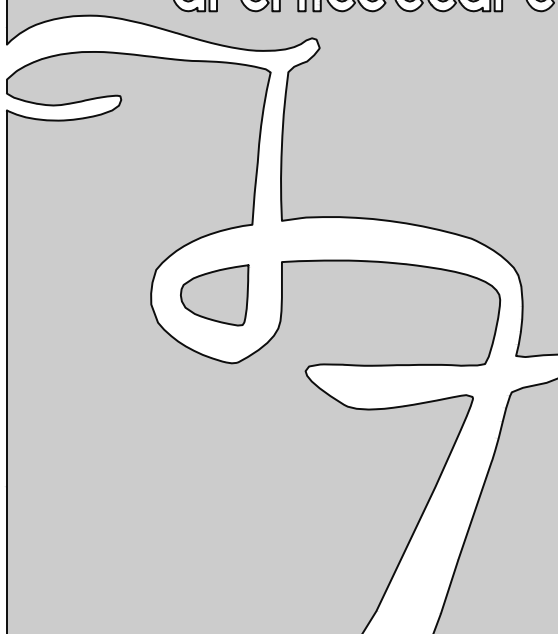


# MAHMOUDI RESIDENCE

## ADDITION/REMODEL

5913 N. LA COLINA DRIVE  
PARADISE VALLEY, AZ 85253

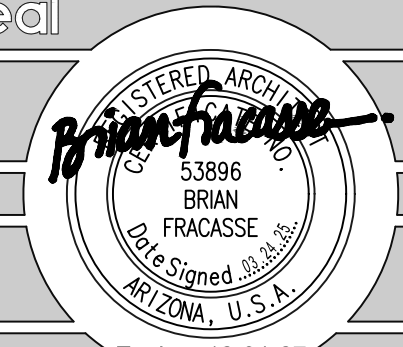
taylor:fraccasse  
architecture



4425 East Agave Road, Suite #120  
Phoenix, Arizona 85044  
Tel: 480.659.6745  
www.taylorfraccasse.com

ARCHITECTURE • PLANNING  
INTERIORS • RESEARCH DESIGN

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seal  
  
Expires 12-31-22

GENERAL NOTES		CONSULTANTS	LEGEND	SHEET INDEX
<div><div>1. ALL WORK SHALL CONFORM WITH REQUIREMENTS OF THE LOCAL GOVERNING BUILDING CODE, LOCAL ZONING, NATIONAL ELECTRIC CODE, NFPA, OSHA, AND ALL OTHER CODES, RULES AND REGULATIONS. ALL IN THEIR LATEST EDITIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE. THE CONTRACTOR SHALL POLICE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.</div><div>2. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT, USING HIS BEST SKILL. ATTENTION: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACTOR SHALL EMPLOY A COMPETENT SUPERINTENDENT WHO SHALL BE IN ATTENDANCE AT THE PROJECT SITE DURING THE PROGRESS OF THE WORK.</div><div>3. THE CONTRACTOR SHALL INSPECT THE PREMISES IMMEDIATELY TO CHECK EXISTING CONDITIONS. SHOULD THE CONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPEDE HIS WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO DO SO WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.</div><div>4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT THROUGH INSPECTION OF THE JOB SITE, DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK, ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED AND CLARIFICATION SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERROR OCCURS OR CONDITIONS NOT COVERED IN THE DRAWINGS IS ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS TO BE VERIFIED IN THE FIELD.</div><div>5. GENERAL CONTRACTOR SHALL REVIEW FIELD CONDITIONS AND FURRED OUT PERIMETER WALLS, MAKING ALLOWANCE TO INSURE THAT ALL ELECTRICAL/TELEPHONE AND MISC. COVER PLATES AND JUNCTION BOXES WILL FLUSH OUT EXACTLY TO FINISHED FACE, SUCH THAT NO GAPS ARE EVIDENT.</div><div>6. DETAILS ARE USUALLY KEYED ONCE ON THE DRAWINGS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.</div><div>7. THE CONTRACTOR SHALL COMMUNICATE WITH THE BUILDING OWNER TO ASCERTAIN ANY AND ALL OWNER REQUIREMENTS FOR TENANT IMPROVEMENT WORK. ANY COSTS ASSOCIATED WITH THE OWNER'S REQUIREMENTS SHALL BE INCLUDED IN THE IN THE SCOPE OF THIS CONTRACT. ANY ITEMS IN CONFLICT WITH THE DRAWINGS SHALL BE RESOLVED PRIOR TO BID SUBMITTAL.</div><div>8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR THE PROPER PROTECTION OF THE EXISTING FACILITY, INCLUDING, BUT NOT LIMITED TO, EXISTING FLOORING, BASE, GLAZING AND ARCHITECTURAL METAL WORK. THE GENERAL CONTRACTOR SHALL IDENTIFY, PRIOR TO BEGINNING OF WORK, ANY AREAS OF EXISTING DAMAGE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCH AND REPAIR, AT HIS OWN COST OF ANY DAMAGE TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION OR THAT OF HIS SUB-CONTRACTORS OR SUPPLIERS. IN ADDITION, THE GENERAL CONTRACTOR SHALL FOLLOW ALL SAFETY REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OVER HIS WORK.</div><div>9. ALL PENETRATION OF EXISTING FIRE RATED MEMBRANES SHALL BE PROTECTED AS REQUIRED. REPAIR ANY DAMAGE TO EXISTING FIRE PROTECTED MATERIALS.</div><div>10. ALL PERMITS, INSPECTIONS, APPROVALS, ETC., SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF HIS WORK.</div><div>11. ALL WALLS SHALL BE CONSTRUCTED STRAIGHT AND TRUE. WALLS TO RECEIVE WALL COVERINGS MUST BE FLOATED OUT, IF REQUIRED, AND SIZED PRIOR TO INSTALLATION OF WALLCOVERINGS. FOLLOW MANUFACTURER'S PREPARATION AND INSTALLATION GUIDELINES FOR EACH TYPE OF WALL COVERING HEREIN.</div><div>12. CONCRETE FLOORS ARE TO BE FILLED AND FLOATED TO MEET STANDARD SMOOTHNESS AND LEVELING PER FINISHED FLOOR MATERIAL REQUIREMENTS FOR PREPARING SURFACE PRIOR TO INSTALLATION OF FINISHED FLOORING.</div><div>13. VERIFY WITH ARCHITECT CHALKED WALL PLACEMENT LINES PRIOR TO PLACEMENT OF STUDS AND FOR CLEARANCE REQUIREMENTS. CALL FOR INSPECTION.</div><div>14. THE ARCHITECT SHALL HAVE ACCESS TO THE DEMISED PREMISES AT ALL TIMES. ANY INTERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED UPON DEMAND AND WORK SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT.</div><div>15. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOBSITE FOR REVIEW BY THE ARCHITECT IF NEEDED.</div><div>16. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIALS, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.</div><div>17. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS ARE PROHIBITED.</div><div>18. IF REQUIRED BY CODE TO BE PLACED IN ADDITIONAL OR DIFFERENT LOCATIONS THAN PLANS INDICATE, VERIFY EXACT LOCATION OF EXIT SIGNS, ALARM SPEAKERS AND FIRE EXTINGUISHER CABINETS PRIOR TO INSTALLATION.</div><div>19. STUD PARTITIONS TO BE ANCHORED SO AS TO RESIST A LATERAL LOAD OF 5 P.S.F. AS FOLLOWS: BOTTOM PLATE: ANCHOR TO SUB-FLOOR WITH 145"x9 POWER DRIVEN PINS AT 24" O.C. TOP PLATE: FASTEN TO DECK OR CEILING GRID AS INDICATED.</div></div> <div><div>20. CONTRACTOR SHALL BE REQUIRED TO FURNISH THREE SETS OF BOND PRINTS, SCALED AND DETAILED SHOP DRAWINGS, MANUFACTURER SUBMITTALS AND COLOR/FINISH SAMPLES TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND/OR PROCUREMENT. SUCH SUBMITTALS SHALL BE ISSUED ON A TIMELY BASIS, ALLOWING A 10 WORKING DAY PERIOD OF TIME FOR REVIEW AND APPROVAL PROCEESS.</div><div>21. PROVIDE BLOCKING BEHIND ALL WALL MOUNTED DOOR STOPS, AND AS REQUIRED FOR ALL MILLWORK, ETC. ALL WOOD BLOCKING, AND FURRING AND BACKING SHALL BE NONCOMBUSTIBLE FIRE-RETARDANT-TREATED WOOD OR METAL. ALL REQUIRED RATED MATERIALS SHALL BEAR IDENTIFICATION SHOWING FIRE PERFORMANCE RATINGS THEREOF.</div><div>22. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A CLEAN AND SAFE CONDITION, INCLUDING PROPER REMOVAL OF WASTE MATERIAL. WASTE MATERIAL SHALL NOT BE STORED WITHIN OR NEAR THE BUILDING. DUMPSTERS PROVIDED FOR THE DISPOSAL OF WASTE MATERIAL SHALL BE REMOVED AWAY FROM THE BUILDING BUT MAY BE STORED ON SITE DAILY. PROTECT EXISTING ASPHALT PARKING SURFACE AND REPAIR AT NO EXPENSE TO THE BUILDING OWNER ANY DAMAGE CAUSED BY THE USE OF THE DUMPSTERS.</div><div>23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL COMBUSTIBLE FLUIDS INCLUDING PAINTS, PRIMERS, SEALERS, SOLVENTS AND ADHESIVES COMPLY, AND ARE BEING USED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS. GENERAL CONTRACTOR SHALL PROVIDE STORAGE FOR SUCH MATERIALS AWAY FROM THE BUILDING. USE OF THE BUILDING OR THE PARKING GARAGE FOR SUCH STORAGE IS PROHIBITED.</div><div>24. DRAWINGS ASSUME THE EXISTING BUILDING TO BE IN COMPLIANCE WITH CODE REQUIREMENTS. ANY VIOLATIONS OF CODES IN EXISTING BUILDING DISCOVERED DURING THE COURSE OF CONSTRUCTION WILL BE IMMEDIATELY TO THE ATTENTION OF THE BUILDING OWNER AND ARCHITECT.</div><div>25. GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH TENANT PRIOR TO COMMENCEMENT.</div><div>26. MOUNTING HEIGHT FOR TELEPHONE AND ELECTRICAL OUTLETS TO BE 18" A.F.F. UNLESS OTHERWISE NOTED. ELECTRICAL/TELEPHONE OUTLET COMBINATIONS TO BE MOUNTED OTHER SIDE OF THE SAME STUD. OUTLETS STAGGERED FROM ONE SIDE TO THE OTHER WALLS TO INHIBIT TRANSFER OF SOUND.</div><div>27. ALL WALLS CONTAINING WASTE LINES SHOULD BE CONSTRUCTED OF 6" STUDS OR AS REQUIRED TO ACCOMMODATE PLUMBING LINES.</div><div>28. EQUIPMENT AND APPLIANCES: CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES AS SPECIFIED UNLESS OTHERWISE NOTED.</div><div>29. PERFORMANCE OF WORK: IN PERFORMING THE WORK PRESCRIBED HEREIN AND IN DRAWINGS OF THIS WORK, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL EXISTING CONSTRUCTION DISTURBED, RELOCATED, DAMAGED OR ALTERED AS REQUIRED TO HIDE ALL EVIDENCE OF SAID DISTURBANCE, RELOCATION, DAMAGE OR ALTERATION AND TO FINISH THIS CONSTRUCTION TO MATCH NEW FINISH AND APPEARANCE.</div><div>30. DIMENSIONS ARE FROM FACE TO FACE WHERE INDICATED AS CLEAR.</div><div>31. CENTER PARTITION ON CENTERLINE OF EXTERIOR WINDOW WALL MULLION, EXCEPT AS NOTED OTHERWISE.</div><div>32. CENTER PARTITION ON COLUMN, OR BY-PASS SIDE OF COLUMN, OR ALIGN WITH ONE SIDE OF COLUMN (OR OTHER PLAN ELEMENT) EITHER AS INDICATED.</div><div>33. ALIGN NEW PARTITION WITH EXISTING PARTITION OR OTHER NEW PARTITIONS OTHERWISE LOCATED.</div><div>34. PARTITIONS, END OF PARTITIONS, AND OTHER ELEMENTS WHICH APPEAR TO ALIGN WITH EACH OTHER ARE INTENDED TO ALIGN UNLESS OTHERWISE DIMENSIONED.</div><div>35. PERIMETER GYP. BD. WALLS BELOW WINDOWS ARE TO BE TAPED, MUDDED, AND PAINTED WITH TWO PRIME COATS AND TWO FINISH COATS.</div><div>36. ALL MILLWORK SHALL CONFORM TO THE A.N.I. "PREMIUM GRADE" QUALITY STANDARD UNLESS OTHERWISE NOTED.</div><div>37. AT TERMINATION OF MILLWORK PERPENDICULAR TO GYPSUM BOARD PARTITION PROVIDE A MINIMUM SURFACE OF 5/8" GYP. BD. WALL FACE BEYOND THE ACCEPTED MILLWORK. REFER TO DRAWINGS/SPECS FOR SPECIFIC INFORMATION CONCERNING VENEER/LAMINATE MATERIALS AND LEVEL OF FINISH AND/OR FINISH SYSTEM.</div><div>38. ALL BASE CABINET COUNTERTOPS TO BE SCRIBED TO WALL WHEREVER BACK SPLASH DOES NOT OCCUR.</div><div>39. REFER TO RCP FOR DRYWALL SOFFIT LOCATIONS AND DETAIL REFERENCES.</div><div>40. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE AND INFORMATION WE HAVE COMPLIED WITH APPLICABLE PORTIONS OF THE ANSI STANDARD NO. A117.1-1992, THE AMERICANS WITH DISABILITIES ACT OF 1990 - ADAAG AND THE ARIZONA DISABILITIES ACT- AZDAAG AS WELL AS ALL LOCAL CODE REQUIREMENTS PERTAINING TO BUILDING ACCESSIBILITY FOR THE HANDICAPPED.</div><div>41. ALL ITEMS EXPRESSED, DRAWN NOTED, OR SPECIFIED WITHIN THESE DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. ANY ITEMS NOT INCLUDED AND REQUIRED ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</div><div>42. FIELD VERIFY LOCATIONS FOR CORE DRILLS AND WALL FEEDS FOR SYSTEM FURNITURE. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. CALL ARCHITECT FOR FINAL ROUGH-IN APPROVAL ON SITE.</div><div>43. FIELD VERIFY DIMENSIONS NOTED AS "CRITICAL" FOR SYSTEMS FURNITURE AND COORDINATE WITH ARCHITECT FOR FINAL APPROVAL PRIOR TO PLACEMENT OF WALL TRACKS AND STUDS.</div></div> <div><div>OWNER: MAHMOUDI LIVING TRUST 3214 E. CAMELBACK ROAD RMB #43 PHOENIX, AZ 85018 CONTACT: BOB MAHMOUDI TEL: (425) 824-1835</div><div>ARCHITECTURE: TAYLOR/FRACCASSE ARCHITECTURE, INC. 4425 E AGAVE ROAD #120 PHOENIX, AZ 85044 CONTACT: BRIAN FRACCASSE TEL: (480) 654-6145</div><div>STRUCTURAL ENGINEER: TLCP STRUCTURAL, LLC 3033 N. 44TH STREET #150 PHOENIX, AZ 85018 CONTACT: ERIK CARTER TEL: (602) 553-9155</div><div>GENERAL CONTRACTOR: T.B.D.</div></div> <div><div>WATER: CITY OF PHOENIX</div><div>SEWER: TOWN OF PARADISE VALLEY</div><div>ELECTRIC: SRP</div><div>GAS: 250 G. PROPANE TANK</div></div> <div><div>VICINITY MAP</div><div></div></div>				

LEGAL DESCRIPTION	
LOT 17, OF LA COLINA AS RECORDED, ACCORDING TO BOOK 171 OF MAPS, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA.	

PROJECT DATA	
SCOPE OF WORK:	NEW LIVABLE ADDITION, UNDER EXST'G ROOF
OWNER NAME:	MAHMOUDI LIVING TRUST
PROJECT ADDRESS:	5913 N. LA COLINA DRIVE PARADISE VALLEY, AZ 85253
<u>GOVERNING CODES (WITH APPLICABLE CITY OF PARADISE VALLEY AMENDMENTS):</u>	
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)	
2015 INTERNATIONAL BUILDING CODE (IBC)	
2015 INTERNATIONAL FIRE CODE (IFC)	
YEAR CONSTRUCTED:	1984
ZONING:	R1-35
PROJECT SCOPE:	1,200 SF
<u>SITE INFORMATION:</u>	
SUB-DIVISION:	LA COLINA
PARCEL #:	164-05-067
LOT #:	17
A.C.:	26.42
LOT SF:	594,016 SQ FT (1.24 ACRES)
SETBACKS:	FRONT: 40'-0" SIDES: 15'-0", 40'-0" REAR: 40'-0"
<u>LOT COVERAGE:</u>	
EXST'G LIVABLE SF:	5,371 SF
NEW LIVABLE (UNDER EXST'G ROOF):	378 SF
TOTAL LIVABLE:	5,755 SF
EXST'G GARAGE:	1,340 SF
EXST'G STORAGE:	361 SF
EXST'G MECHANICAL:	176 SF
EXST'G COVD PATIOS:	734 SF
COVD PATIO TO LIVABLE:	(378) SF
TOTAL LOT COVERAGE:	8,416 SF (15.58%)

ISSUED FOR PERMIT	
A0 - 0	
TAYLOR : FRACCASSE architect	
ADDITION / REMODEL	
5913 N. LA COLINA DRIVE	
PARADISE VALLEY , AZ 85253	
revisions:	
ISSUE DATE: 12.18.24	
JOB NUMBER: 24-067	
SCALE: AS NOTED	
DRAWN: BF	
CHECKED: BF	
TITLE: PROJECT DATA	
NOTES, CONSULTANTS	





**taylor: fracasse architecture, inc.**

4425 E. Agave Rd., Suite #120, Phoenix, AZ 85044

Tel: (480) 659-6745

July 31, 2025

5913 N. LA COLINA DRIVE

## **“ Context Photos”**



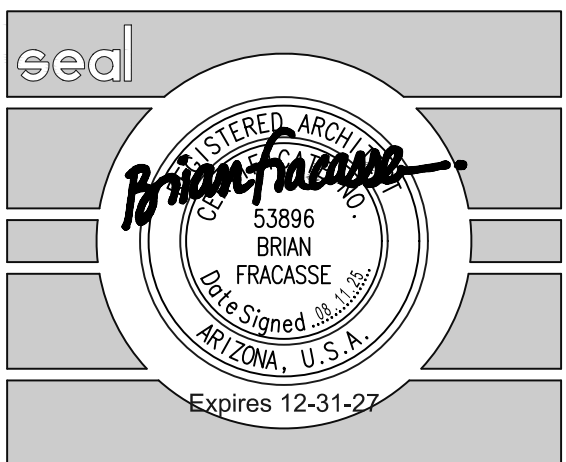
**Photo #1**

Area of scope of work, under exst'g roof (at east)



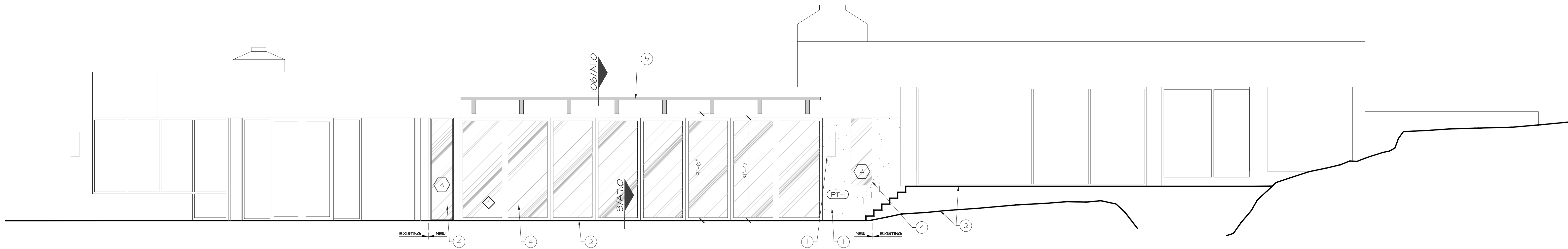
**Photo #2**

Area of scope of work, under exst'g roof (at west)



KEY NOTES	EXTERIOR FINISH LEGEND	EXTERIOR FINISHES
<p>1 TYPICAL EXTERIOR WALL WITH ONE-KOTE STUCCO FINISH OVER 1" FOAM INSULATION ON 2X6 MIN STUDS AT 16" O.C. OMEGA ESR-1194.</p> <p>2 EXST'G FINISHED GRADE.</p> <p>3 EXTERIOR WALL SCENCE LIGHT FIXTURE, RELOCATED FROM DEMO.</p> <p>4 LOW-E ALUMINUM FRAMED DOUBLE PANE WINDOW/DOOR SYSTEM.</p> <p>5 STEEL SHADE TRELLIS, REFER TO DETAIL.</p>	<p>(PT-1) PAINT (FIELD): MFR: SHERWIN WILLIAMS STYLE: ELASTOMERIC, FLAT COLOR: T.B.D. LOCATION: FIELD</p> <p>NOTE: ALL MATERIALS AND COLORS SHALL MATCH EXISTING, V.I.F. (WINDOWS, STUCCO FINISH AND PAINT COLORS, ETC.</p>	<p>STUCCO: EXTERIOR STUCCO TO BE ONE-COAT SMOOTH SYNTHETIC STUCCO WITH INTEGRAL COLOR TOP, ICC-ES REPORT #ESR-1471.</p>

INSULATION SPECIFICATIONS	MAG ONE COAT STUCCO COMPLIANCE
<p>EXST'G ROOF: FIBERGLASS BATT INSULATION (R-38) OVER 1" THERMOSEAL (ESR #3228) SPRAY APPLIED POLYURETHANE FOAM INSULATION (AS PER SECTION 4.4.2.2), (R-5), SPRAYED FROM INSIDE OF STRUCTURE TO FILL ALL CRACKS (PER IRC, R516.5.3.3), VOIDS AND TO COVER ALL SURFACES OF THE ROOF ASSEMBLY.</p> <p>NEW WALLS: FIBERGLASS BATT INSULATION (R-19) OVER 1" POLYURETHANE CLOSED CELL FOAM INSULATION (R-5) SPRAYED FROM INSIDE OF STRUCTURE TO FILL ALL CRACKS, VOIDS AND TO COVER ALL SURFACES OF THE WALL ASSEMBLY.</p>	<p>ALL ONE COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS. ALL APPROVED WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.</p> <p>THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE PROPERTY OWNER.</p>
EXTERIOR WALL ASSEMBLY	FRAME EXTERIOR WALL ASSEMBLY
<p>AIR AND WATER RESISTIVE BARRIER OVER 3/8" EXTERIOR PLYWOOD SHEATHING OVER 2 X 6 WOOD STUDS AT 16" O.C. (STAGGER JOINTS LAPPED MINIMUM 6" VERTICAL AND 2" HORIZONTAL WITH WATER RESISTIVE BARRIER) (PER ESR-1844).</p>	<p>WESTERN ONE-KOTE STUCCO SYSTEM, ESQUEL OVER 1" THICK 15 P.C.F. DENSITY TYPE 2 T&amp;G E.P. BOARD OVER 2 LAYERS OF GRADE 17 BUILDING PAPER OVER 3/8" O.S.B. OVER METAL STUDS, STAGGER JOINTS LAPPED MINIMUM 6" VERTICAL AND 2" HORIZONTAL WITH BUILDING PAPER OR FELT.</p> <p>WEEP SCREED - AS MANUFACTURED BY FRY REGLET CORP. LOS ANGELES, CA. OF EXTRUDED ALUMINUM .050" THICK.</p> <p>CORNER REINFORCEMENT - K-LATH CORP. KWK CORNER FOR EXTERIOR ANGLES (PER MFR'S INSTALLATION INSTRUCTIONS).</p> <p>DOOR AND WINDOW OPENINGS - K-LATH CORP. OR EQUAL.</p>



1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

ADDITION / REMODEL  
5913 N. LA COLINA DRIVE  
PARADISE VALLEY, AZ 85253  
taylor : fraccasse architecture

revisions:  
TOWN COMMENTS  
032425

ISSUE DATE: 12.18.24  
JOB NUMBER: 24-062  
SCALE: AS NOTED  
DRAWN: BF  
CHECKED: BF  
TITLE: ELEVATION, NOTES

A5.0

ISSUED FOR PERMIT





**taylor: fracasse architecture, inc.**

4425 E. Agave Rd., Suite #120, Phoenix, AZ 85044

Tel: (480) 659-6745

July 31, 2025

5913 N. LA COLINA DRIVE

## **“ Site Aerial Photos”**



**Photo #1**





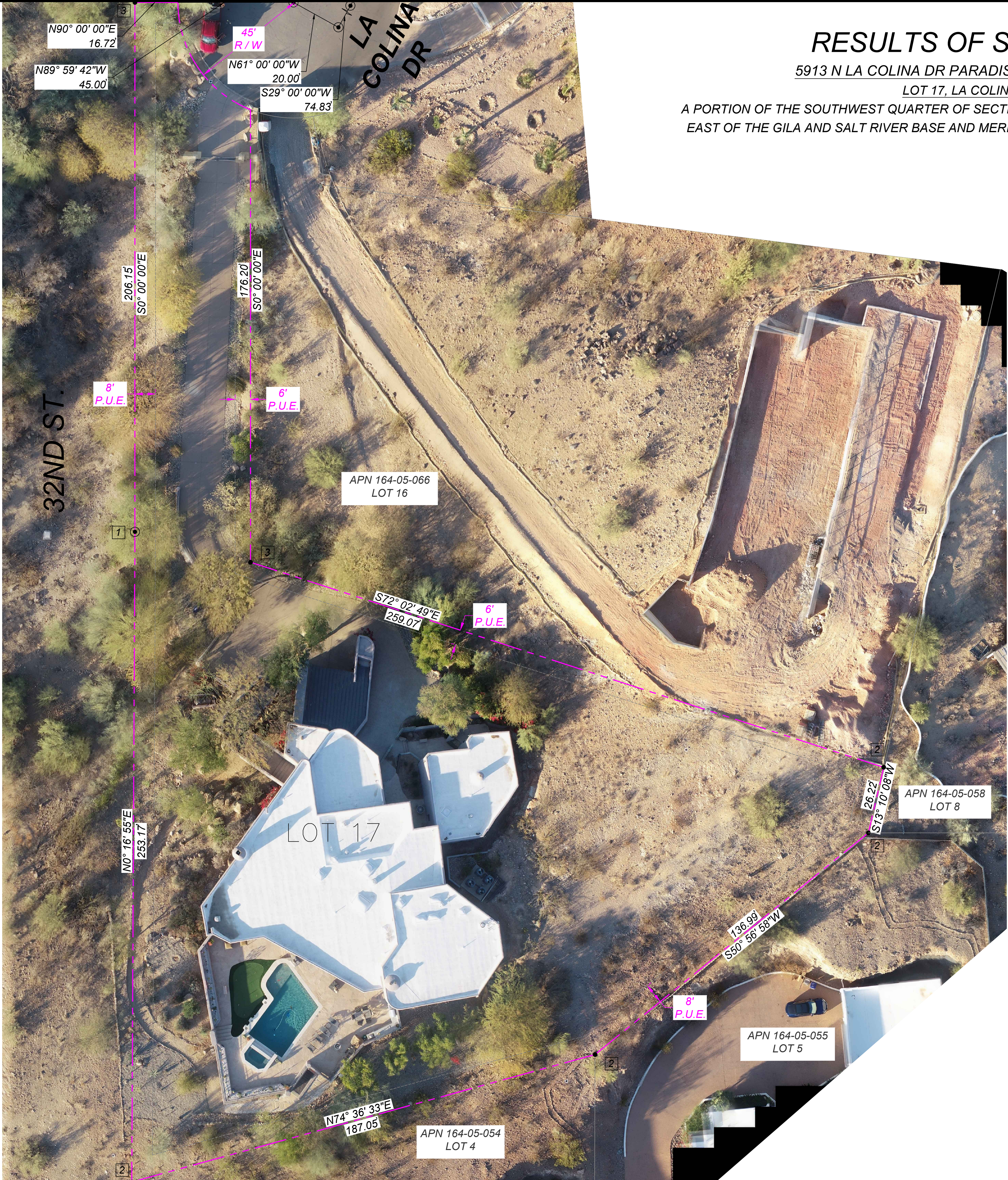
**Photo #2**





**Photo #3**



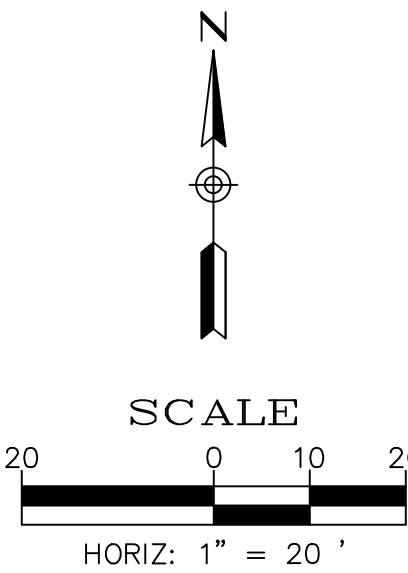
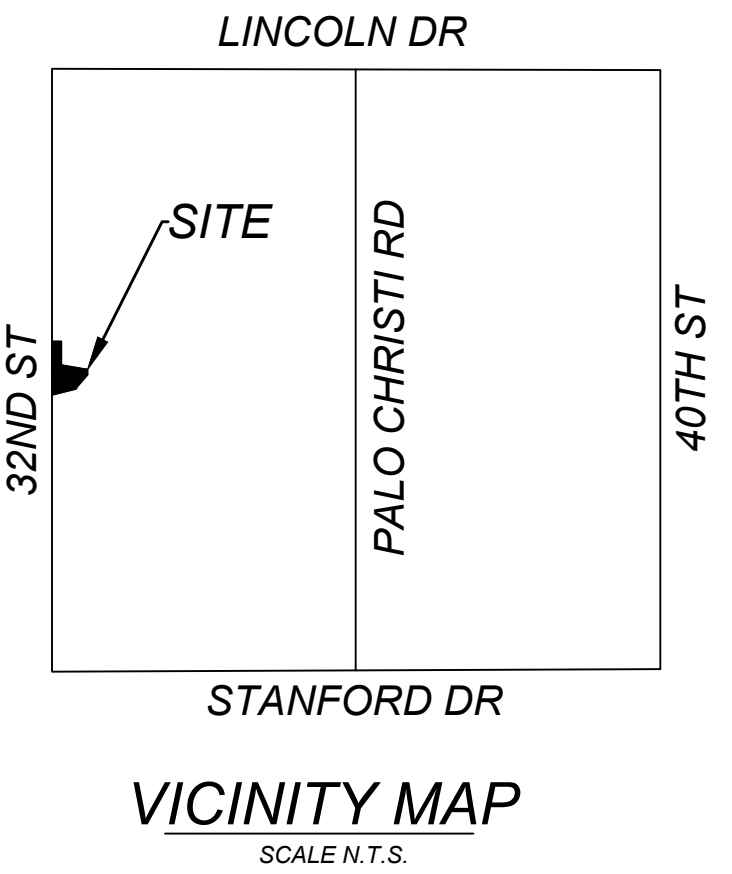


# RESULTS OF SURVEY

5913 N LA COLINA DR PARADISE VALLEY 85253

LOT 17, LA COLINA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 13 TOWNSHIP 2 NORTH, RANGE 3  
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN. MARICOPA COUNTY, ARIZONA



## SURVEYOR

J.L.D ENGINEERING PLLC  
2822 S BUCKSKIN WAY  
CHANDLER AZ 85286  
602-790-7958  
CONTACT: REED DALBIK, PE. PS.  
REED@JLD-ENGINEERING.COM

## OWNER OF RECORD

MAHMOUDI LIVING TRUST  
MAILING ADDRESS: 3219 E CAMELBACK RD  
PMB 843 PHOENIX AZ USA 85018

## PROPERTY INFORMATION

PARCEL # 164-05-067  
AREA: 54,016 SF

## REFERENCE DOCUMENTS

FINAL PLAT RECORDED IN BOOK 177, PAGE 35 MCR

## LEGAL DESCRIPTION

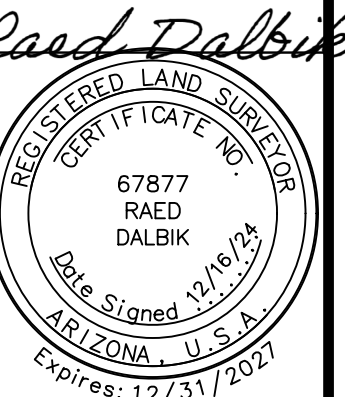
LOT 17, OF LA COLINA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE  
OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN  
BOOK 177 OF MAPS, PAGE 35.

MONUMENTS TABLE	
1	FND BC 2" DN. SW COR. SEC. 12, T2N, R3E
2	FND 1/2" REBAR (ACCEPTED) AFFIX TAG 67877
3	SET 1/2" REBAR TAG LS 67877

## LEGEND

	PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT LINE
	CORNER AS NOTED
	MONUMENT AS NOTED
R / W	RIGHT OF WAY
A.P.N	ASSESSOR PARCEL NUMBER
B.C.	BRASS CAP

J.L.D. ENGINEERING  
2822 SOUTH BUCKSKIN WAY  
CHANDLER, AZ 85286  
(602) 790-7958



BOUNDARY  
SURVEY

SCALE:  
1"=20'

JOB NO.:  
25-19  
SHEET  
1 OF 1



# GRADING & DRAINAGE PLAN

5913 N LA COLINA DR PARADISE VALLEY 85253

LOT 17, LA COLINA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 13 TOWNSHIP 2 NORTH, RANGE 3  
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN. MARICOPA COUNTY, ARIZONA

## TOWN OF PARADISE VALLEY GENERAL NOTES

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER,480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

## HILLSIDE NOTES

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA. THE FOLLOWING NOTE TO BE ADDED TO GRADING AND DRAINAGE AND ANY CIVIL PLANS: "CONSTRUCTION/DISTURBANCE STAKING TO REMAIN IN PLACE FOR THE DURATION OF THE PROJECT. ANY DAMAGE OR REMOVAL WILL REQUIRE RESTAKING."
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

## LEGAL DESCRIPTION

LOT 17, OF LA COLINA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 177 OF MAPS, PAGE 35.

## LOT COVERAGE

EXIST'G LIVABLE SF:	5,311 SF
NEW LIVABLE (UNDER EXST'G ROOF):	318 SF
TOTAL LIVABLE:	5,755 SF
EXIST'G GARAGE:	1,340 SF
EXIST'G STORAGE:	361 SF
EXIST'G MECHANICAL:	176 SF
EXIST'G COV'D PATIOS:	734 SF
COV'D PATIO TO LIVABLE:	(318) SF
TOTAL LOT COVERAGE:	8,416 SF (15.58%)

## EARTHWORK QUANTITIES

CUT: 0 CY  
FILL: 0 CY  
NET: 0 CY

## NATIVE PLANTS STATEMENT.

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY & SALVAGE PLAN

## OWNER OF RECORD

MAHMOUDI LIVING TRUST  
MAILING ADDRESS: 3219 E CAMELBACK RD PMB 843  
PHOENIX AZ USA 85018  
PHONE: 425-829-1835

## AS - BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR/ENGINEER	DATE
	REGISTRATION NUMBER

## DRAINAGE STATEMENT

- ULTIMATE STORM WATER OUTFALL ELEVATION = 1337.42'. THIS OUTFALL IS AT THE HISTORICAL PATH OF THE FLOW
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS
- THE LOWEST FINISH FLOOR ELEVATION OF 1339.67 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
- THERE IS NO OFFSITE FLOW COMING TO THE SITE. FLO-2D SHOWS THE STREET HAS THE CAPACITY TO CARRY THE OFFSITE FLOW IN THE STREET.

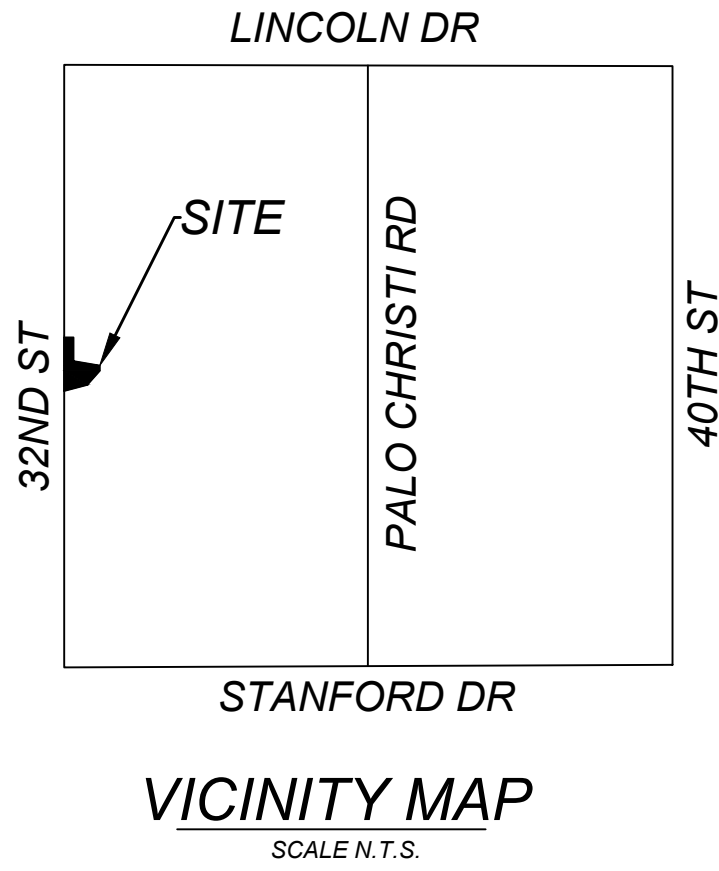
## TOWN OF PARADISE VALLEY APPROVAL SIGNATURE BLOCK

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS AND ORDINANCES.

x \_\_\_\_\_

## FEMA BLOCK

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
40049	1760 10/16/2013	L	7/20/2021	X	N/A



## SHEET INDEX

- 1 - NOTES
- 2 - PLAN SHEET
- 3 - SWPPP PLAN

## FINISH FLOOR ELEVATION STATEMENT

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVE PROTECTION FROM FLOODING CAUSED BY ONE HUNDRED YEAR STORM. AND ARE IN ACCORDING WITH TOWN OF PARADISE VALLEY

## PROPERTY INFORMATION

PARCEL # 164-05-067  
ZONING: R-43  
ADDRESS: 5913 N LA COLINA DR PARADISE VALLEY 85253

AREA: 54,016 SF = 1.24 AC  
FOOTPRINT: 8,416 SF  
FLOOR AREA PATIO: 15.58 %  
VERTICAL HEIGHT OF SLOPE: 70 SF

PERCENT OF LOT STEEPER THAN NATURAL GRADE 4.6%  
VOLUME OF CUT: 0 CY  
VOLUME OF FILL: 0 CY  
NET CUT / FILL: 0 CY

AREA OF DRIVEWAY: 6,504 SF  
MAXIMUM DRIVEWAY SLOPE: 29.7 %  
MAXIMUM DRIVEWAY WIDTH: 20.1 FT  
LENGTH OF MAXIMUM DRIVEWAY CUT OVER 8 FT: 0 FT  
MATERIAL: CONCRETE  
COLOR: LIGHT RED  
MAXIMUM DISTANCE FROM NG: 0 IN

## PROJECT SCOPE

NEW LIVABLE ADDITION, UNDER EXISTING ROOF

## UTILITY PROVIDERS

- ELECTRICAL - APS
- WATER - EPCOR USA
- INTERNET - AT&T
- SEWER - PARADISE VALLEY SEWER

## DISTRUBED AREA CALCULATIONS

TOTAL DISTURBED AREA = 0 SF (THE NEW LIVABLE ADDITION AREA IS ALREADY DEVELOPED AND IT'S CURRENTLY USED AS A PATIO TO THE POOL AREA AND IT ALREADY HAS AN EXISTING ROOF)



PROJECT MANAGER:

DESIGN BY:

DRAWN BY:

CHECKED BY:

DATE:

REVISION:

J.L.D. ENGINEERING

2822 SOUTH BUCKSKIN WAY

CHANDLER, AZ 85286

(602) 790-7958

Registered Professional Engineer

CERTIFICATE NO. 51310

Signed 7/13/2021

ARIZONA USA

Expires: 9/30/2026

Raad Dalbiq

GRADING & DRAINAGE

5913 N LA COLINA DR PARADISE VALLEY 85253

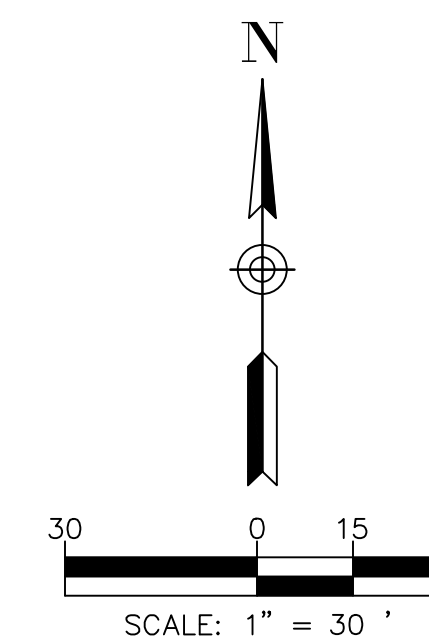
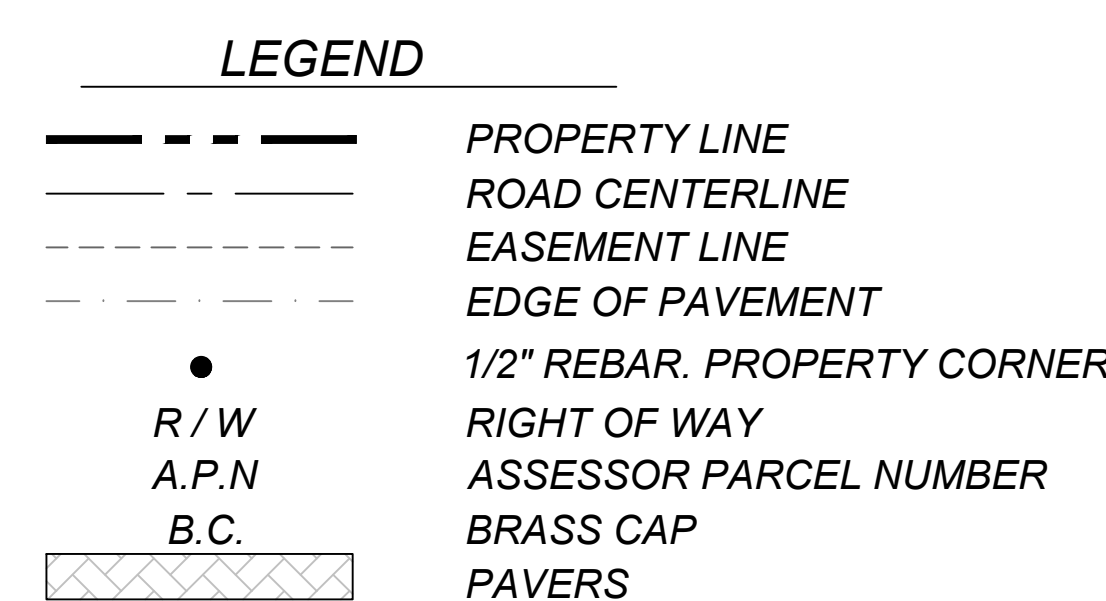
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25-19

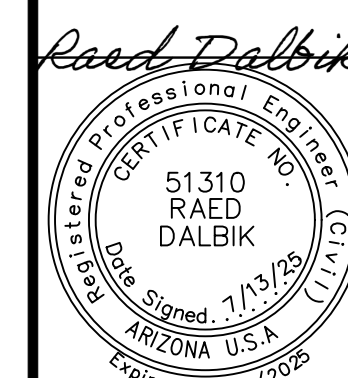
SHEET

1 OF 3





**J.L.D. ENGINEERING**  
2822 SOUTH BUCKSKIN WAY  
CHANDLER, AZ 85286  
(602) 790-7958



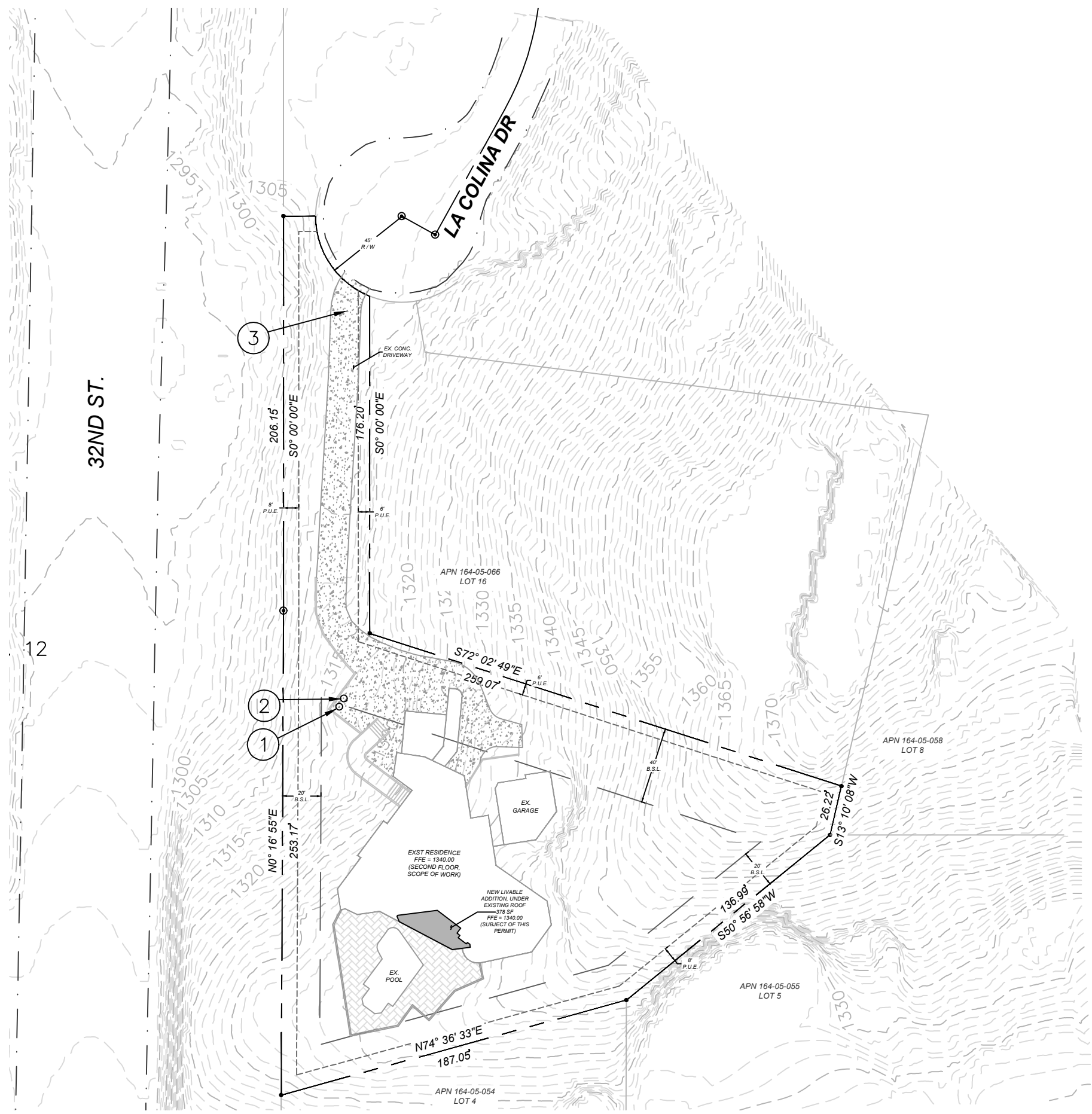
## GRADING & DRAINAGE

# תוכנית לימודים

DESIGN BY:	PROJECT MANAGER:	
DRAWN BY:		
CHECKED BY:		
DATE:	DATE	REVISION

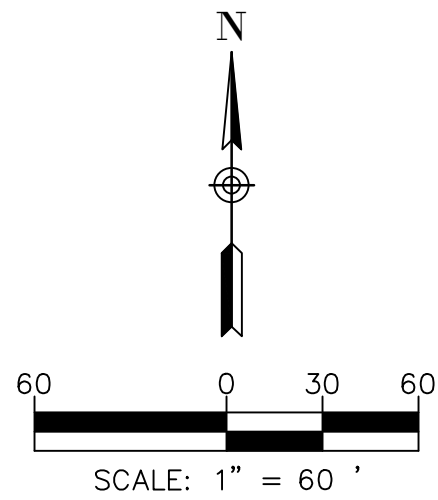
# STORM WATER MANAGEMENT PLAN

5913 N LA COLINA DR PARADISE VALLEY 85253



## CONSTRUCTION NOTES

- 1 CONCRETE TRUCK WASHOUT VESSEL.
- 2 PAINT/SOLVENT WASHOUT VESSEL.
- 3 EXISTING CONCRETE DRIVEWAY



## LEGEND

- PROPERTY LINE
- STRAW BALE BARRIER
- ROAD CENTER LINE

## HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
5. CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA. THE FOLLOWING NOTE TO BE ADDED TO GRADING AND DRAINAGE AND ANY CIVIL PLANS: "CONSTRUCTION/DISTURBANCE STAKING TO REMAIN IN PLACE FOR THE DURATION OF THE PROJECT. ANY DAMAGE OR REMOVAL WILL REQUIRE RESTAKING."
6. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

## S.W.P.P.P GENERAL NOTES

1. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER MANAGEMENT PLAN (SWMP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWMP SHALL BE CONSIDERED A PART OF THE SWMP.
2. PLANNING & DEVELOPMENT DEPARTMENT'S CIVIL/SITE INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (602) 262-7811.
3. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST.
4. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWMP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE PLANNING & DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
5. THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
6. THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (N.O.T.) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE N.O.T. IS TO BE SUBMITTED TO THE PLANNING & DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR TO FINAL THE SWMP PERMIT.
7. THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE N.O.I., SWMP, N.O.T., AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE N.O.T.
8. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND THE N.O.T. IS SUBMITTED TO THE PLANNING & DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR.
9. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
10. PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

## GENERAL NOTES

1. NO WORK OF ANY KIND MAY COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE INSTALLED, INSPECTED AND APPROVED BY TOWN.
2. SEDIMENTATION CONTROL DEVICES SHALL REMAIN IN PLACE AFTER DEMOLITION IS COMPLETE. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED MONTHLY, AFTER EACH RAIN EVENT AND MAINTAINED AS NEEDED TO BE KEPT IN PROPER WORKING ORDER BY PERMIT APPLICANT AND/OR OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.

SYMBOL	DUST CONTROL
	CONDITIONS WHERE PRACTICE APPLIES --- PERIMETER CONTROL --- SLOPE PROTECTION --- SEDIMENT TRAPPING --- DRAINAGEWAY & STREAM PROTECTION --- TEMPORARY STABILIZATION --- PERMANENT STABILIZATION & EXPOSURE LIMITS --- NON-SEDIMENT POLLUTION CONTROL
DEFINITION	A comprehensive plan to limit off-site sedimentation by controlling the sites potential for producing air borne fugitive dust and track-out of sediments.
PURPOSE	sediments which are transported from construction sites by stormwater runoff, wind, erosion and vehicle trackout are often re-dispersed to the air by subsequent vehicular traffic and high winds. Likewise, these sediments may be transported by the next rainfall into public storm sewer systems. Implementation of control measures to minimize the generation of fugitive dust from construction sites will also limit quantity of sediments in stormwater.
APPROPRIATE APPLICATIONS	Primary sources of dust from development and construction activities are:  1. Grading operations (land clearing and earthmoving) 2. Drilling and blasting 3. Batch drop operations (loader operation) 4. Exposed areas, cleared unstabilized area 5. Vehicle traffic on unpaved surfaces 6. Sediment tracking on paved surfaces 7. Blasting and wrecking ball operations 8. Soil and debris storage piles  The contractor is responsible for complying with the requirements of the air pollution control permit. Refer to appendix D for additional information on dust control in Maricopa County. The division of air pollution control's approach to reduce air pollution from construction sites will be to require:

SYMBOL	DUST CONTROL
DIAGRAM	1. Permits require the use of reasonably available dust control measures 2. Enforce visible opacity emission limits to determine compliance 3. Require dust control plans for construction or land clearing projects 4. Enforcement activities with priority given to citizen complaints 5. Require contractors to maintain records  PLANNING CONSIDERATIONS  Many of the reasonably available control measures for controlling fugitive dust from construction sites can also be implemented as best management practices for stormwater pollution prevention. Those best management practices include:  1. Pave, vegetate, or chemically stabilize access points to paved roads 2. Provide covers for trucks transporting materials that contribute dust 3. Provide for wet suppression or chemical stabilization of exposed soils 4. Provide for rapid cleanup of sediments deposited on paved roads 5. Furnish stabilized construction road entrances and vehicle wash down areas 6. Stabilize unpaved haul roads, parking and staging areas 7. Implement dust control measures for material stockpiles 8. Prevent drainage of sediment-laden stormwater onto paved surfaces 9. Stabilize abandoned construction sites using vegetation or chemical stabilization methods 10. Limit the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases  The following table, dust control application provides guidance on the appropriate best management practices recommended for typical field operations and conditions. There are many products available as dust palliatives for chemically stabilizing gravel roadways and stockpiles. The types of chemicals available and recommendations for their use are tabulated in the chart of commonly used dust palliatives.
FIELD CONDITION	PERMANENT MULCHING VEGETATION
DISTURBED AREAS SUBJECT TO TRAFFIC	X
DISTURBED AREAS SUBJECT TO TRAFFIC	X
MATERIAL STOCKPILING	X
DEMOLITION	X
CLEARING	X
TRUCK TRAFFIC	X
MAINTENANCE	X
WASHOUT	X

## MAINTENANCE REQUIREMENTS

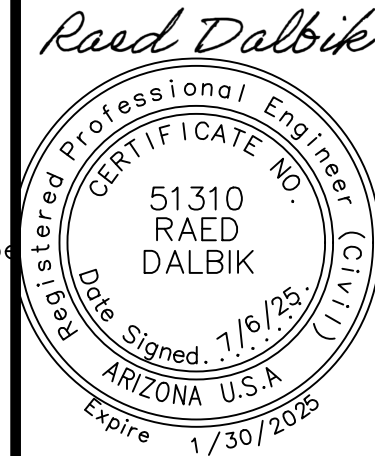
Dust control is an ongoing process during site construction. Re-application of dust control measure may be necessary until construction is complete.

SYMBOL	DUST CONTROL
DIAGRAM	1. Permits require the use of reasonably available dust control measures 2. Enforce visible opacity emission limits to determine compliance 3. Require dust control plans for construction or land clearing projects 4. Enforcement activities with priority given to citizen complaints 5. Require contractors to maintain records  PLANNING CONSIDERATIONS  Many of the reasonably available control measures for controlling fugitive dust from construction sites can also be implemented as best management practices for stormwater pollution prevention. Those best management practices include:  1. Pave, vegetate, or chemically stabilize access points to paved roads 2. Provide covers for trucks transporting materials that contribute dust 3. Provide for wet suppression or chemical stabilization of exposed soils 4. Provide for rapid cleanup of sediments deposited on paved roads 5. Furnish stabilized construction road entrances and vehicle wash down areas 6. Stabilize unpaved haul roads, parking and staging areas 7. Implement dust control measures for material stockpiles 8. Prevent drainage of sediment-laden stormwater onto paved surfaces 9. Stabilize abandoned construction sites using vegetation or chemical stabilization methods 10. Limit the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases  The following table, dust control application provides guidance on the appropriate best management practices recommended for typical field operations and conditions. There are many products available as dust palliatives for chemically stabilizing gravel roadways and stockpiles. The types of chemicals available and recommendations for their use are tabulated in the chart of commonly used dust palliatives.
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DISTURBED AREAS SUBJECT TO TRAFFIC	X
DISTURBED AREAS SUBJECT TO TRAFFIC	X
MATERIAL STOCKPILING	X
DEMOLITION	X
CLEARING	X
TRUCK TRAFFIC	X
MAINTENANCE	X
WASHOUT	X

SYMBOL	DUST CONTROL
DIAGRAM	1. Permits require the use of reasonably available dust control measures 2. Enforce visible opacity emission limits to determine compliance 3. Require dust control plans for construction or land clearing projects 4. Enforcement activities with priority given to citizen complaints 5. Require contractors to maintain records  PLANNING CONSIDERATIONS  Many of the reasonably available control measures for controlling fugitive dust from construction sites can also be implemented as best management practices for stormwater pollution prevention. Those best management practices include:  1. Pave, vegetate, or chemically stabilize access points to paved roads 2. Provide covers for trucks transporting materials that contribute dust 3. Provide for wet suppression or chemical stabilization of exposed soils 4. Provide for rapid cleanup of sediments deposited on paved roads 5. Furnish stabilized construction road entrances and vehicle wash down areas 6. Stabilize unpaved haul roads, parking and staging areas 7. Implement dust control measures for material stockpiles 8. Prevent drainage of sediment-laden stormwater onto paved surfaces 9. Stabilize abandoned construction sites using vegetation or chemical stabilization methods 10. Limit the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases  The following table, dust control application provides guidance on the appropriate best management practices recommended for typical field operations and conditions. There are many products available as dust palliatives for chemically stabilizing gravel roadways and stockpiles. The types of chemicals available and recommendations for their use are tabulated in the chart of commonly used dust palliatives.
FIELD CONDITION	PERMANENT MULCHING VEGETATION
DISTURBED AREAS SUBJECT TO TRAFFIC	X
DISTURBED AREAS SUBJECT TO TRAFFIC	X
MATERIAL STOCKPILING	X
DEMOLITION	X
CLEARING	X
TRUCK TRAFFIC	X
MAINTENANCE	X
WASHOUT	X

SYMBOL	SILT FENCE
DIAGRAM	a. Posts shall be spaced a maximum of 6 feet apart and driven securely into the ground a minimum of 30 inches. b. A trench shall be excavated approximately 8 inches wide and 12 inches deep along the line of posts and upslope from the barrier. c. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch long, tie wires or hog rings. The wire shall extend into the trench a minimum d. The standard strength filter fabric shall be stapled or wired to the fence, and 20 inches of the fabric shall extend into the trench. When extra-strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated and the filter fabric stapled or wired directly to the posts. e. The use of joints should be avoided. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6-inch overlap and both ends securely fastened to the post. f. The trench shall be backfilled with 3/4" minimum diameter washed gravel or compacted native material.  MAINTENANCE REQUIREMENTS  Inspect monthly during dry periods and immediately after each rainfall. Repair as necessary. Sediment must be removed when it reaches approximately one third the height of the fence, especially if heavy rains are expected. Filter fences should not be removed until the upslope area has been permanently stabilized.  

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SWPPP PLAN

JOB NO.:

25-19

SHEET

3 OF 3



NON-DIVERSIFIED LOADS				
LOAD	#	LOAD	TOTAL VA	
NEW ROOFTOP AC UNIT (17.5 FLA @ 240V/1-PHASE)	1	4,200	4,200	
TOTAL NON-DIVERSIFIED LOAD			4,200	
TOTAL DIVERSIFIED LOAD			10,894	
TOTAL NON-DIVERSIFIED LOAD			4,200	
TOTAL VA ON SES			15,094	
TOTAL AMPS ON SES @ 240V/1-PHASE			63	

NON-DIVERSIFIED LOADS			
	#	LOAD	TOTAL VA
EXISTING CU & AH UNIT (46.1 MCA AND 3.3 FLA AH @ 240V/1-PH)	1	1,856	11,856
EXISTING CU & AH UNIT (27.0 MCA) AND 2.1 FLA AH @ 240V/1-PH	3	5,984	20,952
POOL SUB-PANEL	1	11,520	11,520
NEW ROOFTOP AC UNIT (17.5 FLA @ 240V/1-PHASE)	1	4,200	4,200
WATER HEATER (4.5kW @ 240V/1-PHASE)	3	4,500	13,500
TOTAL NON-DIVERSIFIED LOAD			62,028
TOTAL DIVERSIFIED LOAD			38,642
TOTAL NON DIVERSIFIED LOAD			62,028
TOTAL VA ON SES			95,670
TOTAL AMPS ON SES @ 240V/1-PHASE			399

EXIST. SERVICE ENTRANCE SECTION  
400A 340V/10.3kV NEMA 3R  
BRACED FOR 100,000A

EXISTING SUB-PANEL C

EXISTING SUB-PANEL B

EXISTING SUB-PANEL A

F=12,381

AFC=20,955

EXISTING FEEDERS TO REMAIN UNCHANGED (TYPICAL).

EXISTING BONDING AND GROUNDING SYSTEM TO REMAIN UNCHANGED.

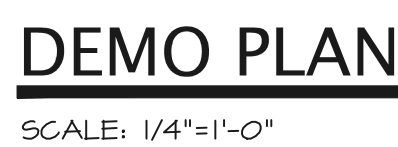
EXISTING UTILITY COMPANY SECONDARY CONDUCTORS TO REMAIN UNCHANGED.

## ELECTRICAL ONE-LINE DIAGRAM

SCALE: N.T.S.

## NOTES

1. DOOR AND WINDOW SIZES GIVEN ARE NOMINAL DIMENSIONS. FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION, AND VERIFY ACTUAL ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
2. ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
3. DOORS LEADING INTO THE HOUSE FROM THE GARAGE SHALL BE SELF CLOSING, SELF LATCHING.
4. ALL WINDOWS SHALL BE OPERABLE FROM THE INSIDE. ALL WINDOWS SHALL HAVE A CLEAR OPENING OF THE WINDOW TO BE MINIMUM 24" ABOVE THE FLOOR IN WHICH IT SERVES.
5. ALL SLIDING GLASS DOORS OR DOOR AND DOOR AREA MINIMUM OF 51.9 sq. ft. DIRECTLY TO THE OUTSIDE. MINIMUM NET OPERABLE WIDTH SHALL BE 30" AND HEIGHT 24". MAXIMUM SLIT HEIGHT NOT TO EXCEED 44" AT SLIDING AREAS.
6. MANUALLY OPERATED EDGE OR SURFACE MOUNTED PULB BOLTS AND SURFACE BOLTS ARE PROHIBITED.



1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK AND COORDINATION OF SAME, INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING, UNLESS OTHERWISE NOTED.
2. COORDINATE ALL WORK WITH NEW PLAN TO ENSURE ALL EFFICIENCIES ARE MET. ALL EXISTING UTILITIES ARE TO REMAIN AND BE REVISED ACCORDINGLY.
3. FIELD VERIFY EXISTING EQUIPMENT AND CONDITIONS PRIOR TO COMMENCING DEMOLITION. REPORT ANY DAMAGES OR DISCREPANCIES FROM PLAN TO THE ARCHITECT IMMEDIATELY.
4. GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER, SHALL REPAIR OR REPLACE ALL EXISTING DAMAGED MATERIALS, FINISHES AND EQUIPMENT SCHEDULED TO REMAIN IN PLACE.
5. WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INCLUDE ALL ANCHORS, HANGERS, ETC. AFTER REMOVAL, ALL EXPOSED SURFACES AND WALLINGS SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES.
6. ALL DIMENSIONS INDICATED ARE APPROXIMATE. GENERAL CONTRACTOR IS TO FIELD VERIFY REFERENCING ALL PLANS AND ADJUSTING ACCORDINGLY.
7. ALL SALVAGE REMAINS PROPERTY OF THE OWNER AT OWNERS DISCRETION. GENERAL CONTRACTOR TO COORDINATE WITH OWNER ITEMS TO BE SALVAGED.
8. PROTECTION OF EXISTING UTILITIES SHALL INCLUDE BUT NOT BE LIMITED TO HVAC, LIGHTING, PLUMBING, ETC. (VERIFY WITH NEW M/P DRAWINGS).








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**ARCHITECTURE • PLANNING  
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- 1 DEMO EXISTING WALL/BUILDING ELEMENT AND DISPOSE OF. REMOVE ELECTRICAL WHEN NEEDED, TERMINATE POWER BACK TO SOURCE. CAREFULLY PROTECT ADJACENT SURFACES AS REQUIRED.
- 2 REMOVE EXISTING WINDOW FRAME AND RELOCATE INTO NEW WALL.
- 3 DEMO EXISTING PLUMBING - UTILIZE EXIST'S SUPPLIES AND DRAIN PFR NEW FLOOR PLAN - REQ'D.
- 4 REMOVE EXISTING POWER OUTLETS AND LIGHT SWITCHES AS SHOWN. RELOCATE POWER AND CIRCUITING PFR NEW FLOOR PLAN.
- 5 DEMO EXISTING MILLWORK AND DISPOSE OF AS REQ'D.
- 6 REMOVE EXISTING FANS, LIGHTING, AND SPEAKERS, UTILIZE POWER FOR NEW INTERIOR LIGHTING.
- 7 REMOVE EXISTING SLIDER DOORS AND FRAME. STAGE DOOR PFR OWNER DIRECTION. SHORE ROOF & CEILING AS NECESSARY. PREP AREA FOR NEW CONSTRUCTION.
- 8 REMOVE EXISTING WINDOW. STORE PFR OWNER DIRECTION.
- 9 REMOVE EXISTING SLIDING GLASS DOOR, STORE PFR OWNERS REQUEST.
- 10 REMOVE EXISTING FLOODED FLOOR AND DISPOSE OF AS NECESSARY, UTILIZE EXIST CHIMNEY FOR NEW AT 12" DIA.
- 11 REMOVE EXISTING EXTERIOR SOFFIT FINISH, STRIP TO FRAMING AND PREP AREAS FOR NEW INTERIOR DRYWALL FINISH.
- 12 LINE OF EXISTING EDGE OF PARAPET/SOFFIT.
- 13 PROVIDE 1/2" DRYWALL, (PER IRC, TABLE R702.3.5) 5/8"-RESISTANT AT CLNGS W/ SMOOTH FINISH, PAINTED. FASTEN DRYWALL WITH 13 GA, 1 5/8" LONG CHIMNEY AT 12" DIA.
- 14 PROVIDE PLUMBING FIXTURES AS SHOWN UTILIZE EXISTING PLUMBING SUPPLIES AND DRAINS, FIXTURES AS SELECTED OWNER.
- 15 RELOCATED TRASH DRAIN, PROVID' PWR AT NEW LOCATION.
- 16 MILLWORK AND CABINETRY AS SELECTED BY DESIGNER AND INSTALLED BY GENERAL CONTRACTOR.
- 17 COUNTER MOUNT GARBAGE DISPOSAL BOTTOM.
- 18 TRENCH DRAIN AT EXISTING CONCRETE, SAKUT AND ROUTE TO DRAIN INTO ADJACENT LANDSCAPE AREA.
- 19 RELOCATED DOOR FROM DEMOLITION.
- 20 NEW 2" A/C UNIT ON ROOF, DAIKIN DF26M2441A - 240V/1PH/575FLA, 20.4MCA, 30.0 MOPC. PROVIDE 30A, 250V, 2P/2C 24MVA 3R DISCONNECT SWITCH FEDS PWR MANUFACTURERS INSTALLATION INSTRUCTIONS, ENSURE GENERAL USE REMAINS 25% WITHIN 25' OF NEW UNIT, OR PROVIDE NEW AS NECESSARY. THE NEW UNIT INTO PANEL "A", CIRCUIT 11-1.

	EXISTING WALL AND/OR BUILDING ELEMENT TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	EXISTING DOOR
	NEW DOOR PER NOTES
	120 V., DUPLEX POWER OUTLET
	WALL SWITCH

ADDITION / REMODEL  
5913 N. LA COLINA DRIVE  
PARADISE VALLEY, AZ 85253

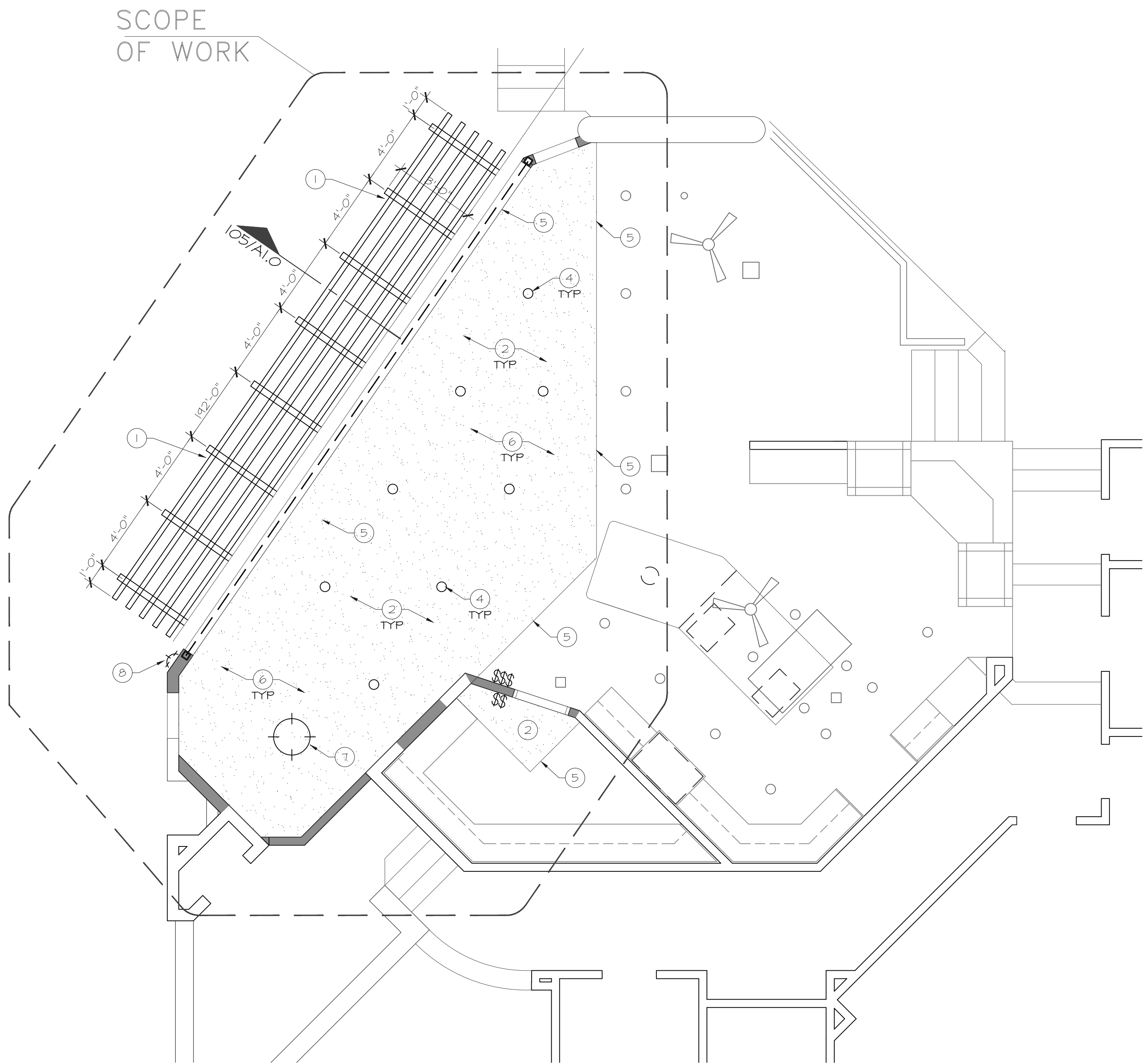
revisions:  
 TOWN COMMENTS  
 03.24.25

ISSUE DATE:	12.18.24
JOB NUMBER:	24-062
SCALE:	AS NOTED
DRAWN:	BF
CHECKED:	BF
TITLE:	DEMO & FLOOR PLANS, DR SCHED, NOTES

A 2 - 0

ISSUED FOR PERMIT





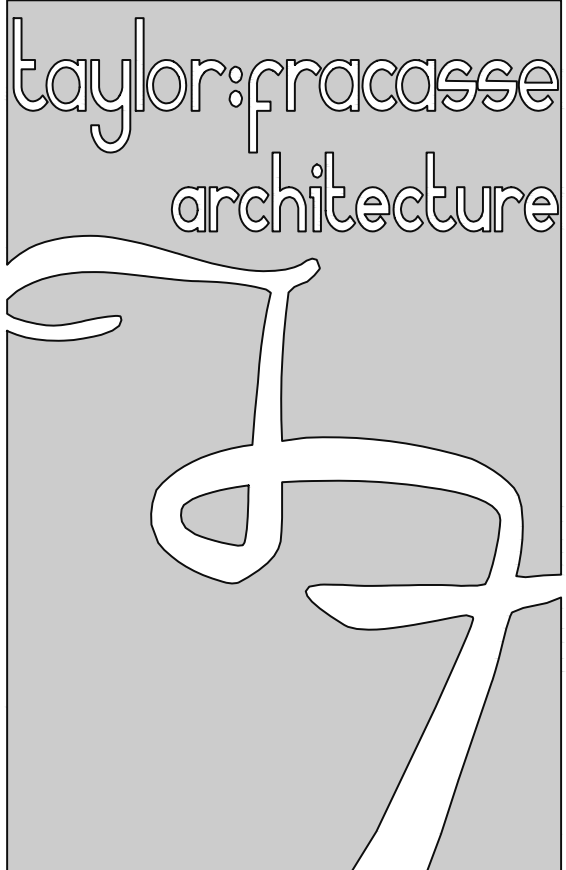
REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"



GENERAL NOTES

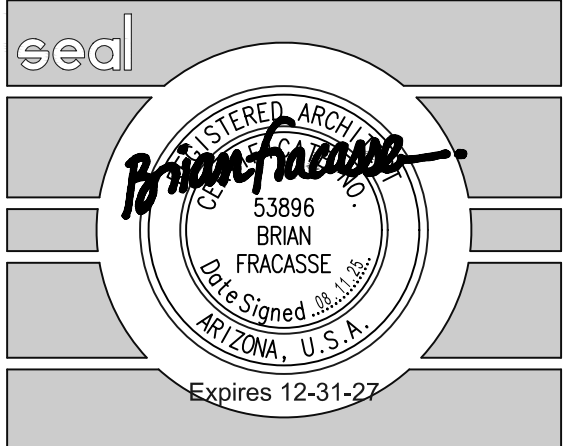
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KEY NOTES

- 1 PATIO SOFFIT TRELLIS, REFER TO DETAIL.
- 2 PROVIDE 1/2" DRYWALL, SAG-RESISTANT (PER IRC, TABLE R102.3.5) AT CLNCS W/ SMOOTH FINISH, PAINTED, FASTEN DRYWALL WITH 13 GA, 1 5/8" LONG, 1 1/4" HEAD, .040" DIA. SCREWS AT 12" O.C.
- 3 PROVIDE (2) NEW WALL MOUNTED EXTERIOR SCONCE LIGHT FIXTURES, TO MATCH EXISTING WITH NEW SWITCH AS SHOWN.
- 4 PROVIDE NEW RECESSED FLUSH MOUNT LED CAN LIGHTS TO MATCH EXISTG, TIE INTO EXISTG CIRCUITING AND RELOCATED SWITCHING.
- 5 LINE OF EXISTING TO NEW DRYWALL CEILING.
- 6 PROVIDE R-38 INSULATION AT ALL AREAS OF NEW LIVABLE EXPANSION CEILING AREA.
- 7 PROVIDE NEW CHANDELIER FIXTURE, AS SELECTED BY OWNER, PROVIDE SWITCHING.
- 8 RELOCATED WALL SCONCE LIGHT FIXTURE FROM DEMO.

LEGEND

- |  |   |
|--|---|
|  | 2"x6" WOOD FRAMED WALL W/ R-19 INSULATION AND CONT 5/8" TYPE "X" GYPSUM BOARD AT INTERIOR, STUCCO SYSTEM AT EXTERIOR TO MATCH EXISTING (REFER TO DETAIL 1/AT-0) |
|  | EXISTING WALL TO REMAIN   |
|  | SINGLE SWITCH; "3"=3-WAY, "D"=DIMMER  |
|  | WALL SCONCE LIGHT   |
|  | CEILING MOUNTED LIGHT   |
|  | RECESSED CAN LIGHT  |
|  | PENDANT LIGHT FIXTURE   |
|  | ELECTRICAL WIRING   |

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taylor : fracasse architecture

revisions:

ISSUE DATE: 12.18.24  
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DRAWN: BF  
CHECKED: BF  
TITLE: FLOOR PLAN  
DR SCHED, NOTES

A3 - 0

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July 31, 2025

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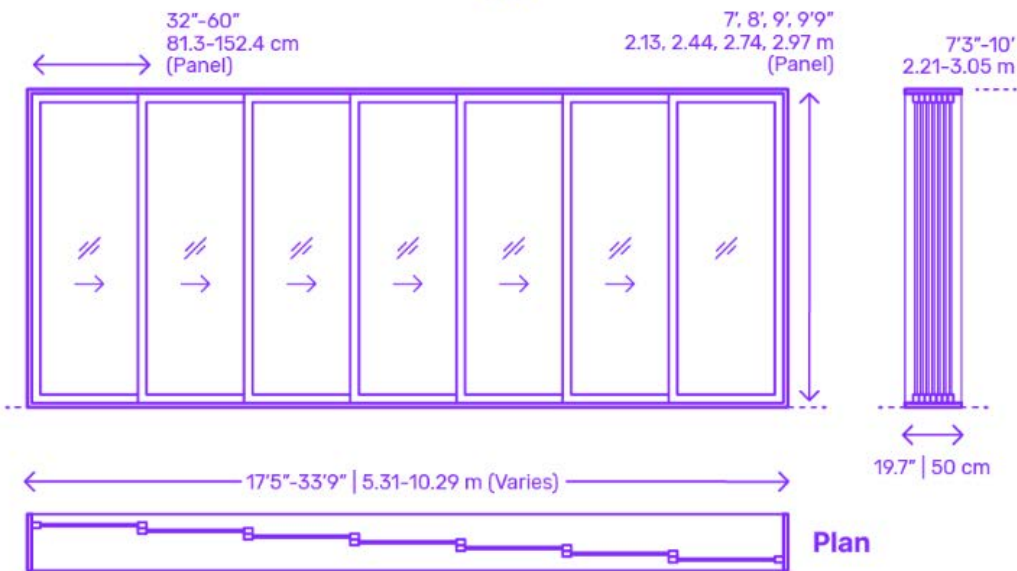
## **“ Material Samples/Project Specifications”**



**Slide Stack Door**

30'-0" w. x 9'-0" H. tempered with tinted panels to match exst'g house

Dimensions.com  
Multi-Slide Door - Stacking, 7 Panels



Wall Sconce Light

Wall sconce, to be relocated to new scope of work