately 10,550 square feet in size (0.24 acres), and is square in shape.

Lot History

The subject property is Lot 49 of the Stone Canyon subdivision. The property was platted in 1955 and annexed into the Town in 1992. The original house was constructed under Maricopa County's jurisdiction. The following list of permits is a chronological history of the subject property:

January 5, 1999	Building Permit to Enclose Porch and Relocate Bathroom
July 11, 2003	Building Permit for Pool
July 13, 2004	Building Permit for Site Wall
July 13, 2004	Building Permit for Bedroom/Bathroom Addition
December 26, 2007	Building Permit for Bedroom Addition
February 28, 2008	Building Permit for Closet Addition
February 20, 2020	Demo Permit for House and Pool

DISCUSSION/ FACTS:

Variance criteria:

Town Code and Arizona Revised Statutes set criteria an applicant must meet before a Board of Adjustment may grant a variance request. If the Board finds an applicant meets all of these criteria, the Board may grant the variance. However, if the Board finds the applicant does not meet all of the criteria, the Board may not grant the variance. The following are staff's findings with regard to such variance criteria.

1. *"Such variance... will serve not merely as a convenience to the applicant, but [is] necessary to alleviate some demonstrable hardship or difficulty so great as to warrant a variance under the circumstances."* (Town Code Section 2-5-3(C)2).

Findings in Favor (FIFs):

The Homeowner's Associate (HOA) approved a different rear yard setback than the Town Zoning Ordinance allows. Also, the new home matches the alignment of the homes to the south and east, which also have an 8' rear yard setback. The applicant provided a letter of approval from the Colonia Miramonte Design Review Board which authorizes the proposed rear setback of 8'.

Findings Opposed (FOPs):

There are no property hardships that warrant the request and prevent setback compliance with the Town Codes. The property is square in shape and is not burdened with any adverse topographical features that prohibit compliance. The house can be relocated 10' to the west, which would bring the home into setback compliance with the Town Zoning Ordinance.

2. *The "special circumstances, hardship, or difficulty [do not] arise out of misunderstanding or mistake..."* (Town Code Section 2-5-3(C)4(b)).

FIFs:

The hardship is not out of mistake or misunderstanding. The HOA approved a setback different than that allowed by the Town Zoning Ordinance.

FOPs:

The applicant should be aware of all special circumstances on the property and plan any designs accordingly. There are no property hardships that prohibit setback compliance.

3. *"Such variance from ... the strict application of the terms of [the Zoning Ordinance] ... are in harmony with its general purposes and intents..."* (Town Code Section 2-5-3(C)2).

FIFs:

The intent of the Town Zoning Ordinance is to provide visual openness, limit visual impact to the natural landscape, and maintain view corridors by creating a consistent setback. This is met since the proposed house matches the alignment of the homes to the south and east.

FOPs:

The request does not meet the intent of the code since other alternatives exist. Although not ideal, the house can be moved 10' west and meet the Town's setback requirements.

4. *"The special circumstances, hardship or difficulty applicable to the property are [not] self-imposed by the property owner, or predecessor..." (Town Code Section 2-5-3(C)4).*

FIFs:

The request is not self-imposed. The Homeowner's Associate (HOA) approved a different rear yard setback than the Town Zoning Ordinance allows. The applicant provided a letter of approval from the Colonia Miramonte Design Review Board which authorizes the proposed rear setback of 8'.

FOPs:

The applicant should be aware of all special circumstances on the property and plan any designs accordingly. Although not ideal, the house can be moved 10' west and meet the Town's setback requirements and/or seek HOA approval for a setback that is compliant with the Town's requirements.

5. *Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district." (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

The proposed rear setback is consistent with the neighboring properties to the south and east. Also, the encroachment should have limited impact on neighboring properties due to the low height of the house at 14' tall and only 715 square feet of the house located within the rear setback.

FOPs:

There are no property hardships that warrant the variance. The lot is not undersized for its zoning classification, the lot is not oddly shaped which creates an unusual building envelope, and there are no adverse topographic features that prohibit setback compliance. The proposed home can be relocated to meet the Town's setback requirements.

6. *The variance would not "constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located." (Arizona Revised Statutes 9-462.06(G)(2)).*

FIFs:

The proposed home matches the alignment of the adjoining properties to the south and east. Also, the Colonia Miramonte HOA approved the propose setback.

FOPs:

All other properties in the area must meet requirements outlined in the Town Zoning Ordinance. Also, Arizona Revised Statues and the Town Zoning Ordinance do not require the most optimal or profitable use of a property.

COMMENTS: Staff received one inquiry from a neighbor asking about the scope of the request. No

File #: 20-324

comment of support or opposition was given.

COMMUNITY IMPACT: None.

FISCAL IMPACT None.

CODE VIOLATIONS: None.

ATTACHMENTS

A - Vicinity Map & Aerial Photo

B - Application

C - Narrative & Plans

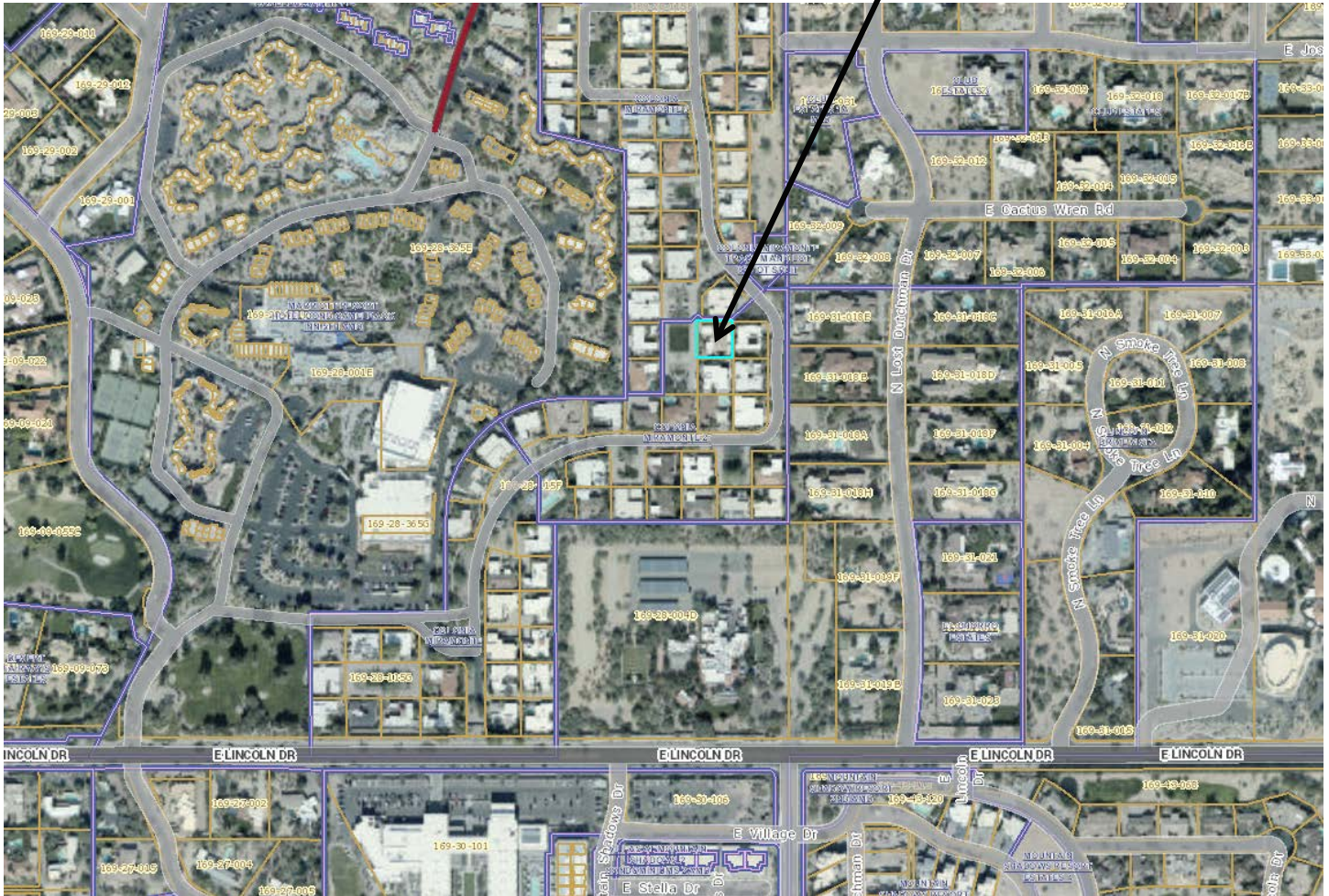
D - Notification Materials

C: Rob Banach (Applicant)
Case File BA-20-03



VICINITY MAP

Subject Property



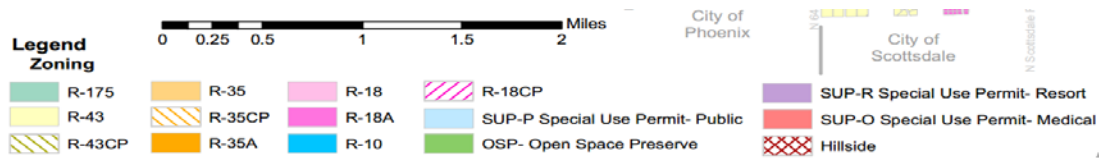
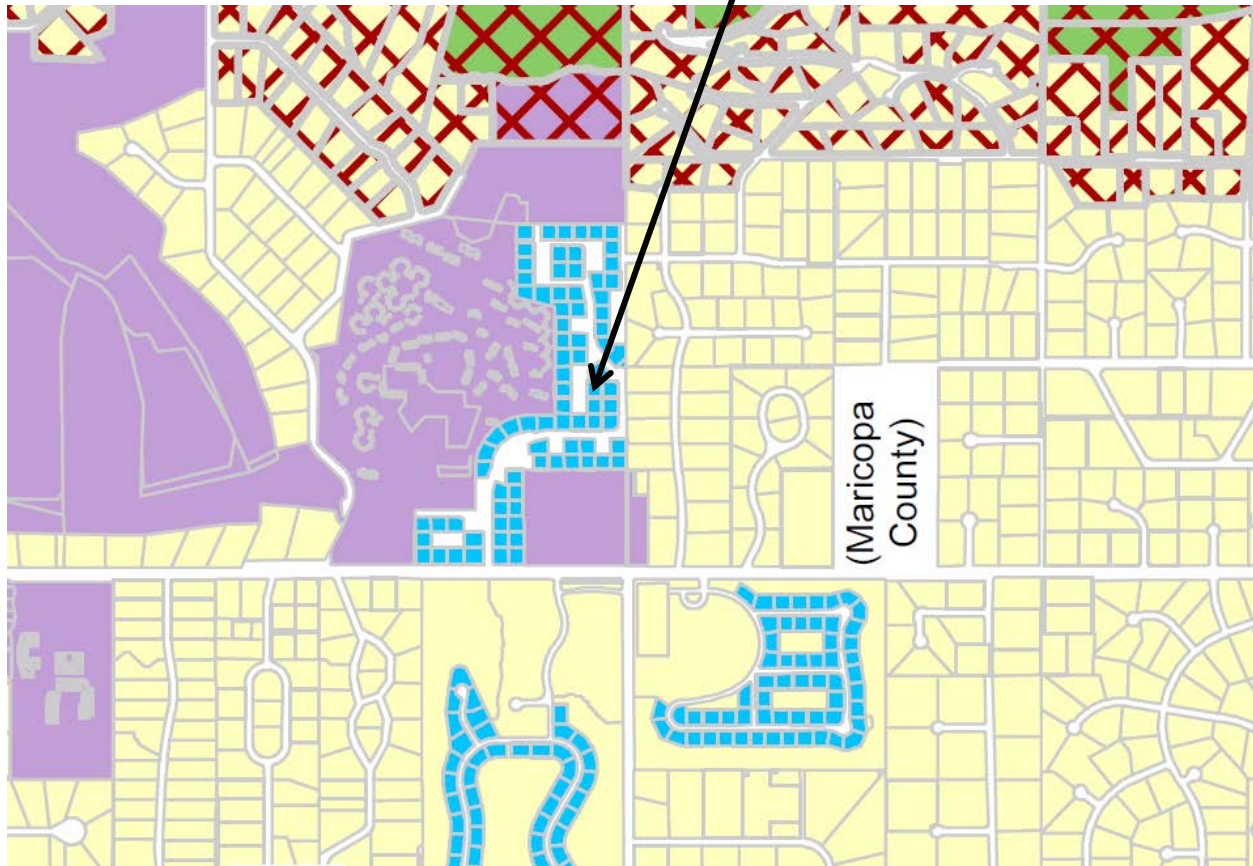
Colonia Miramonte - Lot 49

5434 E Lincoln Drive #49



ZONING

Subject Property



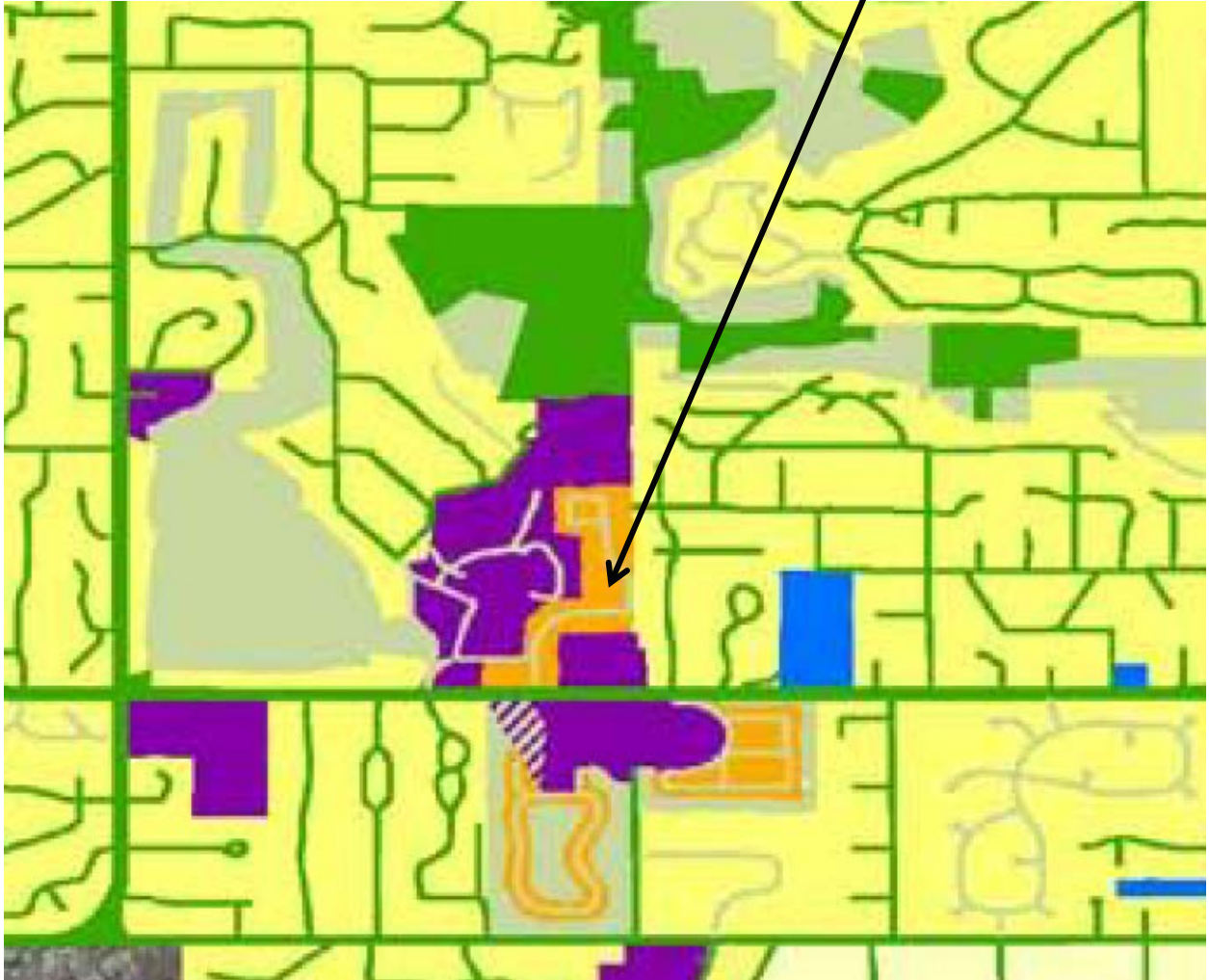
Colonia Miramonte – Lot 49

5434 E Lincoln Drive #49



GENERAL PLAN

Subject Property



Legend

- | | |
|--|---------------------|
| Low Density Residential OR Resort/Country Club | Private Open Space |
| Private Open Space OR Resort/Country Club | Public Open Space |
| Very Low Density Residential | Medical Office |
| Low Density Residential | Public/Quasi Public |
| Medium Density Residential | Resort/Country Club |

Colonia Miramonte – Lot 49

5434 E Lincoln Drive #49

APPLICATION TO BOARD OF ADJUSTMENT FOR VARIANCE

DATE: 07-22-2020

LOCATION OF PROPERTY: 5434 E. Lincoln Dr. #49 Paradise Valley, AZ 85253
ADDRESS

LEGAL DESCRIPTION: Lot forty-nine, (49), Colonia Miramonte unit two, according to the plat of
record in the office of the county recorder of Maricopa County, Arizona, in book 110 of maps, page 3.

OWNER: Rob Banach/ Owner Agent

PRINTED NAME

7144 E. Stetson Dr. #204 Scottsdale, AZ 85251

ADDRESS

X Rob Banach
SIGNATURE

Digitally signed by Rob
Banach
Date: 2020.07.22
11:24:28-07'00'

855-373-9388

PHONE #

ENGINEER/OTHER: Nick Prodanov - LDG

PRINTED NAME

8808 N. Central Ave., Ste. 288, Phoenix, AZ 85020

ADDRESS

X Nick Prodanov
SIGNATURE

602-889-1984

PHONE #

**APPLICANT/
REPRESENTATIVE:** CP Drewett

PRINTED NAME

7144 E. Stetson Dr. #204 Scottsdale, AZ 8525

ADDRESS

X [Signature]
SIGNATURE

855-373-9388

PHONE #

FAX #

THE ABOVE APPLICANT HEREBY APPLIES FOR A VARIANCE AS INDICATED
BELOW IN ACCORDANCE WITH THE ZONING ORDINANCE AND SECTION 2-5-3 OF
THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY.

STATE HARDSHIP INVOLVED OR GROUNDS FOR APPEAL TO THE BOARD OF
ADJUSTMENT. (Please attach additional sheets as necessary).

purveyors of abstract thought

Owner

John and Diane Hogan
6210 N. 51st Place
Paradise Valley, AZ 85253

Project

5434 E. Lincoln Dr. Lot #49
Paradise Valley, AZ 85253

Date

17 September 2019

Owner to Agent Authorization

To Planning & Development Services Department:

I hereby authorize Rob Banach, Project Director of Drewett Works // Architecture to act as my/our agent for the submittal of construction and engineering documents for our home located at 5434 E. Lincoln Dr. Lot #49 Paradise Valley, AZ 85253

We have contracted Drewett Works as the architect for our project and Rob Banach may be listed as the applicant for the building permit process.

Sincerely,



John Hogan



Town of Paradise Valley

PROPOSED RESIDENCE

5434 E. Lincoln Dr. LOT #49
Paradise Valley, AZ 85253

OWNER'S PROPOSED IMPROVEMENTS

The Owner would like to adjust the allowable setbacks for this property to match the design intent of the community.

BACKGROUND AND EXISTING CONDITIONS:

1. The community was built differently than shown on the plat.
 - a. North property line does not match the plat nor the typical 100 x 100 lot size
 - b. Plat did not originally include the existing central green space
 - c. A road was not intended where it currently exists today.
2. Intent of the setbacks is for both sides to total 26 feet
 - a. We are keeping that intent
 - b. We are keeping the same size of buildable area and adjusting its placement on the lot

SCOPE OF THE VARIANCE REQUEST:

The owner would like to request a variance for the building setbacks on the East due to the challenges of this site being built differently than the recorded plat and being different than the neighboring properties. We propose an 8' setback on the East.

VARIANCE CRITERIA:

1. *"Such variance...will serve not merely as a convenience to the applicant, but [is] necessary to alleviate some demonstrable hardship or difficulty so great as warrant a variance under the circumstances."* (Town Code Section 2-5-3(C)2).
 - a. The Homeowners Association for the Colonia Miramonte community will not approve the setbacks allowed by the Town.
 - b. The community is built different than the plat and shows a different front yard for this lot
 - i. Town determined that the North property line was the intended front yard but will not allow the setbacks to rotate with current conditions.



2. The "*special circumstances, hardship, or difficult [do not] arise out of misunderstanding or mistake...*" (Town Code Section 2-5-3(C)4(b)).

- a. We have requested with the Homeowners Association to allow a 6' front setback as indicated on the plat and allowable by the Town. That request was denied, and a signed letter is attached at the end of this package.

3. "Such variance from ... the strict application of the terms of [the Zoning Ordinance] ... are in harmony with its general purposes and intents ..." (Town Code Section 2-5-3(C)2).

- a. Our design intent is to keep the same buildable area as allowable by the R-10 zoning, shifting it to the rear of the property. The attached sheet V3 illustrates the surrounding properties with information on front and rear yard setbacks. There is a clear pattern that emerges showing larger front setbacks and smaller rear setbacks. We would like to match this pattern to create a cohesive Community feel.
- b. The plat shows consistent design intent in which North and South setbacks total 26 feet. Similarly, the East and West setbacks shall also total 26 feet. It is our intent to keep that same design element, and we are requesting 18' in the Front/West and 8' in the Rear/East for a total of 26 feet.

4. "*The special circumstances, hardship or difficulty applicable to the property are [not] self-imposed by the property owner, or predecessor...*" (Town Code Section 2-5-3(C)4).

- a. A request with the Homeowners Association to allow a 6' front setback -- as indicated on the plat and allowed by the Town of Paradise Valley -- was denied. A signed letter is attached at the end of this package.
- b. We have done a full assessment for the 'menu of options' the R-10 zoning offers
 - i. We have done an assessment of this information on V1 attached. We propose to keep the same buildable area allowed, just shift to the East to align with the surrounding community fabric.
 - ii. The fact that the land was developed differently than the plat shows creates issues for those wishing to build in the community. The common green space and road was not indicated on the plat and was originally designed to be two additional residences.



purveyors of abstract thought

5. *Because of special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district.*" (Arizona Revised Statutes 9-462.06(G)(2)).

- a. While examining the neighboring properties -- lots 43, 44, 45, 46, 50 and 51 -- we begin to see a strong pattern of front and rear setbacks which lot 49 does not follow.
 - i. Sheet V3 attached clearly illustrates this information.
- b. We are proposing a healthy front setback from the road to align with the average setbacks in the immediate area.

6. The variance would not "*constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.*" (Arizona Revised Statutes 9-462.06(G)(2)).

- a. This variance request will keep the same buildable area as shown on the plat.
 - i. The buildable area will only be pushed to the East to align with adjacent properties.
 - a. Diagram attached which illustrates this point
- b. We will be keeping the design intent of the community by aligning setbacks of Lot 49 with adjacent properties which have larger offsets from the roads.
- c. We have received written approval from all affected neighbors to Lot 49. These approvals clearly indicate the new setbacks and building design. This includes Lot 46, 50, and 51.
 - i. A front setback of 6' would create a heavy hinderance on the views for the neighboring Lot 51 due to their required 24' front setback.
 - ii. This information is illustrated on sheet V2 attached.

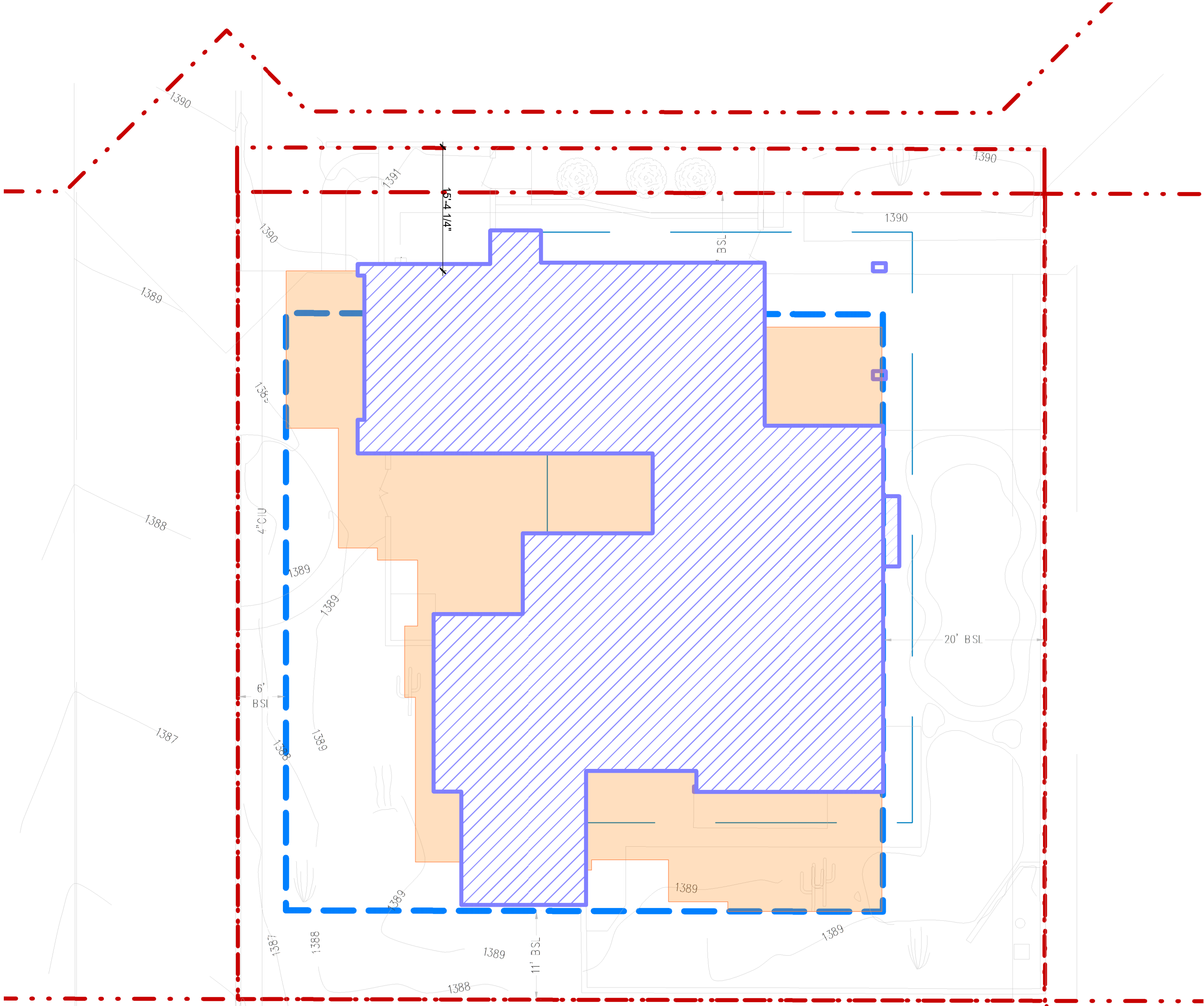
SUPPLEMENTAL INFORMATION ATTACHED:

The following exhibits will illustrate the points above

- 1. Comparing existing survey conditions and recorded plat
- 2. Illustrate our intent to align with surrounding neighbors
- 3. Study comparing conditions of adjacent neighbors
- 4. Site information and square footage calculations
- 5. HOA letter denying 6' front setback
- 6. Written approvals of setback variance from neighboring properties

SITE PLAN LEGEND

- BUILDING FOOTPRINT OF PROPOSED HOME
- COMMON GREEN SPACE
- BUILDING SETBACK LINE
- PROPERTY LINE
- BUILDING FOOTPRINT OF EXISTING HOME
- BUILDING FOOTPRINT OVER SETBACK
- UNDER ROOF SQFT OVER SETBACK
- EASEMENTS

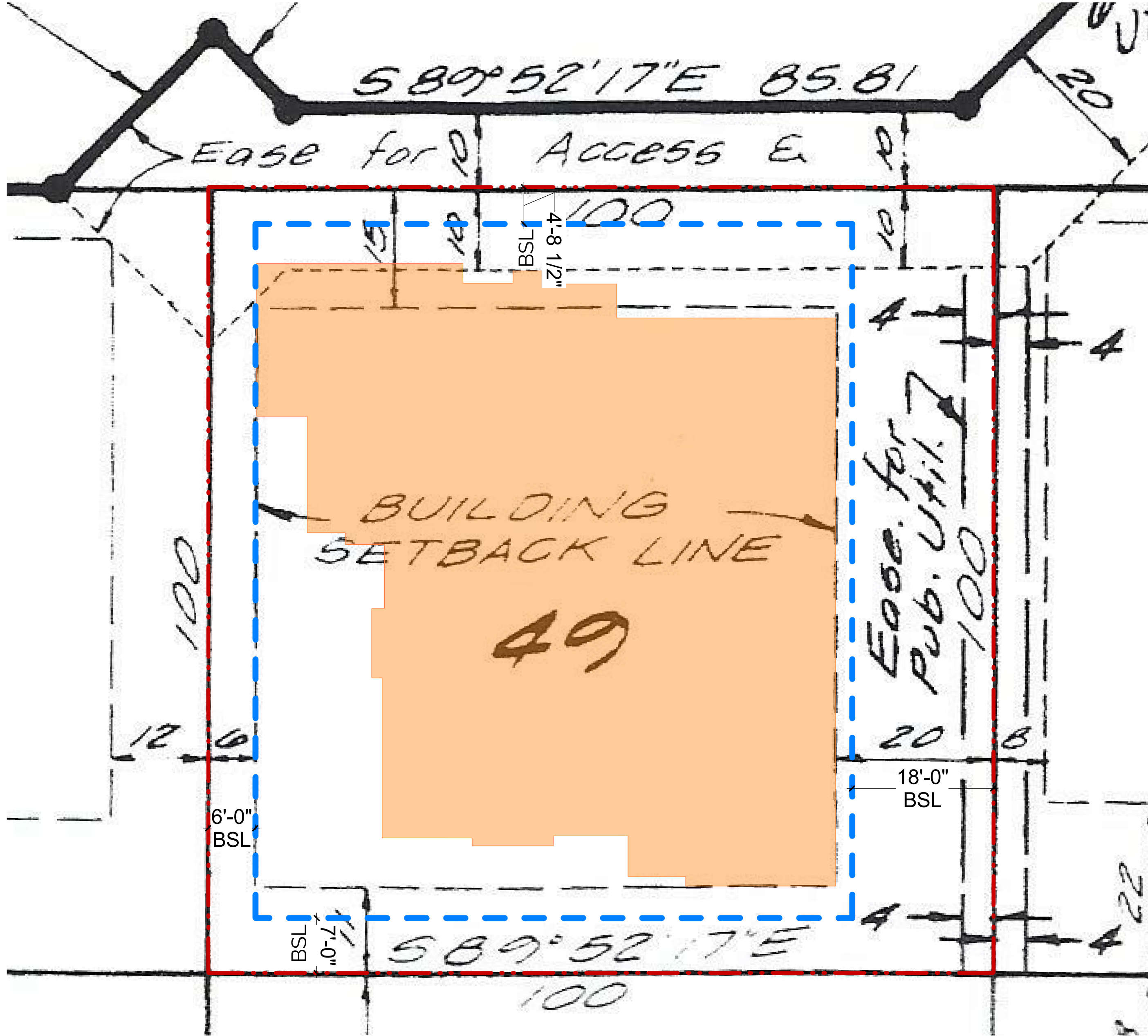


THIS PLAN ILLUSTRATES THE EXISTING SITE CONDITIONS. THE PURPLE OUTLINE WITH DIAGONAL HATCH SHOWS THE FOOTPRINT OF THE EXISTING HOME. THE REGION SHADED IN ORANGE ILLUSTRATES THE PROPSED DESIGN WHICH FITS WITHIN THE CURRENT SETBACKS.

THE NORTH BUILDING LIMIT IS WITHIN THE LIMITS OF THE EXISTING STRUCTURE.

OUR INTENT IS TO PUSH THIS SAME FOOTPRINT TO THE EAST IN ORDER TO ALIGN WITH NEIGHBORING PROPERTIES AND THE INTENT OF THE COMMUNITY FABRIC TO HAVE AN OFFSET FROM THE VEHICULAR STREET.

DIAGRAM - EXISTING SURVEY
1" = 10'-0"



THIS PLAN ILLUSTRATES THE RECORDED PLAT WITH THE MINIMUM SETBACKS INDICATED WITH A BLUE DASH WHICH MEETS THE TOWN OF PARADISE VALLEY R-10 ZONING STANDARDS. REFER TO THE TABLE BELOW. THE VARIANCE REQUEST WILL NOT RESULT IN AN INCREASED BUILDING AREA.

DIAGRAM - MINIMUM SETBACKS
1" = 10'-0"

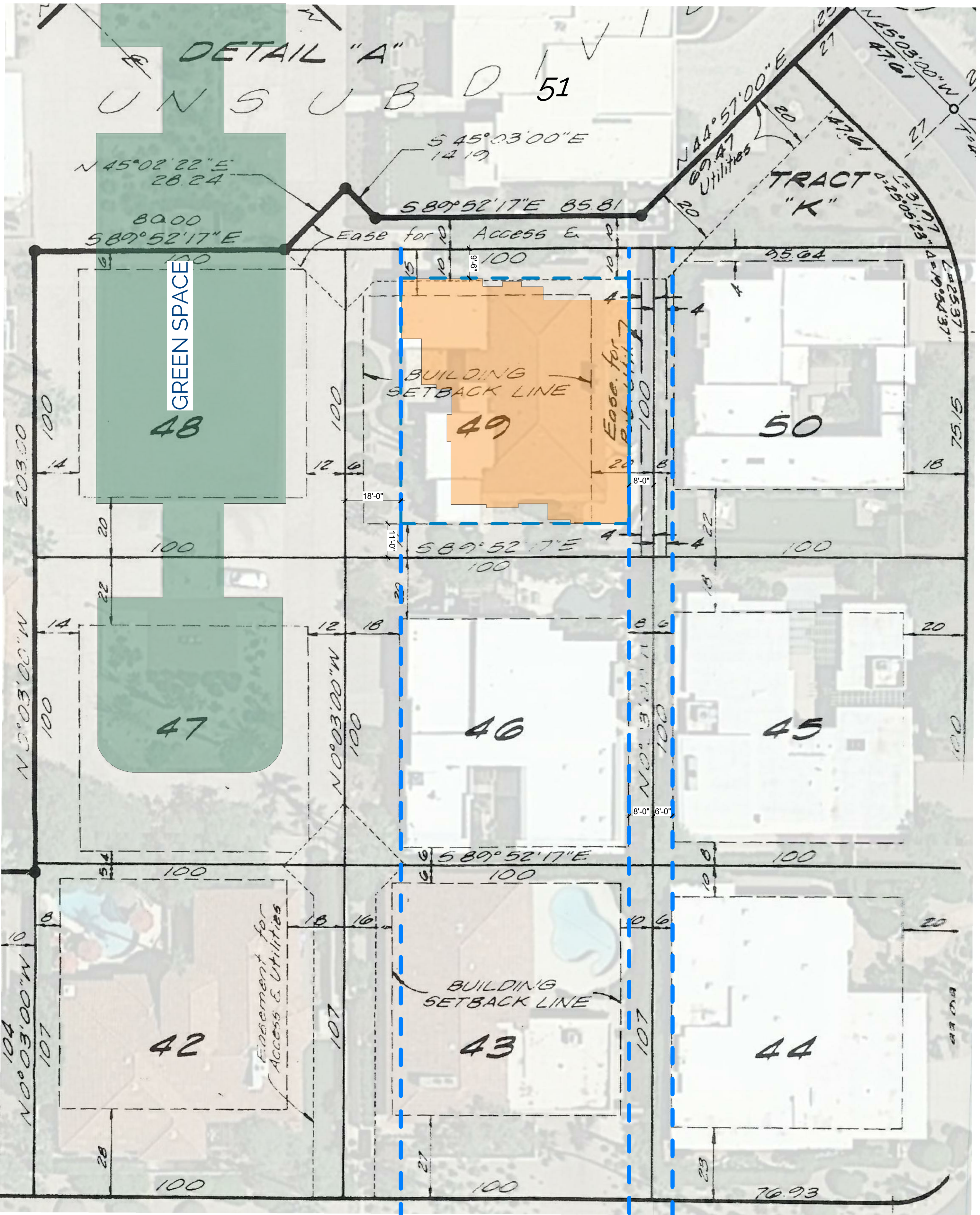
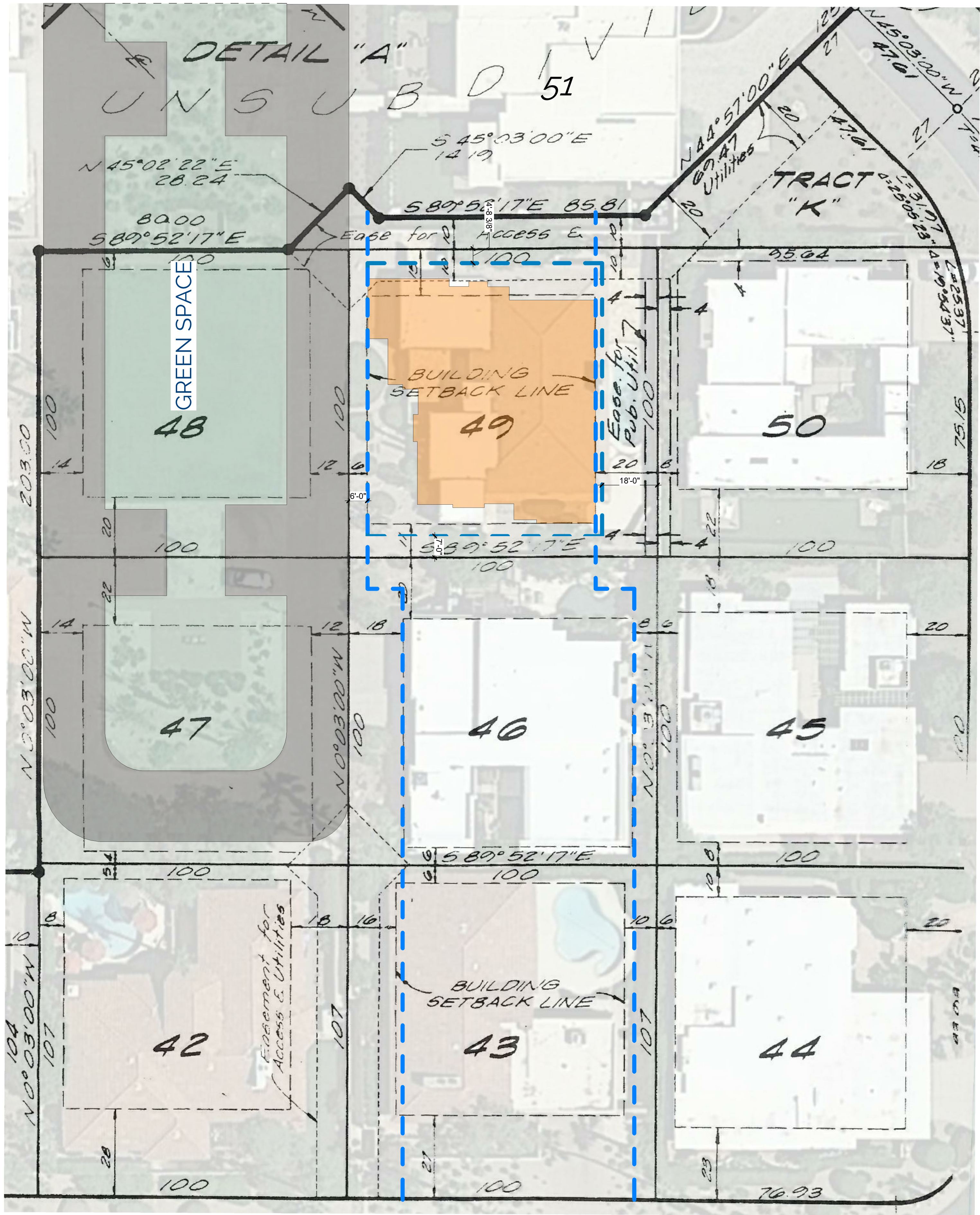
COLONIA MIRAMONTE - LOT 49
R-10 ZONING

	NORTH SIDE	EAST REAR	SOUTH SIDE	WEST FRONT	COMMENTS
CODE	7	25	7	20	55' x 86' BUILDABLE
PLAT	15	20	11	6	N/S AND E/W = 26' TOTAL
EXISTING: SITE SURVEY	4.7	18	11	15	10' OVER ON NORTH (SIDE) 2' OVER EAST (REAR)
PROPOSED	9.5 15' TO SITE WALL	8	11	18	N/S AND E/W = 26' TOTAL

FOR	VARIANCE REVIEW
DATE	7-22-2020
REV.	

SETBACK COMPARE
DIAGRAMS





SITE PLAN LEGEND

- BUILDING FOOTPRINT OF PROPOSED HOME
- COMMON GREEN SPACE
- BUILDING SETBACK LINE
- PROPERTY LINE
- BUILDING FOOTPRINT OF EXISTING HOME
- BUILDING FOOTPRINT OVER SETBACK
- UNDER ROOF SOFT OVER SETBACK
- EASEMENTS

HISTORIC PLANS
1" = 20'-0"

- Pushed closer to street than surrounding homes
- Diminishes views from Lot 51
- A 6 foot front setback mandates an encroachment closer to the street than all adjacent properties

PROPOSED SETBACKS
1" = 20'-0"

- Aligns with surrounding setbacks
- Preserves views for Lot 51 (North)
- Comfortable distance away from road

The construction of this community did not coincide with the original Master Plan dated 1969. A new Master Plan was never recorded reflecting the developed central green space and revised front yard setbacks of the current homes.

We wish to increase the front setback so that our project will seamlessly fit into the community as it currently exists. In increasing the front setback, we will also need to decrease the rear setback allowing us to push the house further back from the street and allow it to more closely align with the adjacent homes. There would be no increase in building area as a result of these setback changes. Additionally, the setback change would preserve Camelback Mountain views for the neighboring properties.

FOR	VARIANCE REVIEW
DATE	7-22-2020
REV.	

ALIGN WITH NEIGHBORS



V2

SITE PLAN LEGEND

- BUILDING FOOTPRINT OF PROPOSED HOME
- COMMON GREEN SPACE
- BUILDING SETBACK LINE
- PROPERTY LINE
- BUILDING FOOTPRINT OF EXISTING HOME
- BUILDING FOOTPRINT OVER SETBACK
- UNDER ROOF SOFT OVER SETBACK
- EASEMENTS

Lot #	Front Setback
43	27
44	23
45	20
46	18
49	6
50	18
Average	18.7
Proposed	18'

Lot #	Rear Setback
43	6
44	6
45	6
46	8
49	20
50	8
Average	9
Proposed	8'

Our design intent is to keep front and rear setbacks aligned with adjacent neighbors.

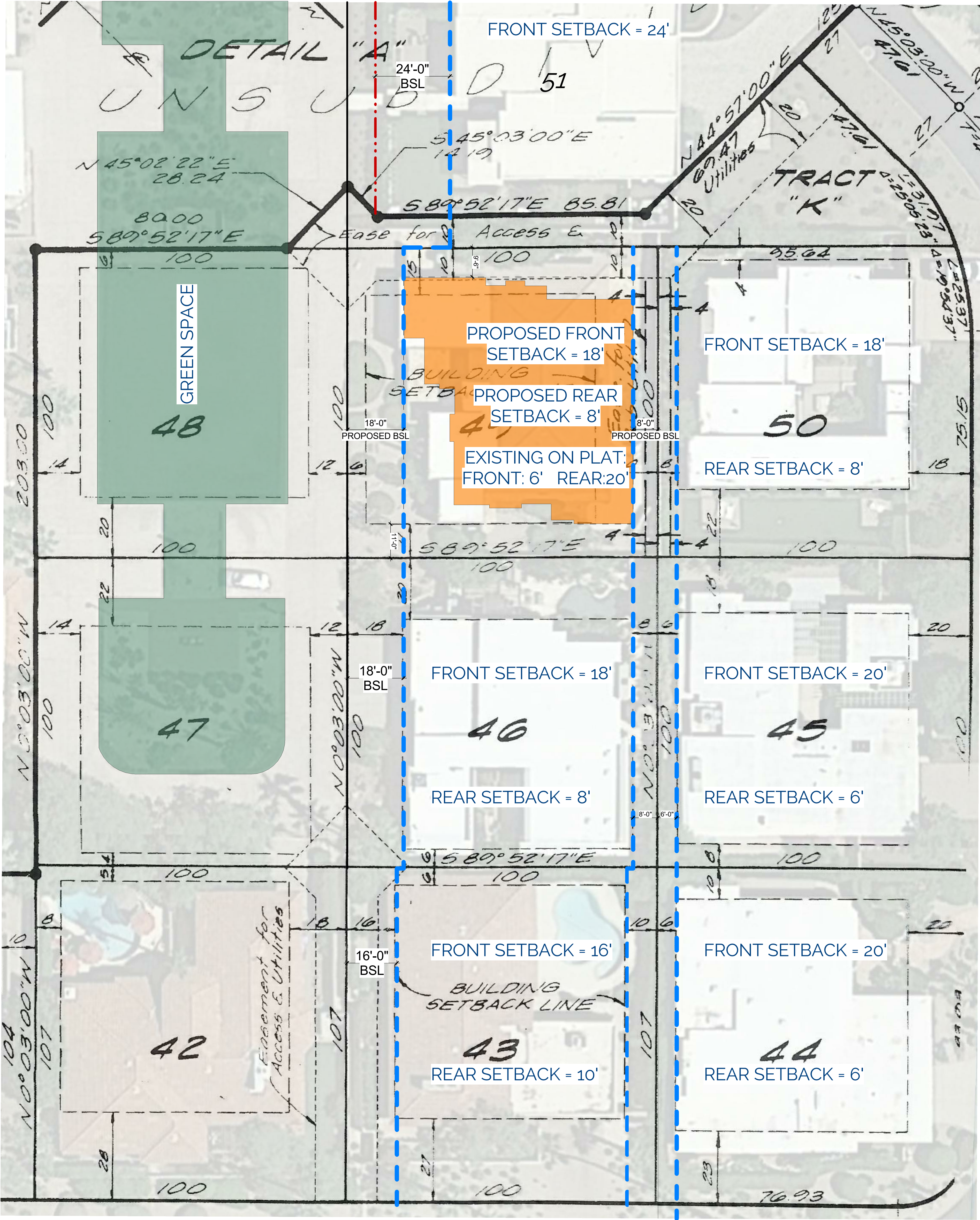
The table illustrates the inconsistent front and rear setbacks with adjacent properties. The variance will result in a consistent road frontage and rear yard adjacencies.

FOR	VARIANCE REVIEW
DATE	7-22-2020
REV.	

SAME INTENT AS NEIGHBORS



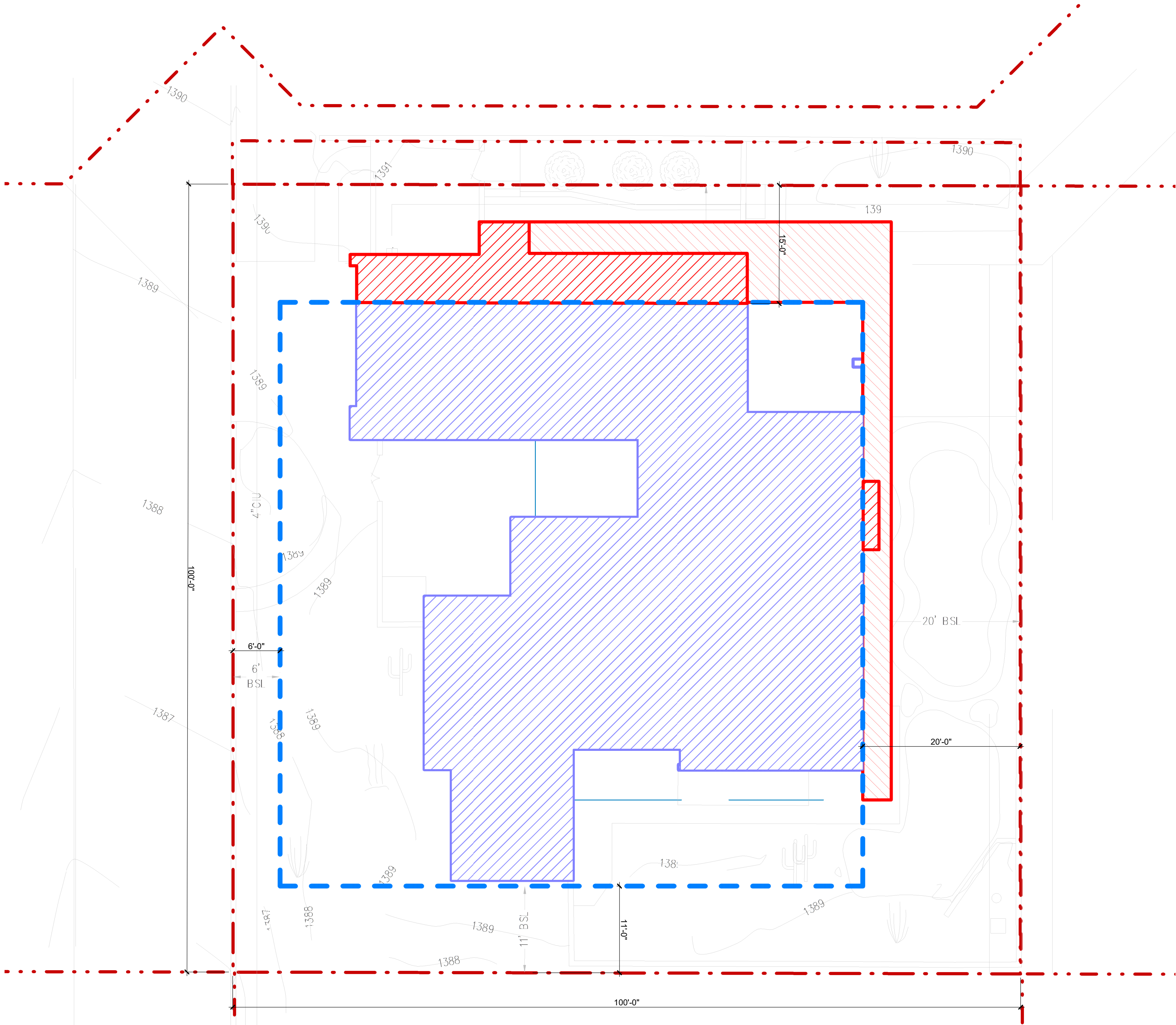
V3



DESIGN INTENT WITH NEIGHBORS
1/16" = 1'-0"

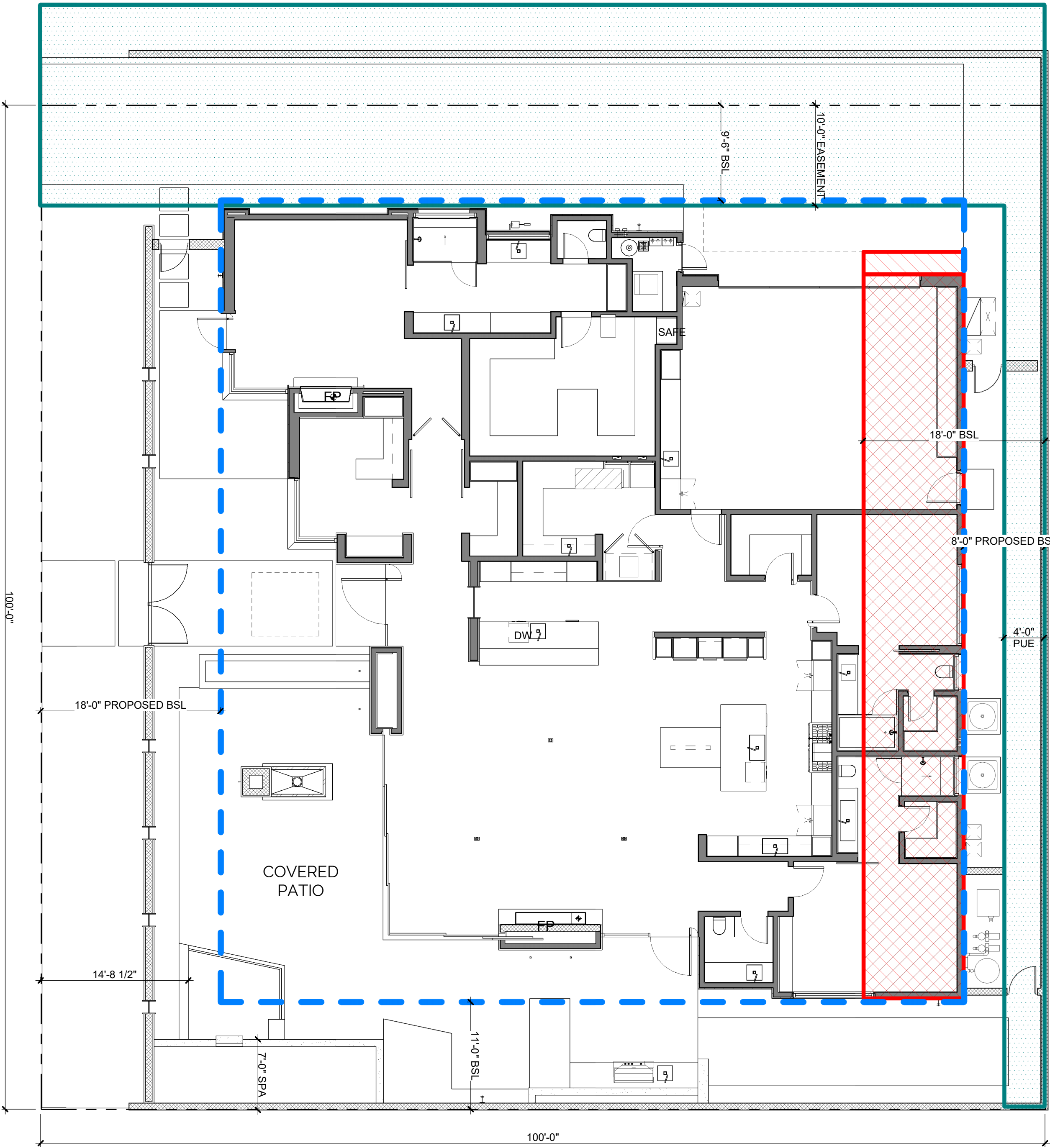
SITE PLAN LEGEND

- BUILDING FOOTPRINT OF PROPOSED HOME
- COMMON GREEN SPACE
- BUILDING SETBACK LINE
- PROPERTY LINE
- BUILDING FOOTPRINT OF EXISTING HOME
- BUILDING FOOTPRINT OVER SETBACK
- UNDER ROOF SQFT OVER SETBACK
- EASEMENTS



THE EXISTING HOME IS 4,421 SQFT UNDER ROOF. AS IT CURRENTLY STANDS, 19.5% OF THAT AREA UNDER ROOF EXCEEDS PAST THE EDGES OF SETBACKS. THE AREA(S) ARE HATCHED IN THE EXISTING PLANS ABOVE. THIS IS 6.9% MORE THAN OUR PROPOSED DESIGN, OR 120SQFT MORE.

EXISTING PLANS
1/8" = 1'-0"



THE PROPOSED DESIGN WILL BE 5859 SQFT UNDER ROOF. WE ARE REQUESTING THAT 12.2% OF THAT BE ALLOWED OVER THE SETBACK AS A VARIANCE. THE AREA WE ARE REQUESTING IN HATCHED IN THE PLAN ABOVE. THIS IS 6.9% LESS THAN THE EXISTING HOUSE.

PROPOSED FLOOR PLAN
1/8" = 1'-0"

COLONIA MIRAMONTE - LOT 49
R-10 ZONING

	EXISTING HOME	PROPOSED HOME
TOTAL BUILDING SQFT UNDER ROOF	4,421	5,859
BLDG SQFT OVER SETBACK	354	718
% BUILDING OVER SETBACK	354/4,421 8%	718/5,859 12.2%
UNDER ROOF OVER SETBACK	860	740
% UNDER ROOF OVER SETBACK	860/4,421 19.5%	740/5,859 12.6%

	NORTH SIDE	EAST REAR	SOUTH SIDE	WEST FRONT	COMMENTS
CODE	7	25	7	20	55' x 86' BUILDABLE
PLAT	15	20	11	6	N/S AND E/W = 26' TOTAL
EXISTING: SITE SURVEY	4.7	18	11	15	10' OVER ON NORTH (SIDE) 2' OVER EAST (REAR)
PROPOSED	9.5 15' TO SITE WALL	8	11	18	N/S AND E/W = 26' TOTAL

FOR	VARIANCE REVIEW
DATE	7-22-2020
REV.	

7/17/19

Colonia Miramonte
Design Review

LOT 49: E/W Setback Variance Request with Attachments

Request: DRC APPROVED
Setbacks: E 8' new setback as requested
W 18' new setback as requested
N 15' as existing
S 11' as existing

10/28/19 – see update below re:
NORTH setback change

The variance approval is for the EAST and WEST setbacks only. North and South stay per original plat.

New build to have straight parapets on north and east elevations, that is, no overhangs, per notes in overhang exhibit/study in variance request. Overhangs on the property will be no more than the TOPV allowance; an overhang on west/south setback to be no more than 24".

The variance request has been approved by neighboring properties 51, 50 and 46.

The three lot owners were provided the variance document study. The three lot owners were provided the opportunity to meet with Design Review members in person or by phone to review the request, and answer any questions or concerns regarding the variance request. Focus Management was also available to answer any questions or concerns.

No construction plans have been reviewed or approved. Construction building plans and schedules must follow Colonia Miramonte CCRs and Design Review Guidelines.

New landscape on any new build needs to be reviewed/approved by the Design Review Committee — we ask neighbors to be mindful of all neighboring views during their landscape design. There are height limits on trees that may be planted. Landscape and Tree Policy to be followed—found in Design Review Guidelines.

The lot 49 new build must still comply with all town setback and restrictions regardless of what has been approved by the CM Design Review Board re: setback variance.

10/28/19

CM DRC Meeting with Drewett Architect

North Setback: request change to 9'6", variance approved. North setback is from legal property line not the existing building site wall. 49 Lot requests use of 5 ½' of land for access to the property, keeping site wall in existing position. 49 Lot to be granted use as access easement to their property – they will not own the property. Drewett Architects Civil Engineer to draft a document for Colonia Miramonte to review.

OK
Marty Rodman
11/1/19



DREWETT WORKS // ARCHITECTURE
114 E. REDONDA, SUITE 100
COSTA MESA, CA 92626
714.441.1141 & 714.441.1142
WWW.DREWETTWORKS.COM

SQUARE FOOTAGE

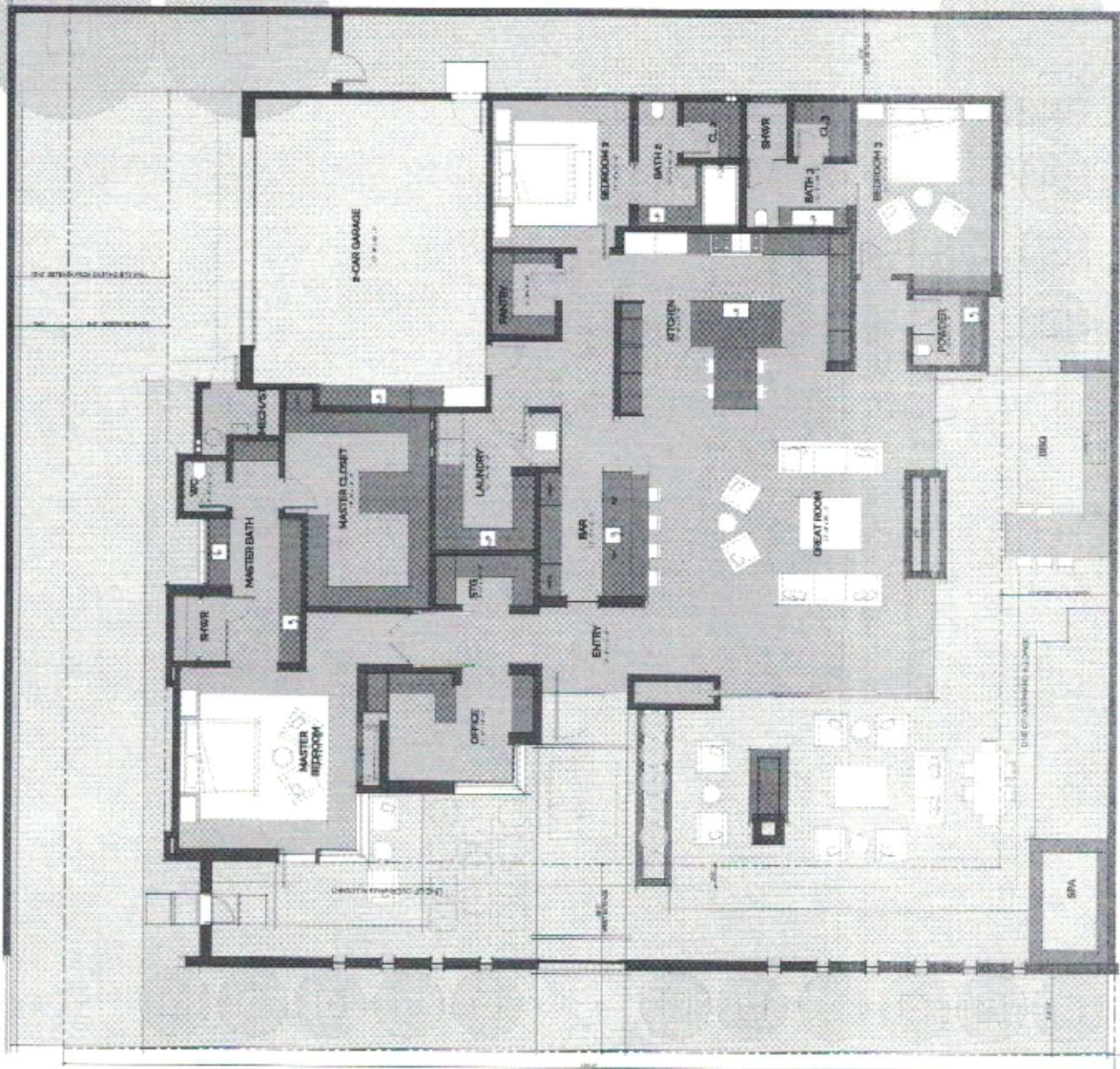
3,858 CONDITIONED
472 GARAGE/STG
1,570 COVERED PATIO
5,900 UNDER ROOF

LOT 49 COLONIA MIRAMONTE

DESIGN DEVELOPMENT
DATE: 10/1/19
REV: 1

FLOOR PLAN - MAIN

DR202



FLOOR PLAN
1/4" = 1'-0"

OK Marty Rodman
11/1/19

Harman Cadis

From: Giora Ben-Horin
Sent: Wednesday, July 17, 2019 11:54 PM
To: Harman Cadis
Subject: Re: Lot 49 Approval.

We are ok.

Sent from my iPad

On Jul 16, 2019, at 10:00 AM, Harman Cadis

wrote:

Ben,

Please email be back that you are ok with the proposed setback changes to lot 49.

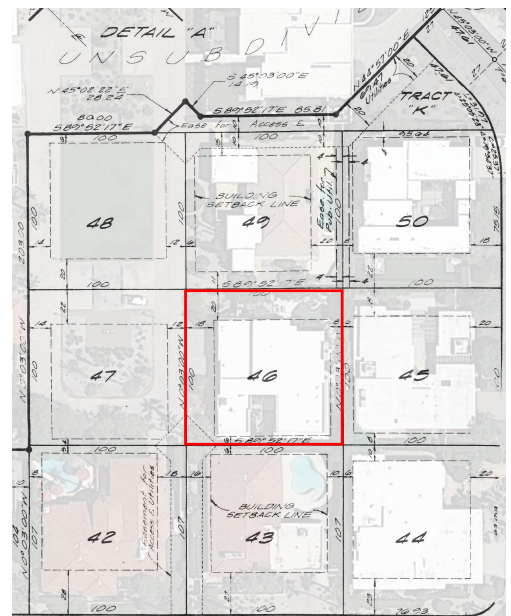
Thanks!

Best Regards,

Harman Cadis

www.FocusHOA.com

WRITTEN APPROVAL OF SETBACK FROM LOT 46



Harman Cadis

From: Eric Danziger
Sent: Wednesday, July 17, 2019 10:00 AM
To: Harman Cadis
Cc: JLD
Subject: Re: CM Lot 49

Fine with previous comments made

Thanks

E

On Wed, Jul 17, 2019 at 6:57 AM Harman Cadis

wrote:

Eric,

Do you have any further concerns we may address? If not, may we have your approval?

Best Regards,

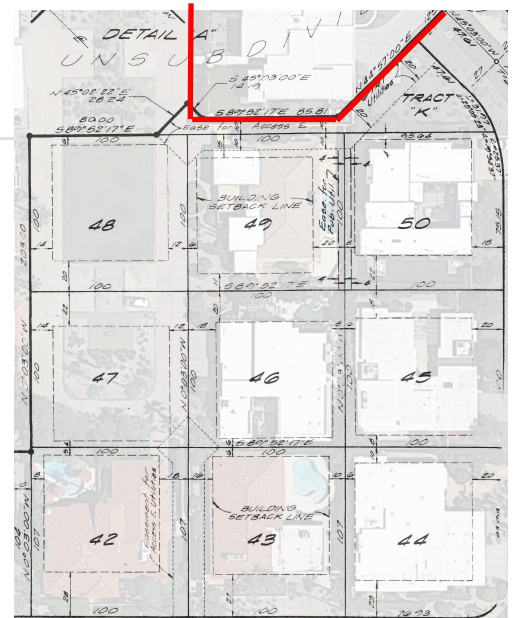
Harman Cadis

www.FocusHOA.com

From: Harman Cadis
Sent: Tuesday, July 16, 2019 9:03 AM
To: Eric Danziger
Cc: JLD
Subject: RE: CM Lot 49

Eric,

WRITTEN APPROVAL OF SETBACK FROM LOT 51



Very valid concerns.

This may answer your questions and alleviate your concerns:

1. The north setback of lot 49 will remain at 15' — that is, no change.
2. Any overhangs on the property will be no more than the TOPV allowance. We do not expect any overhangs on the north and east sides of the new build on lot 49.
3. New landscape on any new build needs to be approved by the Design Review Committee — we ask neighbors to be mindful of all neighboring views during their landscape design. There are height limits on trees that may be planted.

Please let me know if this helps.

Best Regards,

Harman Cadis

www.FocusHOA.com

From: Eric Danziger
Sent: Monday, July 15, 2019 6:30 PM
To: Harman Cadis
Cc: JLD
Subject: Re: CM Lot 49

Thanks.

1. Large tree an obstruction .
2. And overhand on the north side should only be only 2" as allowed by PV. Anything more impairs is .

Harman Cadis

From: JERRY
Sent: Tuesday, July 16, 2019 3:11 PM
To: Harman Cadis
Subject: Re: Lot 49 Approval.

IT IS OKAY WITH ELAINE AND I WITH THE SET BACKS ON LOT 49.

JERRY WEISS LOT 50



-----Original Message-----

From: Harman Cadis
To:
Sent: Tue, Jul 16, 2019 10:47 am
Subject: Lot 49 Approval.

Jerry,

Please email be back that you are ok with the proposed setback changes to lot 49.

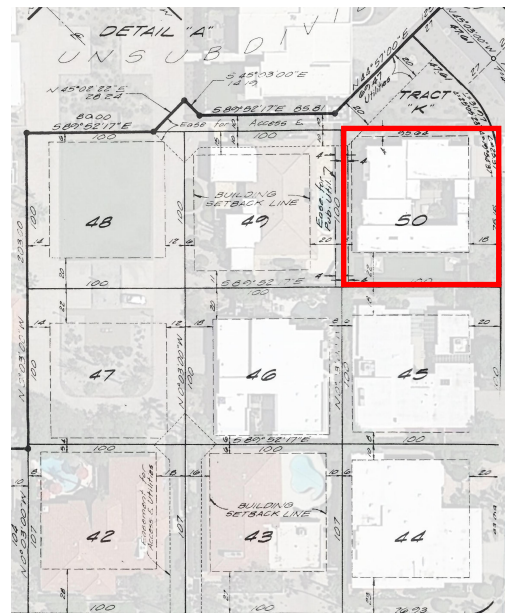
Thanks!

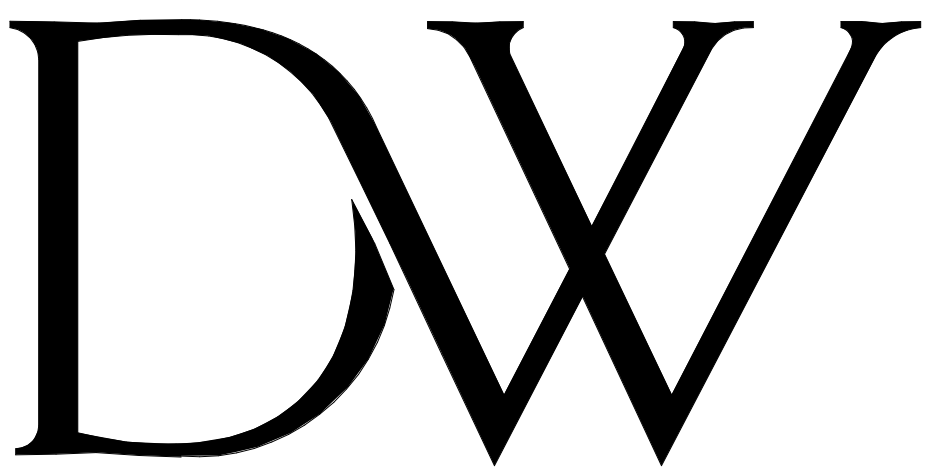
Best Regards,

Harman Cadis

www.FocusHOA.com

WRITTEN APPROVAL OF SETBACK FROM LOT 50





DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM

5434 E LINCOLN DR LOT #49
PARADISE VALLEY, AZ 85253

OWNER

HOGAN LIVING TRUST
4848 E CACTUS RD STE 505 PMB 209
SCOTTSDALE AZ 85254
PHONE: 908-202-3221

DESIGN

DREWETT WORKS
C.P. DREWETT
7144 E STETSON DR, SUITE 204
SCOTTSDALE, AZ 85251
PHONE: (855) 373-9388

CONSULTANTS

STRUCTURAL ENGINEER

PH STRUCTURAL
2812 N NORWALK, SUITE 114
MESA, AZ 85215
PHONE: 480-864-3343

CIVIL ENGINEER

LAND DEVELOPMENT GROUP LLC
8808 N CENTRAL AVENUE, SUITE 288
PHOENIX, AZ 85020
PHONE: 602-888-1884

MPE ENGINEER

OSE DESIGN GROUP, LLC
11759 N 143RD AVE
SURPRISE, AZ 85379
PHONE: 623-444-6143

LANDSCAPE ARCHITECT

GREEY PICKETT
7144 E STETSON DR #205
SCOTTSDALE, AZ 85251
PHONE: 480-698-0109

INTERIOR DESIGNER

OWNBY DESIGN
7154 E STETSON DR, SUITE D105
SCOTTSDALE, AZ 85251
PHONE: 480-575-8448

LIGHTING DESIGNER

CREATIVE DESIGNS IN LIGHTING
15882 N 78TH STREET, SUITE A
SCOTTSDALE, AZ 85260
PHONE: 602-246-7622

GENERAL CONTRACTOR

BEDBROCK DEVELOPERS
5203 E LINCOLN DR
PARADISE VALLEY, AZ 85253
PHONE: 602-983-3232

ZONING

R-10

APN

169-28-060

LEGAL ADDRESS

5434 E LINCOLN DR, LOT #49
PARADISE VALLEY, AZ 85253

NET SITE AREA

10,550 SF

FOR VARIANCE REVIEW

DATE 7-22-2020

REV.

ARCH. SITE PLAN



19-15

LOT 49 COLONIA MIRAMONTE



ARCHITECTURAL SITE PLAN
1/4" = 1'-0"

SQUARE FOOTAGE

LIVABLE	3648 SF
GARAGE, MECHANICAL, STORAGE	728 SF
COVERED PATIO	1283 SF
TOTAL	5659 SF



FLOOR PLAN
1/4" = 1'-0"

LOT 49 COLONIA MIRAMONTE

FOR VARIANCE REVIEW

DATE 7-22-2020

REV.

FLOOR PLAN - MAIN



DR202



DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM



533 E LINCOLN DR LOT #49
PARADISE VALLEY, AZ 85253

GENERAL NOTES

- G-1 MAG ONE-COAT STUCCO COMPLIANCE PROGRAM:
ALL ONE-COAT STUCCO SYSTEMS SHALL BE
APPLIED BY MFR. APPROVED INSTALLERS. AN
APPROVED WEATHER RESISTIVE BARRIER SHALL
BE APPLIED OVER ALL FRAMING AND WOOD BASED
SHEATHING. ONE-COAT STUCCO SYSTEM SHALL
BE "WESTERN ONE KOTE" STUCCO SYSTEM (ICC
ESR # 1607). THIS ONE-COAT STUCCO SYSTEM
SHALL BE APPLIED OVER A WEATHER RESISTIVE
BARRIER CONFORMING TO IRC R 703.8
G-2 PROVIDE WEATHER FLASHING/PROOFING AT
EXTERIOR WALL PENETRATIONS, INCLUDING
WINDOWS, DOORS AND VENTS PER R703.8
G-3 PAINT ALL UTILITARIAN METAL TO MATCH STUCCO
U.N.O.
G-4 WEEP SCREED TO BE INSTALLED PER IRC
R703.6.2.1
G-5 STUCCO/PLASTER FINISH MATERIAL TO BE
INSTALLED PER IRC R703.6.2
G-6 THE AREA AROUND THE STRUCTURE MUST BE
GRADED TO DRAIN 6" DOWN WITHIN THE FIRST 10'
AWAY FROM THE STRUCTURE

WINDOW NOTES

- W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE
OPENABLE OR EXTERIOR WINDOW OR DOOR FOR
EMERGENCY ESCAPE OR RESCUE. THE OPENING
SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR
OPENING. THE OPENING SHALL PROVIDE A MIN. OF
24" CLEAR OPENING HEIGHT AND 20" CLEAR
OPENING WIDTH. WHERE WINDOWS ARE
PROVIDED AS A MEANS OF ESCAPE OR RESCUE,
THE FINISH SILL HEIGHT SHALL NOT EXCEED 44"
ABOVE FINISH FLOOR.

MATERIAL LEGEND

- STUCCO TO COMPLY WITH G1
COLOR TBD - DESERT TONE LRV BTWN 25-50
ESR #1607
METAL FASCIA T.B.D.
ESR #2048
ACM BID ALTERNATE - VERIFY WITH OWNER
WOOD FINISH PER INTERIORS
GLASS
NON REFLECTIVE
ADHERED STONE VENEER
18" x 36" LIMESTONE

FOR VARIANCE REVIEW

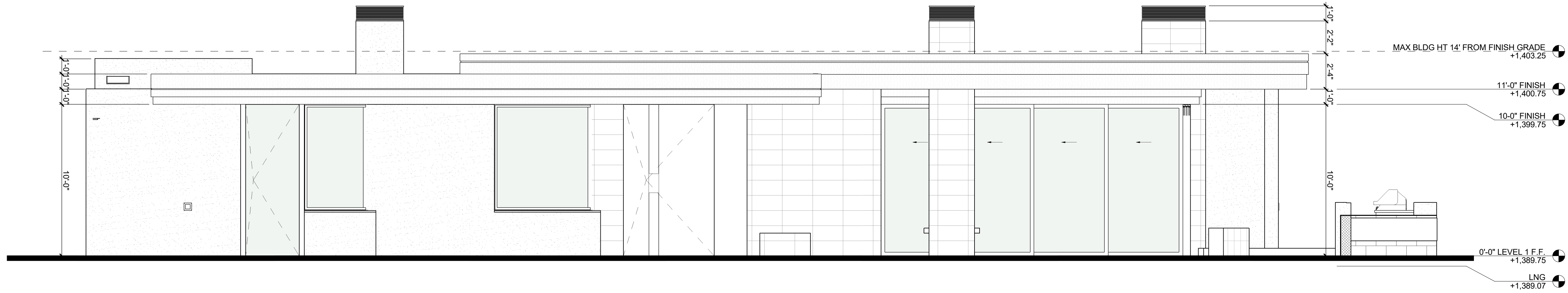
DATE 7-22-2020

REV.

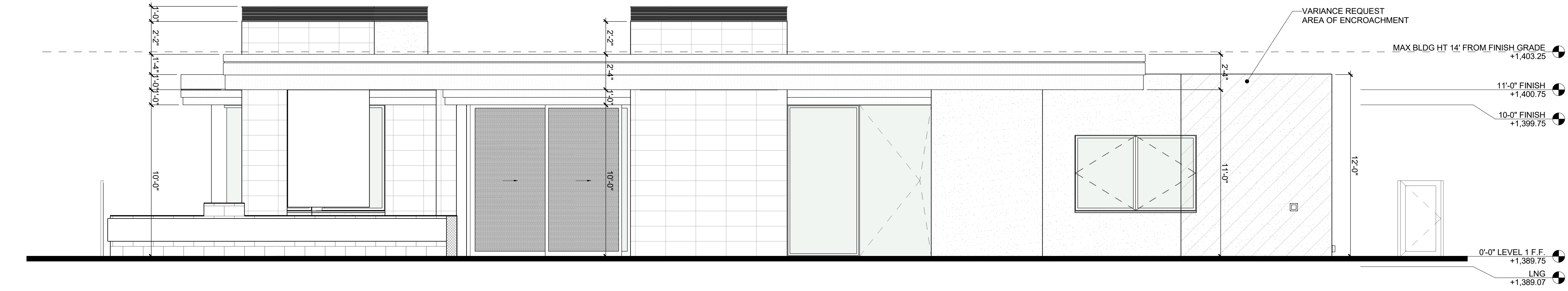
EXTERIOR ELEVATIONS



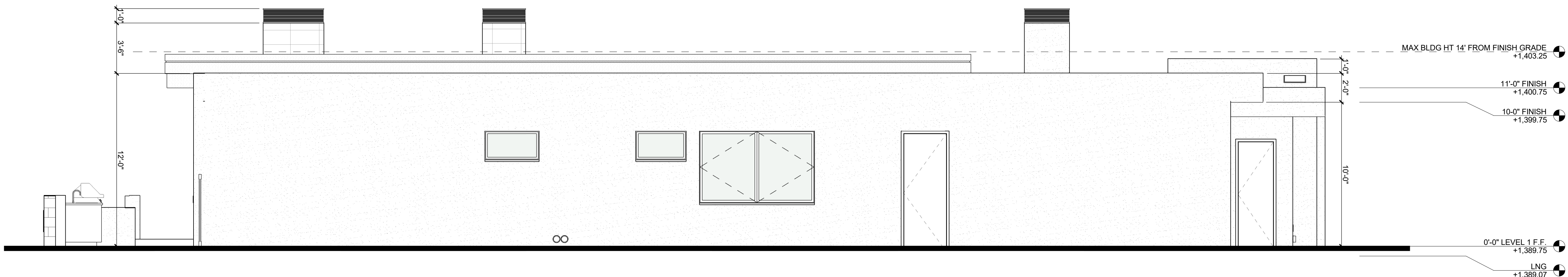
A6.1



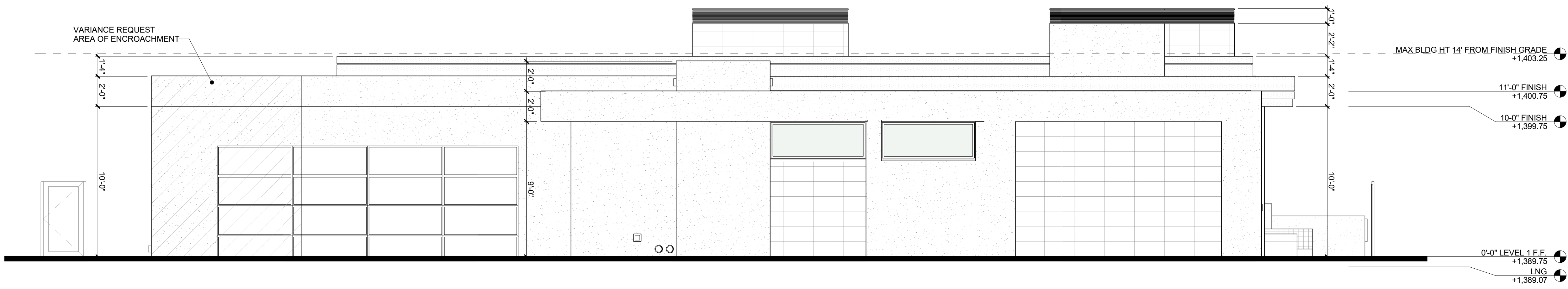
[1] WEST ELEVATION
1/4" = 1'-0"



[2] SOUTH ELEVATION
1/4" = 1'-0"



[3] EAST ELEVATION
1/4" = 1'-0"



[4] NORTH ELEVATION
1/4" = 1'-0"

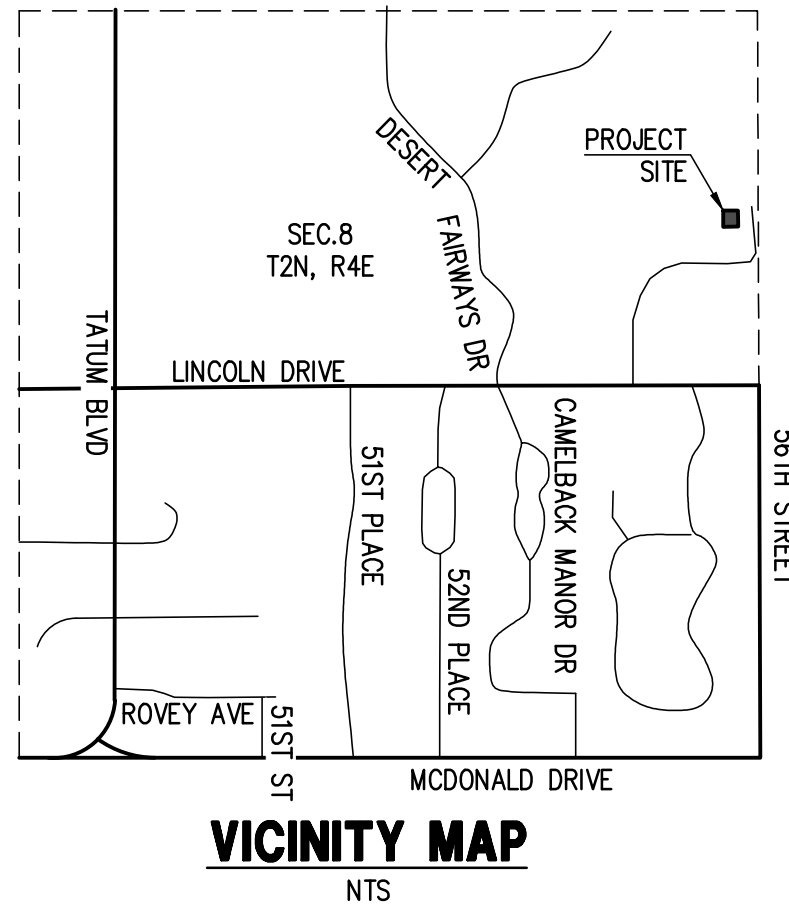
LOT 49 COLONIA MIRAMONTE

RESULTS OF SURVEY

5434 E LINCOLN DR 49., PARADISE VALLEY, AZ 85253

LOT 49 - COLONIA MIRAMONTE UNIT TWO

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 03, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 8, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER

HOGAN LIVING TRUST
4848 E CACTUS RD STE 505 PMB 209,
SCOTTSDALE, AZ 85234

SITE DATA

APN: 169-28-060
ADDRESS: 5434 E LINCOLN DR 49.,
PARADISE VALLEY, AZ 85253
ZONING: R-10
LOT AREA: 10,000.05 S.F. (0.230 AC.)
CONSTRUCTION YEAR: 1967
QS #: 22-40

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND LINCOLN DRIVE HAVING AN ELEVATION OF 1363.43 NAVD 88 DATUM, GDACS# 26101-1

BASIS OF BEARINGS

THE MONUMENT LINE OF COLONIA MIRAMONTE 1 (PRIVATE DRIVE SHOWN ON PLAT), THE BEARING OF WHICH IS N00°12'25"W.

LEGAL DESCRIPTION

PARCEL 1:
LOT FORTY-NINE, (49), COLONIA MIRAMONTE UNIT TWO, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 110 OF MAPS, PAGE 3.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR ROADWAY PURPOSES AND RIGHTS INCIDENT THERETO AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 5741, PAGE 159.

PARCEL 2:
EASEMENT FOR INGRESS AND EGRESS OVER CERTAIN PORTIONS OF LOT 47 AND LOT 48, COLONIA MIRAMONTE UNIT TWO, A SUBDIVISION RECORDED IN BOOK 110 OF MAPS, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 6347, PAGE 277.

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL 825-08-01-04.
- WARRANTY DEED RECORDED IN DOC. NO. 2019-0566741
- RECORDED PLAT PER BOOK 110 OF MAPS, PAGE 03, M.C.R.

UTILITIES

WATER: EPCOR
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

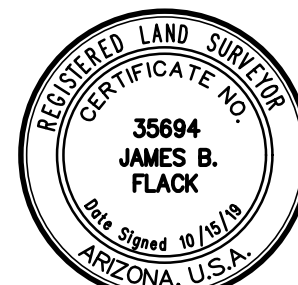
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1765 OF 4425		N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF SEPTEMBER, 2019.



JAMES FLACK, RLS

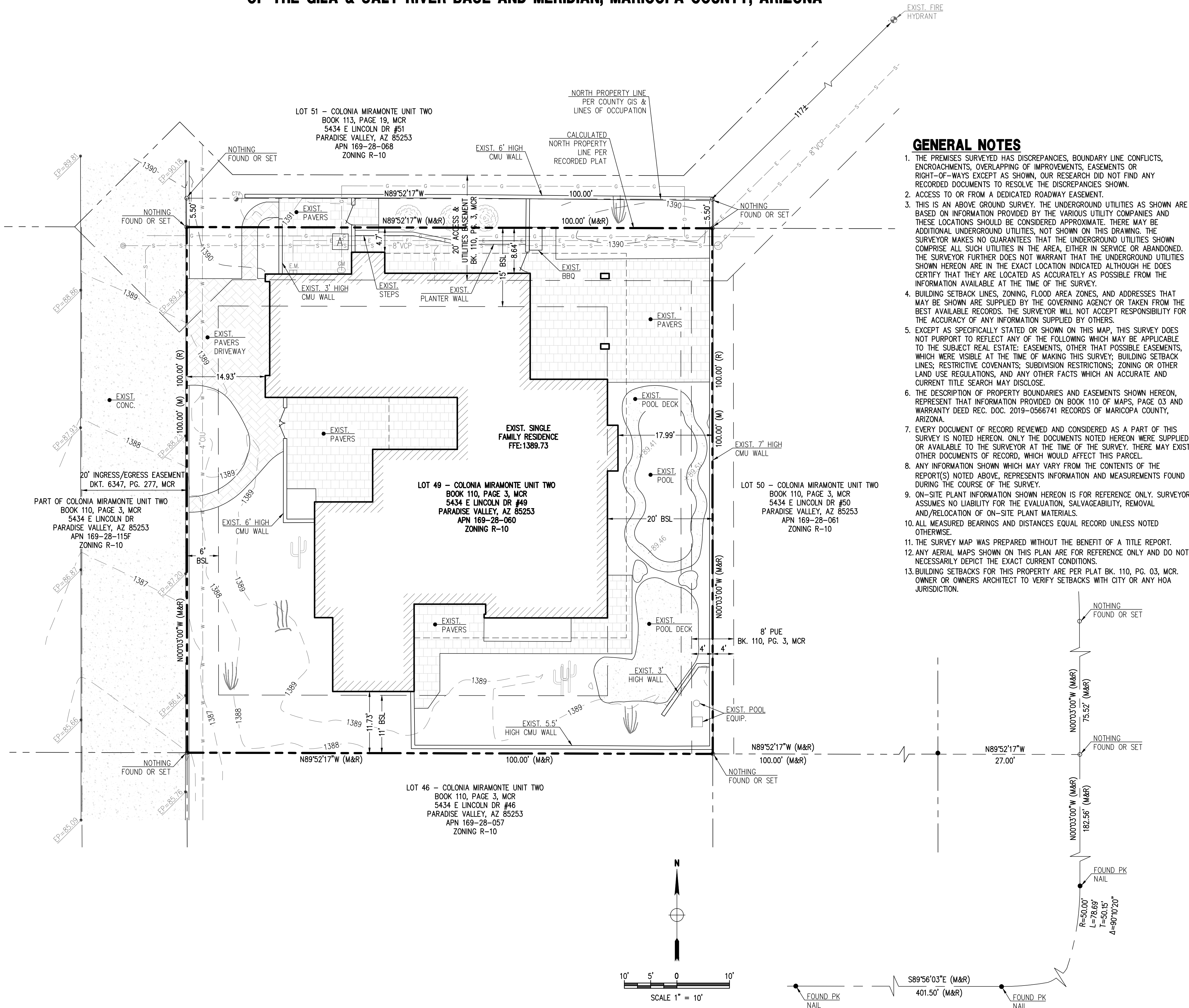
10/15/19
DATE

LEGEND

- CALCULATED POINT
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- ⊕ HOSE BIB
- ⊕ SIGN
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION CONTROL BOX
- ⊕ A/C UNIT
- ⊕ GAS METER
- ⊕ SEWER CLEANOUT
- ⊕ CABLE TV RISER
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC METER
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- TREE
- FLUTED CACTUS
- SAQUARO
- AGAVE
- OCOTILLO
- CITRUS TREE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP EDGE OF PAVEMENT
- FSMT EASEMENT
- EX. EXIST.
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PWMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TC TOP OF CURB
- TPV TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WDO WALL DRAINAGE OPENING
- WM WATER METER



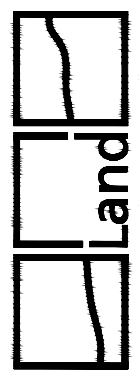
GENERAL NOTES

- THE PREMISES SURVEYED HAS DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, OUR RESEARCH DID NOT FIND ANY RECORDED DOCUMENTS TO RESOLVE THE DISCREPANCIES SHOWN.
- ACCESS TO OR FROM A DEDICATED ROADWAY EASEMENT.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 110 OF MAPS, PAGE 03 AND WARRANTY DEED REC. DOC. 2019-0566741 RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
- BUILDING SETBACKS FOR THIS PROPERTY ARE PER PLAT BK. 110, PG. 03, MCR. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

RESULTS OF SURVEY MAP

LOT 49 - COLONIA
MIRAMONTE UNIT TWO
5434 E LINCOLN DR. 49.,
PARADISE VALLEY, AZ
85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXLANDING.COM



GRADING & DRAINAGE PLAN
HOGAN RESIDENCE
5434 E LINCOLN DR 49., PARADISE VALLEY, AZ 85253
LOT 49 - COLONIA MIRAMONTE UNIT TWO
A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 03, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 8, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

TOWN OF PARADISE VALLEY NOTES

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TOWN (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P), UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHWESTERLY PROPERTY CORNER AT AN ELEVATION OF 1386.12.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- THE FINISH FLOOR ELEVATION OF 1389.75 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO OFFSITE FLOWS IMPACT THE SITE.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
- TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF PHOENIX SUPPLEMENT TO MAG.
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OR REMOVAL OF EXISTING SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- DISTURBED AREA 0.270 < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION OF EXISTING BUILDING STRUCTURE, SITE WALLS AND PAVEMENT.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- CONTRACTOR TO COORDINATE ALL ELEVATIONS OF RETAINING, FREE STANDING AND STEM WALLS WITH ARCHITECT, LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER. LDG ASSUMES NO LIABILITY FOR LACK OF COORDINATION BETWEEN THE PROJECT STAKEHOLDERS.

LEGEND

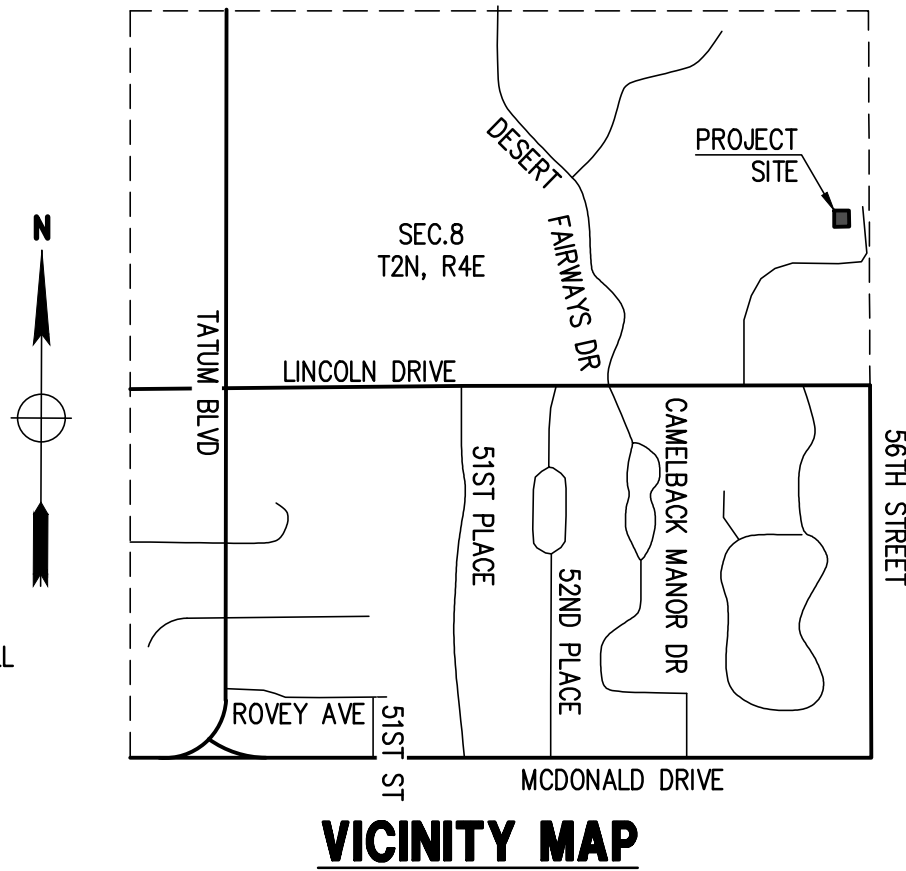
○	CALCULATED POINT
●	FOUND REBAR AS NOTED
○	SET 1/2" REBAR & TAG OR AS NOTED
---	PROPERTY LINE
---	EASEMENT LINE
---	MONUMENT LINE
⊥	HOSE BIB
⊥	SIGN
⊗	WATER VALVE
⊗	FIRE HYDRANT
⊗	IRRIGATION CONTROL BOX
⊗	A/C UNIT
⊗	GAS METER
⊗	SEWER CLEANOUT
⊗	CABLE TV RISER
⊗	SEWER MANHOLE
⊗	ELECTRIC METER
---	SEWER LINE
---	COMMUNICATIONS LINE
---	CATV, PHONE
---	GAS LINE
---	WATER LINE
---	ELECTRIC LINE
---	EXISTING CONTOUR
---	EXIST. DRAINAGE FLOW
---	EXIST. SPOT ELEVATION
---	TREE
---	FLUTED CACTUS
---	SAQUARO
---	AGAVE
---	OCOTILLO
---	CITRUS TREE
---	SLOPE DIRECTION
---	FLOW LINE
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
---	CATCH BASIN
---	STORM DRAIN PIPE
---	TOP OF WALL
---	FINISH GRADE
---	TOP OF FOOTING

RETENTION CALCULATIONS

PRE-DEVELOPMENT VS. POST DEVELOPMENT FOR THE 100-YEAR, 2 HOUR STORM EVENT (1)						FIRST FLUSH		
DRAINAGE AREA A WEIGHTED RUNOFF COEFFICIENT, Cw					VOLUME REQUIRED, CF V=PxAxC/12 (2) RAINFALL DEPTH, P = 2.22" (3) DRAINAGE AREA = 10,550 SF		VOLUME REQUIRED, CF V=PxA/12 RAINFALL DEPTH, P = 0.5" (1) DRAINAGE AREA = 10,550 SF	
CONDITION	SURFACE	C	AREA SF	C x A	Cw	C	VR	VR FIRST FLUSH
PRE- DEV. (5)	PERVIOUS	0.35	10,550	3,693	0.35	0.44	863 (GOVERNS)	440
	IMPERVIOUS	0.95	0	0				
POST- DEV.	PERVIOUS	0.35	2,771	970	0.79			
	IMPERVIOUS	0.95	7,779	7,390				
SITE TOTALS							863	440

NOTES

- RETENTION CALCULATIONS ARE IN ACCORDANCE WITH THE STIPULATIONS BY THE TOWN OF PARADISE VALLEY. (PRE VS. POST OR FIRST FLUSH, WHICHEVER IS GREATER).
 - CALCULATION IS BASED ON THE TOWN OF PARADISE VALLEY DRAINAGE DESIGN MANUAL.
 - RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.
 - ON-SITE RETENTION IS PROVIDED WITH SURFACE RETENTION BASINS. AND UNDERGROUND HDPE PIPE.
 - BASED ON CONDITIONS PRIOR TO ANY DEVELOPMENT ON THE LOT.
- FINAL PLAT FOR "COLONIA MIRAMONTE UNITE TWO" RECORDED YEAR 1965.



VICINITY MAP

OWNER

HOGAN LIVING TRUST
4848 E CACTUS RD STE 505 PMB 209,
SCOTTSDALE, AZ 85234

ARCHITECT

DREWETT WORKS ARCHITECTURE
7144 E STESTON DR., SUITE 204
SCOTTSDALE, AZ 85251
P: 855-373-9388

SITE DATA

APN: 169-28-060
ADDRESS: 5434 E LINCOLN DR 49.,
PARADISE VALLEY, AZ 85253
ZONING: R-10
LOT AREA: 10,550 S.F (0.242 AC.)
QS #: 22-40
TOTAL UNDER ROOF AREA: 5,859 S.F.
FLOOR AREA RATIO: 55.5% < 100% (ALLOWED)

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND LINCOLN DRIVE HAVING AN ELEVATION OF 1363.43 NAVD 88 DATUM, GDACS# 26101-1

BASIS OF BEARINGS

THE MONUMENT LINE OF COLONIA MIRAMONTE 1 (PRIVATE DRIVE SHOWN ON PLAT), THE BEARING OF WHICH IS N00°01'25"W.

LEGAL DESCRIPTION

PARCEL 1:
LOT FORTY-NINE, (49), COLONIA MIRAMONTE UNIT TWO, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 110 OF MAPS, PAGE 3.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR ROADWAY PURPOSES AND RIGHTS INCIDENT THERETO AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 5741, PAGE 159.

PARCEL 2:
EASEMENT FOR INGRESS AND EGRESS OVER CERTAIN PORTIONS OF LOT 47 AND LOT 48, COLONIA MIRAMONTE UNIT TWO, A SUBDIVISION RECORDED IN BOOK 110 OF MAPS, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 6347, PAGE 277.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR

DATE

REGISTRATION NUMBER

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1389.75 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1388.75 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov

REGISTERED CIVIL ENGINEER

07/22/20

DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE

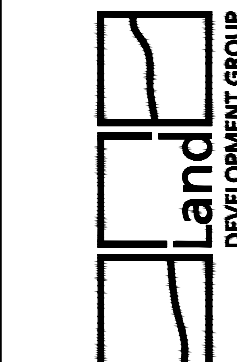
Contact Arizona 811 at least two full working days before you begin excavation



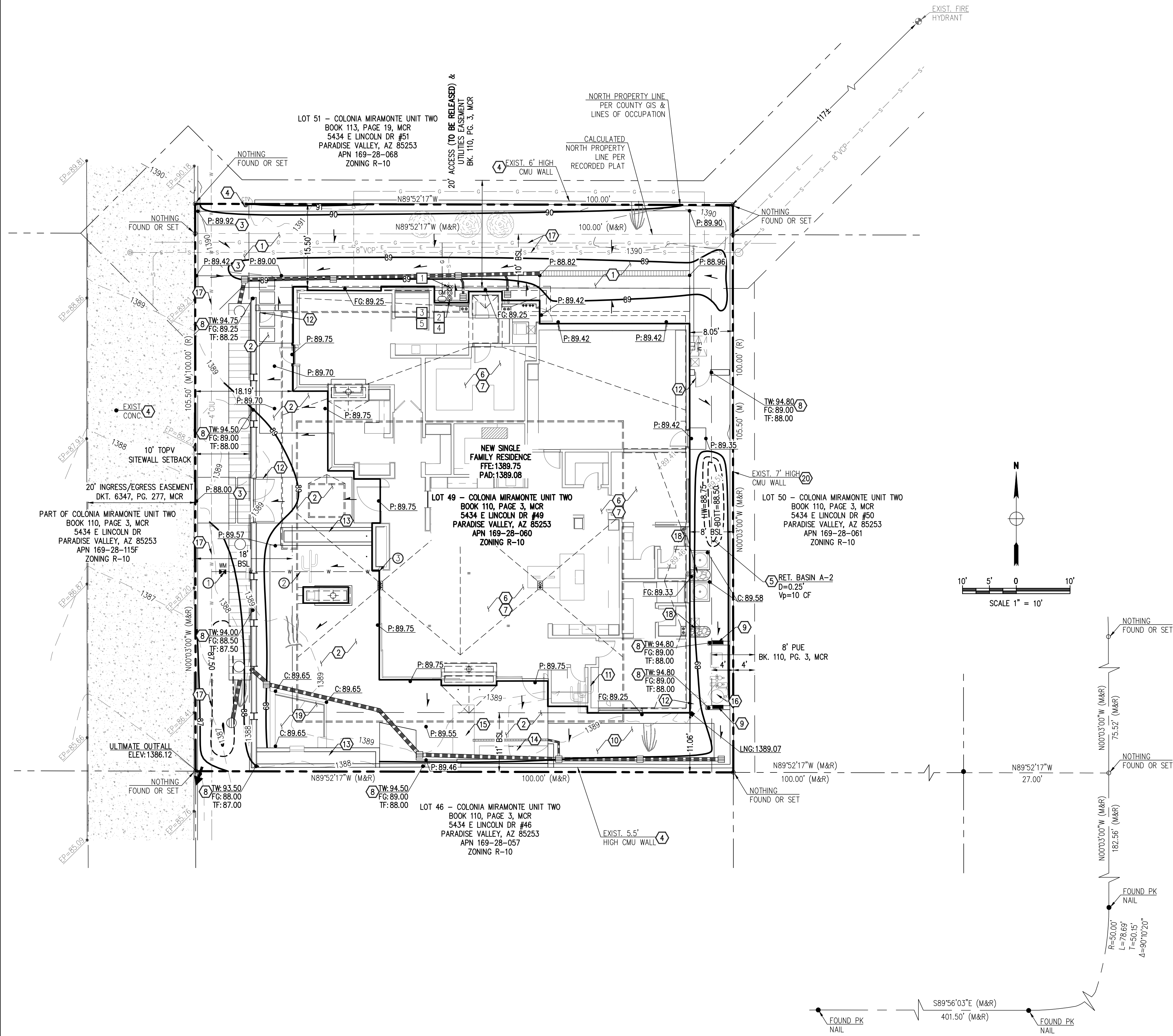
GRADING & DRAINAGE PLAN
COVER SHEET

LOT 49 - COLONIA
MIRAMONTE UNIT TWO
5434 E LINCOLN DR. 49.,
PARADISE VALLEY, AZ
85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXDENG.COM



REGISTERED PROFESSIONAL ENGINEER
41005
NICKOLA J. PRODANOV
LICENSED IN THE STATE OF ARIZONA
C-1
1 OF 3



GRADING AND DRAINAGE KEY-NOTES

- 1 CONSTRUCT CONCRETE DRIVEWAY OR PAVERS ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 2 INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 3 MATCH EXISTING GRADE.
- 4 PROTECT IN PLACE.
- 5 CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- 6 CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- 7 VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- 8 NEW WALL PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 9 NEW WALL DRAINAGE OPENING AT GRADE IN ACCORDANCE WITH THE TPV STD DETAIL AS SHOWN ON PLANS. SEE DETAIL ON THIS SHEET
- 10 NEW ARTIFICIAL TURF PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS
- 11 REFER TO LANDSCAPE PLANS FOR NATIVE TREES AND PLANTS REMOVAL/RELOCATION AND INSTALLATION OF NEW TREES AND LANDSCAPING.
- 12 NEW GATE PER ARCHITECTURE AND LANDSCAPE PLANS AND DETAILS.
- 13 NEW RAISED PLANTER UNDER SEPARATE PERMIT.
- 14 NEW BBQ UNDER SEPARATE PERMIT.
- 15 NEW BAR TABLE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 16 NEW POOL EQUIPMENT WITH CARTRIDGE FILTER SYSTEM.
- 17 PROTECT UTILITIES IN PLACE DURING ALL TIME OF CONSTRUCTION, INCLUDING EXCAVATION FOR NEW UNDERGROUND SYSTEM.
- 18 INSTALL ANGULAR RIP-RAP D50=4", 1' THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL). SEE GRADATION TABLE ON THIS SHEET.
- 19 NEW SPA UNDER SEPARATE PERMIT.
- 20 REDUCE WALL DOWN TO 6' HIGH.

PRIVATE SANITARY SEWER KEY-NOTES

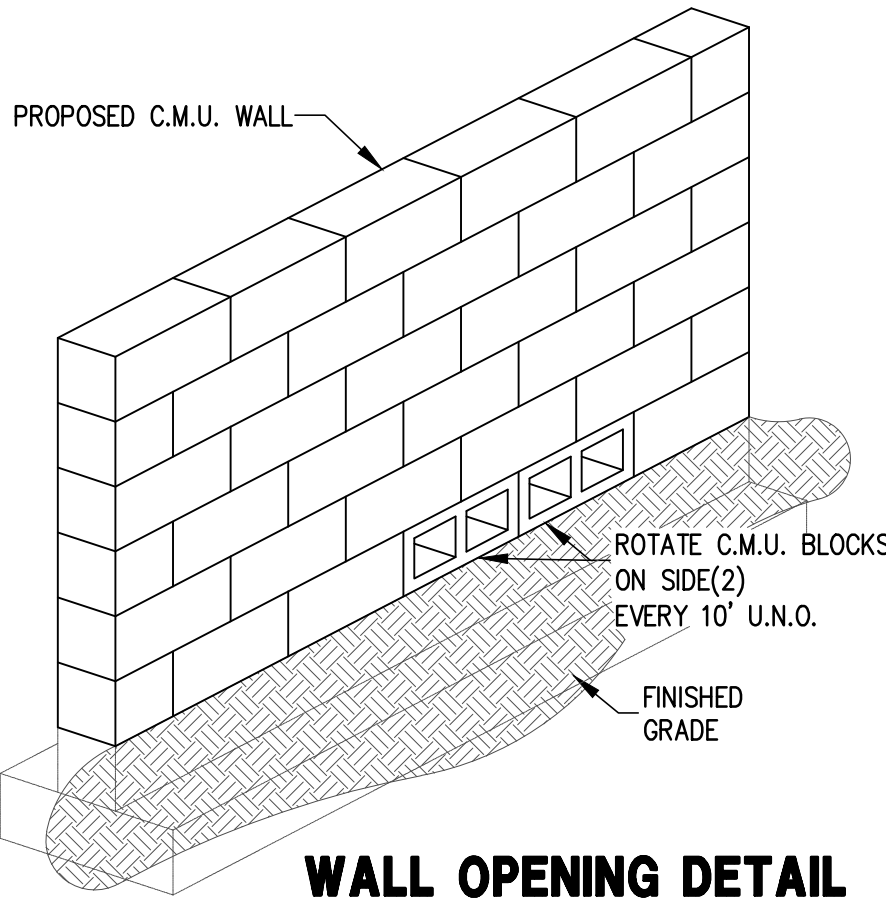
- 1 CONNECT TO EXISTING SEWER SERVICE, CONTRACTOR TO LOCATE SIZE AND LOCATION OF EXISTING SERVICE PRIOR TO START OF CONSTRUCTION. ADJUST EXIST. CLEANOUT TO NEW FINISHED GRADE.
- 2 INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER MAG STD DET. 441. PROTECT WITH FRAME AND COVER PER MAG STD DET. 270 WHEN IN VEHICULAR TRAFFIC AREAS.
- 3 INSTALL 4" PVC SEWER SERVICE (SDR-35, ASTM D-3034). REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1.
- 4 FOR CONTINUATION SEE PLUMBING PLANS.
- 5 INSTALL 4" SANITARY SEWER BACKWATER VALVE PER 2015 IPC, SEC. 715.1.

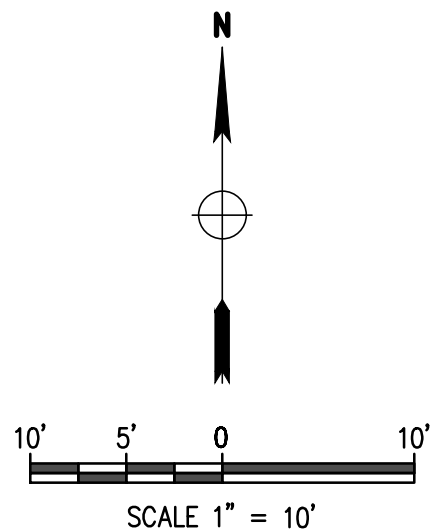
PRIVATE WATER KEY-NOTES

- 1 INSTALL NEW 1" WATER METER. VERIFY WITH PLUMBING PLANS.
- 2 INSTALL NEW 1-1/4" DOMESTIC WATER LINE. VERIFY WITH PLUMBING PLANS.
- 3 FOR CONTINUATION SEE PLUMBING PLANS.

PERCENT PASSING	SIZE	D ₅₀ CLASS, INCHES			
		4	6	8	12
100	10 90	1.5	0.90	6	12
85	10 70	1.3	0.90	5	10
50	10 30	1.0	0.90	4	6
15	10 5	0.67	0.90	3	4
5	10 0	0.50	0.90	2	3

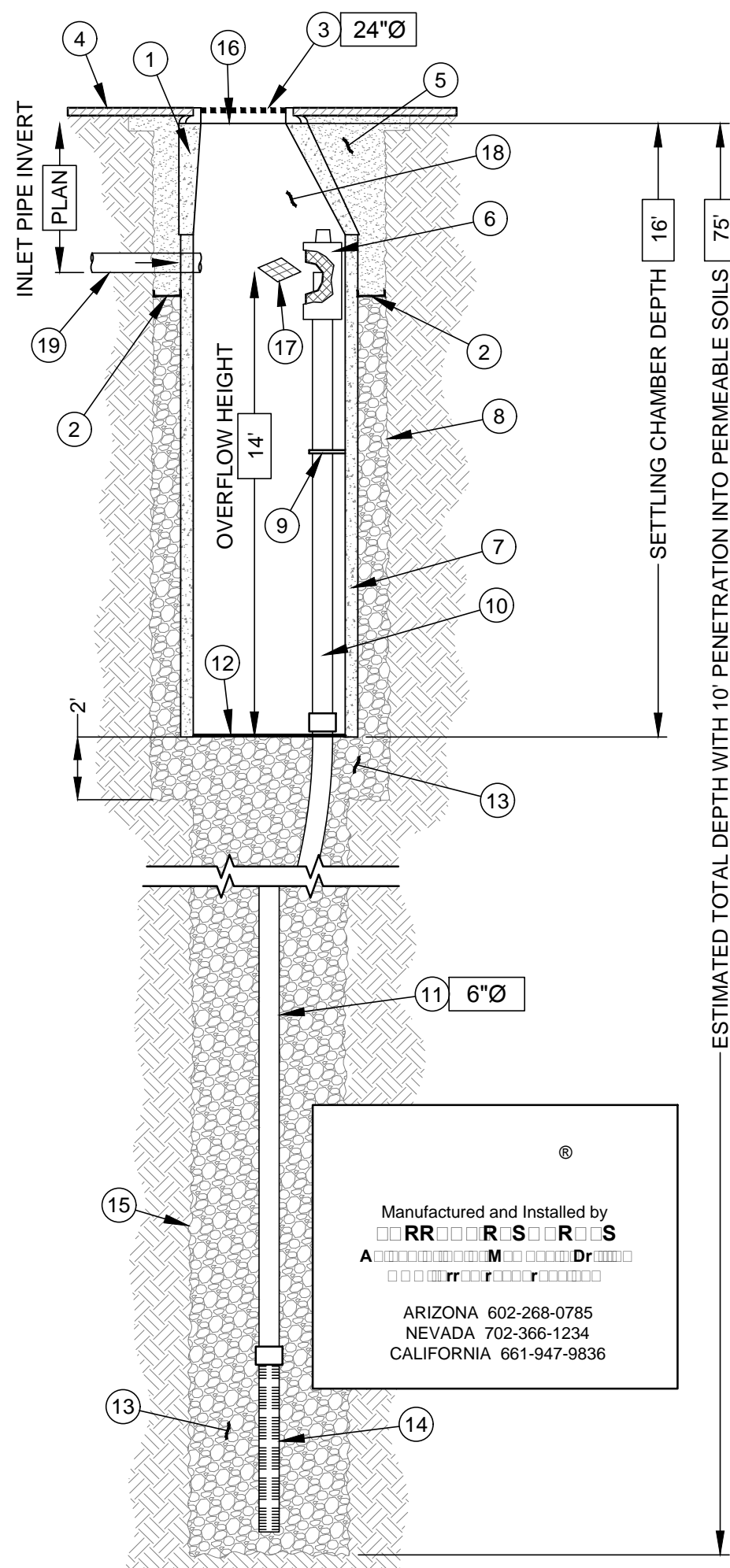
RIP-RAP GRADATION TABLE
N.T.S.





The MaxWell® IV Drainage System Detail And Specifications

1. MA = H □□□□□□ - MODIFIED FLAT BOTTOM.
2. M = S □ R □ M □ M □ RA □ - 6 MIL. PLASTIC. APPLIES ONLY WHEN BREAKATIVE MATERIAL IS USED FOR BACKFILL. PLACE MEMBRANE SECURELY AGAINST ECCENTRIC CONE AND HOLE SIDEWALL.
3. □□ D □ R □□□□ RA □ - DIAMETER AS SHOWN. CLEAN CAST IRON WITH WORDING "S □ RM WA □ R □□□□" IN RAISED LETTERS. □□□□ D □□□□ A □□ S □ AND SECURED TO CONE WITH MORTAR. RIM ELEVATION ±0.02' OF PLANS.
□□ RAD □ D □ AS □□ R □ A □□□ (BY OTHERS).
□□ S □ A □□□□ D □□□□ - 1 SACK SLURRY
6. R □ R □□□□ D □ S □ SH □ - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL .265" MAX. SWO FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. □ S □□□□□ D □□□□□□ A □ D □
7. R □ R □ AS □□□□ R □ - 4000 PSI CONCRETE 48" ID. X 54" OD. □□□□ R □ H □□□ AND ALIGN SECTIONS TO MA □□□□ AR □□ S □ R □ A □□.
8. MIN. 6' Ø DRILLED SHAFT.
9. S □□□□ R □ RA □□□□ - FORMED 12 GA. STEEL. □□ S □□□□ D □ D □□□□□ A □ D □.
10. □□ R □□ W □□□□ - SCH. 40 PVC MATED TO DRAINAGE PIPE AT BASE SEAL.
11. DRA □□ R □□□□ - ADS HIGHWAY GRADE WITH TRI-A COUPLER. SUSPEND PIPE DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE. DIAMETER AS NOTED.
12. AS □ S □ A □ - GEOTEXTILE OR CONCRETE SLURRY.
13. R □□□ - WASHED, SIZED BETWEEN 3/8" AND 1-1/2" TO □□ S □□□□ M □□□□ S □□□□ D □□□□ S □.
14. □□□□ S □ DRA □ A □ S □ R □□□ - SCH. 40 PVC @ 0.120" SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW/FIT. 120" OVERALL LENGTH WITH TRI-B COUPLER.
15. MIN. 4' Ø SHAFT - DRILLED TO MA □□ A □□ □□ RM □ A □□□ OF DRAINAGE SOILS.
16. R □ M □ S □ A □ - U.V. RESISTANT GEOTEXTILE - □□□□ R □ M □□ D □□□□ S □□ M □ R □ AT PROJECT COMPLETION.
17. A □ S □ R □□□ - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 128 OZ. CAPACITY.
□□□ R □□□□ ARD □□□□ VARIES WITH INLET PIPE ELEVATION. INCREASE SETTLING CHAMBER DEPTH AS NEEDED TO MAINTAIN ALL INLET PIPE ELEVATIONS ABOVE OVERFLOW PIPE INLET.
□□□ □□□□□□□ (BY OTHERS).



AZ Lic. ROC070465 A, ROC047067 B-4, ADWR 363
CA Lic. 528080, C-42, HAZ.
NV Lic. 0035350 A - NM Lic. 90504 GF04
U.S. Patent No. 4,823,330 - TM Trademark 1974, 1990, 200

N.T.S.

1. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REGISTERING THE DRY WELLS SHOWN ON THE GRADING AND DRAINAGE PLAN WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) FOR INFORMATION ABOUT SPECIFIC REQUIREMENTS, CONTACT THE WATER PERMITS UNIT AT (602) 771-4886.
2. DRY WELLS MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA OR PERCOLATION TESTS WILL BE REQUIRED. THE GRADING AND DRAINAGE INSPECTOR MUST BE PRESENT BEFORE BACKFILL OR WELL PIPES ARE PLACED WITHIN ANY DRY WELLS.
3. THE OWNER/DEVELOPER IS RESPONSIBLE FOR INSTALLING DRYWELL(S) SHOULD THE RETENTION BASINS FAIL TO DRAIN WITHIN 36 HOURS.



NOTICE

Notice is hereby given that the Town of Paradise Valley Board of Adjustment will hold a hearing on the following proposed project. If you have questions about this application, please call the Planning Department at (480) 348-3692.

Applicant Name / Contact: CP Drewett_____

Applicant's Company Name: Drewett Works Architecture_____

Phone Number: 855-373-9388_____ Fax Number: _____

Project Name: Hogan Residence_____

Project Location: 5454 E. Lincoln Dr. Lot 49_____

Acreage: 0.24 Acres (10,458 sf)_____

Existing Zoning: R-10_____

Brief Narrative of Project Proposal:

Consideration of a variance from the Zoning Ordinance, Article X, Height and Area Regulations, to allow a new single-family residence to encroach into the setbacks.

The owner would like to request a variance for the building setbacks on the East due to the challenges of this site being built differently than the recorded plat and being different than the neighboring properties. We propose an 8' setback on the East.

Meeting Date/ Time/Place

Meeting Date: Wednesday, September 2, 2020_____

Meeting Time: 5:30pm_____

Meeting Place (include address and room number, as applicable): 6401 E. Lincoln Dr._____

Paradise Valley, AZ 85253 Council Chambers/Town Hall Building_____

Town of Paradise Valley, Arizona

Planning Department 480-348-3692

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at

<https://paradisevalleyaz.legistar.com/Calendar.aspx> and/or contact Senior Planner George Burton at 480-348-3525 or gburton@paradisevalleyaz.gov to determine if the Board of Adjustment meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>

(a) Click on Calendar Tab

(b) Look for Town Council meeting (you may have to select it from the dropdown list) and find the meeting date

(c) Click the "In Progress" link in the column titled Video

2. Zoom Conference

(a) Computer: <https://zoom.us/j/6678902153>

(b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153

3. Submitting questions and comments:

(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)

(b) Email gburton@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)

4. Speaking during Call to the Public / Public Hearings

(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153 (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020. Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Board of Adjustment may attend by audio/video conference call.

AFFIDAVIT

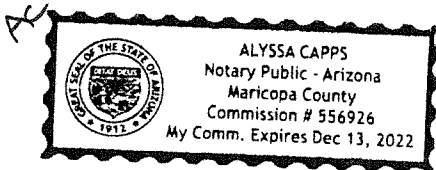
STATE OF ARIZONA)
) ss:
County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that all the property owners within 1,500 feet of the property, as obtained from the Maricopa County Assessor's Office on July 14, 2020, for the proposed rezoning, subdivision, lot split, lot line adjustment, or other permit approval has been mailed on August 7, 2020

(This property list shall not be older than thirty (30) days at the time of filing of the application).


Vanessa Rief

The foregoing instrument was acknowledged by me this 7th day of August, 2020, by Alyssa Capps.




NOTARY PUBLIC

My commission expires:

Dec. 13, 2020

AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, Vanessa Rief, depose and state that the attached notice, of proposed application Variance Submittal located at 5434 E. Lincoln Dr. for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of September 2, 2020 is a true and correct copy of a notice which I cause to be posted by the following day of the week Fri., and on the following date August 7th, 2020 in the following location(s):
5434 E. Lincoln Dr. Paradise Valley, AZ 85253

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 10th day of August, 2020

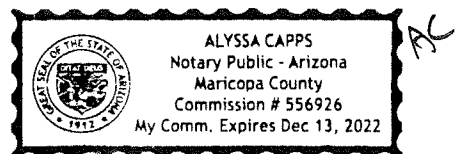
[Signature]
Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 10th day of August, 2020.

[Signature]
NOTARY PUBLIC

My commission expires:

December 13, 2020





Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
CAMELBACK PROPERTIES INN INC	PO BOX 579	LOUISVILLE	TN	37777
MARRIOTT RESORT HOTEL CONDOMINIUM	PO BOX 579	LOUISVILLE	TN	37777
SANTOR VENTURES LLC	7600 E DOUBLETREE RANCH RD STE	SCOTTSDALE	AZ	85258
KUNKEL JAMES L/JUDITH A TR	5434 E LINCOLN DR NO 1	PARADISE VALLE	AZ	85253
MID HOLDINGS LLC	5434 E LINCOLN DR NO 2	PARADISE VALLE	AZ	85253
FOLEY FAMILY TRUST	5434 E LINCOLN DR 3	PARADISE VALLE	AZ	85253
MARJORIE A ECKMAN REVOCABLE TRUST	5434 E LINCOLN DR NO 4	PARADISE VALLE	AZ	85253
ABELL ALEXANDER R/KIMBERLY A	5434 E LINCOLN DR #5	PARADISE VALLE	AZ	85253
ROSEN LAWRENCE J/SANDRA H	220 N BELLEFIELD AVE	PITTSBURGH	PA	15213
VITE BARBARA A	5434 E LINCOLN DR #9	SCOTTSDALE	AZ	85253
CLOONAN MICHELE V/BERGER SIDNEY E	PO BOX 295	WILLIAMSBURG	MA	1096
AURAN JOHN L/SARA K	5434 E LINCOLN DR UNIT 11	PARADISE VALLE	AZ	85253
TESTANI JUDITH	7525 E CAMELBACK RD UNIT 207	SCOTTSDALE	AZ	85251
SURVIVORS TRUST	12 OCEAN HARBOUR CIR	OCEAN RIDGE	FL	33435
SABOL GREGORY J	5434 E LINCOLN DR NO 15	PARADISE VALLE	AZ	85253
RONALD C TELESKO TRUST/SUSAN D TELESKO TRUST	5434 E LINCOLN DR UNIT 16	PARADISE VALLE	AZ	85253
KATHY ALBERT REVOCABLE TRUST	5434 E LINCOLN DR NO 17	PARADISE VALLE	AZ	85253
ANN L SELLS REVOCABLE TRUST	5434 E LINCOLN DR NO 18	PARADISE VALLE	AZ	85253
ROBERT G AND BARBARA A OMALLEY REV TRUST	5434 LINCOLN DR NO 19	PARADISE VALLE	AZ	85253
BEVERLY ANNE BRADWAY TRUST	5434 E LINCOLN DR UNIT 20	PARADISE VALLE	AZ	85253
MCCARTHY LORETTA M	70 E 77TH ST UNIT 5C	NEW YORK	NY	10021
FREDA THEODORE L/GLORIA S TR	5434 E LINCOLN DR #22	PARADISE VALLE	AZ	85253
INUOYE CRAIG/CHARLOTTE	5434 E LINCOLN DR SUITE 23	PARADISE VALLE	AZ	85253
LEONA R BOWMAN MARITAL TRUST	5434 E LINCOLN DR NO 24	PARADISE VALLE	AZ	85253
GREENBAUM FAMILY TRUST	5434 E LINCOLN DR NO 25	PARADISE VALLE	AZ	85253
DKCK LLC	PO BOX 44265	PHOENIX	AZ	85064
LEWIS DELBERT R/SHARRON O	5320 N CASA BLANCA DR	PARADISE VALLE	AZ	85253
JACOBS PAUL ANTHONY/NANCY E TR	5434 E LINCOLN DR #28	PARADISE VALLE	AZ	85253
JOHN N SIMONS JR TRUST	5434 E LINCOLN DR UNIT 29	PARADISE VALLE	AZ	85253
HUGHES KEVIN M/SUZANNE W	5434 E LINCOLN DR STE 30	PARADISE VALLE	AZ	85253
LENTZ WENDY K	5434 E LINCOLN DR UNIT 31	PARADISE VALLE	AZ	85253
BURKE FAMILY TRUST	5434 E LINCOLN DR #33	PARADISE VALLE	AZ	85253
RANDALL H LORTSCHER LIV TRUST/LORTSCHER M M	320 VINE	DENVER	CO	80206
SUE C BOSSE REVOCABLE TRUST	5434 E LINCOLN DR NO 35	PARADISE VALLE	AZ	85253
HAYES MICHAEL J/CHRISTINA C	380 MOUNTAIN AVE	RIDGEWOOD	NJ	7450
PATTERSON THOMAS CHARLES/JEANNE MARIE	5434 E LINCOLN DR UNIT 38	PARADISE VALLE	AZ	85253
BRUNKHORST LIVING TRUST	5434 E LINCOLN DR UNIT 39	PARADISE VALLE	AZ	85253
JOHNES REVOCABLE TRUST	5434 E LINCOLN DR UNIT 40	PARADISE VALLE	AZ	85253
THOMAS M CHURCHILL AND MARTHA S CHURCHILL TR	5434 EAST LINCOLN DRIVE NO 41	PARADISE VALLE	AZ	85253
MARK J STANTON AND BARBARA J STANTON REVOCABLE T	5434 E LINCOLN DR NO 42	PARADISE VALLE	AZ	85253
DAVID G DUTTON TRUST & CHERYL L. DUTTON TRUST	150 FRANKLIN ST	DENVER	CO	80218
ESTES CONSTANCE L	5434 E LINCOLN DR UNIT 44	PARADISE VALLE	AZ	85253
IWAU SHIIHARA TRUST	5434 E LINCOLN DR #45	PARADISE VALLE	AZ	85253
BEN-HORIN FAMILY TRUST	5434 E LINCOLN DR UNIT 46	PARADISE VALLE	AZ	85253
HOGAN LIVING TRUST	4848 E CACTUS RD STE 505 PMB 209	SCOTTSDALE	AZ	85254
WEISS JERROLD /ELAINE B TR	3842 E THUNDERBIRD RD UNIT 100	PHOENIX	AZ	85032
DANZIGER ERIC A/JENNIFER L	5434 E LINCOLN DR NO 51	PARADISE VALLE	AZ	85253
JOINT TRUST	5434 E LINCOLN DR UNIT 52	PARADISE VALLE	AZ	85253

JONES PATRICK T/MARY E	300 BOYLESTON ST NO 605	BOSTON	MA	2116
PAUL J AND NANCY S HURLEY REVOCABLE TRUST	5434 E LINCOLN DR UNIT 54	PARADISE VALLE	AZ	85253
DANOVIC STEVE/CLAUDIA	5434 E LINCOLN DR UNIT 55	PARADISE VALLE	AZ	85253
DENK GREGORY P/ANN K TR	5434 E LINCOLN DR UNIT 56	PARADISE VALLE	AZ	85253
SANDRA M GETZ TRUST	6730 N SCOTTSDALE RD STE 250	SCOTTSDALE	AZ	85253
MCDERMOTT LOUISE	5434 E LINCOLN DR #58	PARADISE VALLE	AZ	85253
GOODMAN GREGG MICHAEL/JULIE ANN	5434 E LINCOLN DR #59	PARADISE VALLE	AZ	85253
PAMELA J WESTMAN TRUST	4464 WASHINGTON BLVD	MADISON LAKE	MN	56063
MONAHAN SUSAN M TR	5434 E LINCOLN DR #61	PARADISE VALLE	AZ	85253
TERENCE W THOMAS TRUST	5434 E LINCOLN DR UNIT 62	PARADISE VALLE	AZ	85253
COLNER JONATHAN/SUSAN	5434 E LINCOLN DR UNIT 63	PARADISE VALLE	AZ	85253
RODMAN MANAGEMENT TRUST	5434 E LINCOLN DR UNIT 64	PARADISE VALLE	AZ	85253
HEIMS FAMILY REVOCABLE TRUST	5434 E LINCOLN DR UNIT 65	PARADISE VALLE	AZ	85253
CHARLES F AND PAMELA F HENDERSON TRUST	5434 E LINCOLN DR #66	PARADISE VALLE	AZ	85253
JEAN W AMBLER REVOCABLE TRUST	5434 E LINCOLN DR UNIT 67	PARADISE VALLE	AZ	85253
JORGENSEN MARY ANN	16 HASKELL DR	BRATENAH	OH	44108
DEBARTOLO JACK JR/PATSY LORENE MCLAMORE TR	5434 E LINCOLN DR #69	PARADISE VALLE	AZ	85253
POSTLA LLC	5434 E LINCOLN DR # 73	PARADISE VALLE	AZ	85253
NORDSTROM EXEMPT QTIP TRUST	201 1ST AVE SE	CEDAR RAPIDS	IA	52401
SURVIVORS TRUST	6263 N SCOTTSDALE RD UNIT 150	SCOTTSDALE	AZ	85250
THOMAS A & KATHERYN W VAN ARSDALE LIV TRUST	5434 E LINCOLN DR #76	PARADISE VALLE	AZ	85253
MICHELAS FAMILY TRUST	5434 E LINCOLN DR UNIT 77	PARADISE VALLE	AZ	85253
LEE JACK C/I LOUISE	5434 E LINCOLN DR NO 78	PARADISE VALLE	AZ	85253
GIERINGER AJ/PAMELA	5434 E LINCOLN DR UNIT 79	PARADISE VALLE	AZ	85253
ELIZABETH BALIS GOODYEAR LIVING TRUST	5434 E LINCOLN DR NO 80	PARADISE VALLE	AZ	85253
GREGORY D HANSEN REVOCABLE TRUST	840 N LAKESHORE DR NO 2303	CHICAGO	IL	60611
82 COLONIA MIRAMONTE L L C	4910 SW 74TH TERRACE	MIAMI	FL	33143
JOHN AND HELEN WORDINGHAM GRANDCHILDREN EX TR	11931 N WILDERNESS CT	MEQUON	WI	53092
THEOBALD JENNIFER J	5434 E LINCOLN DR UNIT 84	PARADISE VALLE	AZ	85253
PATRICIA MCKENNON SURVIVORS TRUST	5434 E LINCOLN DR UNIT 85	PARADISE VALLE	AZ	85253
WESSMAN JAMES F/JANICE M ADAMS TR	5434 E LINCOLN DR NO 86	PARADISE VALLE	AZ	85253
MUELLER MARK CHARLES/KIM ELIZABETH	1278 MAXINE CIRCLE E	SHAKOPEE	MN	55379
MILLS FAMILY TRUST	5434 E LINCOLN DR UNIT 72	PARADISE VALLE	AZ	85018
MATTHEW CONNINGHAM TRUST	5434 E LINCOLN DR UNIT 12	PARADISE VALLE	AZ	85253
COLONIA MIRAMONTE OWNERS ASSN INC	7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
CURRENT RESIDENT	548 CABOT STREET	BEVERLY	MA	1915
MCKIBBIN VIRGINIA LOUISE	200 BELMONT FOREST CT UNIT 108	TIMONIUM	MD	21093
HEATH PETER CHARLES	P O BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
GORDON M AND IRENE A TRENHOLME REVOCABLE LIVING	3540 W TINY BIRD CT	TUCSON	AZ	85745
SCOTT FORAKER TRUST	2892 SOLIMAR BEACH DR	VENTURA	CA	93001
WAYNE R COLBY AND JANET M COLBY REVOCABLE LIVING	20976 W COLLEGE DR	BUCKEYE	AZ	85396
PATRICIA A VELGHE TRUST	11716 HIGH DR	LEAWOOD	KS	66211-2226
SUZANNE N GOLOMB REVOCABLE TRUST	1910 WOODGATE LN	MCLEAN	VA	22101
SUZANNE N GOLOMB REVOCABLE TRUST	1910 WOODGATE LN	MCLEAN	VA	22101
WAYNE R COLBY AND JANET M COLBY REVOCABLE LIVING	20976 W COLLEGE DR	BUCKEYE	AZ	85396
STEVENS /TODD/STACY TR/GAINES MARGARET G	3801 CANTERBURY RD UNIT 519	BALTIMORE	MD	21218
OWEN STEPHANIE JEANNE	930 E DENTON LN	PHOENIX	AZ	85014
KAHN STEPHEN R(LEASE)	PO BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
RAYLEE TRUST	12167 N 119TH ST	SCOTTSDALE	AZ	85259

PAUL CHADDERTON 2017 REVOCABLE TRUST	44715 AUDUBON SQ APT 207	ASHBURN	VA	01915-2543
RAYLEE TRUST	12167 N 119TH ST	SCOTTSDALE	AZ	85259
WOLFE KATHARINE B/NICHOLAS K	46 VINEYARD AVE	GUILFORD	CT	6437
DI RENZO LUIGI	CHMW SCOTTSDALE LLC	BEVERLY	MA	01915-2543
KING SARAJEAN F	4833 W LAWTHER DR APT 307	DALLAS	TX	75214
DONALD R SIPES II AND JENNIFER A SIPES JOINT REVOCAB	2979 S TELEMAR CIR	GREEN BAY	WI	54343
MUELLEMAN PETER JOSEPH TR	17600 E 25TH ST S	INDEPENDENCE	MO	64057
2013 KAY D CAMPBELL TRUST	25283 CABOT RD STE 116	LAGUNA HILLS	CA	92653
PAUL CHADDERTON 2017 REVOCABLE TRUST	44715 AUDUBON SQ APT 207	ASHBURN	VA	20147
PAUL CHADDERTON 2017 REVOCABLE TRUST	44715 AUDUBON SQ APT 207	ASHBURN	VA	20147
NUTMAN MARTHA J & NUTMAN THOMAS B	PO BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
FIEDLER RUSSELL E/DOROTHEA M TR	PO BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
CAMELBACK LLC	PO BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
DIANA LYNN FAERBER LIVING TRUST	9888 E QUARRY TRL	SCOTTSDALE	AZ	85262
JULIA B MARK LIVING TRUST	1062 SW DOUGLAS PL	PORTLAND	OR	97205
ROBERT L SMART JR TR/CHRISTOPHER M SMART TR	23 COMPTON CT	PRAIRIE VILLAGE	KS	66208
CAMELBACK LLC	PO BOX 4900 DEPT 211	SCOTTSDALE	AZ	85261
W RICHARD SCARLETT III TRUST/ETAL	PO BOX 12139	JACKSON	WY	83002
MARY HELEN BONDY REVOCABLE LIVING TRUST	6900 N MUMMY MOUNTAIN RD	PARADISE VALLE	AZ	85253
CORDANO PARADISE LLC	1112 11TH ST	SACRAMENTO	CA	95814
CHRISTINA M FOSTER LIVING TRUST AGMT	1101 E BELLEVIEW	LITTLETON	CO	80121
GRINDAHL GEORGE/BODA SUZANNE	PO BOX 572	WINTER PARK	CO	80482
MS CONDO HOTEL OWNER LLC	1900 N AKARD ST	DALLAS	TX	75201
GILLENWATER TODD/NANCY	2432 N TILLIE LN	FLAGSTAFF	AZ	86001
MS CONDO HOTEL OWNER LLC	1900 N AKARD ST	DALLAS	TX	75201
TNHC MOUNTAIN SHADOWS LLC	85 ENTERPRISE STE 450	ALISO VIEJO	CA	92656
GARFINKLE REVOCABLE TRUST	5568 E STELLA LN	PARADISE VALLE	AZ	85253
LAURA R MARTIN AND T SCOTT MARTIN TRUST/MARTIN LA	5560 E STELLA LN NO 119	PARADISE VALLE	AZ	85253
PACHTER E ROBERT	480 PARK AVE UNIT 12J	NEW YORK	NY	10022
VICTOR SAMI	5536 E STELLA DR	PARADISE VALLE	AZ	85253
TNHC MOUNTAIN SHADOWS LLC	85 ENTERPRISE STE 450	ALISO VIEJO	CA	92656
CUSUMANO FAMILY TRUST	231 29TH ST	HERMOSA BEACH	CA	90254
LINCOLN & SMOKE TREE LLC	6601 E INDIAN BEND RD	PARADISE VALLE	AZ	85253
CAPITIS COMMERICAL TWO LLC	2701 E CAMELBACK RD SUITE 175	PHOENIX	AZ	85016
DAFTARIAN MICHAEL & FERI	6618 SMOKE TREE LN	PARADISE VALLE	AZ	85253
FUQUA BRIDGET A TR	6624 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
MALLIA REVOCABLE TRUST	5434 E LINCOLN DR NO 46	PARADISE VALLE	AZ	85253
AMATO REGAN G/ASHLEY P	6627 N SMOKETREE LN	PARADISE VALLE	AZ	85253
HENRY C JOHNSON AND PHYLLIS J JOHNSON TRUST	6615 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
SCHWARTZ KATHLEEN A	6607 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
GRINGRAS ANGELA C/GARCIA LUIS A	6629 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
BOWDEN LAURA TR	6606 SMOKE TREE LN	PARADISE VALLE	AZ	85253
HOUSEHUNTER AZ LLC	2501 N 66TH ST	SCOTTSDALE	AZ	85257
INGRASSIA STEPHEN	1064 SALT RD	WEBSTER	NY	14580
HAASLO ZARA	5712 E LINCOLN DR	PARADISE VALLE	AZ	85253
CROFTON STEPHEN E/KAREN L	6636 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
BLOOM RICHARD J/JANE C	6616 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
JOEL LEVIN LIVING TRUST	1900 HALF DAY LN	BANNOCKBURN	IL	90015
CAMPBELL THOMAS G/PATRICIA M TR	6649 N LOST DUTCHMAN DR	SCOTTSDALE	AZ	85253

LD6635 LLC	6635 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
STAINES FAMILY TRUST	203 RUA ESPERANZA	LINCOLN	CA	95648
PUNEET BHALLA & NALINI S BHALLA REV LIV TRUST	6621 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
TRI-FIRST TRUST	5601 W VAN BUREN ST	PHOENIX	AZ	85043
DEWEY DELORES	6602 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
WFH PROPERTIES LLC	7046 N 59TH PL	PARADISE VALLE	AZ	85253
SANTOR VENTURES LLC	7600 E DOUBLETREE RANCH RD STE	SCOTTSDALE	AZ	85258
ARIZONA MMB LLC	9215 N INVERGORDN RD	PARADISE VALLE	AZ	85253
SANTOR VENTURES LLC	7600 E DOUBLETREE RANCH RD STE	SCOTTSDALE	AZ	85258
FRANCISCAN RENEWAL CENTER INC	PO BOX 220	SCOTTSDALE	AZ	85252
KATZ PETER/RUPOLI-KATZ MELISSA TR	6587 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
ALNAJJAR M OSAMA/LAHLLOU KAMILYA	6525 N LOST DUTCHMAN DRIVE	PARADISE VALLE	AZ	85253
CELAYA TRUST	6501 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
FRANCISCAN RENEWAL CENTER INC	5802 E LINCOLN DR	SCOTTSDALE	AZ	85253
T ANN SINER FAMILY TRUST	5730 E JOSHUA TREE LN	PARADISE VALLE	AZ	85253
MARC NEMER REVOCABLE TRUST	5739 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
AG FAMILY RESIDENCE TRUST	5729 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
ESL TRUST	P O BOX 15705	PHOENIX	AZ	85060
BRADLEY BRIAN D/CATHERINE A	5675 E CACTUS WREN RD	SCOTTSDALE	AZ	85253
SHOUMAKER THERESE M TR	5623 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
DANIELS MICHAEL H/JANET H	6656 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
WITHYCOMBE FAMILY REVOCABLE TRUST	6237 N 59TH PL	PARADISE VALLE	AZ	85253
PENNY WOLFSWINKEL JENKINS TRUST	6728 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
FUQUA BRIDGET A TR	6624 N SMOKE TREE LN	PARADISE VALLE	AZ	85253
DIAMOND STEEL LLC	5644 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
MARTIN J VANDERPLOEG 2001 REVOCABLE LIV TRUST	5716 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
DESOUZA CALUM BRUNO/TRICIA	5736 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
BKB INVESTMENTS LLC	5740 E CACTUS WREN RD	PARADISE VALLE	AZ	85253
SINGH JUPNEESH/MANDEEP	5739 E JOSHUA TREE LN	PARADISE VALLE	AZ	85253
ERIC WEINBRENNER LIVING TRUST	PO BOX 25157	PHOENIX	AZ	85002
ROESKE JEROME D/KATHRYN A TR	5709 E JOSHUA TREE LN	PARADISE VALLE	AZ	85255
WE'RE BACK LLC	1622 WILLOW RD SUITE 201	NORTHFIELD	IL	60093
HOLLENBECK RICK/PAM TR	6820 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
JOHNSON PAUL G/JOAN T	6830 LOST DUTCHMAN DRIVE	PARADISE VALLE	AZ	85253
MERIDIAN 6837 LLC	1734 E BOSTON ST STE 103	GILBERT	AZ	85295
PETERSON MARK/KARA	5210 E VIA LOS CABALLOS	PARADISE VALLE	AZ	85253
KATHRYN JO LINCOLN TRUST	6813 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
KRAMER REVOCABLE TRUST	5640 E JOSHUA TREE LN	PARADISE VALLE	AZ	85253
LEWIS THOMAS E/SUZANNE TR	6820 N 57TH PL	SCOTTSDALE	AZ	85251
SCOTT FAMILY TRUST	NO 200 11930 100TH AVE NW	EDMONTON	AB	T5K0K5
GEAR BARBARA F TR	6817 N 57TH PL	PARADISE VALLE	AZ	85253
SURRANO CHARLES J	5720 E JOSHUA TREE LN	PARADISE VALLE	AZ	85253
PARADISE VALLEY WATER CO	2355 W PINNACLE PEAK RD STE 300	PHOENIX	AZ	85027
GARNER ALAN L/ALICE C	6710 N SCOTTSDALE RD STE 225	SCOTTSDALE	AZ	85253
MERAZ JOSE JR/FRIAS NUVIA M GARDEA	5639 E JOSHUA TREE LN	PARADISE VALLE	AZ	85253
JM WALL DEVELOPMENT INC/WALL JONATHAN M/MELISSA	6712N 58TH PL	PARADISE VALLE	AZ	85253
FRANCISCAN RENEWAL CENTER INC	PO BOX 220	SCOTTSDALE	AZ	85252
DAVID KATZIN SEPERATE PROPERTY TRUST	10585 E CRESCENT MOON DR STE 13	SCOTTSDALE	AZ	85262
MOUNTAIN SHADOWS ESTATES EAST HOA INC	2432 W PEORIA AVE STE-1302	PHOENIX	AZ	85029

SCAPELL WILLIAM FRANK/DAVIS JENNIFER LYNN	109 GRAND STREET APT 601	HOBOKEN	NJ	7030
RICHARD JAMES AND SUZANNE M VANDERHOFF REVOCABLE TRUST	5673 E VILLAGE DR	PARADISE VALLE	AZ	85253
MTS BUILDERS LLC	8408 E SHEA BLVD STE D-100	SCOTTSDALE	AZ	85260
AGLIANICO EWOK LLC	14746 N 78TH WAY	SCOTTSDALE	AZ	85260
MTS BUILDERS LLC	8408 E SHEA BLVD STE D-100	SCOTTSDALE	AZ	85260
FOLEY MICHAEL R/DADO LISA	6436 N LOST DUTCHMAN DR	PARADISE VLY	AZ	85253
MCLEAN REVOCABLE TRUST	6382 N LOST DUTCHMAN DR	PARADISE VALLE	AZ	85253
COBLE FAMILY TRUST	18007 VISTA DEL MAR DR	EDMONDS	WA	98026
MTS BUILDERS LLC	8408 E SHEA BLVD STE D-100	SCOTTSDALE	AZ	85260
WHITE MARTIN F/JOY F	PO BOX 1150	WARREN	OH	44482
MOUNTAIN SHADOWS RESORT ESTATES OWNERS ASSOCIATION	8408 E SHEA BLVD SUITE D-100	SCOTTSDALE	AZ	85260
MOUNTAIN SHADOWS ESTATES EAST HOA INC	2432 W PEORIA AVE STE-1302	PHOENIX	AZ	85029
ADKINS JAMES T	5625 E INDIAN BEND RD	PARADISE VALLE	AZ	85253



Action Report

File #: 20-325

TO: Chair and Board of Adjustment

FROM: Paul Michaud, Planning Manager
George Burton, Senior Planner
Loras Rauch, Special Projects Planner

DATE: September 2, 2020

DEPARTMENT: Community Development

AGENDA TITLE:
Approval of the May 6, 2020 Board of Adjustment Meeting Minutes

SUMMARY STATEMENT:
Approval of the May 6, 2020 Board of Adjustment Meeting Minutes

ATTACHMENT(S):
05.06.20 Minutes Draft



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Minutes - Draft

Board of Adjustment

Wednesday, May 6, 2020

5:30 PM

Council Chambers

1. CALL TO ORDER

Chairman Leibsohn called the meeting to order at 5:30 p.m.

Present 7 - Boardmember Eric Leibsohn
Boardmember Rick Chambliss
Boardmember Emily Kile
Boardmember Rohan Sahani
Boardmember Quinn Williams
Boardmember Jon Newman
Boardmember Hope Ozer

STAFF MEMBERS PRESENT

Town Attorney Andrew M. Miller (attended remotely)
Community Development Director Jeremy Knapp
Senior Planner George Burton

2. ROLL CALL

All Board Members attended remotely.

Present 7 - Boardmember Eric Leibsohn
Boardmember Rick Chambliss
Boardmember Emily Kile
Boardmember Rohan Sahani
Boardmember Quinn Williams
Boardmember Jon Newman
Boardmember Hope Ozer

3. EXECUTIVE SESSION

None

4. STUDY SESSION ITEMS

None

5. PUBLIC HEARINGS

None

6. ACTION ITEMS

- A. 20-181 Election of Chair per Section 2-5-3 of the Town Code

A motion was made by Boardmember Kile, seconded by Boardmember Ozer, to nominate Boardmember Williams for Chairman of the Board of Adjustment to the Town Council. The motion carried by the following vote:

Aye: 7 - Boardmember Leibsohn, Boardmember Chambliss, Boardmember Kile, Boardmember Sahani, Boardmember Williams, Boardmember Newman and Boardmember Ozer

7. CONSENT AGENDA

- A. 20-182 Approval of the January 8, 2020 Board of Adjustment Meeting Minutes

A motion was made by Boardmember Ozer, seconded by Boardmember Chambliss, to approve the January 8, 2020 minutes. The motion carried by the following vote:

Aye: 7 - Boardmember Leibsohn, Boardmember Chambliss, Boardmember Kile, Boardmember Sahani, Boardmember Williams, Boardmember Newman and Boardmember Ozer

8. STAFF REPORTS

None

9. PUBLIC BODY REPORTS

None

10. FUTURE AGENDA ITEMS

The June 2020 Board of Adjustment meeting will be cancelled as no application requests are ready.

11. ADJOURNMENT

A motion was made by Boardmember Chambliss at 5:54 p.m., seconded by Boardmember Ozer, to adjourn the meeting. The motion carried by the following vote:

Aye: 7 - Boardmember Leibsohn, Boardmember Chambliss, Boardmember Kile, Boardmember Sahani, Boardmember Williams, Boardmember Newman and Boardmember Ozer

Paradise Valley Board of Adjustment

By: _____
Jeremy Knapp, Secretary