

# RITZ-CARLTON PARADISE VALLEY

**Town Council Study Session  
December 3, 2015**



# 11/30/15



# 10/27/15



## MASTER PLAN

Area	Description
A   A1	Ritz-Carlton Hotel and Villas
B	Single Family Resort Related Residential
C	Single Family Ritz-Carlton Branded Residential
D	Resort Related Attached Residences
E1	Resort Related Retail
E2	Resort Related Mixed Use (Deferred -Final Site Plan to Follow)

- Reduction in Unit number
- Reduction in height along ROW
- Reduction in number of stories
- Increase in proposed 1-story heights
- Increase in individual unit sizes
- Increase in overall floor area



**CIVTECH, INC**  
Traffic Engineering  
10605 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8898  
480.959.4250  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4580 N 12th St  
Phoenix, AZ 85014  
602.264.6831  
contact: Ryan Wood

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
650.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 800  
Scottsdale, AZ 85254  
480.949.8800  
contact: George A. Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2626 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0900  
contact: Jason Morris

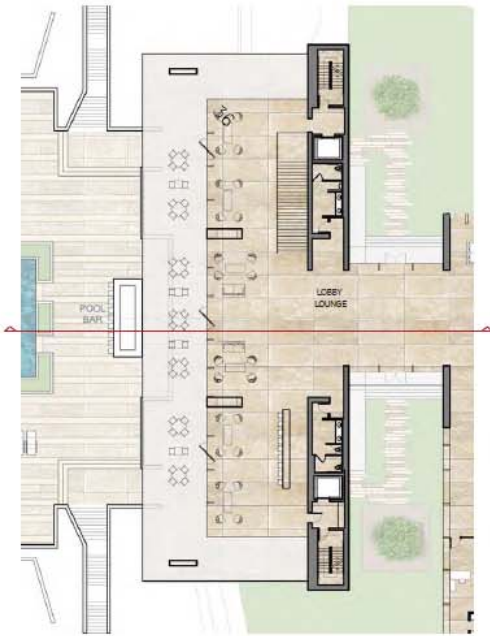


**The Ritz-Carlton Resort**  
Paradise Valley Special Use Permit Application  
November 24, 2015



**MASTER PLAN**  
Land Use Plan  
D-1

# Area A – Resort Elimination of Roof Deck



LOBBY LOUNGE - LEVEL 03



Height reduced from 56' to 48'



**CIVTECH, INC**  
Traffic Engineering  
10505 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8598  
480.686.4200  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4550 N 12th St  
Phoenix, AZ 85014  
602.284.8811  
contact: Ryan Weed

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
855.851.9610  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.946.6100  
contact: George A. Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2525 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0600  
contact: Jason Morris



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**RESORT HOTEL**  
Enlarged Lobby Building Section  
E-14



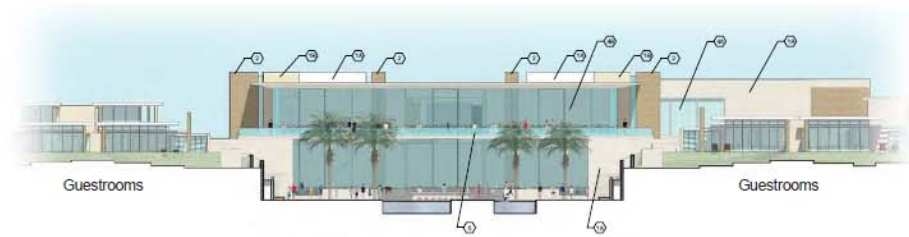
MAIN BUILDING - NORTHWEST ELEVATION (FUNTION LAWN)



MAIN BUILDING - EAST ELEVATION (PALM COURT)

KEYNOTES

- 1A STUCCO A  
SFT-DI-1825/24/1, COLOR: 1825/24/1-1825/24/1  
LUMP BRICK
- 1B STUCCO B  
SFT-DI-1825/24/1, COLOR: 1825/24/1-1825/24/1  
SM
- 2 STONE  
DPMI-HORISOL/LEWISTONE
- 3 STONE PAVERS
- 4A GLAZING WITH DEEP MULLION CAPS
- 4B GLAZING WITH GLASS FINS
- 5 GLASS RAILING



MAIN BUILDING - NORTHEAST ELEVATION (LOBBY LOUNGE)

**CIVITECH, INC**  
Traffic Engineering  
12606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8808  
480.859.4290  
contact: Dawn Carter

**CVL CONSULTANTS**  
Cvli, Landscape, Planning, & Survey  
4850 N 12th St  
Phoenix, AZ 85014  
602.264.8881  
contact: Ryan Wood

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
850.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
16210 N Scottsdale Rd | Ste 900  
Scottsdale, AZ 85254  
480.949.8800  
contact: George & Malena

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2526 E Arizona Blinnmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.290.0600  
contact: Jason Morris



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**RESORT HOTEL**  
Main Building Elevations  
E-18

# Area A1- Resort Villas



AERIAL VIEW TOWARD NORTHWEST



AERIAL VIEW TOWARD NORTHEAST



AERIAL VIEW TOWARD LINCOLN DRIVE - From Palm Court



- Unit count reduced from 120 to 90 villas
- Unit floor area reduced by 20,000sf
- Food & beverage floor area increased by 11,000sf
- 3-story elements reduced, but still exceed buffer area
- 1- story height increased from 16' to 20'
- 2- story height increased from 24' to 28'

**CIVTECH, INC**  
Traffic Engineering  
10605 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8808  
480.859.4250  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4850 N 12th St  
Phoenix, AZ 85014  
602.284.6911  
contact: Ryan Wixed

**MASON ARCHITECTS**  
Architecture & Master Planning  
987 Industrial Road | Ste C  
San Carlos, CA 94070  
850.951.9810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 86254  
480.949.6900  
contact: George A Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2825 E Arizona Ellmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.250.0800  
contact: Jason Morris



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**AREA A1**  
Ritz-Carlton Residential Villages  
F-1

# Area B – Detached Residential



- 72 lots proposed
- Minimum lot size 10,000sf
- Minimum perimeter lot 15,000sf
- 1-story along perimeter at 20' height
- Unit size increase from 3200 to 4000
- 2.3 Dwelling Units per Acre

CIVTECH, INC  
Traffic Engineering  
10606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8898  
480.689.4290  
contact: Dawn Carter

CVL CONSULTANTS  
Civil, Landscape, Planning, & Survey  
4850 N 12th St  
Phoenix, AZ 85014  
602.284.6851  
contact: Ryan Wood

MASON ARCHITECTS  
Architecture & Master Planning  
967 Industrial Road | Ste C  
San Carlos, CA 94070  
800.851.8610  
contact: Peter Mason

NELSEN PARTNERS  
Mixed-Use Architecture  
16210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.6800  
contact: George A Malara

WITHEY MORRIS, PLC  
Land Use & Zoning Attorney  
2525 E Arizona Billmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0800  
contact: Jason Morris



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AREA B  
Resort Branded Residential Lots  
F-2

## Area C – Detached Resort Residential

- 45 lots proposed
- Minimum perimeter lot 15,000sf
- 1-story along perimeter at 20' height
- 4,000 sf units
- Floor Area increases by 14,000sf
- 2.0 Dwelling Units per Acre



Open Space Criteria

Area B & C Building Setbacks	
Front Yard First Floor	20'
Front Yard Second Floor	25'
Side Yard	15' each side
Side Yard	20' total
Side Yard	(not less than 5')
Rear Yard First Floor	20'
Rear Yard Second Floor	35'
Lot size greater than 15,000 sf	▲
Single story home with construction limited to a maximum of 20' in height	●



Guest Parking:  
2 cars in the driveway at each home

**CIVTECH, INC**  
Traffic Engineering  
10806 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8506  
480.889.4350  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4550 N 12th St  
Phoenix, AZ 85014  
602.264.6681  
contact: Ryan Weed

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
800.851.7610  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
16210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.242.8900  
contact: George A Malak

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2525 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0600  
contact: Jason Morris



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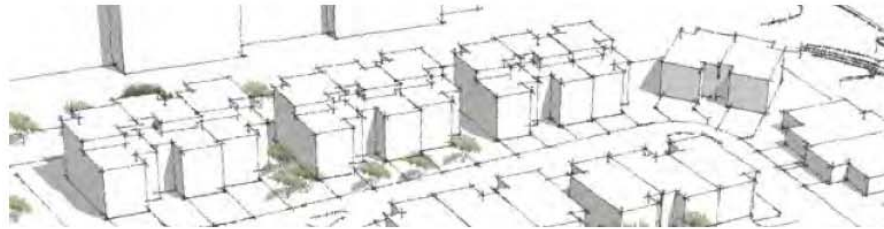


**AREA C**  
Ritz-Carlton Residential Lots  
F-3



- Unit count decreases from 74 to 62
- Clusters of 4 units eliminated
- Unit size increases by 400sf to 2,400sf
- Mixture of 1, 2, & 3 story units
- Heights range from 20' to 36'

## Area D – Attached Residential



ENLARGED VIEW OF THREE STORY ATTACHED RESIDENCES



AERIAL VIEW TOWARD LINCOLN DRIVE

Massing illustrations do not depict the required 50% reduction of enclosed floor area at the three story units



ENLARGED VIEW OF THREE STORY ATTACHED RESIDENCES MASSING

**CIVTECH, INC**  
Traffic Engineering  
10606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8898  
480.459.4220  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4850 N 12th St  
Phoenix, AZ 85014  
602.254.8881  
contact: Ryan Weed

**MASON ARCHITECTS**  
Architecture & Master Planning  
2005 Woodside Rd | Ste 400  
Woodside, CA 94062  
650.951.9110  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 800  
Scottsdale, AZ 85254  
480.949.8500  
contact: George A. Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2626 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0800  
contact: Jason Morris



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**AREA D**  
Attached Residence Village  
F-5

**LEGEND**

<b>RITZ CARLTON HOTEL</b>	11 PRERUNCTION	<b>RITZ CARLTON HOTEL - AMENITIES</b>	<b>RITZ CARLTON VILLAS</b>	<b>PALM COURT (TOWN SQUARE)</b>
1 PORTE COCHERE	12 HOTEL PARKING (VALET)	20 SPA	80 VILLA UNITS	40 CENTRAL PLAZA   PARK
2 RECEPTION	13 MECHANICAL   ELECTRICAL	21 FAMILY POOL	81 VILLAS LOBBY	41 RETAIL   RESTAURANTS
3 HOTEL LOBBY	14 ADMINISTRATIVE OFFICES	22 ADULT POOL	82 RESIDENT'S POOL	42 RESIDENTIAL UNITS
4 LOBBY LOUNGE	15 BACK OF HOUSE	23 OUTDOOR FUNCTION	83 RESIDENT'S PARKING	43 RITZ CARLTON FUNCTION DROP-OFF
5 SPECIALTY RESTAURANT	16 LAUNDRY   EMPLOYEE FACILITIES	24 CLUB LOUNGE	84 AMENITIES SPACE	
6 THREE MEAL RESTAURANT	17 CART STAGING		85 RESIDENT'S STORAGE	<b>RESORT RELATED ATTACHED RESIDENCE VILLAGE</b>
7 POOL BAR AND GRILL	18 REMOTE SERVICE BUILDING		86 BACK OF HOUSE   MEP	51 AMENITIES   ADMINISTRATIVE OFFICE
8 BALLROOM	19 KITCHEN		87 RETAIL PARKING	52 GUEST PARKING
9 JUNIOR BALLROOM			88 RETAIL STORAGE	53 RESIDENT'S POOL
10 MEETING   BOARD ROOM			89 SUNKEN GARDEN   ENTRY COURT	54 ATTACHED RESIDENTIAL UNITS

**LEGEND**

- One Story Building
- Two Story Building
- Three Story Building

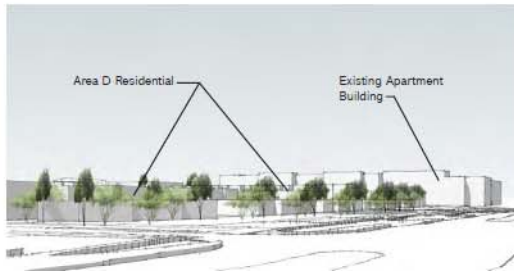


**AREA D - RESORT RELATED ATTACHED RESIDENCE VILLAGE**

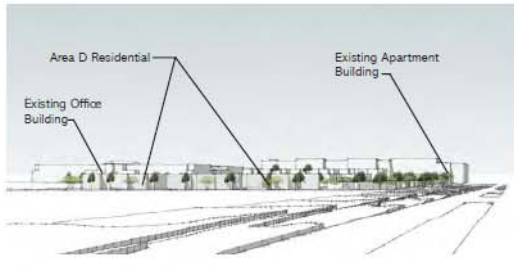
Area D residential is a critical zone for softening and quieting the adjacent Scottsdale intensity. Given its location on Lincoln Drive, a large setback has been designed to provide a substantial buffer between the residences and traffic on Lincoln Drive. The attached units are whole ownership, resort-related attached residential of one, two and three stories. The concept for the residential neighborhood is a more European street - where the attached residences form narrow streets and common open space courtyards for the residential amenities - pool, paths and gardens.

Guest Parking: 2 cars in the driveway at each home

Setbacks: Front and Rear Yard Setbacks = 10' each



VIEW TOWARD SCOTTSDALE ROAD - at Ritz Carlton Entry



VIEW TOWARD SCOTTSDALE ROAD - Near Mockingbird Intersection

**CIVTECH, INC**  
Traffic Engineering  
10606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8595  
480.659.4260  
contact: Devin Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4860 N 12th St  
Phoenix, AZ 85014  
602.264.6831  
contact: Ryan Wood

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
850.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
18210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.6800  
contact: George A. Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2825 E Arizona Biltmore Cr | Ste A-212  
Phoenix, Arizona 85016  
602.280.0900  
contact: Jason Morris



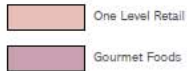
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**AREA D**  
Attached Residence Village  
F-4

# Area E – Resort Retail

Use	# Levels	Total
A Retail	1.0	9,600 sf
B Gourmet Foods	1.0	9,793 sf
C Retail	1.0	17,349 sf
Retail	1.0	17,585 sf

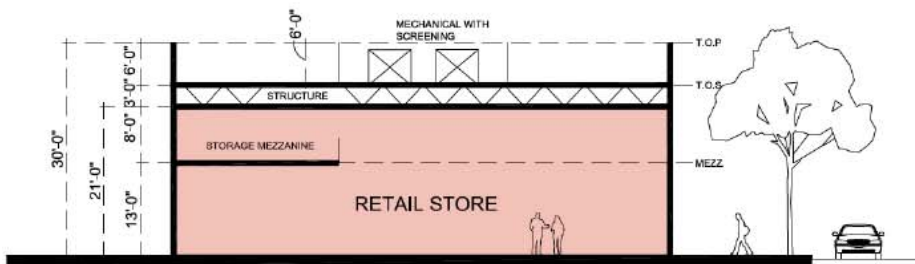


Tabulations	
Retail	37,854 sf
Food & Beverage	6,680 sf
Gourmet Foods	9,793 sf
Total Building SF	54,327 sf

Parking Required	
Comm Req code@ 1/300gsf	182 cars

Parking Provided	
Surface Off-Street Parking	222 cars
Surface On-Street Parking	77 cars
Total Parking Provided	299 cars

Parking Required	
Parcel E1 Area (7.2 acres)	314,790 sf
Total Building Area	54,327 sf
Coverage	17%



**CIVTECH, INC**  
Traffic Engineering  
10605 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-5505  
480.699.4250  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4550 N 12th St  
Phoenix, AZ 85014  
602.284.6831  
contact: Ryan Wood

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
850.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.6100  
contact: George A Malara

**WITHEY MORRIS, PLLC**  
Land Use & Zoning Attorney  
2525 E Arizona Blinners Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0600  
contact: Jason Morris



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**RESORT RELATED RETAIL**  
Area E2  
E-27

## RESORT WALL MASTER PLAN

Initial locations of site walls have been identified in the exhibit to the right. The design intent of the walls will be to provide both security for residents and guests, while also respecting view corridors and a sense of open space. As such, view fences have been used where possible, and solid walls and screen walls are limited to areas that require enhanced privacy or security, or to shield resident views to utility or back of house uses.

Perimeter walls have been identified on this exhibit. The Hotel area will contain additional landscape walls of varying heights to define open space areas and uses.

### Notes:

- Private yard walls provided by owner.
- Screen wall and fence guidelines: Screen walls are used to shield delivery areas, service areas, truck courts, mechanical, electrical, plumbing, and fire protection equipment, storage areas, recycling containers, dumpsters, and the like, from public view. Screen walls must respond in form to architecture. The height of screen walls should be as low as possible, but are limited to fifteen feet (15') limited to the hotel loading dock and central plant, as measured from the grade of the outside of the wall.

## LEGEND

- 8' Solid (6' Wall + 2' Berm)
- 6' Solid
- 6' View
- Wall Jog Locations
- Primary Resort Entry Monument
- Town Entry Monument
- Resort Branding Sign
- Guardhouse  
Manned Access control point. Not to exceed 16' in height, 250sf in size with a gate not to exceed 8' in height
- Electric Gate  
Access control point with visitor call box. Adequate vehicular turn around to be provided per Town standards. **Adjacent residential lots may need modification or deleted to accommodate required turn around and emergency access.** not to exceed 8' in height.



CIVTECH, INC  
Traffic Engineering  
10608 W Hayden Road | Ste 140  
Scottsdale, AZ 85260-8598  
480.699.4290  
contact: Dawn Carter

CVL CONSULTANTS  
Civil, Landscape, Planning, & Survey  
4850 N 13th St  
Phoenix, AZ 85014  
602.264.6831  
contact: Ryan Reed

MASON ARCHITECTS  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
650.851.8610  
contact: Peter Mason

NELSEN PARTNERS  
Mixed-Use Architecture  
15210 N. Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.8800  
contact: George A. Malara

WITHEY MORRIS, PLC  
Land Use & Zoning Attorney  
3525 E Arizona Biltmore Cr | Ste A-212  
Phoenix, Arizona 85016  
602.230.0800  
contact: Jason Morris



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RESORT LANDSCAPE  
Resort Wall Master Plan  
G-3



**CIVTECH, INC**  
Traffic Engineering  
10605 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-5695  
480.690.4250  
contact: Devin Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4850 N 12th St  
Phoenix, AZ 85014  
602.264.8931  
contact: Ryan Weed

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
650.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.6800  
contact: George A Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2515 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0600  
contact: Jason Morris



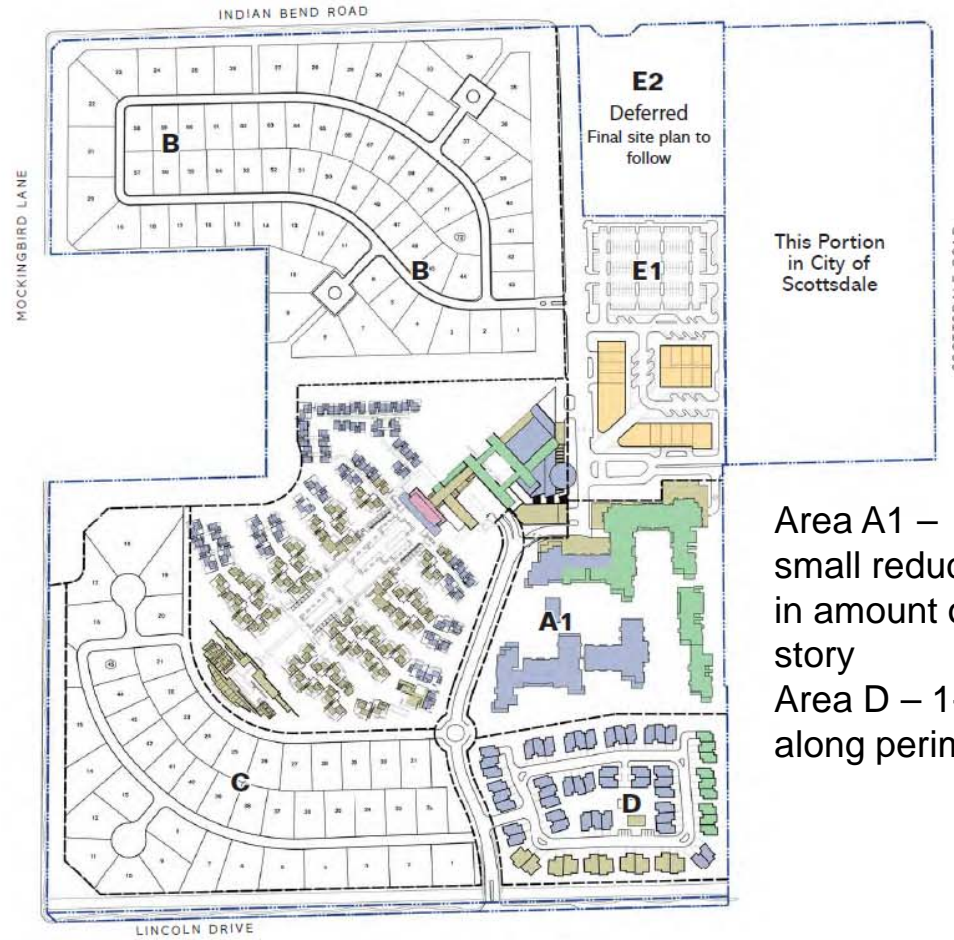
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**MCDOWELL MOUNTAIN**  
Views  
G-9

**LEGEND**

- One Story Building: 14' - 20' above finish grade
- Two Story Building: 20' - 28' above finish grade
- Three Story Building: 28' - 36' above finish grade
- Hotel Lobby Roof: 48' above finish grade
- Single Story with a 30' maximum height



Area A1 –  
small reduction  
in amount of 3-  
story  
Area D – 1-story  
along perimeter

**CIVTECH, INC**  
Traffic Engineering  
10606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8806  
480.452.4280  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4660 N 12th St  
Phoenix, AZ 85014  
602.254.6681  
contact: Ryan Wood

**MASON ARCHITECTS**  
Architecture & Master Planning  
957 Industrial Road | Ste C  
San Carlos, CA 94070  
850.881.0810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
16210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.8800  
contact: George A Malera

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2825 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.250.0900  
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**PROJECT HEIGHTS**  
Hotel | Residential | Mixed Use  
D-5

# Overall floor area increases by 75,062

## Total Development Floor Area

Residential	1,014,075
Resort Related	781,327
Total Proposed	1,795,402 sf
25% (at 2 stories) SUP Guidelines	2,157,091 sf

## Area Setbacks

### (from post dedication property lines)

North of Lincoln Drive:	50'
East of Mockingbird Lane:	50'
South of Indian Bend Road:	30'
North of St. Barnabas Church	10'

## Single Family Dwelling Units per Acre

Parcel B	72 du
Parcel C	45 du
Total	117 du

Net Acres	53.8 ac <sup>(6)</sup>	2.17 du/ac
Gross Acres	54.5 ac <sup>(7)</sup>	2.15 du/ac
Improved Acres	56.5 ac <sup>(8)</sup>	2.07 du/ac

## 2015 Proposed SUP Overview (Excluding Area E)

Area	Land Use Product	Gross Acreage	Proposed Residential Units	Residential Lot Sizes	Average Unit Size Conditioned, sf	Total Residential Floor Area, sf <sup>(4)</sup>	Total Resort Related Floor Area, sf <sup>(4)</sup>	Lot Coverage: Drip Line Area, sf	Area Coverage, Percentage <sup>(1)</sup>	Maximum Height, ft <sup>(2)</sup>	
A	The Ritz-Carlton Resort Hotel	18.1	Public Spaces				352,000	234,000	29.7%	48'	
			200 Hotel Rooms								24'
	Accessory & Service Structures					15,000				16'	
A1	Resort Villas	11.1	94 Resort Villas				328,000	149,000	30.8%	36'	
	- Food & Beverage						32,000				24'
Subtotals - A & A1		29.2					727,000	383,000	30.1%		
B	Resort Related Detached Single Family	31.3	72	10,000 sf min	4,000	495,000		340,848	25.0%	20' / 24' <sup>(3)</sup>	
				12,092 sf avg							
				20,320 sf max							
C	Ritz-Carlton Detached Single Family	22.5	45	12,000 sf min	4,000	309,375		236,250	24.1%	20' / 24' <sup>(3)</sup>	
				14,191 sf avg							
				37,605 sf max							
D	Resort Related Attached Residences	8.8	62		2,400	209,700		96,950	25.2%	20' / 24' / 36' <sup>(3)</sup>	
E1	Resort Related Retail	7.2					54,327	54,327	17.3%	30'	
E2	Resort Related Mixed-Use (Deferred)										
Subtotals - B, C, D & E1		69.8					1,014,075	54,327	728,375	23.9%	
Total All Parcels		99.0					1,014,075	781,327	1,111,375	25.8%	

### Notes:

- <sup>(1)</sup> Area coverage is calculated using drip line of structures including trellises at 50% coverage
- <sup>(2)</sup> The maximum heights indicated are measured from finish grade. Finish grade is no more than 2' above existing grade or as depicted on Page E-7.
- <sup>(3)</sup> Residential lots adjacent to public roadway are limited to one story and a 20' maximum height. Specific lots are depicted on Page F-2 and F-3.
- <sup>(4)</sup> Gross area including at-grade garages, patios, trellises, overhangs but excluding basements
- <sup>(5)</sup> 36' (three story) height only occurs as a buffer along the eastern border. Third floor: interior area will not exceed 50%, exterior covered will not exceed 10%, exterior

uncovered will not exceed 10% of the second floor area. One story units are limited to 20' in height, two story units are limited to 24' in height. See Page F-4 for specific unit height limitations.

- <sup>(6)</sup> Post-dedication acreage
- <sup>(7)</sup> Pre-dedication acreage
- <sup>(8)</sup> Improved Acres include landscaped right-of-way (to the back of curb) in addition to the perimeter Area Setbacks



**CIVTECH, INC**  
Traffic Engineering  
10606 N Hayden Road | Ste 140  
Scottsdale, AZ 85260-8505  
480.692.4290  
contact: Dawn Carter

**CVL CONSULTANTS**  
Civil, Landscape, Planning, & Survey  
4650 N 12th St  
Phoenix, AZ 85014  
602.284.6831  
contact: Ryan Weed

**MASON ARCHITECTS**  
Architecture & Master Planning  
087 Industrial Road | Ste C  
San Carlos, CA 94070  
650.851.8810  
contact: Peter Mason

**NELSEN PARTNERS**  
Mixed-Use Architecture  
15210 N Scottsdale Rd | Ste 300  
Scottsdale, AZ 85254  
480.949.6800  
contact: George A Malara

**WITHEY MORRIS, PLC**  
Land Use & Zoning Attorney  
2525 E Arizona Biltmore Cir | Ste A-212  
Phoenix, Arizona 85016  
602.230.0600  
contact: Jason Morris



**The Ritz-Carlton Resort**  
Paradise Valley Special Use Permit Application  
November 30, 2015





**MASTER PLAN**  
Land Density Table  
D-3

# Questions?





	 <p>2008</p>	 <p>2015</p>	difference	SOD
Total Lot Coverage	24.15%	25.8% Area A & A1 – 30.1% Area B – 25% Area C – 24.1% Area D – 25.2%	6.8% increase	30% for Areas A & A1 25% for Areas B,C, & D
Approximate Area	1,194,238 total square feet on 105 acres (11,374/acre)	1,795,402 total square feet on 99 acres (18,135/acre)	59% increase	
Hotel Rooms	225	200	25 rooms – 11% decrease	
Hotel Acreage	25 acres	18 acres	7 acres – 28% decrease	

Hotel size	466,088 square feet total	352,000 square feet total Area A & A1 = 727,000 sf	114,088 decrease – 24.5% decrease	Area A & A1 shall not exceed 700,000 sf
Hotel Height	33' (with a tower at 39')	48' for Area A lobby  36' for majority of Area A1	12' increase – 33% increase	Additional height at the Lobby be considered after impacts are explored 36' height be considered as a buffer along eastern border
Residential Detached homes	61 homes (lot size 43,560 – 21,000 sf) 15 homes at 1+ DUA 46 homes at 2+ DUA	117 homes (lot size 10,000 – 37,605 sf) 72 homes at 2.3 DUA in Area B 45 homes at 2 DUA in Area C	50 increase – 82% increase	Average 2 DUA in Area B & C
Residential Attached	100 duplex 1 & 2 story	62 townhomes 2 & 3 story	38 1 story	New product. Not addressed in SOD
Stacked Villas	0 units	94 units in Area A1 36' height	94 units	Stacked residential product was originally proposed for Area D and was disfavored in the SOD

Total residential units	161	273	112 increase 69%	
Parking	Surface, 511 spaces, 691 w/ valet plan	Underground, 710 spaces, 780 w/ valet plan	199 spaces increase 139% increase - 89 valet decrease - 55% decrease	