

Variance Request Narrative

Project Data Summary

Property: 5712 East Glen Drive, Paradise Valley, AZ

Zoning: R-43 Hillside

Parcel Size: ±1.03 acres (44,786 SF)

Proposed Residence

- **Livable Area:** 5,724 SF
- **Garage:** 941 SF
- **Mechanical / Unconditioned:** 288 SF
- **Total:** 7,042 SF

Pad Elevation

- **Existing Pad Elevation:** 1,662'
- **Proposed Pad Elevation:** 1,650'
- **Proposed FFE (Pad Cut):** 12' reduction

Existing Spill Slope

- **Total Area:** 10,600 SF
- **Proposed Spill Slope Removal:** 2,508 SF
- **Proposed Spill Slope Restoration:** 8,092 SF

Building Pad Slope

- **Vertical Elevation Change:** 39'
 - **Horizontal Length:** 108'
 - **Calculated Slope:** 36%
 - **Top of Cut 1679. Bottom Pad height 1649.50=29.50**
-

Introduction & Site History

This variance request comes from new ownership with a vision to create a home that celebrates the desert and restores a site scarred for over fifty years. The proposed residence is inspired by Mummy Mountain—its architecture follows the natural contours of the hillside with sloping rooflines and materials drawn from the surrounding landscape.

From above, the home will blend seamlessly into its setting, featuring ballasted roof surfaces, integral concrete and masonry inspired by native stone, and muted metals that complement the desert palette. Deep overhangs provide shade, privacy, and glare control, while the overall design reduces visible massing.

Importantly, the project includes the **reduction and restoration of the long-visible spill slope**, stabilizing it with natural boulders and native vegetation. The result is a home that both fits the neighborhood in scale and quality and repairs and honors the hillside environment.

Variance History

This parcel has a long history of recognized hardships, reflected in previous variances:

2017 – Case No. BA-16-5

Approved for portions of a proposed home encroaching into the rear setback and a front patio extending above grade within the front setback under then-current hillside standards.

2021 – Case No. BA-21-11

Approved for:

- A raised outdoor living area encroaching into the front setback and exceeding 8' above grade.
- A residence exceeding the 24' height limit.
- Modification and maintenance of a nonconforming spill slope.

- Encroachment into the side setback.

The current proposal builds directly on these precedents—further **reducing site disturbance** and **improving hillside conditions**.

Requested Variances

1. Retaining walls exceeding 3'-0" in height within the 40' front setback.
2. A new single-family residence exceeding the 24' sloping height limit.
3. Enhancement and restoration of the existing spill slope with natural boulders and desert vegetation.
4. Encroachment of the residence into the 20' side yard setback.
5. Encroachment into the 40' rear yard setback.

These variances will allow a home consistent with neighboring hillside residences while **minimizing new disturbance** and **improving the visual and environmental quality** of the site.

Criterion 1 – Special Circumstances Applicable to the Property

“That there are special circumstances applicable to the property, which may include circumstances related to the property’s size, shape, topography, location, or surroundings; and” (Town Code Section 2-5-3(C)4).

Undersized Lot Dimensions (R-43 Standards)

- **Lot Depth:** Required 205'; existing 120' — undersized by 85'.
- **Lot Area:** Required 4.4 acres (191,664 SF); existing 44,786 SF — undersized by 146,878 SF.
- **Lot Diameter:** Required 165'; existing 120' — undersized by 45'.

Limited Envelope – Rocky Cliff & Spill Slope

Historic grading created a cliff face and unstable spill slope, resulting in major buildable-area loss:

- 47.98% of the building envelope is rocky cliff (unbuildable).
- 12.67% is affected by the spill slope.
- Only **39.35% (≈ 6,085 SF)** remains buildable.

Irregular Shape & Historical Pad

The existing building pad, created in the 1970s, is irregular and significantly undersized, limiting usable building area to ≈ **6,085 SF**. The hardship stems from an undersized, irregularly shaped lot and a historical building pad established prior to adoption of the Hillside Ordinance. All grading and construction predate current hillside regulations, rendering the existing conditions **legally nonconforming**.

Steep Slopes

The lot descends steeply from north to south, with an average building pad slope of **36.1%**. Under current hillside standards, a lot with this slope would require **4.4 acres (191,664 SF)**. The existing parcel, at **44,786 SF**, is therefore undersized by **146,878 SF**, emphasizing its nonconforming condition.

Utility Booster Station

The unsightly booster station bisects the lot, restricting access between the two resulting portions. It further isolates the northwest area—rendering it effectively unbuildable—and severely limits opportunities for driveway placement and site circulation.

Summary:

The combination of **substandard dimensions, steep topography, natural rock face, and existing infrastructure** creates exceptional conditions that severely limit reasonable development consistent with the R-43 district.

Criterion 2 – Special Circumstances Not Self-Imposed

“That the special circumstances applicable to the property were not self-imposed or created by the property owner; and” (Town Code Section 2-5-3(C)4).

Pre-Existing Lot Configuration

The property was platted prior to adoption of the R-43 and Hillside standards, resulting in a **substandard 44,786 SF (\approx 1.03-acre)** parcel. Under current hillside criteria, a **36.1% slope** would require a **4.4-acre lot**, a deficiency of **146,878 SF**.

Historic Pad and Spill Slope

Created in the 1970s by a prior owner, these conditions predate the Hillside Ordinance and are legally non-conforming.

Public Utility Booster Station

A booster station bisects the lot, isolating the northwest portion and limiting circulation—an external, non-owner condition.

Natural Topography and Rock Face

The steep terrain and exposed cliff are natural features of the site, not owner-created conditions.

Current Owner Mitigation Efforts

The current owner is improving the existing disturbance by implementing several restorative measures intended to reduce visual and physical hillside impacts:

- **Lowering the existing pad by approximately 13 feet**, primarily within the historic spill slope.
- This reduction **minimizes visible scarring** and creates a more natural transition along the hillside.
- The lowered pad **provides a reasonable and compliant building area** consistent with current hillside standards.
- The new home and landscape design will **effectively screen and restore the existing scar**, blending the site into the natural terrain.

- **Restoring and stabilizing the hillside** with native boulders and vegetation, improving both the appearance and ecological health of the slope.
- **Reclaiming the hillside** with natural materials and re-vegetation to reestablish its original desert character.

These actions collectively **lessen existing impacts, enhance slope stability, and improve environmental quality**, demonstrating that the hardship is **inherited—not self-imposed**.

Without increasing the historic pad depth, the home would require **substantial new hillside disturbance** and result in a structure positioned **higher and more visually imposing** on the mountain—contrary to the Town’s hillside preservation goals.

Criterion 3 – Deprivation of Privileges

“That the strict application of the Zoning Ordinance will deprive the property of privileges enjoyed by other property of the same classification in the same zoning district” (Town Code Section 2-5- 3(C)4).

Strict application of zoning would deprive this property—**APN 169-55-026A (44,786 SF / 1.03 acres)**—of reasonable development privileges enjoyed by other R-43 Hillside lots.

Comparable Context

The comparable properties illustrate that homes in the immediate neighborhood—particularly those built in recent years—reflect a consistent relationship between **lot size and livable square footage**. This demonstrates that the proposed design aligns closely with current development patterns in both **scale and proportion**.

In contrast, the **subject parcel (44,786 SF / 1.03 acres)** supports a proposed home of **5,724 SF**, with a **12.8% coverage ratio**. This shows that the residence is **modest in scale and well within the character of surrounding hillside**

properties, despite the lot's greater physical constraints related to slope, shape, and topography.

Parcel	Year Built	Lot Size (SF)	Home Size (SF)	Acres	Livable Home/Lot Ratio
169-55-017	2022	42,987	7,186	0.99	16.7%
169-55-933	2022	87,248	6,515	2.00	7.5%
169-55-020	2015	40,077	7,041	0.92	17.6%
169-55-015	2013	52,714	7,701	1.21	14.6%
Subject Lot (169-55-026A)	—	44,786	5,724 (proposed)	1.03	12.8%

Despite having a similar lot size to neighboring parcels, the subject property is uniquely constrained by its **steep 36.1% slope, rock formations**, and a **booster station**, leaving only **≈ 6,085 SF of buildable area**. These conditions make the requested variances **essential to allow for a home comparable in scale and quality to surrounding hillside residences**.

Specific Limitations

- **Height Limits:** Strict adherence would force new disturbance into untouched hillside.
- **Setbacks:** With 120 feet of depth, front and rear setbacks as assigned are infeasible for development to suoding standards. Several Nearby homes also encroach into the setbacks for retaining walls as well as their houses.
- **Retaining Walls:** A minimal increase in height is requested to allow safe access tor guest parking, vehicles and egress from the home; taller walls are common in the area.
- **Spill Slope Restoration:** The existing spill slope presents

Conclusion

The requested variances arise from **long-standing, non-self-imposed conditions** that severely restrict reasonable development of the property at **5712 East Glen Drive**. These include **undersized lot dimensions**, a **steep 36.1% average slope**, **rocky cliff formations**, a **historic spill slope**, and the presence of a **Town-owned booster station** that divides the site and eliminates a portion of the buildable area.

As a result, in its current state, only **limited buildable area** remains. Without variance relief, the property could not accommodate a residence of comparable **size, scale, or quality** to surrounding R-43 hillside homes.

The proposed **5,724 SF single-level residence (livable conditioned space)** is consistent with recent hillside developments and demonstrates that the home is **modest in proportion** and **harmonious with the established character** of nearby residences.

Rather than intensifying disturbance into the hillside, the design **reduces visible scarring** by working within the existing pad limits and **lowering the pad approximately 12 feet**, **revegetating the hillside**, and **stabilizing slopes with native boulders and desert vegetation**. These measures **restore the natural form of the mountain** and transform a long-visible scar into a **stable, integrated landscape feature**.

The resulting architecture is **low-profile, desert-appropriate, and environmentally restorative**, using materials that blend with the surrounding terrain and rooflines that follow the natural contours of Mummy Mountain. The project therefore not only **minimizes new disturbance**, but actively **enhances the visual and ecological quality of the site**.

Approval of the requested variances will allow for a **home that is environmentally sensitive, contextually appropriate, and fully aligned with the Town's Hillside Development goals—restoring the land** while providing the property with the same **reasonable development privileges** afforded to neighboring hillside residences.



Variance Request 5712 East Glen Drive Paradise Valley, Arizona



kendledesign
collaborative

Page 01

Cover Sheet | Variance

Glen Residence
5712 East Glen Drive
Paradise Valley, AZ

Site Location

The property at 5712 East Glen Drive (APN 169-55-026A) is located on the south side of Mummy Mountain, visible from much of Paradise Valley and Camelback Mountain to the south. The site measures approximately 1.03 acres (44,786 SF).



Site History

The lot was originally graded in the early 1970s, as shown by 1976 aerial photography, creating the existing building pad and spill slope. This pad has remained undeveloped for nearly 50 years, standing as a visible scar on the hillside.





SW



SE



SW DRIVEWAY/BOOSTER STATION



SE STREET/SPILL SLOPE



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Page 03

Site Photos | Variance

Glen Residence
5712 East Glen Drive
Paradise Valley, AZ

Property Hardships

Hardship 1 – Irregular Lot & Building Pad

The parcel’s small, irregularly shaped building pad severely reduces the viable area for siting a residence.

Hardship 2 – Steep Slopes

The lot drops steeply from north to south. No home could reasonably be constructed here without reliance on the existing graded pad.

Hardship 3 – Rocky Cliff Face

A rocky cliff face, enlarged with the creation of the spill slope in the 1970s, further restricts opportunities for siting and orienting a home. 47% of the building envelope.

Hardship 4 – Booster Station

A large utility booster station bisects the lot, limiting circulation, restricting driveway location, and isolating the northwest portion of the site as unbuildable.

Hardship 5 – Non-Conforming Lot

Non-Conforming Lot Area:

The minimum required lot size for property with a 36% slope is 4.4 acres (191,664 square feet). The subject property contains only 44,786 square feet, resulting in a deficiency of 146,878 square feet. This substantial shortfall creates a hardship by limiting build able area and design flexibility while still requiring compliance with hillside and zoning regulations intended for much larger lots.

Non-Conforming Lot Depth:

The standard R-43 lot depth is 205 feet. The subject property measures only 120 feet in depth, making it 85 feet shallower than required. This restricts building placement, grading design, and compliance with required setbacks.

Non-Conforming Lot Diameter:

The standard R-43 lot diameter is 165 feet, whereas the subject property measures only 120 feet, resulting in a 45-foot deficiency. This reduced diameter further constrains the build able envelope, limiting opportunities for reasonable development consistent with surrounding hillside properties.

Hardship 6 – Existing Spill Slope

The man-made spill slope, created in the 1970s, remains a visible scar on the landscape, clearly apparent from both Mummy Mountain and Camelback Mountain. Portions of the slope are steeper than 1:1. Full removal would be cost-prohibitive and environmentally damaging; however, stabilization and enhancement with native boulders and vegetation are proposed to improve and restore the hillside.

Hardship 5

Non-Conforming Lot Size (Area)

Minimum R-43 lot size for 36% slope=4.4 acres. 191,664sf

Lot size= 44,786 sf.

Undersized by 146,878 sf.

Hardship 5: undersized lot depth

Standard R-43: 205'

Subject Property: 120'

Result: Undersized by 85'-0"

Hardship 1 – Irregular Lot & Pad

Hardship 2 – Steep Slopes

Hardship 3 – Rocky Cliff Face

**UNBUILDABLE PORTION
OF LOT**

Hardship 5 Non conforming lot diameter

Standard R-43 = 165'

VS. OUR LOT = 120'

= 45'-0" Undersized

Existing spill slope

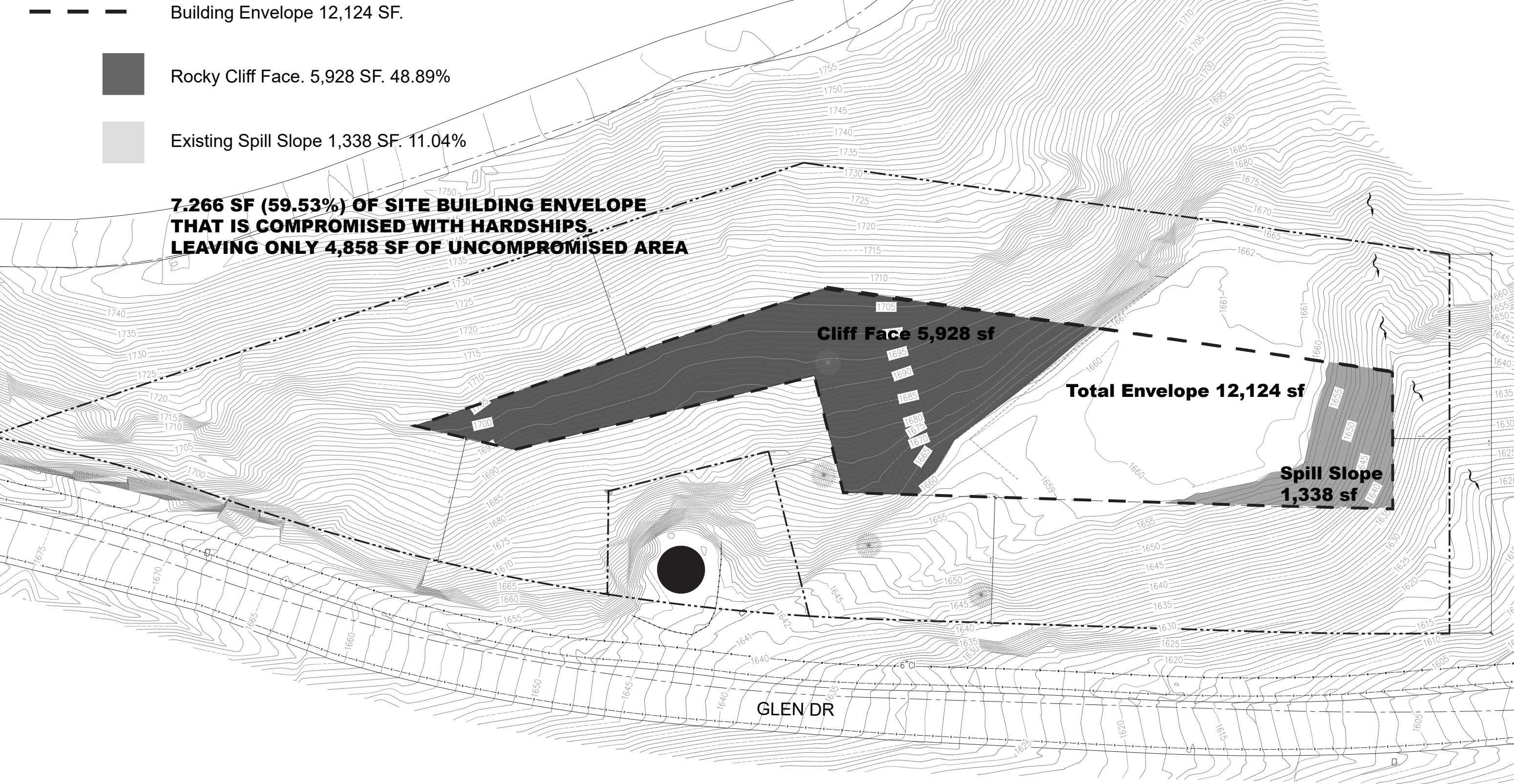
Hardship 4 – Booster Station

GLEN DR

205' Minimum' lot depth

120' lot depth. 85' shallower

Building Envelope With A Cliff Face And Spill Slope - Calculations



Historically Approved Variances

This property has a long history of approved variances, each recognizing the site’s unique hardships. The record of past approvals and the lot’s lack of prior development highlight the complexity of the site and confirm that these challenges are not self-imposed but inherent to the property.

2017 – Case No. BA-16-5

Approved to allow:

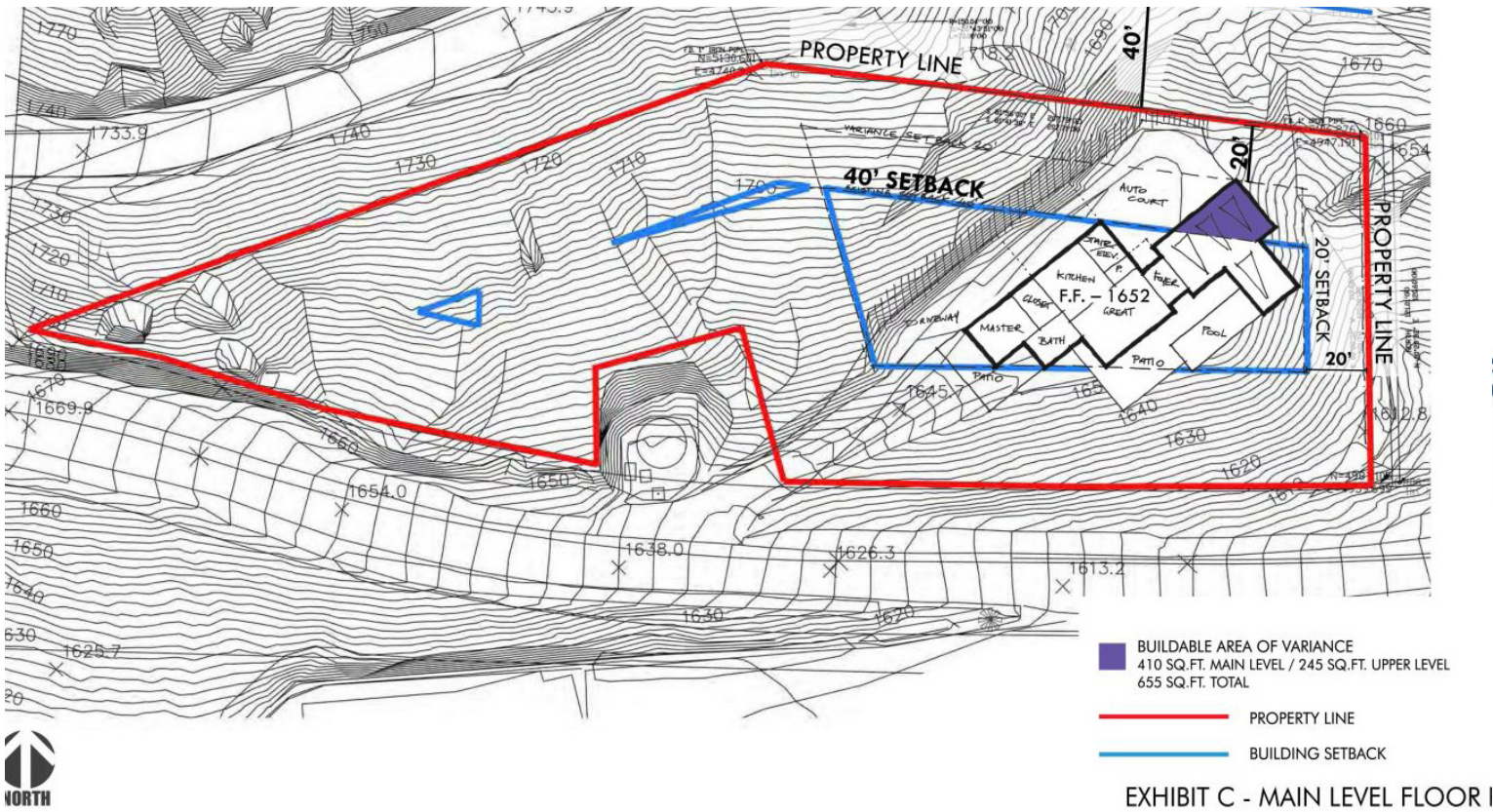
- 1.)Portions of a proposed home to encroach into the rear 40’ setback.
- This variance showed a front patio extending beyond the front setback at an elevation 9’ above natural grade, which was permissible under the hillside standards in effect then.

2021 – Case No. BA-21-11

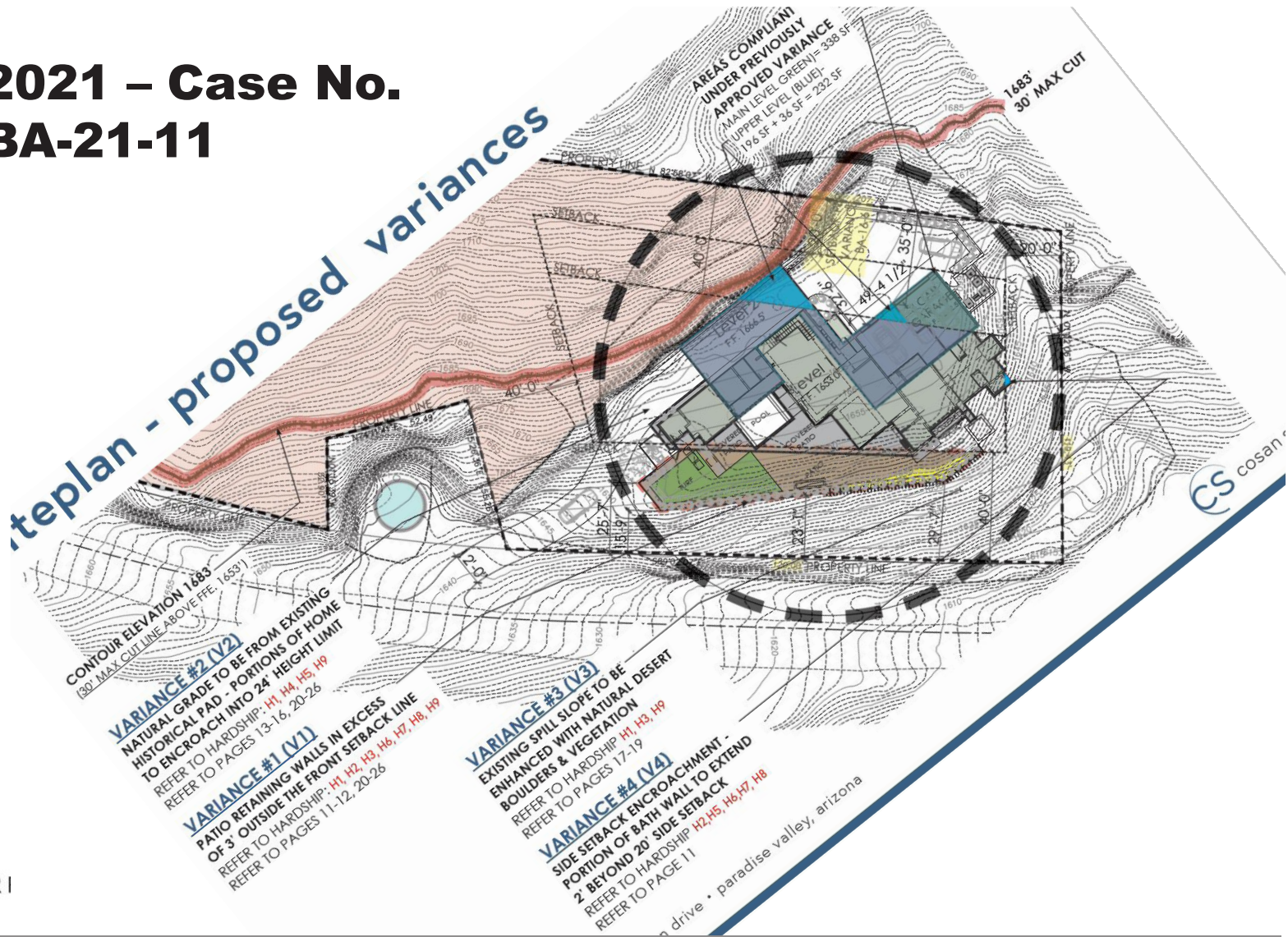
Approved to allow:

- 1.)A raised outdoor living area/patio to encroach into the front yard setback and exceed the 8’ height limit measured from natural grade.
- 2.)A new single-family residence to exceed the height limit.
- 3.)Modification and maintenance of a nonconforming spill slope.
- 4.)A portion of the new single-family residence to encroach into the side yard setback.

2017 – Case No. BA-16-5



2021 – Case No. BA-21-11



Variance Request Overview

The variance request pertains to an approximately 1.028-acre (parcel located at 5712 East Glen. The property presents several unique challenges, including its steep slope, irregular shape, undersized lot area, shallow depth, an existing water booster station, and a rocky cliff face with a spill slope created around 1975.

To allow the current owners to construct a new home consistent in size and quality with neighboring residences, we are requesting the following variance approvals (all of which have been historically approved per their respective design):

- Variance 1: Retaining walls exceeding 3’-0” in height, located within the 40’ front setback.**
- Variance 2: Allow a new single-family residence to exceed the 24’ sloping height limit.**
- Variance 3: Enhancement of the existing spill slope with natural desert boulders and vegetation.**
- Variance 4: Allow a portion of the new single-family residence to encroach into the 20’ side yard setback.**
- Variance 5: Allow portions of a proposed home to encroach into the rear 40’ setback.**

Approval of these variances would allow a reasonably scaled new home to be built on the existing historical pad (lowered 10’ from its current elevation), which has been in place since at least 1976. This approach minimizes further site disturbance while making thoughtful use of the previously developed area.

Due to the property’s highly unique conditions and the presence of the long-established pad, it is nearly impossible to accommodate even a modest home, three-car garage, outdoor barbecue, and limited outdoor living space without approval of the requested variances.

SITE DATA AND EXISTING/PROPOSED SITE CALCULATIONS

SITE DATA		DISTURBED AREA CALCULATIONS	
APN:	169-55-026A	EXISTING LOT AREA:	44,786 S.F (1.028 AC.)
ADDRESS:	5712 E GLEN DR., PARADISE VALLEY, AZ 85253	TOTAL AREA UNDER ROOF:	6,958 S.F.
ZONING:	R-43 (HILLSIDE)	FLOOR AREA RATIO:	15.54% < 25%
LOT AREA:	44,786 S.F. (1.028 AC.)	(AREA UNDER ROOF/AREA OF LOT)	
QS #:	23-41	BUILDING PAD SLOPE:	36.11%
AREA SUMMARY		VERTICAL:	39 FT
MAIN LEVEL:		HORIZONTAL:	108 FT
LIVABLE:	1,635 S.F.	ALLOWABLE NET DISTURBED AREA:	10.1%
MECH./UNCONDITIONED:	377 S.F.	ALLOWABLE NET DISTURBED AREA:	4,523.4 S.F.
GARAGE/STORAGE:	941 S.F.	EXISTING GROSS DISTURBED AREA:	58.98%
TOTAL:	2,953 S.F.	EXISTING GROSS DISTURBED AREA:	26,414 S.F.
UPPER LEVEL:		PROPOSED NEW DISTURBED AREA*:	15,427 S.F. (34.44%)
LIVABLE:	4,089 S.F.		
TOTAL:	4,089 S.F.		
TOTAL ENCLOSED AREA:	7,330 S.F.		
TOTAL AREA UNDER ROOF:	6,958 S.F.		
LOT COVERAGE:	15.54% < 25%		
DISTURBED AREA: 15,427 S.F. (0.354 AC.)			

Pad Elevation / Cut

- Existing Pad Elevation: 1,662’
- Proposed Pad Elevation: Pad 1649.50 FF:1,650’
- Proposed FFE (Pad Cut): 12’ reduction
- Top of Cut 1679. Bottom Pad height 1649.50=29.50

Existing Spill Slope

- Total Area: 10,600 SF
- Proposed Spill Slope Removal: 2,508 SF
- Proposed Spill Slope Restoration: 8,092 SF

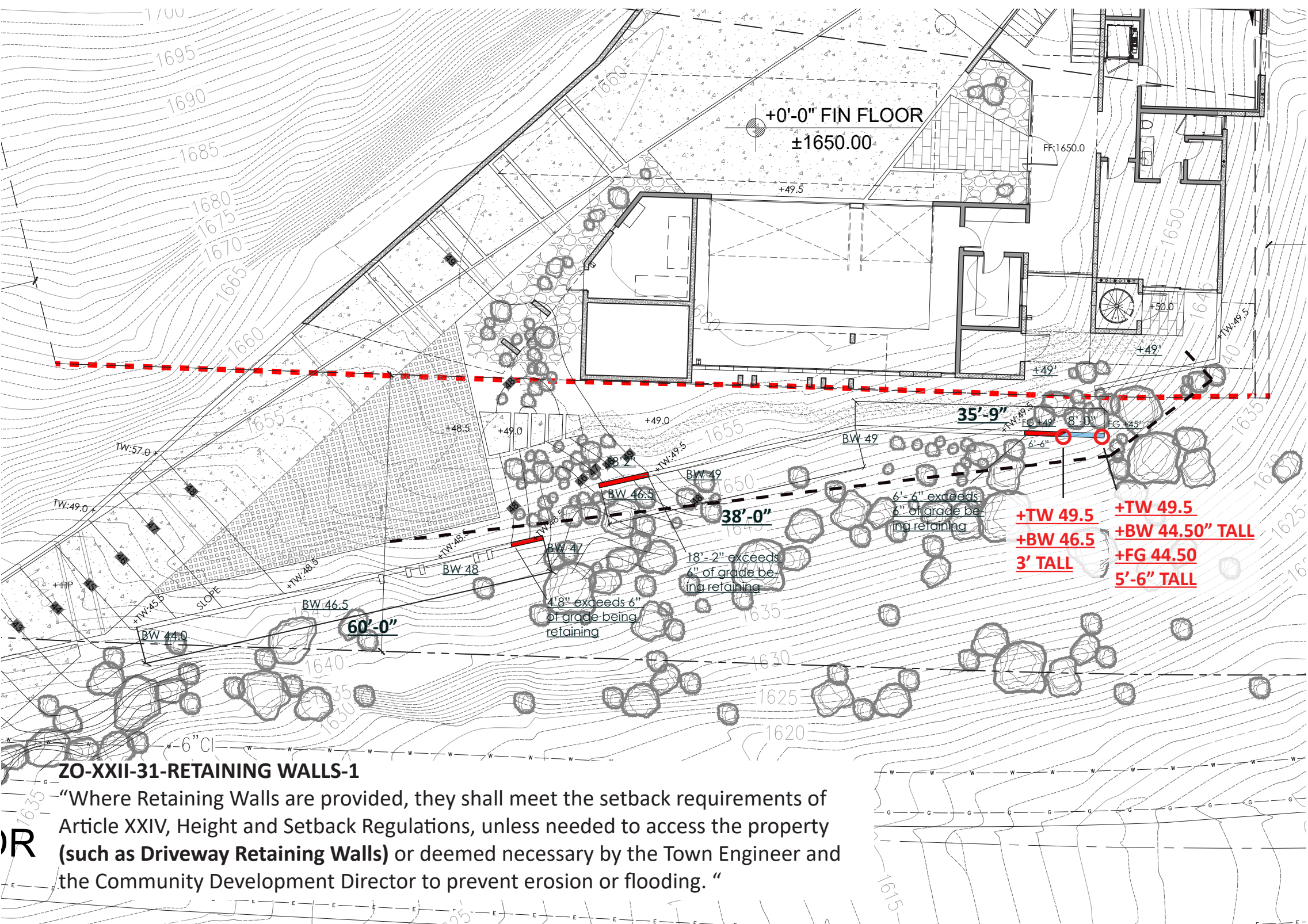
Building Pad Slope

- Vertical Elevation Change: 39’
- Horizontal Length: 108’
- Calculated Slope: 36%

Encroachment:

- Side yard: 59 sf. (22 sf is roof overhang)
- Rear yard: Lower level 643 sf, Main Level 1,151sf overhang 365
- Total: 2,159 sf of floor area.**

Variance 1: Retaining Walls Exceeding 3' and 6" above grade it is retaining.



- 40' Front yard set back
- Previously approved BA-21-11 Location of retaining walls in excess 3'
- Portion of Retaining walls in excess of 3' within the front yard setback line and 6" above the grade its retaining. 8' total
- Portion of Retaining walls in excess of 6" above the grade its retaining within the front yard setback. These walls are below the 3' height limit. Approximately 37'-4" of retaining wall extends more than 6 inches above the material it retains. This condition is necessary to provide proper drainage, maintain a stable slope, and ensure effective water management and erosion control. Only 8 linear feet of this wall section exceeds the 3-foot allowable height limit.
- Retaining wall height control points

ZO-XXII-31-RETAINING WALLS-1

“Where Retaining Walls are provided, they shall meet the setback requirements of Article XXIV, Height and Setback Regulations, unless needed to access the property (such as Driveway Retaining Walls) or deemed necessary by the Town Engineer and the Community Development Director to prevent erosion or flooding. “

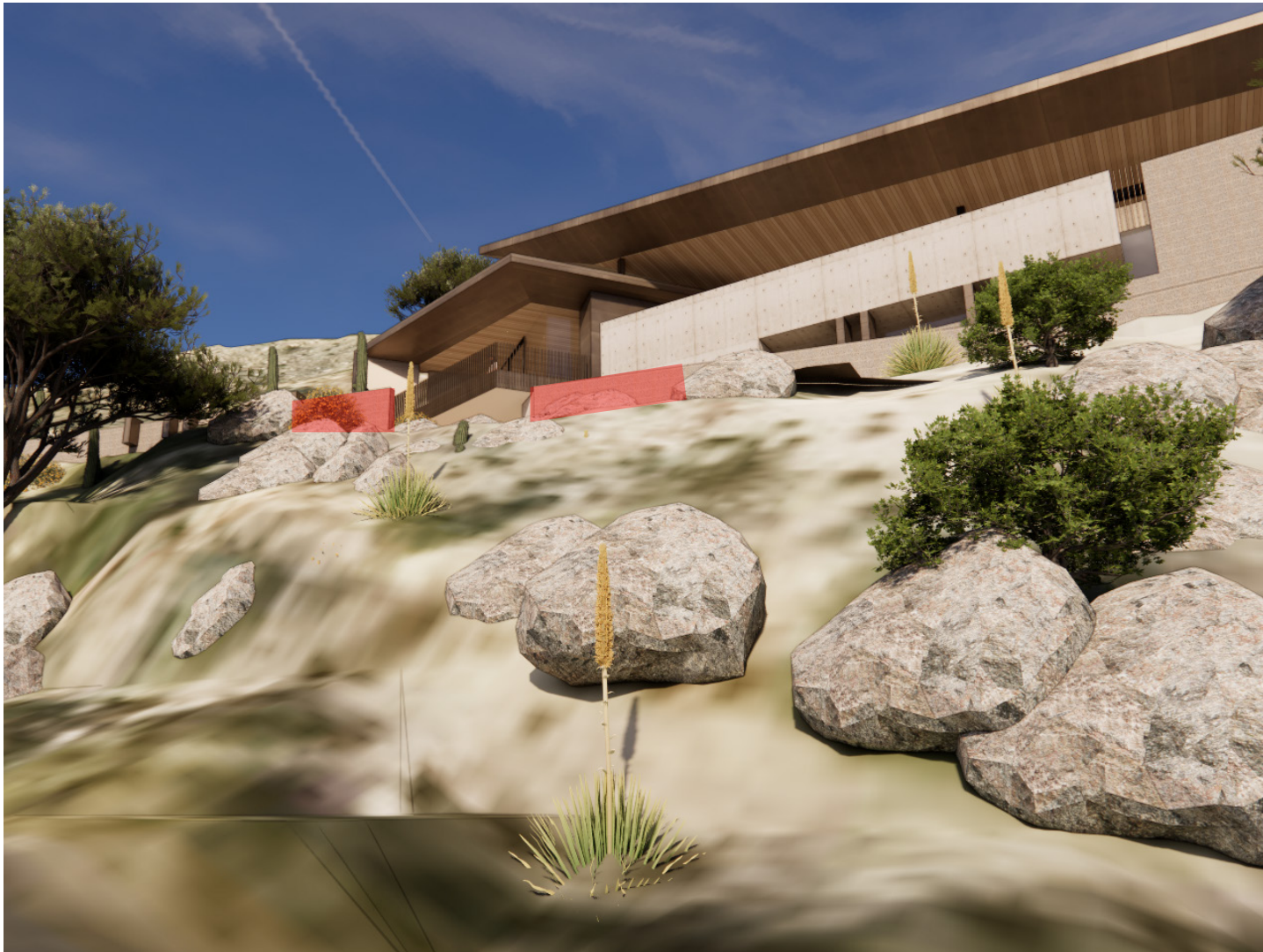


Variance 1: Retaining Wall Exceeding 3’ and 6” above the material it retains.

 Variance 1: Portion of Retaining Wall Exceeding 3’ in Height and Extending More Than 6” Above the Grade it Retains Within the Front Yard 40’ Setback

 Variance 1: A portion of the retaining wall located within the 40-foot front yard setback extends more than 6 inches above the grade it retains. Importantly, these wall segments do not exceed the 3-foot maximum height limit.

The photos highlight in blue and red portions of the retaining wall that exceed the 3’ height limit and 6” above grade retaining. Both walls are set back from the street and are designed to retain only what is necessary for site stability. In coordination with the landscape architect, these areas will be screened with boulders and plantings to reduce visual impact and blend the walls into the natural setting.



Variance 2: Allow a Portion of the Residence to Exceed the 24’ Sloping Height Limits

We are requesting a variance for one portion of the home to exceed the 24’ sloping height limits. This request is necessary due to the site’s limited build able footprint, the steep rock face to the west (which we intend to preserve), and the need to avoid further disturbance of the site. In addition, the property’s drastic topography further restricts the building envelope, making compliance with the height limit especially challenging.

As part of the design solution, we propose reducing the existing spill slope pad by 10’, removing an unstable area of dirt and loose soil that was previously built up and has become a visual blight. The result is a more compact footprint that minimizes disturbance, reduces the spill slope, and creates a building pad consistent with current hillside development standards.

Previously Approved Variance – Case No. BA-21-11 (2021)

In 2021, Case No. BA-21-11, a variance was granted allowing four portions of a residence—including parapet walls, the roof, a chimney, and roof deck railing—to exceed the 24’ above natural grade height limit.

That variance cited the same site hardships present here: a limited build able footprint, existing cuts, and challenging topography.

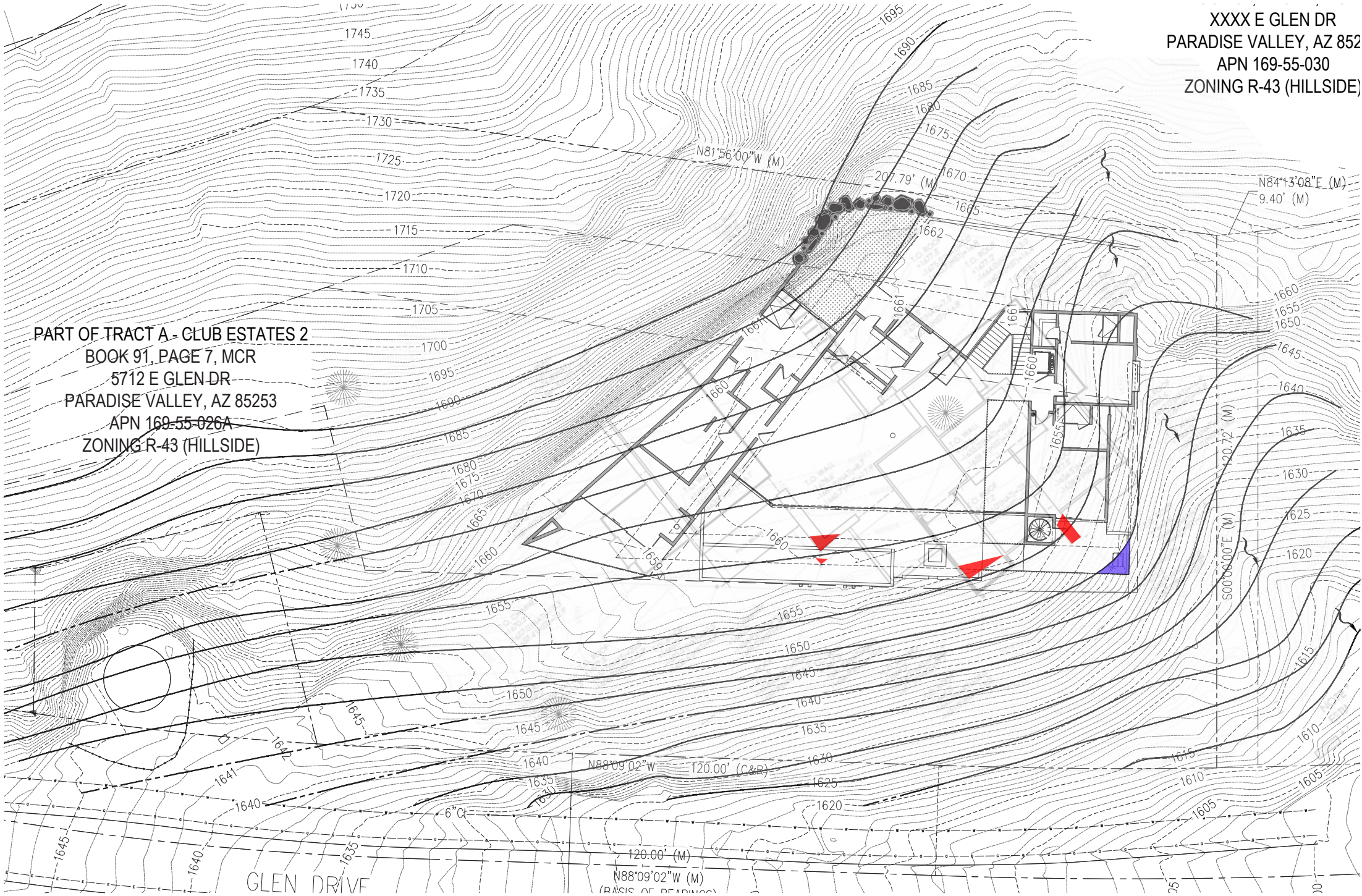
Comparison:



BA-21-11: Approved relief for four portions of a residence.

Current Request: Relief for only one portion, similar in location and scale to those previously approved.

In summary: Granting this variance will allow the home to be sensitively integrated into the hillside, minimize future disturbance, remove an existing site scar, and remain consistent with prior approvals for this property.

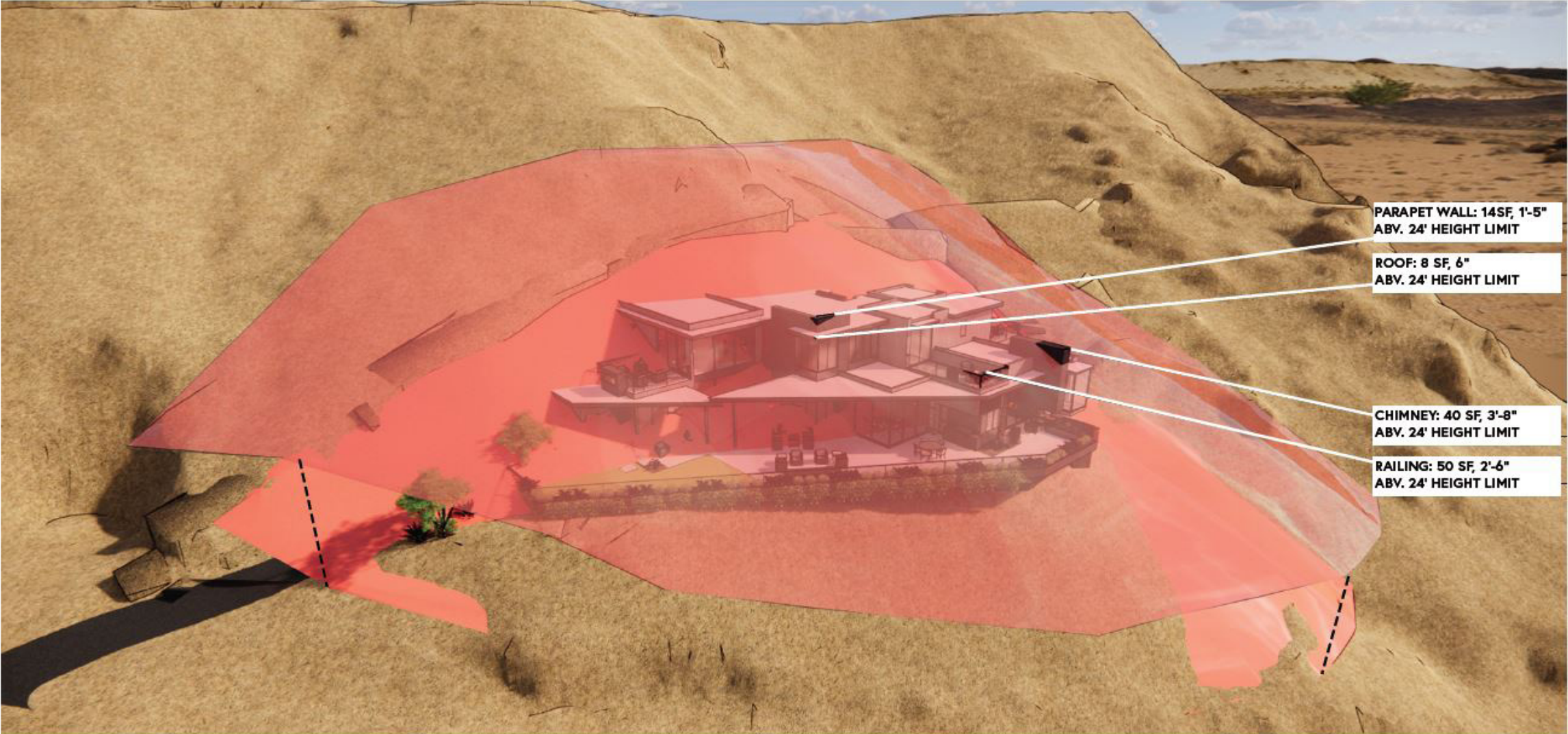
Variance 2: Portions of Roof to Exceed 24' Height Limit – Overlay of Requested vs. Previously Approved (BA-21-11)



- Requested Portions of roof Exceeding the 24' height limit. 
- BA-21-11 Approved portions of roof exceeding the 24' height limit. 

See the next two pages for area breakdown and elevation call outs.

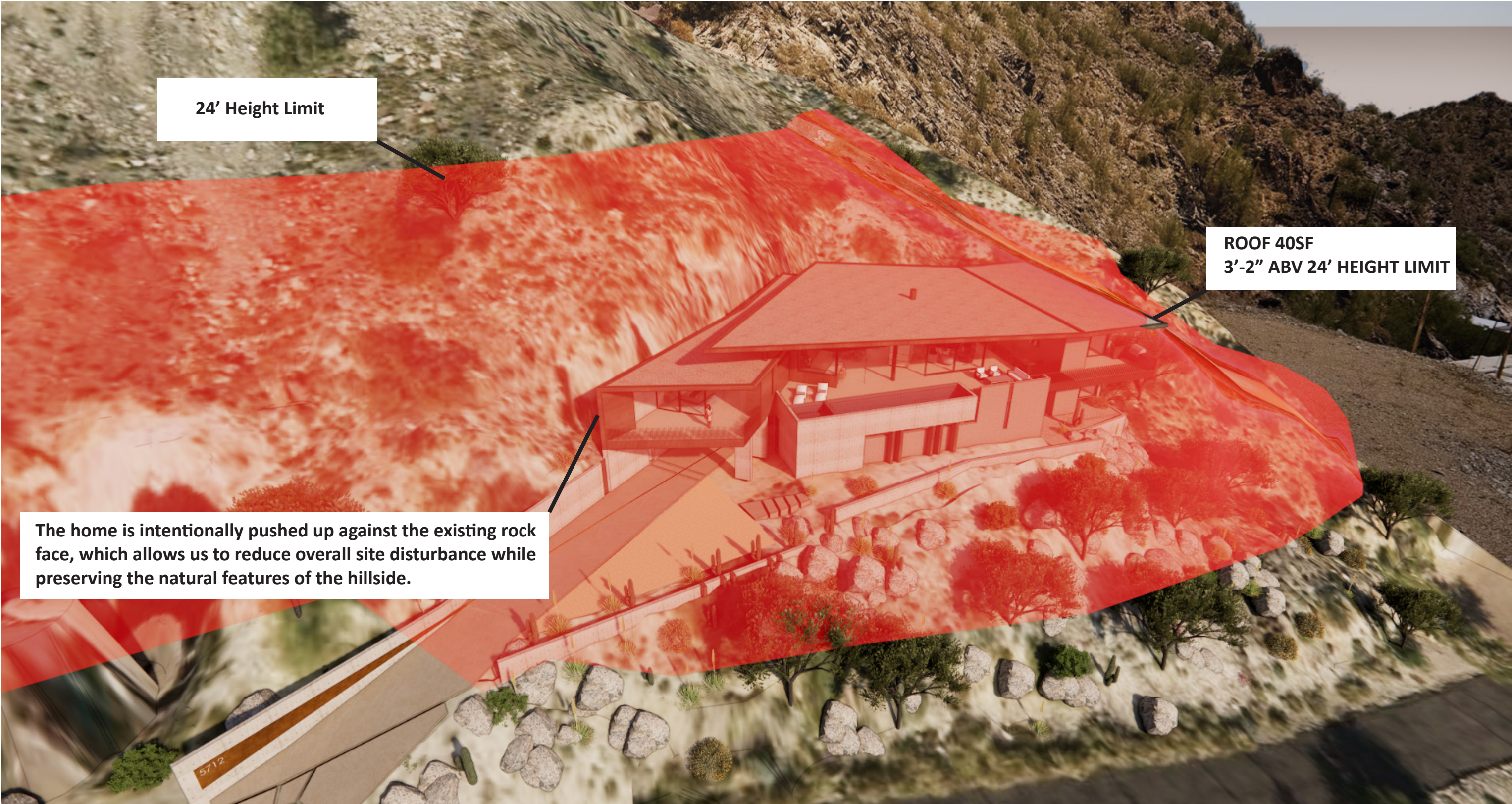
variance 2: portions of structure over 24' natural grade height overlay



13 variance request • 5712 east glen drive • paradise valley, arizona



Variance 2: Proposed Design – Portion of Roof Over 24'



24' Height Limit

ROOF 40SF
3'-2" ABV 24' HEIGHT LIMIT

The home is intentionally pushed up against the existing rock face, which allows us to reduce overall site disturbance while preserving the natural features of the hillside.

Variance 3: Existing Spill Slope to Be Reduced and Enhanced with Native Boulders & Vegetation

The homeowner respectfully requests approval to stabilize and enhance the existing historical spill slope on the lot using natural desert boulders and vegetation, allowing the slope to blend seamlessly with its surroundings. At present, the slope remains in its original “spill slope” condition, a practice no longer permitted under current Paradise Valley hillside regulations.

Approximately 24% of the spill slope will be removed as part of lowering the existing building pad. The remaining 76% will be restored and enhanced in full compliance with hillside code requirements and will be subject to review by the Hillside Building Committee.

Complete removal of the 45-year-old spill slope is impractical and undesirable. Due to its size, steepness, and location—directly above neighboring homes—full removal would be prohibitively expensive, unsafe, and highly disruptive, while further scarring the fragile desert landscape. Additionally, because the Natural Grade beneath the slope has been buried for more than four decades, it is impossible to determine with certainty the depth and extent of the fill materials versus the natural substrate to remain.

Previously Approved Variance for a Spill Slope — Case No. BA-21-11

In Case No. BA-21-11, the Town granted a variance to “modify and maintain a nonconforming spill slope.” Our current design builds upon this precedent by restoring the area previously approved, while also removing an additional 308 square feet of spill slope. To ensure consistency with the Town’s prior approval and the hillside design standards, we have engaged the same landscape architect—Greedy Pickett—to oversee the restoration and enhancement. This will help ensure that our request aligns with the intent of the earlier variance while providing further improvement to the site conditions.

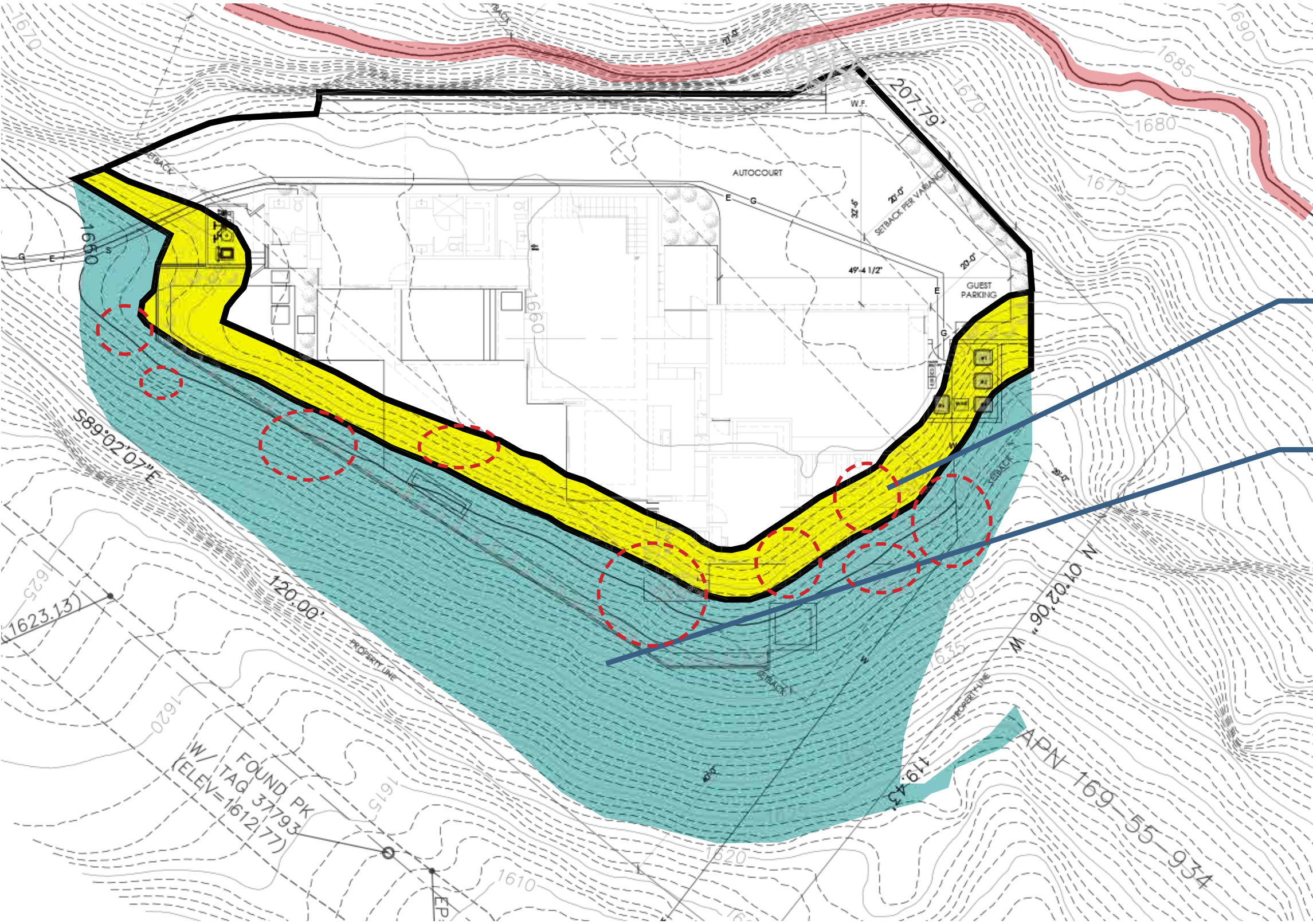
Spill Slope Area Breakdown

- Existing spill slope area ~10,600 sf
- Spill slope to be removed with 11’ cut ~ 2,508 sf
 - Remaining spill slope to be enhanced / restored ~ 8,092 sf

- Spill Slope Angle
- Portions of the spill slope are greater than 1:1 or 45 degrees
 - The avg. Spill slope is 1:1.5 or 34 degrees

* Average slop of Natural Grade below the proposed spill slope to remain is Estimated at 1:1.7 to 1:1.5 (Between 30 - 34 degrees).

Variance 3: Previously Approved Variance Exhibit – Spill Slope (Case No. BA-21-11)



1683'
TOTAL SPILL SLOPE ~ 10,600SF

± 2,200 SF OF EXISTING PORTION OF SPILL SLOPE TO BE REMOVED FOR NEW BUILDING PAD ENLARGEMENT.

± 8,400SF OF EXISTING SPILL SLOPE TO BE RESTORED. REFER TO LANDSCAPE EXHIBIT FOR RESTORATION PLAN. AVG. SLOPE = 1:1.5 OR 34 DEG.

AVG. SLOPE OF NATURAL GRADE (ESTIMATED) = 1:1.7 (30 DEG.) TO 1:1.5 (34 DEG.)

PORTION OF SPILL SLOPE WITH SLOPE GREATER THAT 1:1 OR 45 DEG.

Variance 3: Proposed Spill Slope Removal and Restoration – Diagram



TOTAL SPILL SLOPE ≈ 10,600

(±) 2,508 SF OF EXISTING PORTION OF SPILL SLOPE TO BE REMOVED FOR NEW BUILDING PAD ENLARGEMENT.

(±) 8,092 OF EXISTING SPILL SLOPE TO BE RESTORED. REFER TO LANDSCAPE EXHIBIT FOR RESTORATION PLAN.
AVG SLOPE- 1:1.5 OR 34 DEG.

AVG. SLOPE OF NATURAL GRADE (Estimated) = 1=1.7 (30 DEG.) TO 1:1.5 (34 DEG.)

PORTION OF SPILL SLOPE WITH A SLOPE GREATER THAN 1:1 OR 45 DEG.

Variance 3: Proposed Spill Slope Restoration – Exhibit



Glen Residence
Paradise Valley, AZ

Slope Restoration Exhibit

GREY PICKETT
1"=10'-0" Oct 01, 2025

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Variance 3: Spill Slope Restoration – Examples



BEFORE
5135 E Valle Vista Way
Paradise Valley, AZ

AFTER

BEFORE
4700 E Moonlight Way
Paradise Valley, AZ

AFTER

NOTE THIS EXHIBIT IS IDENTICAL TO THE PREVIOUSLY APPROVED BA-21-11 VARIANCE. WHILE THE ARCHITECTURE HAS CHANGED THE DESIGN INTENT AND GOALS OF THE SITE RESTORATION REMAIN THE SAME.

Variance 4: Side Setback Encroachment

We respectfully request approval for a minor encroachment in which a portion of the guest bedrooms and associated roof overhang extends 0’ to 2’ feet beyond the required 20-foot side setback.

The floor plan has been carefully organized to maximize the limited build able area of this small and irregularly shaped lot. To achieve this, the design already pushes further into the rock face on the western edge of the property, while still seeking to balance the home sensitively within the site.

Several restrictive site conditions create unique challenges that limit the placement of the residence:

Undersized lot – At 44,786 SF, the property falls below the standard R-43 zoning allowance for a property with a 36% slope which would be 4.4 acres.

Booster station – The existing utility booster station restricts the ability to shift the home east or west.

Natural site constraints – A rock face to the north and west and a historical spill slope to the south further constrain development.

Given these hardships, the proposed encroachment is minimal, functional, and carefully considered. It preserves the overall intent of the 20-foot side setback requirement while allowing a workable and efficient floor plan that respects the sensitive hillside conditions. Importantly, sliding the house further west to avoid the setback would require substantial additional excavation into the hillside rock face—causing greater disturbance to the site and surrounding environment than the small encroachment requested

Previously approved variance for a Side Yard Setback Encroachment.

In Case No. BA-21-11, the Town granted a variance to “**allow a portion of the new single-family residence to encroach into the side yard setback.**” Our design requests a similar encroachment into the same side yard setback, based on comparable site hardships. In an effort to minimize overall impact, the home has been carefully positioned to reduce disturbance to the west and avoid unnecessary additional grading into the hillside.

Side Yard setback Encroachment Comparison

Previously approved side yard encroachment: 8 SF – representing 0.01% of the total lot area (44,786 SF).

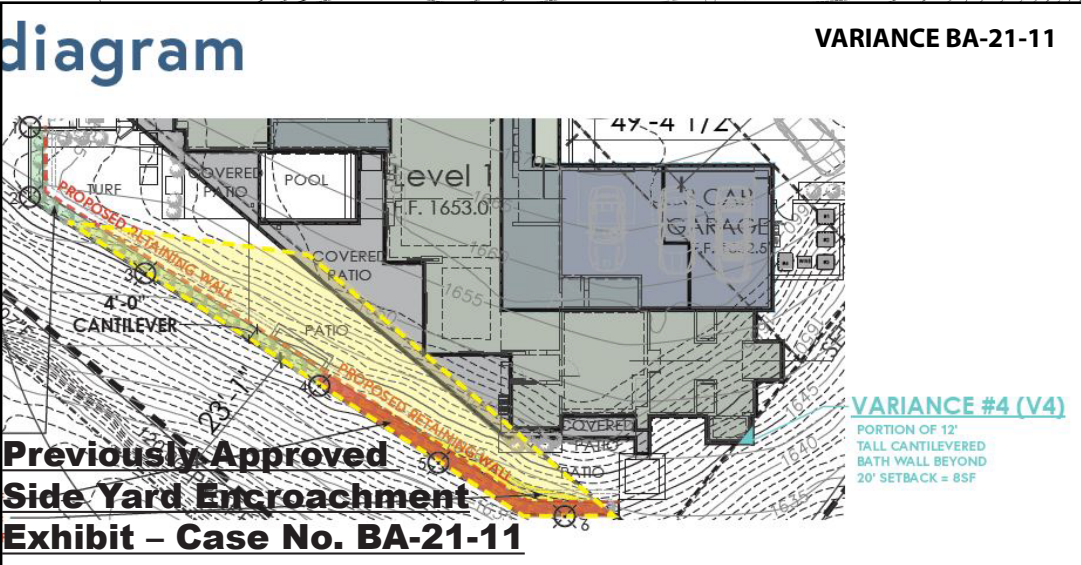
Requested side yard encroachment:

Building footprint: 37 SF – 0.08% of the total lot area.

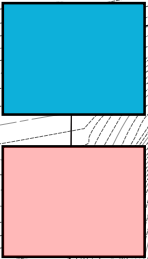
Roof overhang: 22 SF – 0.04% of the total lot area.

Total requested side yard encroachment: 59 SF – 0.13% of the total lot area.

Variance 4: Side Setback Encroachment



PART OF TRACT A - CLUB ESTATES 2
BOOK 91, PAGE 7, MCR
5712 E GLEN DR
PARADISE VALLEY, AZ 85253
APN 169-55-026A
ZONING R-43 (HILLSIDE)

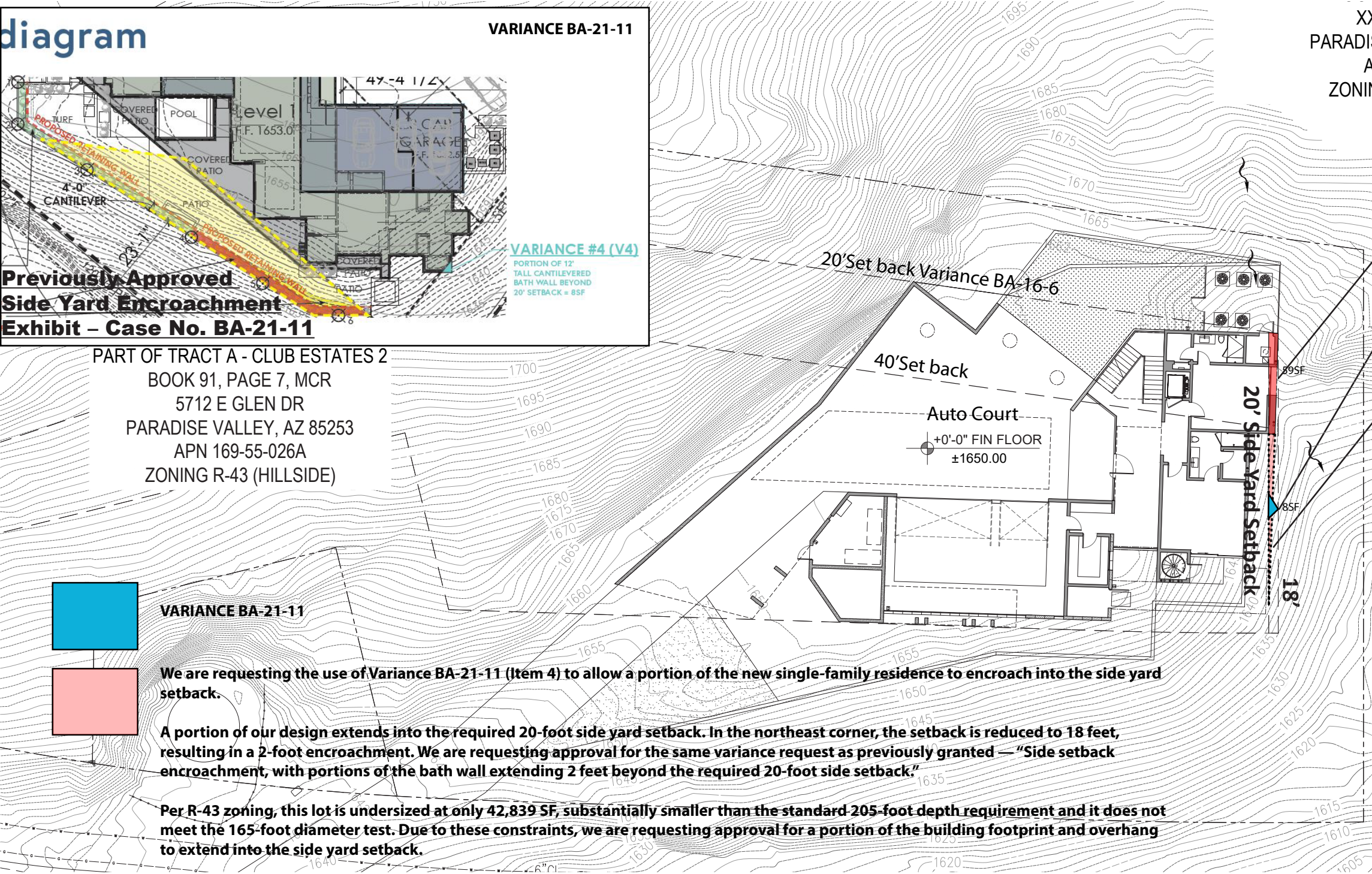


VARIANCE BA-21-11

We are requesting the use of Variance BA-21-11 (Item 4) to allow a portion of the new single-family residence to encroach into the side yard setback.

A portion of our design extends into the required 20-foot side yard setback. In the northeast corner, the setback is reduced to 18 feet, resulting in a 2-foot encroachment. We are requesting approval for the same variance request as previously granted — “Side setback encroachment, with portions of the bath wall extending 2 feet beyond the required 20-foot side setback.”

Per R-43 zoning, this lot is undersized at only 42,839 SF, substantially smaller than the standard 205-foot depth requirement and it does not meet the 165-foot diameter test. Due to these constraints, we are requesting approval for a portion of the building footprint and overhang to extend into the side yard setback.



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PARADI
A
ZONIN

- Requested side yard encroachment Building footprint 37 sf
- BA-21-11 Previously approved Side yard setback encroachment. 8sf
- Requested side yard encroachment Roof overhang 22sf.

Side Yard setback Encroachment Comparison

Previously approved side yard encroachment: 8 SF – representing 0.01% of the total lot area (44,786 SF).

Requested side yard encroachment: Building footprint: 37 SF – 0.08% of the total lot area.

Roof overhang: 22 SF – 0.04% of the total lot area.

Total requested side yard encroachment: 59 SF – 0.13% of the total lot area.

VARIANCE 5 REAR YARD SETBACK ENCROACHMENT

We are requesting a variance to allow a portion of the proposed single-family residence to encroach into the 40-foot rear yard setback.

This request is necessary due to the unique constraints of the lot, including its irregular shape, steep topography, and the location of a previously disturbed pad. The existing conditions limit the usable building envelope, and strict application of the 40-foot setback would force the home into undisturbed areas, resulting in greater grading and disturbance than the current design solution.

It is important to note that in Case No. BA-16-6, the Board previously granted a variance allowing this rear yard encroachment. A design following that approval BA21-11 was entitled to rely on the use of the variance. Our current request is consistent with that prior approvals general location while maintaining the same fundamental site constraints and conditions.

The proposed home is approximately 5,700 livable square feet, consistent with the scale and character of other homes in the surrounding community. The requested setback reduction is minimal in scope and applies only to the area directly adjacent to the existing pad, allowing the residence to be properly sited while reducing environmental impact.

Importantly, the variance will not create adverse impacts on neighboring properties. The parcel directly upslope to the east sits at a significantly higher elevation, preserving both privacy and views. The design remains harmonious with adjacent homes and maintains the intent of the zoning ordinance while addressing site-specific hardships.

In summary, granting this variance — consistent with the Town’s prior approval under Case BA-16-6 — allows the home to be appropriately integrated into the site, minimizes additional disturbance, and ensures the property can enjoy reasonable use and privileges consistent with other parcels in the R-43 zoning district.

Variance 5: Rear Yard Setback – Photos

The attached photos illustrate the location of this encroachment in context. It is positioned directly against a natural rock wall, not visible from the street or from the hillside below, and will have no impact on the public perspective of the home.

The proposed finish floor elevation is 1650, while the neighboring upslope property could not reasonably be developed below elevation 1700, given the street elevation is around 1755. This places any future home on that lot approximately 50 feet above our residence, ensuring that the encroachment will not affect the privacy, views, or enjoyment of adjacent properties.

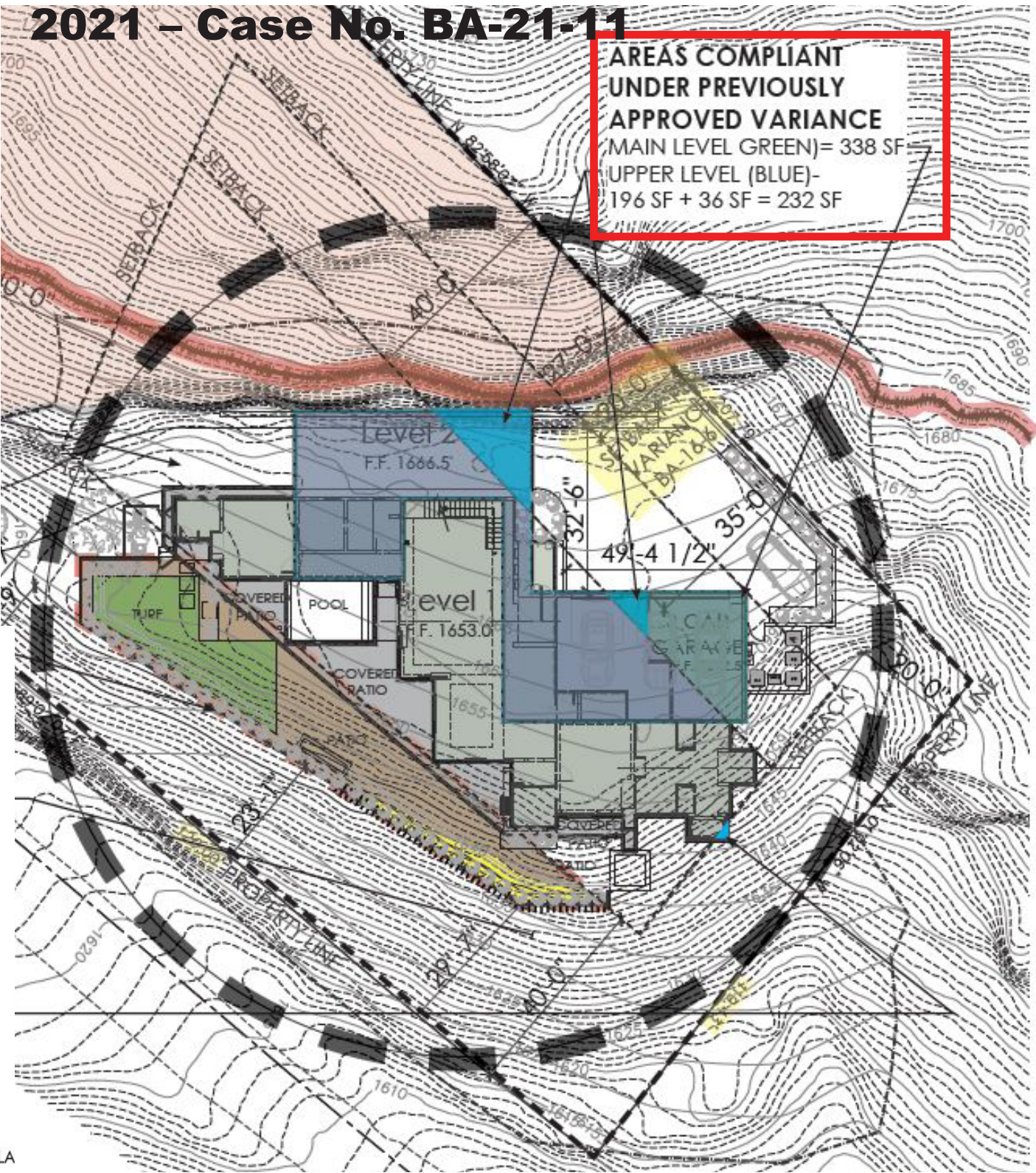
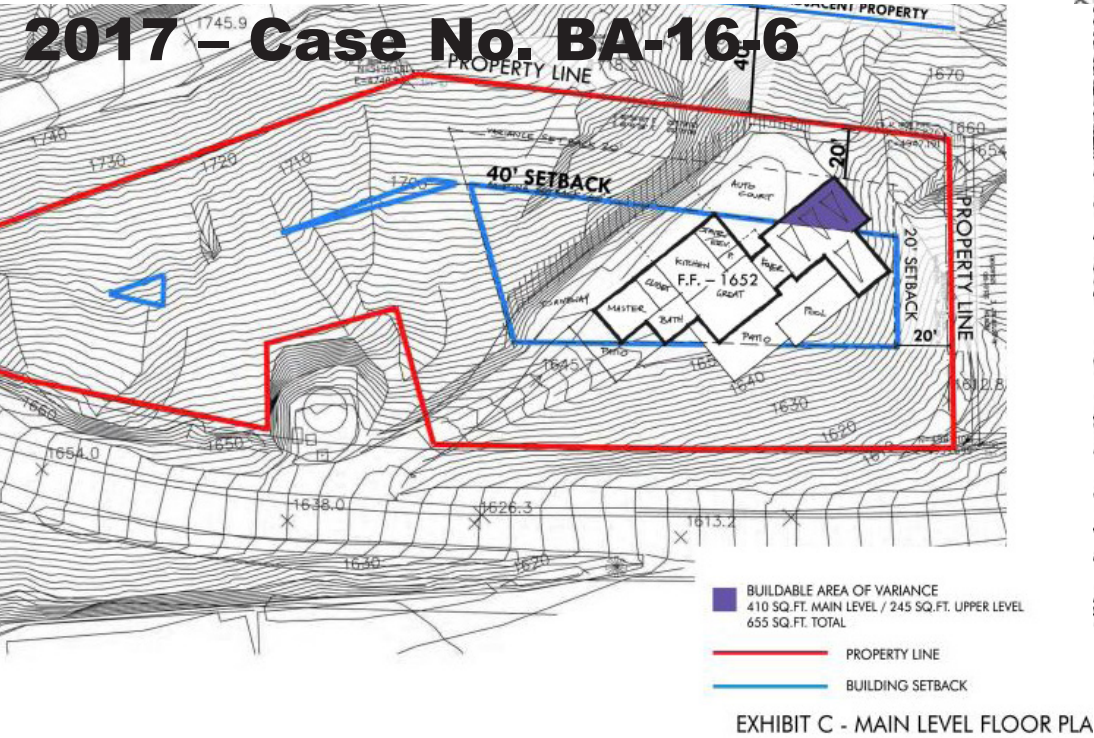
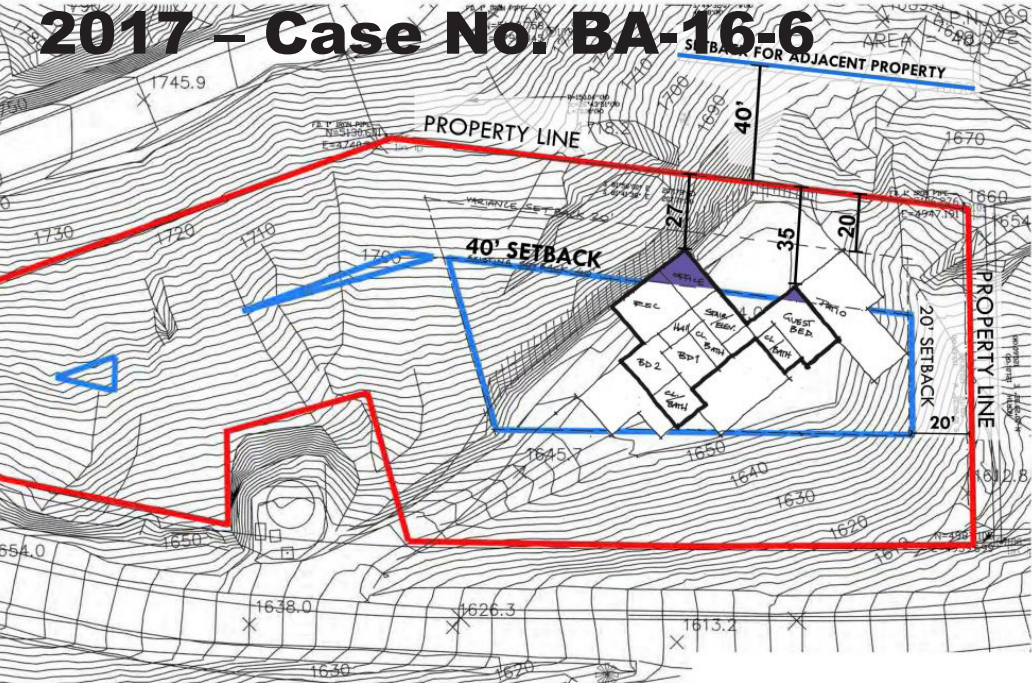
To further minimize visibility, we are also proposing a ballast roof system, which will help screen the residence from above and soften the visual impact when viewed from higher elevations.



Variance 5: Previously Approved Rear Yard Setback Variances

In Case No. BA-16-6, the Board granted a variance permitting rear yard encroachment on this property. A later design, approved under BA-21-11, relied on that variance.

Our current request aligns with those prior approvals in both location and intent, reflecting the same site constraints and conditions previously acknowledged by the Board.

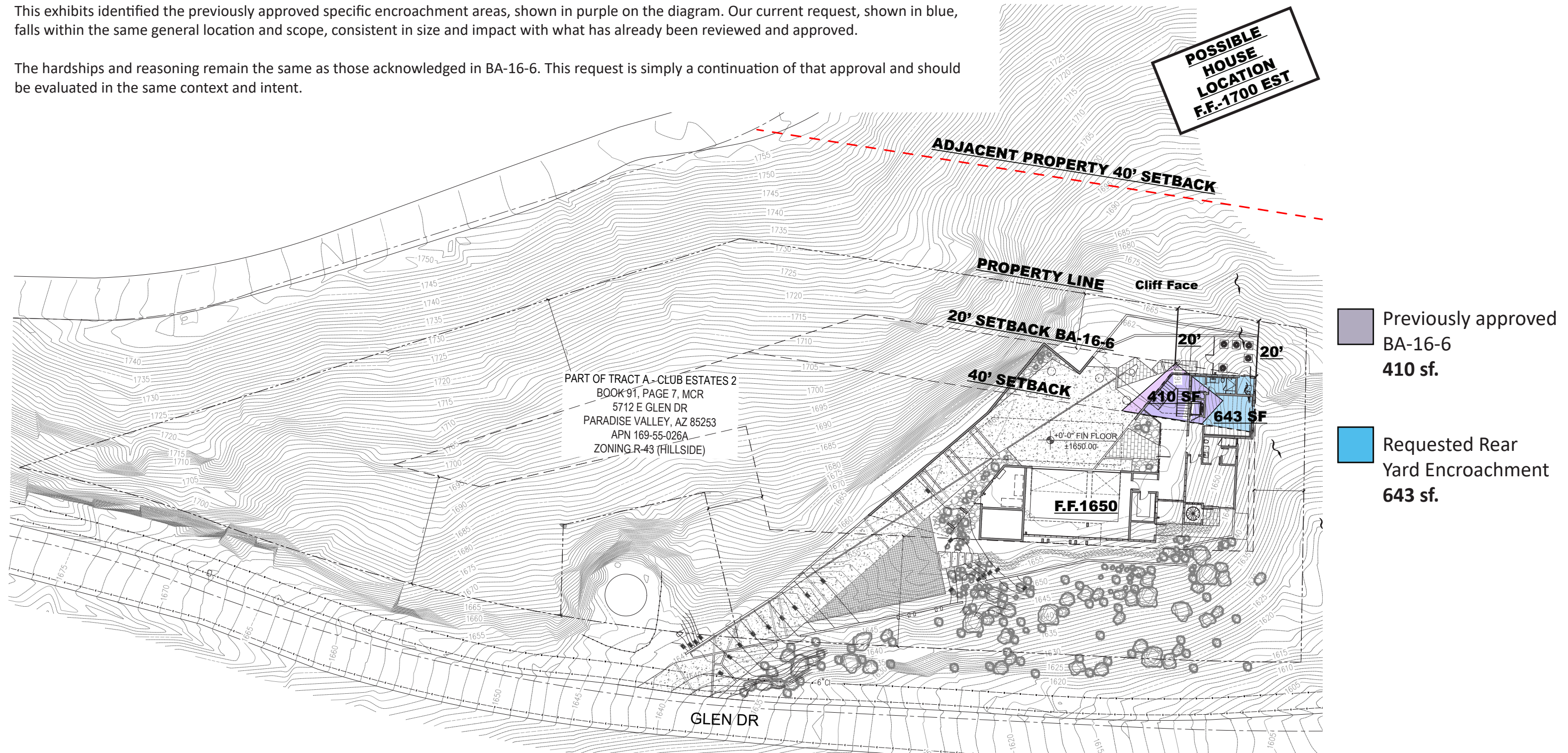


Variance 5: Rear Yard Setback Encroachment – Lower Level - Previously Approved Overlay

A variance was granted in May 2017 under BA-16-6 allowing portions of the home to encroach into the rear yard setback. This property is undersized at 44,786 SF

This exhibits identified the previously approved specific encroachment areas, shown in purple on the diagram. Our current request, shown in blue, falls within the same general location and scope, consistent in size and impact with what has already been reviewed and approved.

The hardships and reasoning remain the same as those acknowledged in BA-16-6. This request is simply a continuation of that approval and should be evaluated in the same context and intent.

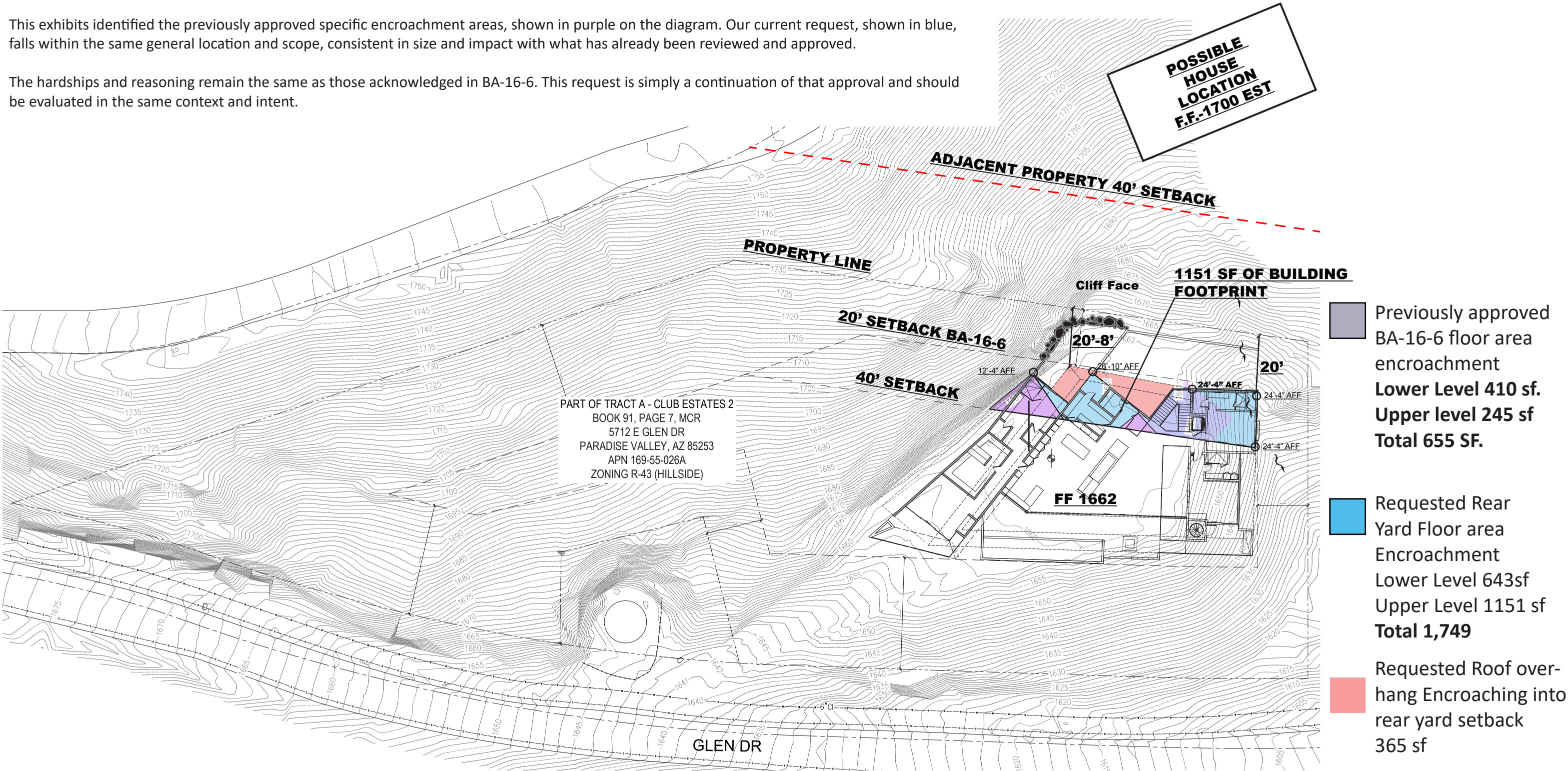


Variance 5: Rear Yard Setback Encroachment – Upper Level - Previously Approved Overlay

A variance was granted in May 2017 under BA-16-6 allowing portions of the home to encroach into the rear yard setback. This property is undersized at 44,786 SF.

This exhibits identified the previously approved specific encroachment areas, shown in purple on the diagram. Our current request, shown in blue, falls within the same general location and scope, consistent in size and impact with what has already been reviewed and approved.

The hardships and reasoning remain the same as those acknowledged in BA-16-6. This request is simply a continuation of that approval and should be evaluated in the same context and intent.

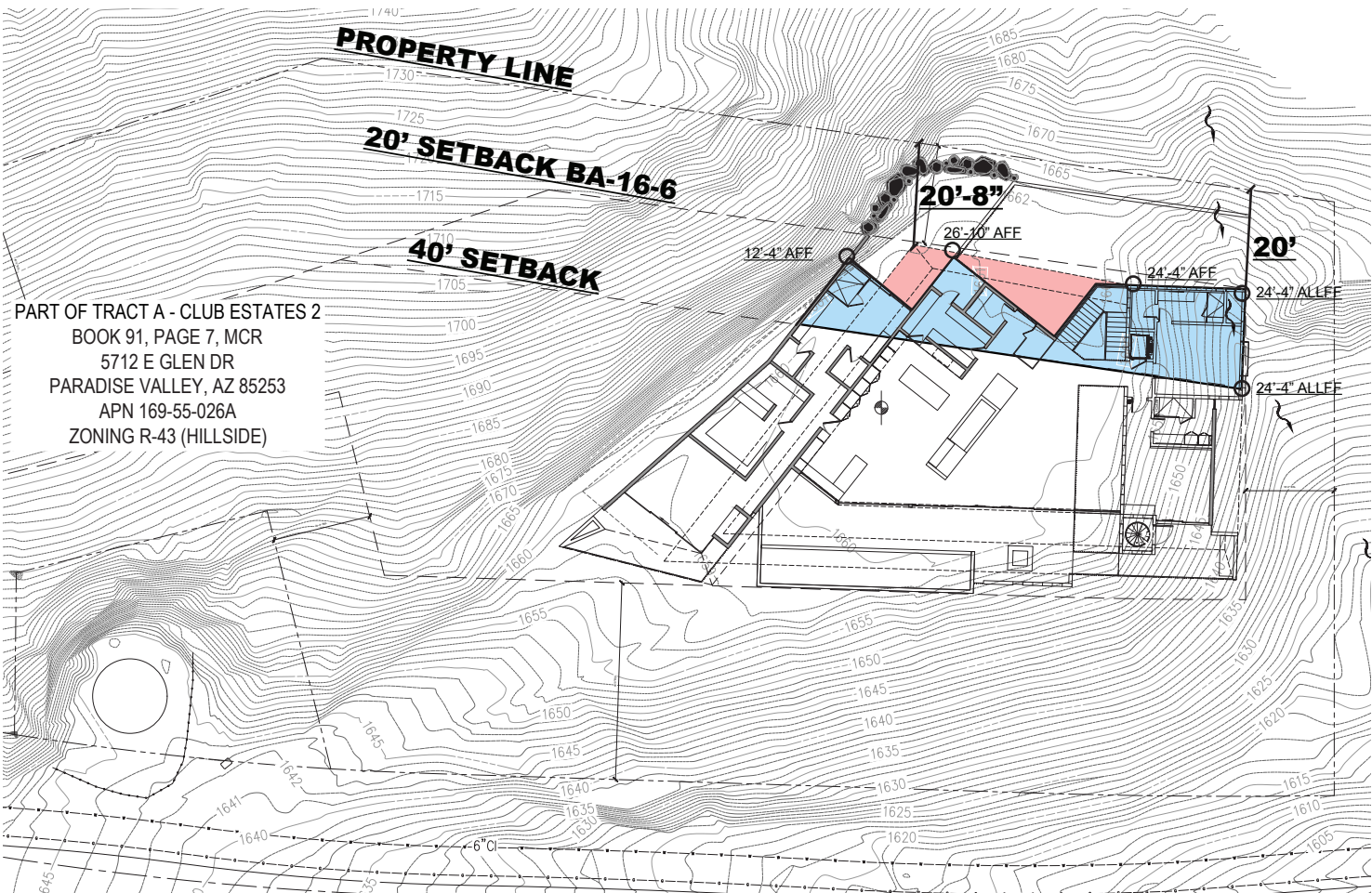
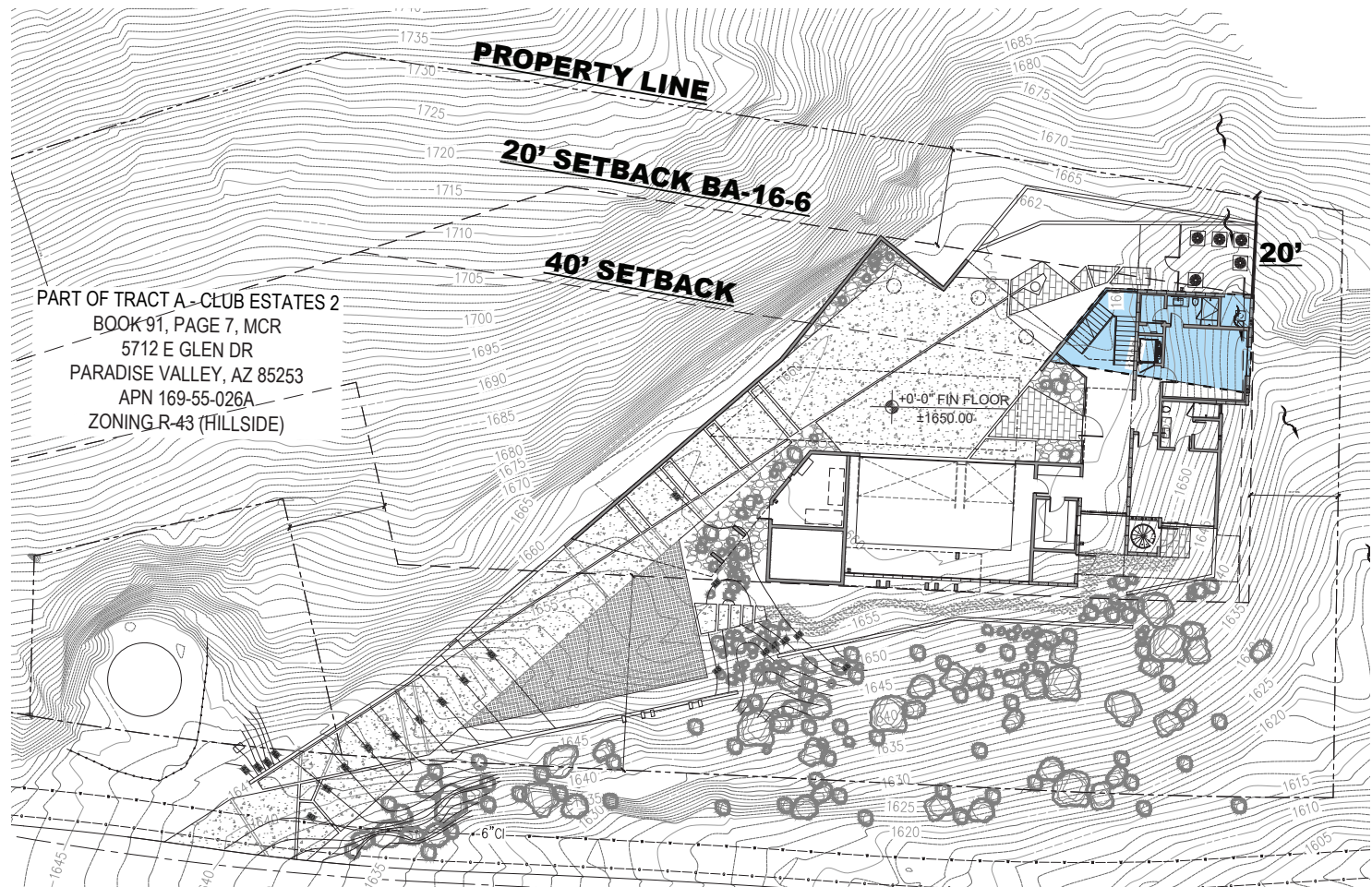


Variance 5: Rear Yard Setback Encroachment – Requested

Rear Yard Lower Level Floor Area and Footprint Encroachment - 643 SF.
Total - 643 SF.

Rear Yard Main Level Footprint Encroachment - 1,151 SF.
Roof Overhang Encroachment - 365 SF.
Total - 1,516 SF.

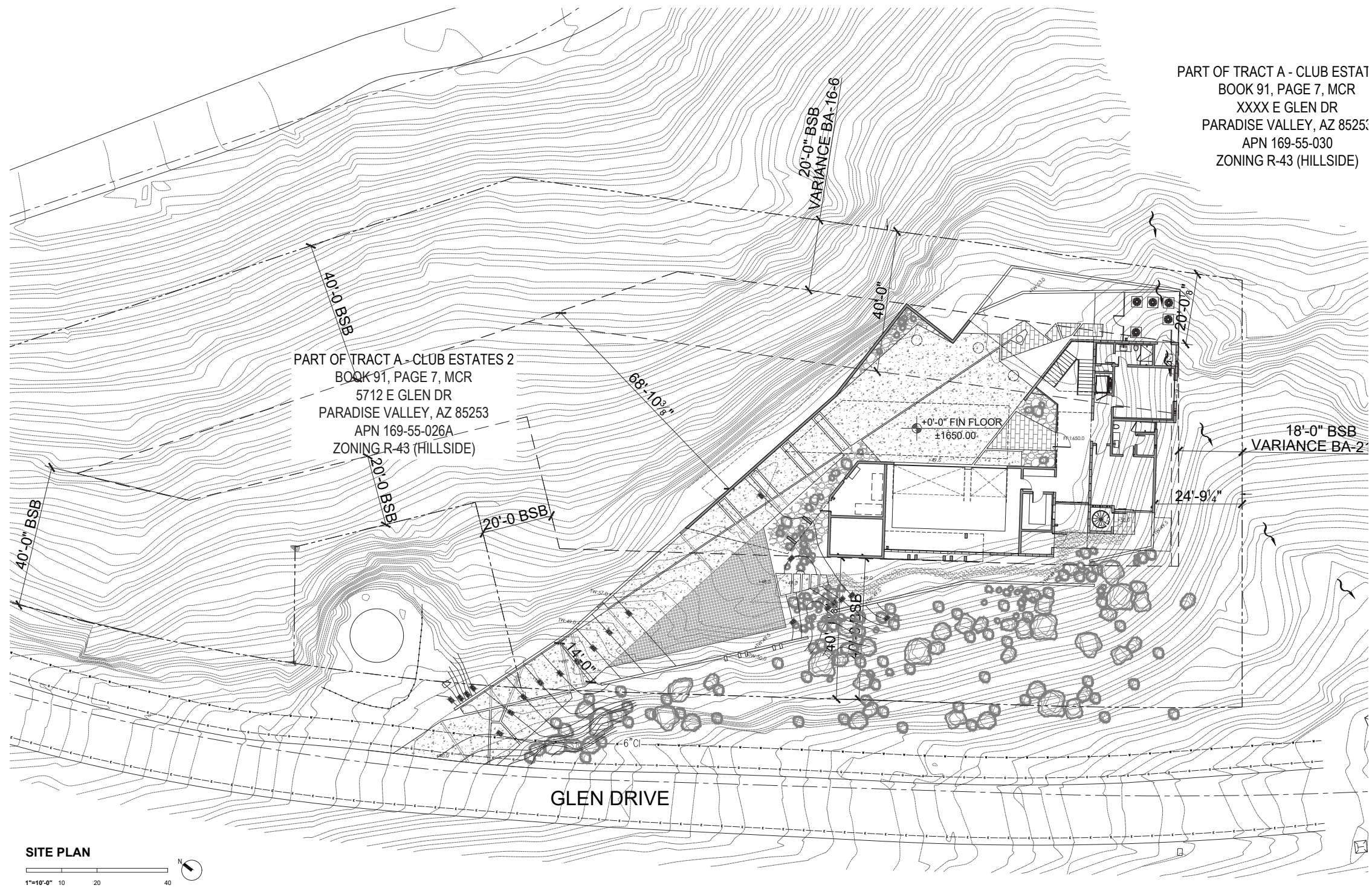
Total Rear Yard Encroachment inclusive of Building Area and overhangs = 2,159 sf,



Requested Rear
Yard Encroachment

Roof Overhang Encroaching
Into Setback





KENDLE DESIGN COLLABORATIVE

6115 NORTH CATTLETRACK
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PH 480.951.8558
BRENT@KENDLEDESIGN.COM
KENDLEDESIGN.COM

Glen Residence

5712 East Glen Drive
Paradise Valley, AZ 85253

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MARK	DATE	DESCRIPTION
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ISSUE: 10/1/25 Variance Submittal

PROJECT NO:

CAD DWG FILE:

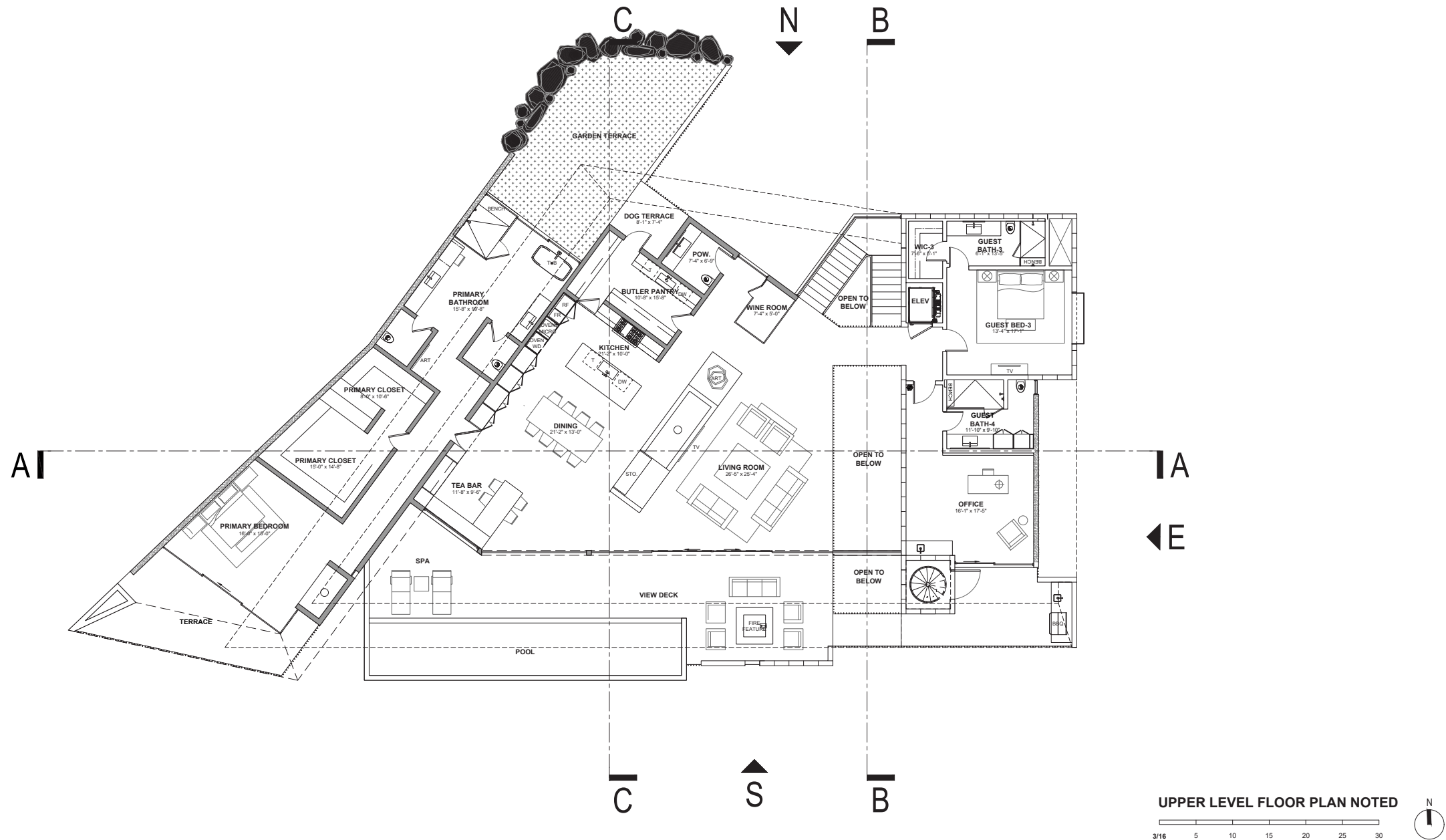
DRAWN BY: RVH

CHECKED BY: BK

SHEET TITLE:

**ARCHITECTURAL
SITE PLAN**

A-1.0



KENDLE DESIGN COLLABORATIVE
6115 NORTH CATTLETRACK
SCOTTSDALE, ARIZONA 85250
PH 480.951.8558
BRENT@KENDLEDESIGN.COM
KENDLEDESIGN.COM

**Glen
Residence**
5712 East Glen Drive
Paradise Valley, AZ 85253

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MARK	DATE	DESCRIPTION
ISSUE: 10/1/25 Variance Submittal		

PROJECT NO:
CAD DWG FILE:
DRAWN BY: RvH
CHECKED BY: BK

SHEET TITLE:
**MAIN LEVEL
FLOOR PLAN
NOTED**
A-2.1



kendle design
collaborative

Page 31

Glen Residence
5712 East Glen Drive
Paradise Valley, AZ

NOTES:

1. SEE A-4 SHEETS FOR HEAD, JAMB AND SILL DETAILS FOR EACH EXTERIOR OPENING.
2. SEE DETAIL ## ON A-## FOR TYPICAL EXTERIOR OUTER CORNER DETAIL AT STANDING SEAM METAL FINISH.
3. SEE DETAIL ## ON A-## FOR TYPICAL EXTERIOR INNER CORNER DETAIL AT STANDING SEAM METAL FINISH.
4. SEE DETAIL ## ON A-## FOR TYPICAL STANDING SEAM METAL FINISH PATTERN.
5. SEE DETAIL ## ON A-## FOR BASE FLASHING DETAIL AT STANDING SEAM METAL FINISH.
6. CONTRACTOR TO PROVIDE FULL SIZED MOCK-UP OF ALL FINISH FOR REVIEW AND APPROVAL BY OWNER & ARCHITECT.
7. SEE ROOF PLANS (A-7 SHEETS) FOR ROOF SLOPES.

BUILDING THERMAL ENVELOPE MUST BE DURABLY SEALED TO LIMIT INFILTRATION OR LEAKAGE, SEE IECC SECTION 402.4.

ROOF:
R-VALUE R-38 MINIMUM. INSTALLED AT UNDERSIDE OF ROOF DECK.
SPRAY-URLE CLASIC MAX SELECT SPRAY-IN-PLACE LOW DENSITY OPEN CELLED POLYURETHANE FOAM INSULATION MANUFACTURED BY CYCNE, INC. APPLICATION TO BE SPRAYED INSIDE OF BUILDING TO FILL CRACKS, VOIDS AND TO COVER ALL SURFACES OF THE ROOF ASSEMBLY. ICC REPORT ESR 1826

WALLS:
R-VALUE R-13 MINIMUM. ICYNENE CLASIC MAX SELECT SPRAY-URLE LOW DENSITY OPEN CELLED POLYURETHANE FOAM INSULATION MANUFACTURED BY CYCNE, INC. INSULATION SPRAYED FROM INSIDE OF BUILDING TO FILL ALL CRACKS, VOIDS AND TO COVER ALL SURFACES OF THE ROOF ASSEMBLY. ICC REPORT ESR 1826

STATE SOUND ATTENUATION REQUIREMENTS PER ARS 28-8462

WETTER ONE-KOTE STUCCO SYSTEM, ICC-ES ESR-2728, OVER 1" THICK, 15% SOLIDS, 100% POLYMER, 100% PORTLAND CEMENT, (SEE ATTACHED) OVER 2 LAYERS OF GRADE II BUILDING PAPER OR 1 LAYER TYPE 15 ASPHALT SATURATED ORGANIC FELT OVER 3/8" OR 0.50" THICK, 15% SOLIDS, 100% POLYMER, 100% PORTLAND CEMENT, AND 2" HORIZONTAL WITH BUILDING PAPER OR FELT.

PROVIDE A GALVANIZED CORROSION RESISTANT METAL WEEP SCREED AS MANUFACTURED BY FRY REGLET CORPORATION, LOS ANGELES, CA, OF EXTRUDED ALUMINUM .050" THICK WITH A MINIMUM VERTICAL SPACING OF 3-4 INCHES. PLACE WEEP SCREEDS AT A MINIMUM 3/4 INCH BELOW THE FOUNDATION PLATE LINE ON ALL FRAME WALLS AND A MINIMUM 4 INCHES ABOVE ADJACENT FINISH GRADE. INSTALL PER FRY COMPANY RECOMMENDATIONS.

CORNER REINFORCEMENT - L-KATH CORN® KWIK CORNER FOR EXTERIOR ANGLES (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS).

ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY AN APPROVED INSTALLER. ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.

THE BUILDING DEVELOPMENT DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATION BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER

A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE INSPECTOR PRIOR TO THE COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE PROPERTY OWNER.

THE WEATHER RESISTIVE BARRIER SHALL BE A HIGH-TEMPERATURE, SELF-ADHERING RUBBERIZED ASPHALT MEMBRANE UNDERLAYMENT WITH SPLIT-RELEASE FILM SIMILAR TO CARLISLE WIP 300 HT. INSTALL AND OVERLAP JOINTS PER MANUFACTURER'S SPECIFICATIONS.

METAL:
#1. BRAKE METAL FINISH KG RUST METAL FINISHES "VULCAN STEEL"
SEE DETAILS ## AND ## ON A-# # FOR ASSEMBLY AND SPACING INFORMATION.
22 GAUGE. SEE MEMBRANE UNDERLAYMENT SPECIFICATION ON THIS SHEET.
SEE DETAIL ## ON A-# # FOR ADDITIONAL ASSEMBLY INFORMATION.

MTL-2: FLAT METAL FINISH
22 GAUGE MIN. METAL FINISH: TO MATCH MTL-1. VERTICAL BUTT-JOINTS W/A BACK SLICE SEAM AND 1/8" TO 1/4" GAUF BETWEEN FOR EXPANSION.
HORIZONTAL JOINTS TO USE A PITTSBURGH SEAM.

MTL-3: BRAKE METAL FINISH
22 GAUGE MIN. METAL FINISH TO MATCH MTL. GLAZING SYSTEM ON HOUSE.
VERTICAL BUTT-JOINTS W/A BACK SLICE SEAM AND 1/8" TO 1/4" GAUF BETWEEN FOR EXPANSION. HORIZONTAL JOINTS TO USE A PITTSBURGH SEAM.

MTL-4: METAL SPARK ARRESTOR
METAL SCREEN COARSE PAINTED TO MATCH GLAZING FRAMES. SEE ROOF PLAN FOR DETAIL. PAINTED FINISH TO MATCH GLAZING SYSTEM. CARDINAL
COLOR. R002-BK47 R3 37038 BLACK GLAZ (VERIFY COLOR W/ OWNER
AND ARCHITECT).

CONCRETE:
CONC-1. CAST-IN-PLACE CONCRETE
INTEGRAL COLOR: DAVIS PEWTER URV. 31. COORDINATE CONTROL JOINT
LOCATIONS, PANEL LAYOUT, & SNAP THE LAYOUT W/ ARCHITECT & ENGINEER
PRIOR TO CONSTRUCTION. CONTRACTOR TO ALSO PROVIDE SAMPLE WALL
MUCK-UP. SEE GENERAL NOTES ON SHEET A-0.1 FOR SPECIFICATIONS.

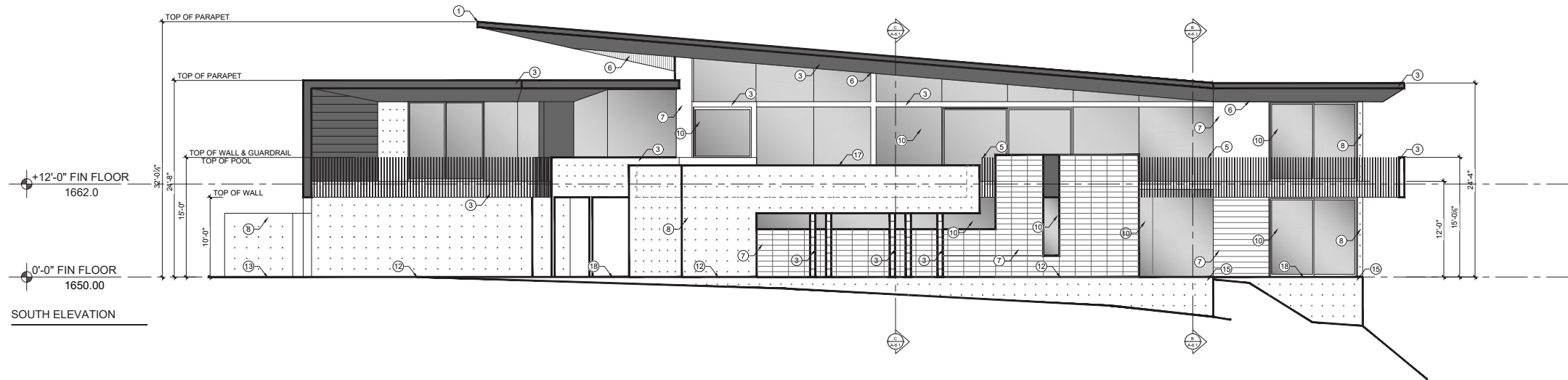
MASONRY:
CMU-1: 8x8x24 TRENDSTONE
COLOR: MALIBU SAND URV. 37.
FINISH: GROUND. BOND: STACKED. VERTICAL JOINTS: V-JOINT.
HORIZONTAL JOINTS: V-JOINT. MORTAR COLOR: CONCHILS
TBD. SEE GENERAL NOTES ON SHEET A-0.1 FOR SPECIFICATIONS.

STUCCO:
STC-1: INTEGRAL COLOR SYNTHETIC STUCCO FINISH SYSTEM (SOFFITS)
5/8" EXTERIOR GRADE FIBERGLASS MAT-FACED GYPSUM BOARD W/
MOISTURE & MOLD RESISTANCE SUCH AS DENSGLASS "GOLD" SHEATHING
INTEGRALLY COLORED SYNTHETIC STUCCO W/ FREESTYLE FINISH & COLOR
TO MATCH STC-1. SEE DETAILS TAGGED ON RCP FOR CEILING REVEAL(S) AT
SELECT EXTERIOR WALLS.

GLAZING/OPENINGS:
1" LOW-E INSULATED DOOR OR WINDOW GLAZING
DARK BRONZE ANODIZED ALUMINUM FRAMES/CLEAR TEMP. GLASS. SATIN
ETCH SECOND SURFACE WHERE OCCURS PER WINDOW AND DOOR
SCHEDULE.

WOOD:
WD-1: WOOD CEILING
3/4" T&G CLEAR VERTICAL. GRAN DOUGLAS FIR. STAIN TBD. COMBINATION
OF 2" 4" AND 1/2" T&G PLANKS MILLED TO CREATE 1/8" GAUF BETWEEN PLANKS
WHEN INSTALLED. SEE DETAIL ## ON A-# # FOR LAYOUT. WOOD GRANT TO
CONTINUE WHEN TURNING A CORNER. SEALER: CLEAR WATER-BASED
SEALER W/ UV PROTECTION.

- 1 MTL-1: STANDING SEAM METAL FINISH SYSTEM
- 2 MTL-2: FLAT METAL FINISH
- 3 MTL-3: BRAKE METAL FINISH
- 4 MTL-4: METAL SPARK ARRESTOR
- 5 STEEL PLATE GUARDRAIL, 3'-4" AFF, 1/2" X 2" 4" O.C.
- 6 WD-1: WOOD CEILING
- 7 CMU-1 MASONRY FINISH.
- 8 CONC-1: CAST-IN-PLACE CONCRETE
- 9 STC-1: INTEGRAL COLOR SYNTHETIC STUCCO FINISH
- 10 1" LOW-E INSULATED DOOR OR WINDOW GLAZING
- 11 EXISTING TOPOGRAPHY
- 12 PROPOSED TOPOGRAPHY
- 13 DRIVEWAY, SEE LANDSCAPE PLANS, REFER TO CIVIL DRAWINGS
- 14 MTL-DOOR SEE WINDOW AND DOOR SCHEDULE
- 15 CONC-1 SITE WALLS
- 16 OVERHEAD GARAGE DOOR
- 17 POOL & WATER FEATURE, UNDER SEPARATE PERMIT.
- 18 HARDSCAPE



3/16 5 10 15 20 25 30



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PROJECT NO: _____

CAD DWG FILE: _____

DRAWN BY: RvH _____

CHECKED BY: BK _____

EXTERIOR ELEVATIONS

A-5.0

GENERAL NOTES

NOTES:

- SEE A-4 SHEETS FOR HEAD, JAMB AND SILL DETAILS FOR EACH EXTERIOR OPENING.
- SEE DETAIL ## ON A-## FOR TYPICAL EXTERIOR OUTER CORNER DETAIL AT STANDING SEAM METAL FINISH.
- SEE DETAIL ## ON A-## FOR TYPICAL EXTERIOR INNER CORNER DETAIL AT STANDING SEAM METAL FINISH.
- SEE DETAIL ## ON A-## FOR TYPICAL STANDING SEAM METAL FINISH PATTERNING.
- SEE DETAIL ## ON A-## FOR BASE FLASHING DETAIL AT STANDING SEAM METAL FINISH.
- CONTRACTOR TO PROVIDE FULL-SIZED MOCK-UP OF ALL FINISH FOR REVIEW AND APPROVAL BY OWNER & ARCHITECT.
- SEE ROOF PLANS (A-7 SHEETS) FOR ROOF SLOPES.

INSULATION SPECIFICATIONS

BUILDING THERMAL ENVELOPE MUST BE DURABLY SEALED TO LIMIT INFILTRATION OR LEAKAGE, SEE IECC SECTION 402.4.

ROOF:

R-VALUE R-38 MINIMUM. INSTALLED AT UNDERSIDE OF ROOF DECK. ICYNENE CLASIC MAX SELECT SPRAY-IN-PLACE LOW DENSITY OPEN CELLED POLYURETHANE FOAM INSULATION MANUFACTURED BY ICYNENE, INC. INSULATION SPRAYED FROM INSIDE OF BUILDING TO FILL ALL CRACKS, VOIDS AND TO COVER ALL SURFACES OF THE ROOF ASSEMBLY. ICC REPORT ESR 1826

WALLS:

R-VALUE R-13 MINIMUM. ICYNENE CLASIC MAX SELECT SPRAY-IN-PLACE LOW DENSITY OPEN CELLED POLYURETHANE FOAM INSULATION MANUFACTURED BY ICYNENE, INC. INSULATION SPRAYED FROM INSIDE OF BUILDING TO FILL ALL CRACKS, VOIDS AND TO COVER ALL SURFACES OF THE ROOF ASSEMBLY. ICC REPORT ESR 1826

STATE SOUND ATTENUATION REQUIREMENTS PER ARS 28-8482

FRAME EXTERIOR WALL ASSEMBLY

WESTERN ONE-KOTE STUCCO SYSTEM, ICC-ES ESR-2729, OVER 1" THICK 1.5 P.C.F. DENSITY TYPE 2 T&G E.P. BOARD (ON AIS BOARD AT ATTIC AREAS) OVER 2 LAYERS OF GRADE 'D' BUILDING PAPER OR 1 LAYER TYPE 15 ASPHALT SATURATED ORGANIC FELT OVER 3/8" O.S.B. OVER 2X6'S AT 16" O.C. STAGGER JOINTS LAPPED MINIMUM 6" VERTICAL AND 2" HORIZONTAL WITH BUILDING PAPER OR FELT.

PROVIDE A GALVANIZED CORROSION RESISTANT METAL WEEP SCREED AS MANUFACTURED BY FRY REGLET CORPORATION LOS ANGELES, CA. OF EXTRUDED ALUMINUM .050" THICK WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PLACED A MINIMUM 3/4 INCH BELOW THE FOUNDATION PLATE LINE ON ALL FRAME WALLS AND A MINIMUM 4 INCHES ABOVE ADJACENT FINISH GRADE. INSTALL PER TOWN APPROVED DETAILS.

CORNER REINFORCEMENT - 'K-LATH CORP.' KWIK CORNER FOR EXTERIOR ANGLES (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS).

ONE-COAT STUCCO SYSTEM

ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS. ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.

THE BUILDING DEVELOPMENT DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER.

A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE PROPERTY OWNER.

MEMBRANE UNDERLAYMENT SPECIFICATION

THE WEATHER RESISTIVE BARRIER SHALL BE A HIGH-TEMPERATURE, SELF-ADHERING RUBBERIZED ASPHALT MEMBRANE UNDERLAYMENT WITH SPLIT-RELEASE FILM SIMILAR TO CARLISLE WIP 300 HT. INSTALL AND OVERLAP JOINTS PER MANUFACTURER'S SPECIFICATIONS.

EXTERIOR FINISH SPECIFICATIONS

METAL:

MTL-1: BRAKE METAL FINISH KG RUSTIC METAL FINISHES "VULCAN STEEL". SEE DETAILS ## AND ## ON A-## FOR ASSEMBLY AND SPACING INFORMATION. 22 GAUGE. SEE MEMBRANE UNDERLAYMENT SPECIFICATION ON THIS SHEET. SEE DETAIL ## ON A-## FOR ADDITIONAL ASSEMBLY INFORMATION.

MTL-2: FLAT METAL FINISH 22 GAUGE MIN. METAL FINISH: TO MATCH MTL-1. VERTICAL BUTT-JOINTS W/ A BACK SLICE SEAM AND 1/8" TO 1/4" GAP BETWEEN FOR EXPANSION. HORIZONTAL JOINTS TO USE A PITTSBURGH SEAM.

MTL-3: BRAKE METAL FINISH 22 GAUGE MIN. METAL FINISH TO MATCH MTL. GLAZING SYSTEM ON HOUSE. VERTICAL BUTT-JOINTS W/ A BACK SLICE SEAM AND 1/8" TO 1/4" GAP BETWEEN FOR EXPANSION. HORIZONTAL JOINTS TO USE A PITTSBURGH SEAM.

MTL-4: METAL SPARK ARRESTOR METAL SCREEN COVER PAINTED TO MATCH GLAZING FRAMES. SEE ROOF PLAN FOR DETAIL. PAINTED FINISH TO MATCH GLAZING SYSTEM. CARDINAL PAINT. COLOR: P000-BK247 FS 37036 BLACK FLAT (VERIFY COLOR W/ OWNER AND ARCHITECT).

CONCRETE:

CONC-1: CAST-IN-PLACE CONCRETE INTEGRAL COLOR: DAVIS PENWELL LRV: 31. COORDINATE CONTROL JOINT LOCATIONS, PANEL LAYOUT, & SNAP TIE LAYOUT W/ ARCHITECT & ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR TO ALSO PROVIDE SAMPLE WALL MOCK-UP. SEE GENERAL NOTES ON SHEET A-0.1 FOR SPECIFICATIONS.

MASONRY:

CMU-1: 8x8x24 TRENDSTONE COLOR: MALIBU SAND LRV: 37. FINISH: GROUND, BOND: STACKED. VERTICAL JOINTS: V-JOINT. HORIZONTAL JOINTS: V-JOINT. MORTAR COLOR: COHILL'S TBD. SEE GENERAL NOTES ON SHEET A-0.1 FOR SPECIFICATIONS.

STUCCO:

STC-1: INTEGRAL COLOR SYNTHETIC STUCCO FINISH SYSTEM (SOFFITS) 5/8" EXTERIOR GRADE FIBERGLASS MAT-FACED GYPSUM BOARD W/ MOISTURE & MOLD RESISTANCE SUCH AS DENGGLASS "GOLD" SHEATHING. INTEGRALLY COLORED SYNTHETIC STUCCO W/ FREESTYLE FINISH & COLOR TO MATCH STC-1. SEE DETAILS TAGGED ON RCP FOR CEILING REVEAL(S) AT SELECT EXTERIOR WALLS.

GLAZING/OPENINGS:

1" LOW-E INSULATED DOOR OR WINDOW GLAZING DARK BRONZE ANODIZED ALUMINUM FRAMES/CLEAR TEMP. GLASS. SATIN ETCH SECOND SURFACE WHERE OCCURS PER WINDOW AND DOOR SCHEDULE.

WOOD:

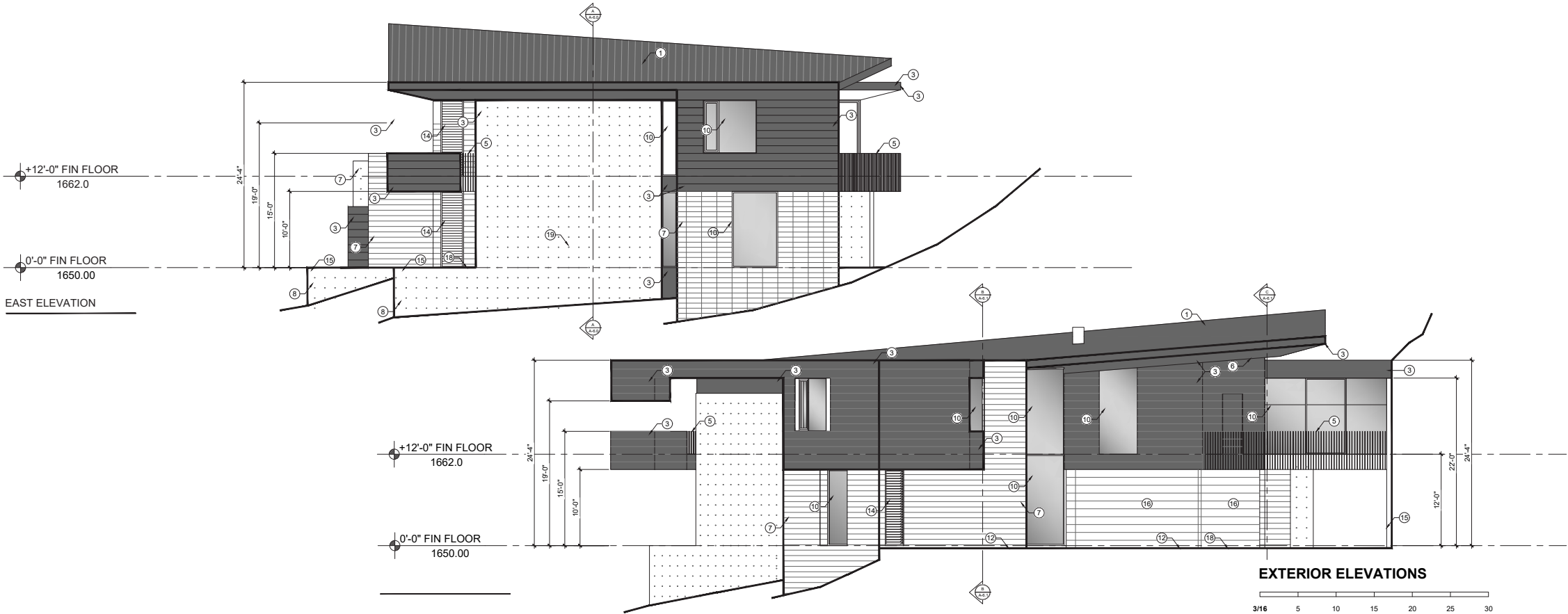
WD-1: WOOD CEILING 3/4" T&G CLEAR VERTICAL GRAIN DOUGLASS FIR. STAIN TBD. COMBINATION OF 2", 4", AND 6" T&G PLANKS MILLED TO CREATE 1/8" GAP BETWEEN PLANKS WHEN INSTALLED. SEE DETAIL ## ON A-## FOR LAYOUT. WOOD GRAIN TO CONTINUE WHEN TURNING A CORNER. SEALER: CLEAR WATER-BASED SEALER W/ UV PROTECTION.


NOTES:

- VERIFY ALL FINISHES W/ OWNER AND ARCHITECT. CONTRACTOR TO PROVIDE MINIMUM 24"x24" SAMPLE FINISHES ON SITE FOR REVIEW & APPROVAL BY OWNER AND ARCHITECT.
- ARCHITECT TO REVIEW SHOP DRAWINGS FOR FLASHING CONDITIONS. CONTRACTOR TO PROVIDE MOCK-UP OF FLASHING CONDITIONS FOR ARCHITECT'S REVIEW.

EXTERIOR ELEVATION KEYNOTES

- MTL-1: STANDING SEAM METAL FINISH SYSTEM
- MTL-2: FLAT METAL FINISH
- MTL-3: BRAKE METAL FINISH
- MTL-4: METAL SPARK ARRESTOR
- STEEL PLATE GUARDRAIL. 3'-4" AFF. 1/2" x 2" 4" O.C.
- WD-1: WOOD CEILING
- CMU-1 MASONRY FINISH.
- CONC-1: CAST-IN-PLACE CONCRETE
- STC-1: INTEGRAL COLOR SYNTHETIC STUCCO FINISH
- 1" LOW-E INSULATED DOOR OR WINDOW GLAZING
- EXISTING TOPOGRAPHY
- PROPOSED TOPOGRAPHY
- DRIVEWAY, SEE LANDSCAPE PLANS, REFER TO CIVIL DRAWINGS
- MTL-DOOR SEE WINDOW AND DOOR SCHEDULE
- CONC-1 SITE WALLS
- OVERHEAD GARAGE DOOR
- POOL & WATER FEATURE, UNDER SEPARATE PERMIT.
- HARDSCAPE





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MARK	DATE	DESCRIPTION
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ISSUE: 10/1/25 Variance Submittal

PROJECT NO:

CAD DWG FILE:

DRAWN BY: RvH

CHECKED BY: BK

SHEET TITLE:

EXTERIOR ELEVATIONS

A-5.1

BOOK 91, PAGE 7, MCR
XXXX E GLEN DR
PARADISE VALLEY, AZ 85253
APN 169-55-030
ZONING R-43 (HILLSIDE)

A - CLUB ESTATES 2
PAGE 7, MCR
GLEN DR
ALLEY, AZ 85253
169-55-026A
R-43 (HILLSIDE)

GLEN DR

GENERAL SALVAGE NOTES:

- 1. PLANT MATERIALS MUST BE INDIVIDUALLY TAGGED IN THE FIELD AT THE TIME THE INVENTORY PLANS ARE SUBMITTED. TAGGED MATERIALS MUST BE CLEARLY MARKED WITH WATERPROOF INK AND INCLUDE THE NUMBER WHICH CORRESPONDS TO THE NUMBER SHOWN ON THE PLANS.
 - 2. ALL PLANT MATERIALS MUST REMAIN ON SITE UNTIL THE SALVAGE PLAN IS APPROVED.
 - 3. TAGS MUST BE ATTACHED SO THAT THEY WILL REMAIN ON THE PLANT FOR THE DURATION OF THE SALVAGE AND NURSERY STORAGE PERIOD.
 - 4. ALL SALVAGEABLE MATERIAL IS TO BE CLEARLY FLAGGED WITH TAPE OR PLASTIC TAGS VISIBLE FROM ALL DIRECTIONS. TAGS SHALL BE NUMBERED TO CORRESPOND WITH THE PLANT INVENTORY PLAN AND LEGEND.
- COLOR CODE AS FOLLOWS:
- RED - SALVAGE AND RELOCATE
 - WHITE - PRESERVE AND PROTECT IN PLACE
 - BLUE - DESTROY, NOT SALVAGEABLE AND CANNOT REMAIN IN PLACE
- 5. ALL SALVAGEABLE PLANTS WILL BE STORED AT AN ON-SITE HOLDING YARD AND WILL BE RE-PLANTED ON-SITE AT A LATER DATE.
 - 6. ALL MISCELLANEOUS CACTI UNDER 3' IN HEIGHT WILL BE SALVAGED AND STORED IN THE NURSERY IF THEY ARE WITHIN THE BUILDING ENVELOPE AND AFFECTED BY CONSTRUCTION.
 - 7. UPON REMOVAL OF SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL SUBMIT A LIST IDENTIFYING THE TAG NUMBER OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE CITY'S LANDSCAPE INSPECTOR PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - 8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PROJECT PROPERTY LINES PRIOR TO SALVAGE. ANY PLANT MATERIAL THAT IS LABELED SALVAGEABLE OR NON-SALVAGEABLE OUTSIDE OF FINAL STAKING BOUNDARIES IS TO REMAIN IN PLACE UNLESS OTHERWISE DIRECTED BY OWNER.
 - 9. CONTRACTOR TO VERIFY WITH OWNER ALL PLANT MATERIAL LABELED SALVAGEABLE OR NON-SALVAGEABLE ADJACENT TO N.A.O.S. BOUNDARIES AND /OR DRAINAGE WAYS

ID	Variety	Inventory Designation	Tree Height-Ft.	Caliper Inches	Salvageability Comments	Tree Width-Ft.	Cacti Height-Ft
1	Palo Verde	Remove	8	5	Poor Location	14	
2	Palo Verde	Remove	8	6	Poor Location	15	
3	Palo Verde	Salvage	8	6		16	
4	Palo Verde	Remove	8	5	Poor Location	14	
5	Palo Verde	Remain	9	4	Poor Location	15	
6	Saguaro	Remain		12			3
7	Palo Verde	Remove	8	5	Poor Location	15	

Summary

Salvage Plants

- 1 Trees on this site to be salvaged totaling 6 caliper inches
- 0 Cacti on this site to be salvaged totaling 00 caliper inches
- 1 Total Plants to Salvage

Unsalvageable Plants (Destroy)

- 4 Trees on this site that are not salvageable (destroy) totaling 21 caliper inches
- 0 Cactus on this site that are not salvageable (destroy) totaling 00 caliper inches
- 4 Total Plants to Destroy (Unsalvageable)

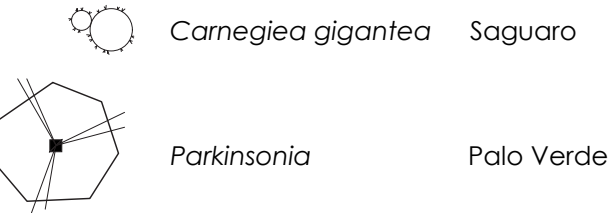
Plants to Remain

- 1 Trees to Remain in Place
- 1 Cacti to Remain in Place
- 2 Total Plants to Remain in Place

Abbreviation Legend

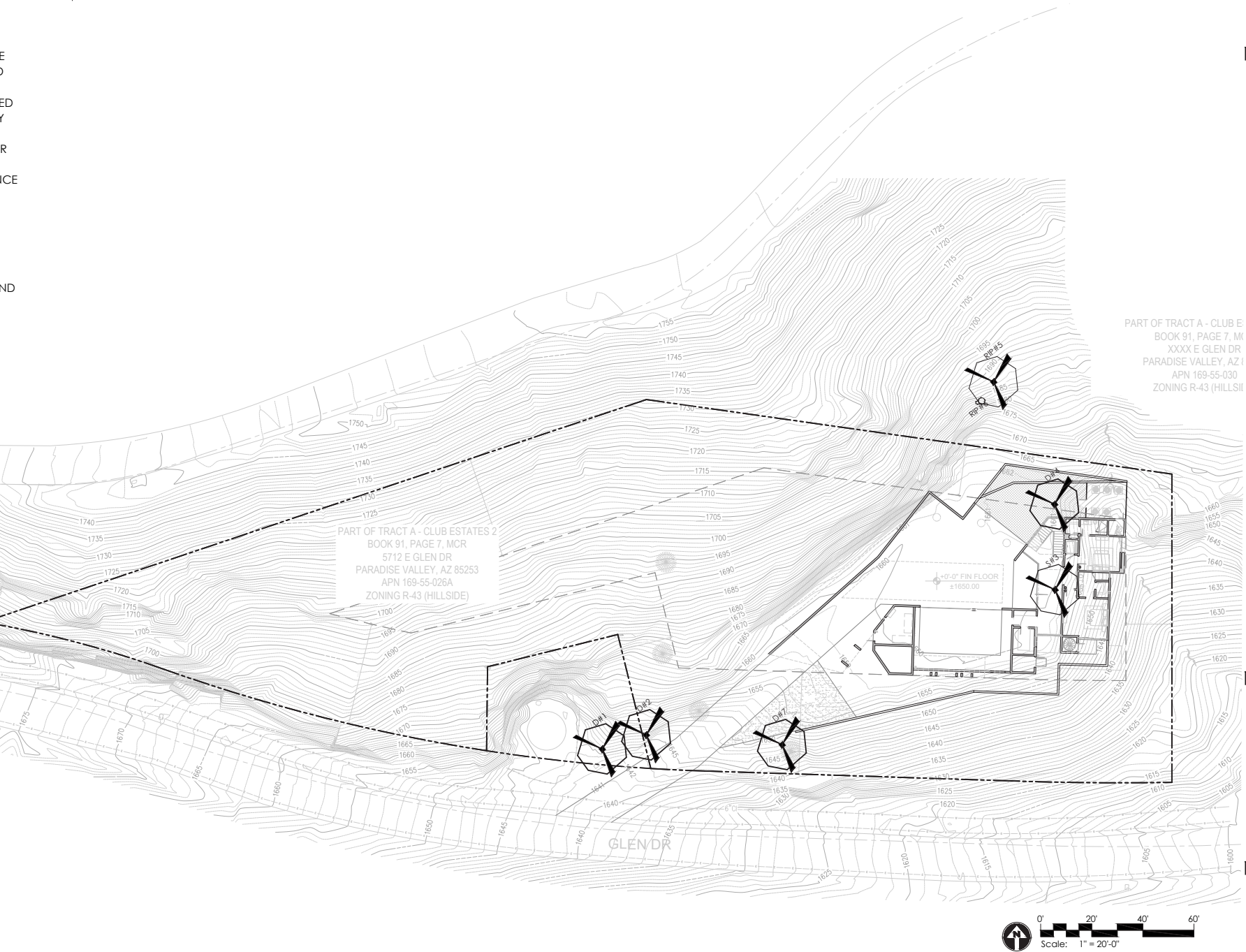
Abb	Botanical Name	Common Name
PLO	<i>Parkinsonia microphylla</i>	Palo Verde
SAG	<i>Carnegiea gigantea</i>	Saguaro

PLANT SYMBOL LEGEND:



INVENTORY COMPLETED BY:

ARIZONA SPECIALTY CACTUS
PHONE: 602-694-3496
E-MAIL: AZSPECIALTYCACTUS@GMAIL.COM
CONTACT: ALEX GREY

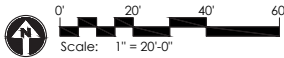


GLEN RESIDENCE

5712 E. Glen Dr.
Paradise Valley, AZ 85253

revisions:
project #: KDC020
scale: 1" = 20'-0"
issued for: SUBMITTAL
drawn by: TEAM
date: 05/28/2025
drawing: Native Plant Inventory

L2.0
of



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TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
21. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL, SHALL BE OBSERVED AND ENFORCED.
22. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS OTHERWISE SPECIFIED IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
24. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
25. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
26. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
27. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
28. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
29. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT, CALL "COLLECT" IF NECESSARY.
30. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAD A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
31. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE IBC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE TOWN BUILDING CODE.
32. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
33. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
34. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 48 INCHES IN HEIGHT FROM THE GROUND. THE SIGN SHALL INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
35. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
36. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE. PROPERTY, IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
37. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
38. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
39. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HANDSHIP TOWN APPROVAL IS OBTAINED.
40. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO THEIR ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
41. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
42. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
43. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
44. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
45. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
46. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERM, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. PRIOR TO CONSTRUCTION OF NEW CONSTRUCTION, SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. THE CONTRACTOR IS RESPONSIBLE FOR THE PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER CONSTRUCTION. SHOULD EXISTING LOCATIONS, CONDITIONS, CONSTRUCTION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES FOR OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE REPEDED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN TO BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINISH GRADE, EXISTING FINISH GRADES AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
37. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGING IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BUT)THEN 6" 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = XXXX ACRES < 1 ACRE: NPDES PERMIT IS REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL, AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
51. THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.
52. THE SCOPE OF THIS GRADING AND DRAINAGE PLAN COVERS CERTAIN SITE DRAINAGE IMPROVEMENTS AS DELINEATED BY THE LIMITS OF THE CONSTRUCTION AND IN ACCORDANCE TO THE PREPARED BY THE ARCHITECT SITE PLAN, WHICH HAS BEEN COORDINATED AND APPROVED BY THE OWNER, LAND DEVELOPMENT GROUP (LDG) ASSUMES NO LIABILITY FOR DRAINAGE ISSUES THAT MAY EXIST AND COULD CAUSE DAMAGE TO THE SUBJECT OR NEIGHBORING PROPERTIES BEYOND THE LIMITS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
53. THE GRADING AND DRAINAGE DESIGN PRESENTED HEREIN IS BASED ON EVALUATING STORMWATER RUNOFF RESULTING FROM A STATISTICAL ANALYSIS OF STORM EVENTS OF PARTICULAR FREQUENCY, UP TO AND INCLUDING 100-YEAR EVENT AS REQUIRED BY THE CITY OF PHOENIX AND MARICOPA COUNTY DRAINAGE DESIGN MANUALS. A STORM EVENT EXCEEDING THE 100-YEAR EVENT MAY CAUSE OR CREATE THE RISK OF GREATER STORM IMPACT THAN IS PRESENTED AND ADDRESSED ON THIS PLAN.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFC, SEC. 903.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

PRELIMINARY GRADING & DRAINAGE PLAN

GLEN RESIDENCE

5712 E GLEN DR., PARADISE VALLEY, AZ 85253

PART OF TRACT 'A' - CLUB ESTATES NO. 2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 07, MCR., LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- SET REBAR OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- W WATER METER
- W WATER VALVE
- ⦿ FIRE HYDRANT
- TV CABLE TV RISER
- TRANSFORMER
- COMMUNICATIONS LINE
- CATV, PHONE
- SEWER LINE
- GAS LINE
- W WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. SPOT ELEVATION
- EXIST. DRAINAGE FLOW
- PALO VERDE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- STORM DRAIN PIPE
- CATCH BASIN
- RETAINING WALL
- EXTENDED STEM
- TP:XXXX TOP OF PARAPET
- TRW:XXXX TOP OF WALL
- FG:XXXX TOP OF RETAINING WALL
- FW:XXXX FINISH GRADE
- BT:XXXX BOTTOM OF WALL
- TF:XXXX TOP OF FOOTING

ABBREVIATIONS

- BS BACK OF CURB
- BL BUILDING SETBACK LINE
- (C) CALCULATED
- (E) EXISTING GRADE
- EL, ELEV ELEVATION
- EX, EXIST. EXISTING
- FG FINISH GRADE
- GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P, PMVT PAVEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER

SHEET INDEX

- C-1 - COVER SHEET
- C-2 - PRELIMINARY G&D PLAN MAIN LEVEL
- C-3 - STORM DRAIN PLAN
- C-4 - PRELIMINARY G&D PLAN UPPER LEVEL
- C-5 - CROSS SECTIONS & DETAILS
- A1 - AERIAL EXHIBIT
- SP1 - SWPPP
- SP2 - SWPPP DETAILS

UTILITIES

WATER: EPORC
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

DISTURBED AREA CALCULATIONS

EXISTING LOT AREA:	44,786 S.F. (1.028 AC.)
TOTAL AREA UNDER ROOF:	6,958 S.F.
FLOOR AREA RATIO:	15.54% < 25%
(AREA UNDER ROOF/AREA OF LOT)	
BUILDING PAD SLOPE:	36.11%
VERTICAL:	39 FT
HORIZONTAL:	108 FT
ALLOWABLE NET DISTURBED AREA:	10.1%
ALLOWABLE NET DISTURBED AREA:	4,523.4 S.F.
EXISTING GROSS DISTURBED AREA:	58.98%
EXISTING NET DISTURBED AREA:	26,414 S.F.
PROPOSED NET DISTURBED AREA:	15,427 S.F. (34.44%)
LESS AREAS OF DISTURBANCE:	
TOTAL LIVABLE FOOTPRINT:	5,724 S.F.
TOTAL GARAGE FOOTPRINT:	941 S.F.
DRIVEWAY CREDIT:	0 S.F.
RESTORED AREAS:	0 S.F.
NET DISTURBED AREA:	8,762 S.F. (19.56%)
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.):	1,906 S.F. (4.26%)
VOLUME OF CUT:	3,429 C.Y.
VOLUME OF FILL:	234 C.Y.
TOTAL CUT&FILL:	3,663 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.	
GRADING PERMIT FEE:	\$3,594
(\$168 FIRST 100 CY / \$96 A/E. ADDITIONAL 100 CY.)	
ASSURANCE AMOUNT:	\$125,790

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

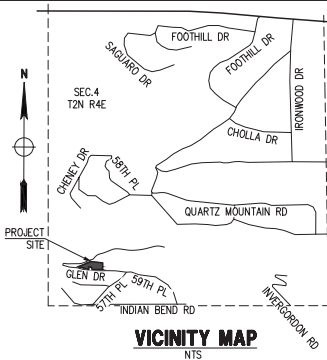
* ALL PROPOSED DISTURBANCE IS WITHIN THE EXISTING DISTURBED AREA

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONSIDERING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
5. MAXIMUM PARTICLE SIZE: 6 INCHES
PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
PERCENT PASSING NO. 200 SIEVE: 25% MAX.
PLASTICITY INDEX: 10% MAX.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
7. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
8. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACTION TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
9. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
10. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
11. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
12. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
13. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
14. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
15. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEASTERLY PROPERTY CORNER AT ELEVATION OF 1611.55.
2. NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CITY PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND Boulders ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT FOR THE LIMITS OF DISTURBANCE.



OWNER

5712 E GLEN DR.,
15610 E SIERRA MADRE DR
FOUNTAIN HILLS, AZ 85268

ARCHITECT

KENDLE DESIGN COLLABORATIVE
6115 N CATTLETRACK ROAD,
SCOTTSDALE, AZ 85250
CONTACT: RICHARD VAN HORNE
P: 480-951-8558
WWW.KENDLEDESIGN.COM

SITE DATA

APN: 169-55-026A
ADDRESS: 5712 E GLEN DR.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 44,786 S.F. (1.028 AC.)
OS #: 23-41
AIA SUMMARY
MAIN LEVEL:
LIVABLE: 1,635 S.F.
MECH./UNCONDITIONED: 377 S.F.
GARAGE/STORAGE: 941 S.F.
TOTAL: 2,953 S.F.
LIVABLE: 4,089 S.F.
TOTAL: 4,089 S.F.
TOTAL ENCLOSED AREA: 7,330 S.F.
TOTAL AREA UNDER ROOF: 6,958 S.F.
LOT COVERAGE: 15.54% < 25%
DISTURBED AREA: 15,427 S.F. (0.354 AC.)

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 60TH STREET AND E INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01

BASEIS OF BEARINGS

THE MONUMENT LINE OF GLEN DRIVE, THE BEARING OF WHICH IS N88°09'02"W.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS WITH ON-SITE RETENTION.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1650.00 & 1662.00 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

REGISTERED CIVIL ENGINEER

DATE: 05/01/25

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE




PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
ON HILLSIDE LOT

GLEN RESIDENCE
5712 E GLEN DR.,
PARADISE VALLEY, AZ 85253

Land
DEVELOPMENT GROUP


C-1
1 OF 5



kendle design
collaborative



RETAINING WALL TABLE

FOR LOCATIONS IDENTIFIED WITH KEYNOTE 

MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 174.67' < 300'.

ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

