

TOWN OF PARADISE VALLEY
GRADING AND DRAINAGE NOTES

- CERTIFICATION OF FINISHED FLOORS OR BUILDING PADS IS THE RESPONSIBILITY OF THE DEVELOPER, BUILDER, OWNER AND SHALL BE SUBMITTED PRIOR TO A REQUEST FOR A CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PIPES, PROTECTIVE BERMS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
- SOIL COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE TWO (2) OR MORE FEET OF FILL MATERIAL INDICATED. THIS INFORMATION SHALL BE SUPPLIED PRIOR TO POURING FOUNDATIONS. MINIMUM 95% COMPACTION PER ASTM D698.
- PREPARATION OF GROUND: THE AREA OVER WHICH FILLS ARE TO BE MADE SHALL BE CLEARED OF ALL TRASH, TREES, STUMPS, DEBRIS OR OTHER MATERIAL NOT SUITABLE AS A FOUNDATION FOR FILL.
- LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION SUPPLIED TO THE ENGINEER BY THE APPROPRIATE UTILITY COMPANIES. NO GUARANTEE ON LOCATIONS OR ACCURACY IS IMPLIED OR GIVEN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE (602) 263-1100 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- RETAINING WALLS SHALL BE BACK FILLED WITH 2" TO 3" STONE WITH 1" DRAINS AT 6' ON CENTER.
- DISTURBED AREAS SHALL BE REPLANTED WITH DESERT PLANTS OR DROUGHT RESISTANT PLANTS. EXISTING VEGETATION SHALL BE RELOCATED IF DISTURBED BY CONSTRUCTION.
- SWALES SHALL BE LINED WITH 4" MINIMUM ROCK AND BE A MINIMUM OF 14" DEEP AFTER FINISH LANDSCAPE.
- ALL EXPOSED RETAINING WALLS AND FENCES SHALL BE FINISHED WITH PAINTED STUCCO.
- CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS AND ONSITE CONDITIONS.
- ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF TRASH, SILT, VEGETATION AND DEBRIS.
- DROPS OF 30" OR MORE IN ACCESSIBLE AREAS SHALL BE PROTECTED BY A 36" MINIMUM HEIGHT GUARDRAIL (G.R.).
- CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO PROCEEDING WITH WORK. FINISH GRADE SHALL SLOPE AWAY FROM RESIDENCE AT LEAST 5% FOR A MINIMUM DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA.
- ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING ARE NOT A PART OF THIS SITE PLAN.
- SWIMMING POOLS, SPAS, FENCES AND SITE WALLS REQUIRE SEPARATE PERMITS.
- MITIGATION OF EXPANSIVE SOIL IS NOT A PART OF THIS PLAN. SEE HOUSE PLANS FOR REQUIREMENTS.
- FOUNDATIONS SHALL BEAR ON NATIVE SOIL OR COMPACTED FILL WITH MINIMUM OF 95% COMPACTION PER ASTM D698.
- CONTRACTOR SHALL PROVIDE 1" MINIMUM WATER SERVICE.
- CONCRETE WALKING SURFACES 30" ABOVE GRADE REQUIRE A GUARDRAIL.

CIVIL SITE PLAN NOTES

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL.

GRADING AND DRAINAGE PLAN
TARLOW ADDITION

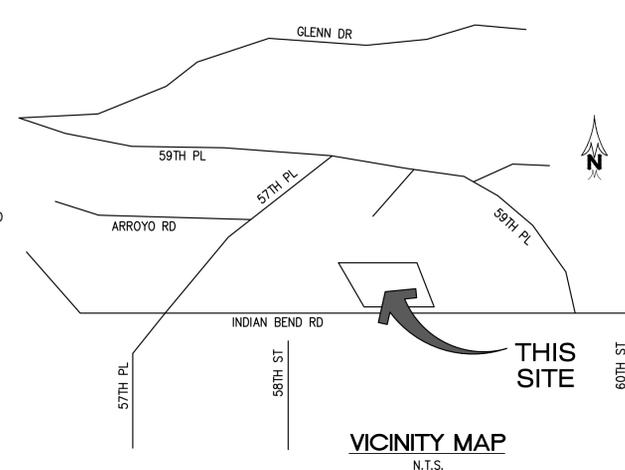
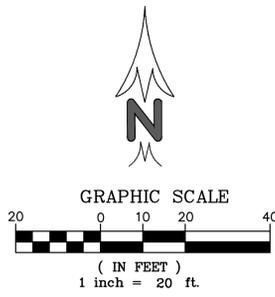
(5826 E. INDIAN BEND ROAD, PARADISE VALLEY, AZ 85253)

CONSTRUCTION NOTES

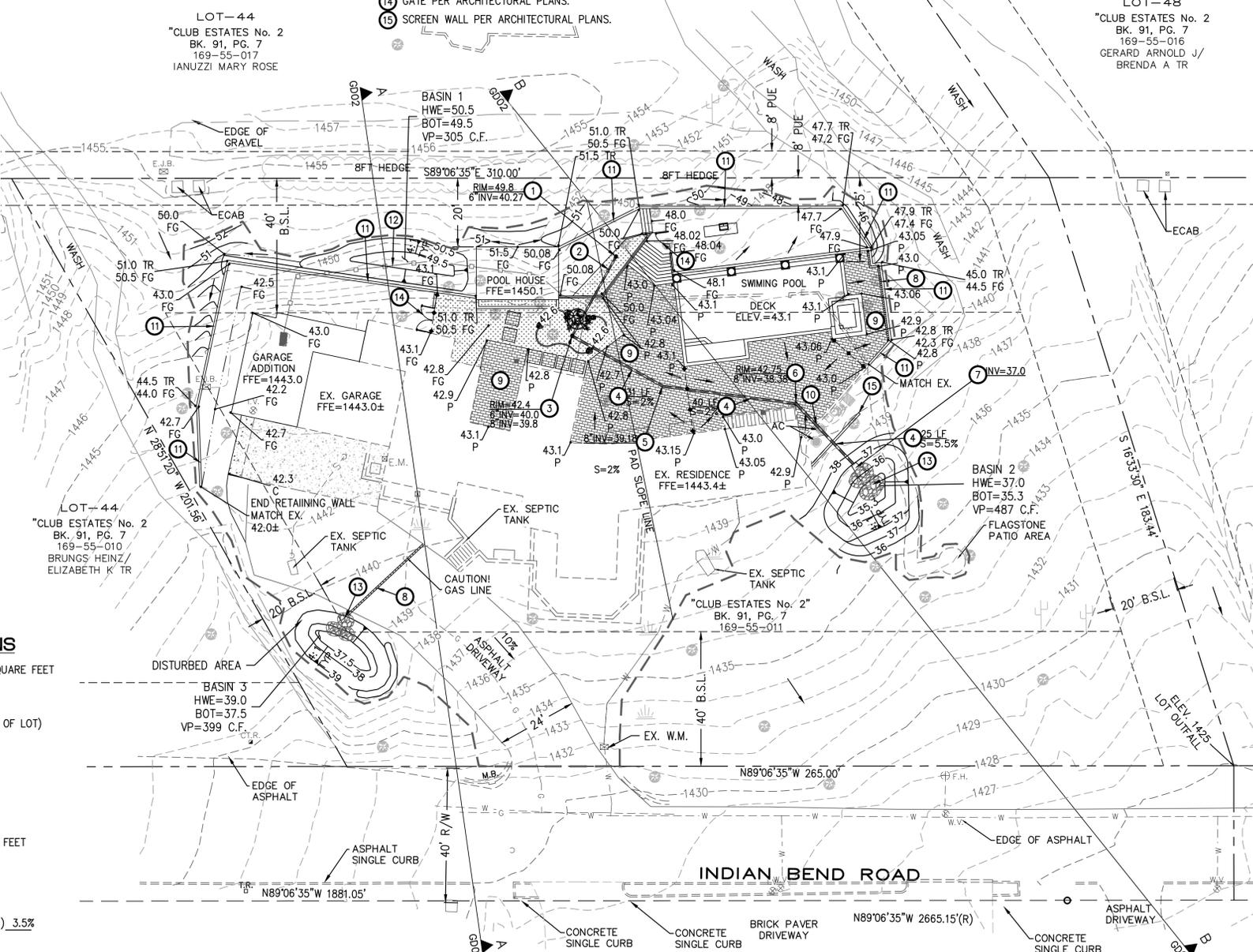
- INSTALL 8" ADS NYLOPLAST INLINE DRAIN (OR APPROVED EQUAL) WITH 6" ADAPTER AND 90 DEGREE BEND, AND CONNECT TO UPSTREAM END OF 6" DRAINAGE PIPE.
- INSTALL 27 LF OF 6" ADS N-12 DRAINAGE PIPE @ 1% SLOPE.
- INSTALL 10" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL).
- INSTALL 8" ADS N-12 DRAINAGE PIPE (OR APPROVED EQUAL) SLOPE PER PLAN.
- INSTALL 8" X 22.5" BEND.
- INSTALL 10" NYLOPLAST INLINE DRAIN (OR APPROVED EQUAL) WITH 8" RISER AND TEE.
- INSTALL 8" FLARED-END PIPE.
- INSTALL FERNCO STORM DRAIN PLUS (OR APPROVED EQUAL), LRV ≤ 38%.
- PAVERS PER ARCHITECTURAL PLANS.
- CONTRACTOR TO RETROFIT EX. RETAINING WALL, TO ALLOW 8" PIPE TO GO THROUGH OR UNDERNEATH IT.
- RETAINING WALL PER STRUCTURAL PLANS.
- REMOVE EX. FENCE.
- INSTALL LOOSE RIP RAP (D50-6") 12" THICK.
- GATE PER ARCHITECTURAL PLANS.
- SCREEN WALL PER ARCHITECTURAL PLANS.

NOTES

- CONTRACTOR TO COORDINATE THE REMOVAL / RELOCATION OF EX. UTILITIES / TREES AS NEEDED.
- FILLING OF EX. SWIMMING POOL IS TO FOLLOW PROCEDURE RECOMMENDED BY A GEOTECHNICAL ENGINEER.
- SWIMMING POOL IS TO HAVE A FILTER THAT SHALL NOT REQUIRE BACKWASHING, (I.E. HAYWARD SWIMCLEAR OR APPROVED EQUAL)



LOT-48
 "CLUB ESTATES No. 2
 BK. 91, PG. 7
 169-55-016
 GERARD ARNOLD J/
 BRENDA A TR



LEGEND

- CENTER LINE
- PROPERTY LINE/ROW
- EX. FENCE
- DRAINAGE ARROWS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EASEMENT LINE
- EXISTING TREE
- FINISHED FLOOR ELEVATION
- BUILDING SETBACK LINE
- WATER METER
- WATER VALVE
- ELECTRICAL CABINET
- PUBLIC UTILITY EASEMENT
- FINISHED GRADE
- EX. FIRE HYDRANT
- SWALE
- GRADE BREAK LINE
- DESIGNATION:
- LOWEST NATURAL GRADE
- PAVERS
- TOP OF RETAINING WALL
- LIMITED REFLECTIVE VALUE

OWNER

STEFAN/SHELLEY TARLOW
 5826 E. INDIAN BEND RD.
 PARADISE VALLEY, AZ 85253
 CONTACT: STEFAN TARLOW
 PH: (623) 340-0709

ENGINEER

M & M CIVIL ENGINEERING, L.L.C.
 8564 W. HATCHER RD.
 PEORIA, ARIZONA 85345
 PH: (602) 242-4666
 FX: (602) 242-3302
 CONTACT: MANUEL A. INURRIAGA P.E.

BENCHMARK

FOUND BRASS CAP HAND FLUSHED,
 AT THE SOUTH QUARTER OF SECTION
 4, T2N, R4E, OF THE G&SRB&M,
 MARICOPA COUNTY.
 ELEVATION: 1423.873 NAVD 88
 DATUM, PER MCDOT GDACS.

SITE INFORMATION

5827 E. INDIAN BEND ROAD
 PARADISE VALLEY, AZ 85253
 APN#: 169-55-011
 ZONING: R-43

LEGAL DESCRIPTION

LOT 43 OF EL CLUB ESTATES,
 ACCORDING TO THE PLAT OF
 RECORD IN THE OFFICE OF THE
 COUNTY RECORDER OF MARICOPA
 COUNTY, ARIZONA, IN BOOK 91 OF
 MAPS, PAGE 7.

FINISHED FLOOR STATEMENT:

EXISTING FINISHED FLOOR (1443.4)
 IS AT LEAST ONE FOOT ABOVE THE
 SITE'S OUTFALL ELEVATION (1425),
 AND FREE FROM INUNDATION
 DURING A 100 YEAR-2 HOUR PEAK
 RUN-OFF EVENT IF CONSTRUCTED
 IN ACCORDANCE WITH APPROVED
 PLANS.

RETENTION REQUIREMENTS (V)

V=AXDXC WHERE:
 12
 A=DRAINAGE AREA= 49,992 S.F.
 D=DEPTH OF RAINFALL (100YR-2HR)=2.82"
 C=RUNOFF COEFFICIENT=0.10
 (POST CONDITION MINUS PRE CONDITION;
 PER TOWN OF PARADISE VALLEY'S GUIDELINES)
 THEREFORE,
 VR=(49,992 S.F.)(2.82")(0.10)/12= 1,175 C.F.
 VOLUME PROVIDED (VP):
 VP=(A(TOP+BOT))/DEPTH
 2
 BASIN 1
 VP=(492+118)/1 = 305 C.F.
 2
 BASIN 2
 VP=(504+69)/1.7 = 487 C.F.
 2
 BASIN 3
 VP=(453+80)/1 = 399 C.F.
 2
 TOTAL=305 C.F.+487 C.F.+399 C.F.= 1,191 C.F.

ESTIMATED EARTHWORK QUANTITIES

NET CUT 450 C.Y.
 NET FILL 40 C.Y.

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED VOLUMES BASED ON RAW VOLUMES. THE CONTRACTOR SHALL PREPARE HIS/HER OWN EARTHWORK ANALYSIS FOR BIDDING PURPOSES.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DISTURBED AREA CALCULATIONS

AREA OF LOT	1.1477	ACRES	49,992	SQUARE FEET
AREA UNDER ROOF	4,825	SQUARE FEET		
FLOOR AREA RATIO	9.65%	(AREA UNDER ROOF/AREA OF LOT)		
BUILDING PAD SLOPE	11%			
VERTICAL	14	FEET		
HORIZONTAL	128	FEET		
ALLOWABLE DISTURBED AREA	53.66%			
ALLOWABLE DISTURBED AREA	26,825 (TOTAL)	SQUARE FEET		
EXISTING DISTURBED AREA	20,800	SQUARE FEET		
PROPOSED DISTURBED AREA	26,750	SQUARE FEET		
PERCENT OF LOT STEEPER THAN NATURAL GRADE(5% MAX.)	3.5%			
VOLUME OF CUT	450 C.Y.	VOLUME OF FILL	40 C.Y.	
HILLSIDE ASSURANCE @\$25/CUBIC YARD OF CUT+FILL	\$12,250.00			
NUMBER OF RETAINING WALLS	8			
TOTAL LENGTH OF ALL RETAINING WALLS	286	FEET		
MAXIMUM HEIGHT OF RETAINING WALLS	8	FEET		
MAXIMUM CONTINUOUS LENGTH OF RETAINING WALLS	75	FEET		
MAXIMUM LENGTH OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY	162	FEET		

FLOOD ZONE DESIGNATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
040049	1765	L	10/16/2013	X	N/A

NOTE

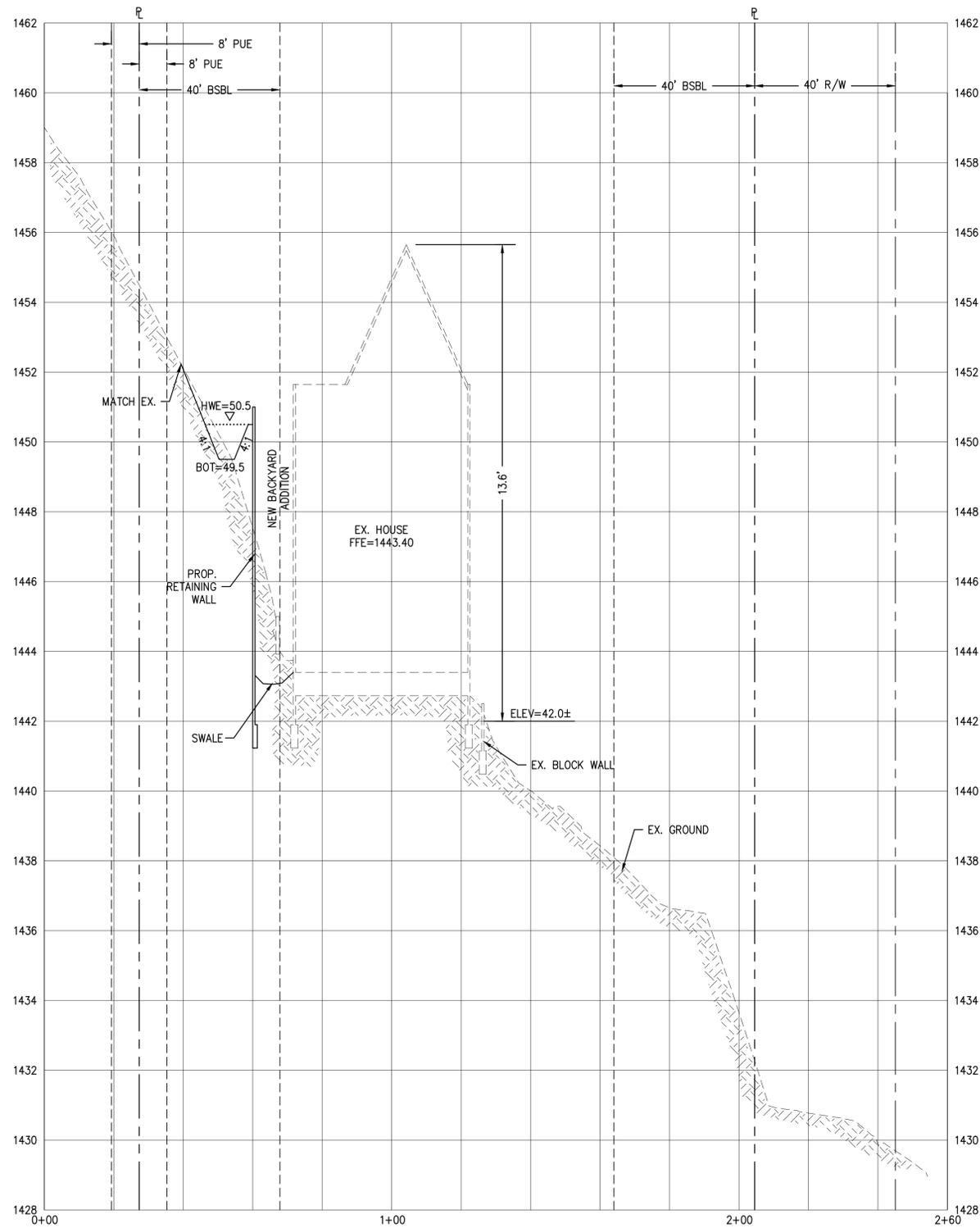
THE PROPOSED ADDITIONS DO NOT AFFECT THE EXISTING DRAINAGE, NOR THEY WILL AFFECT THE EXISTING CURBS.



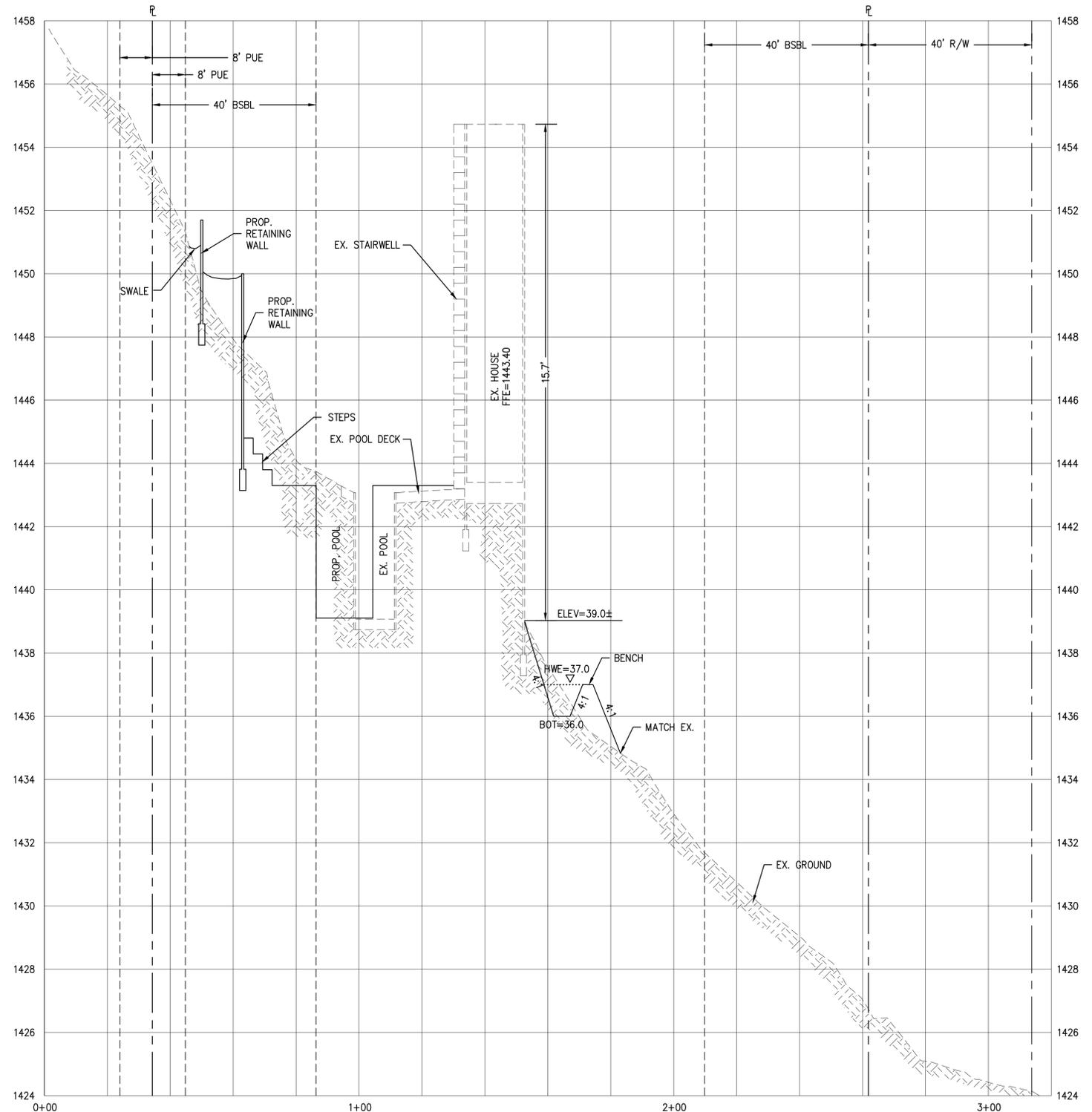
REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

REV	DATE	BY	DESCRIPTION
STEFAN/SHELLEY TARLOW 5826 E. INDIAN BEND RD. PARADISE VALLEY, AZ 85253			
M & M CIVIL ENGINEERING, L.L.C. 8564 W. HATCHER ROAD PEORIA, ARIZONA 85345 PH: (602) 242-4666 FX: (602) 242-3302			
PROJECT NUMBER:	15-036		
SCALE:	1"=20'		
DESIGNED BY:	MAI		
DRAWN BY:	DB		
CHECKED BY:	MAI		
TARLOW ADDITION GRADING AND DRAINAGE PLAN	5826 E. INDIAN BEND ROAD PARADISE VALLEY, AZ 85253		
Manuel A. Inurriaga REGISTERED ENGINEER/LAND SURVEYOR			
SHEET GD01 1 OF 2 SHEETS			



SECTION A-A
H: 1"=20' V: 1"=2'



SECTION B-B
H: 1"=20' V: 1"=2'



REV	DATE	BY	DESCRIPTION

STEFAN/SHELLEY TARLOW
5826 E. INDIAN BEND RD.
PARADISE VALLEY, AZ 85253

M & M
CIVIL ENGINEERING, L.L.C.
8564 W. HATCHER ROAD
PEORIA, ARIZONA 85345
PH: (602) 242-4666
FX: (602) 242-3302

PROJECT NUMBER:
15-036
SCALE:
1"=20'
DESIGNED BY:
MAI
DRAWN BY:
DB
CHECKED BY:
MAI

TARLOW ADDITION
GRADING AND DRAINAGE PLAN
5826 E. INDIAN BEND ROAD
PARADISE VALLEY, AZ 85253





Made By:



60 E MITCHELL DR
PHOENIX AZ 85012
PH 602.340.0626
info@rdteam.com

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PROJECT

Tarlow's Pool House & Garage addition

OWNER

STEFAN & SHELLEY TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ 85253
APN: # 169-55-011

DRAWING TITLE

SITE PLAN WITH PHOTOS



Drawn By DC	Date 11/20/17
----------------	------------------

REVISION	
DATE:	BY:

SHEET NO.

SPH

PROJECT NARRATIVE
 THE RESIDENTIAL PROJECT CONSIST OF:
 400.00 SQ.FT. POOL HOUSE – NO BATH
 764.00 SQ.FT GARAGE ADDITION – 3RD BAY ON EXISTING GARAGE
 764.00 SQ.FT. STORAGE UPPER/GARAGE ADDITION
 NEW POOL, HARDSCAPE, LANSCAPING AND BBQ.

Made By:

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 info@rdsteamt.com

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PROJECT
**Tarlow's
 Pool
 House &
 Garage
 addition**

OWNER
**STEFAN
 &
 SHELLEY
 TARLOW**

5826 E. INDIAN BEND RD
 PARADISE VALLEY, AZ
 85253
 APN: # 169-55-011

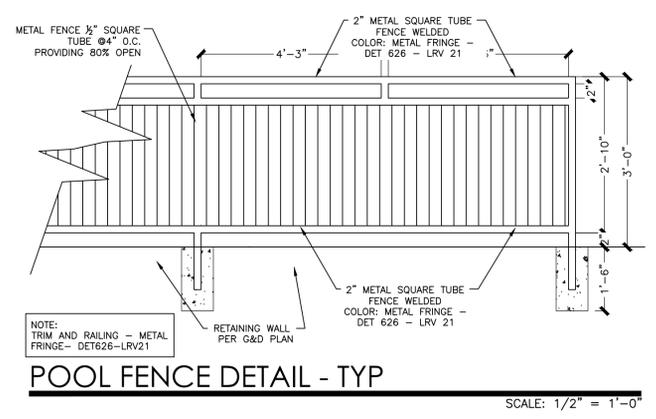
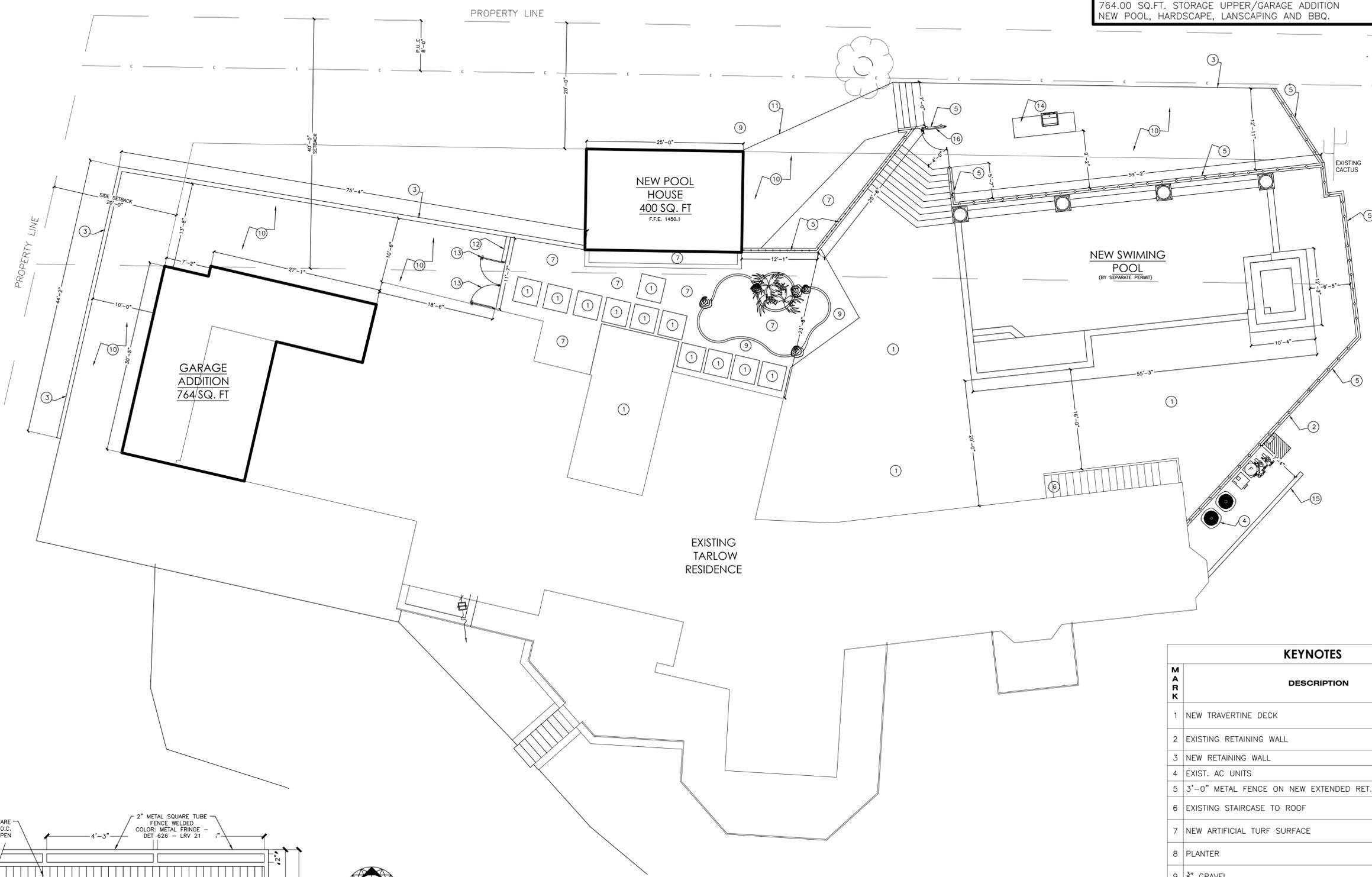
DRAWING TITLE
SITE PLAN



Drawn By: DC Date: 11/20/17

REVISION	
DATE:	BY:

SHEET NO.
SP

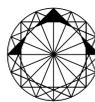


POOL BARRIER NOTE:
 EXISTING HOUSE REQUIRED TO INSTALL:
 SELF-CLOSING DEVICE ON ALL EXTERIOR
 DOORS WITH POOL ACCESS.

KEYNOTES	
M A R K	DESCRIPTION
1	NEW TRAVERTINE DECK
2	EXISTING RETAINING WALL
3	NEW RETAINING WALL
4	EXIST. AC UNITS
5	3'-0" METAL FENCE ON NEW EXTENDED RET. WALL
6	EXISTING STAIRCASE TO ROOF
7	NEW ARTIFICIAL TURF SURFACE
8	PLANTER
9	3/4" GRAVEL
10	CONCRETE DECK
11	5' METAL FENCE
12	8X8X16 CMU WALL 6' HIGH
13	METAL GATE 4' WIDE X 6' HIGH – W/SELF CLOSING DEVICE FOR POOL BARRIER
14	NEW BBQ GAS
15	SCREEN WALL FOR POOL/MECHANICAL EQUIPMENT
16	METAL GATE 4' WIDE X 3' HIGH – W/SELF CLOSING DEVICE FOR POOL BARRIER

SCALE: 1'-0" = 20'-0"



 AERIAL MAP

N.T.S.



 VICINITY MAP

N.T.S.

Made By:

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PROJECT
 Tarlow's Pool House & Garage addition

OWNER
 STEFAN & SHELLEY TARLOW

5826 E. INDIAN BEND RD
 PARADISE VALLEY, AZ 85253
 APN: # 169-55-011

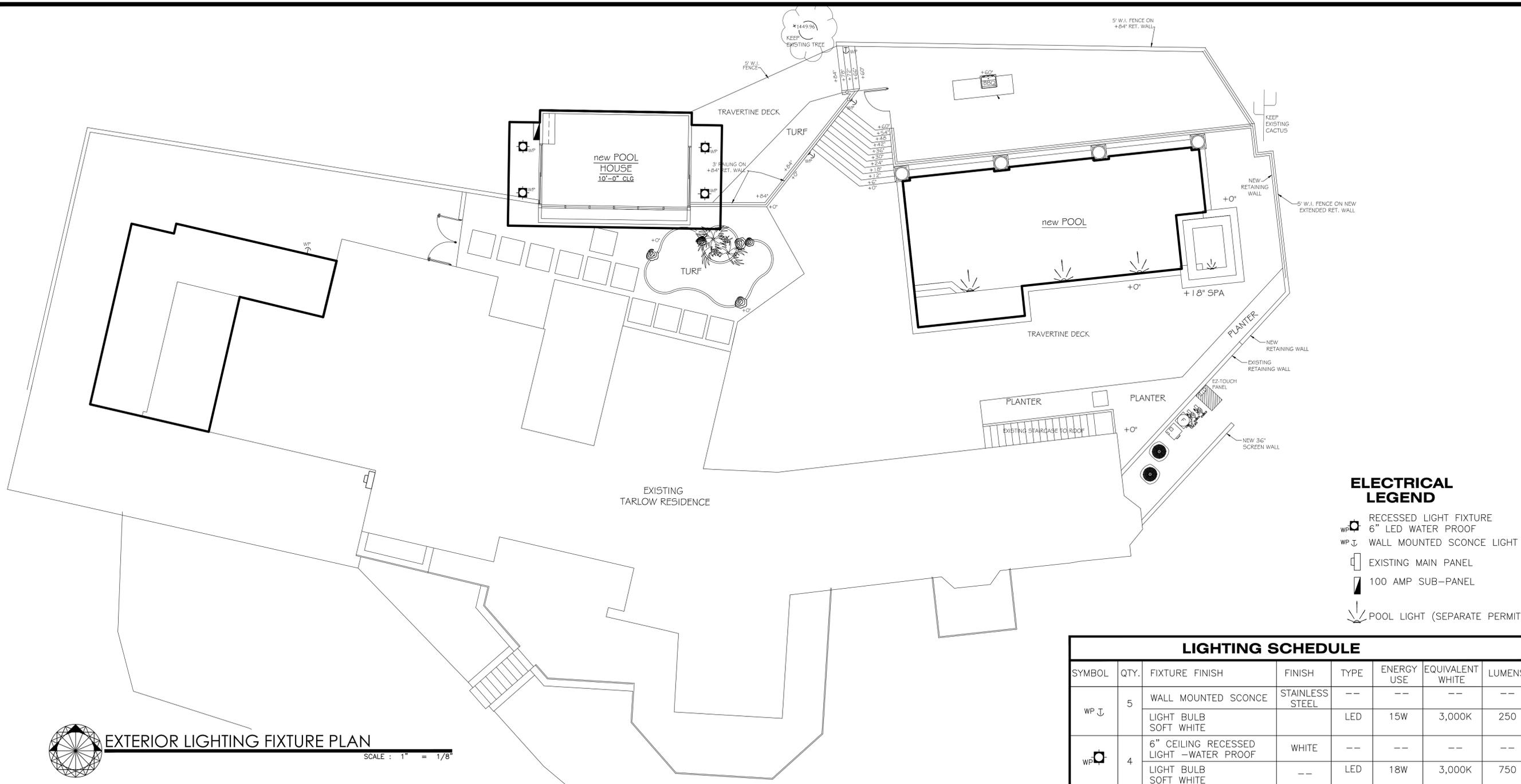
DRAWING TITLE
 AERIAL MAP AND VICINITY MAP


 EXPIRES 06/30/20

Drawn By DC	Date 11/20/17
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REVISION	
DATE:	BY:

SHEET NO.
A&V



ELECTRICAL LEGEND

- RECESSED LIGHT FIXTURE
- 6" LED WATER PROOF
- WALL MOUNTED SCONCE LIGHT
- EXISTING MAIN PANEL
- 100 AMP SUB-PANEL
- POOL LIGHT (SEPARATE PERMIT)

LIGHTING SCHEDULE

SYMBOL	QTY.	FIXTURE FINISH	FINISH	TYPE	ENERGY USE	EQUIVALENT WHITE	LUMENS
WP ↓	5	WALL MOUNTED SCONCE	STAINLESS STEEL	--	--	--	--
		LIGHT BULB SOFT WHITE		LED	15W	3,000K	250
WP □	4	6" CEILING RECESSED LIGHT - WATER PROOF	WHITE	--	--	--	--
		LIGHT BULB SOFT WHITE		--	LED	18W	3,000K

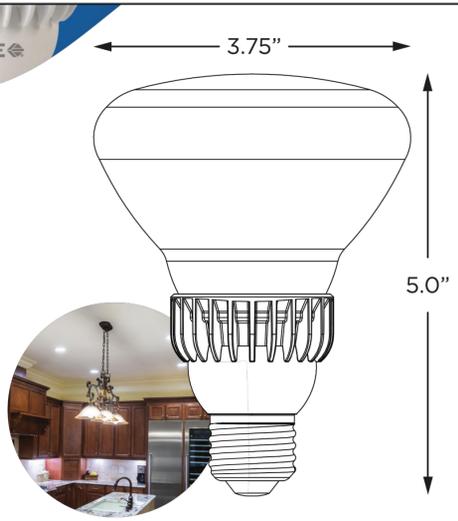
EXTERIOR LIGHTING FIXTURE PLAN
SCALE : 1" = 1/8"

SECTION N1104 ELECTRICAL POWER AND LIGHTING SYSTEMS (MANDATORY)

N1104.1 (R404.1) Lighting equipment (Mandatory). A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exception: Low-voltage lighting shall not be required to utilize high-efficiency lamps.

N1104.1.1 (R404.1.1) Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

WALL MOUNTED SCONCE	SCONCE LED LIGHT BULB	CEILING RECESSED LIGHT	RECESSED LIGHT BULB
			

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PROJECT
Tarlow's Pool House & Garage addition

OWNER
STEFAN & SHELLEY TARLOW
5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ 85253
APN: # 169-55-011

DRAWING TITLE
EXTERIOR LIGHTING PLAN



Drawn By: DC Date: 11/20/17

REVISION

DATE:	BY:

SHEET NO.
L-P

Made By:



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PROJECT

Tarlow's
Pool
House &
Garage
addition

OWNER

STEFAN
&
SHELLEY
TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ
85253
APN: # 169-55-011

DRAWING TITLE

EXTERIOR
MATERIAL SAMPLES



Drawn By: DC Date: 11/20/17

REVISION

DATE:	BY:

SHEET NO.

EMS

BODY



SHAGGY BARKED
DEC771
LRV 38

RAILING



BLACK TIE
DE6357
LRV 6

TRIM



METAL FRINGE
DET626
LRV 21

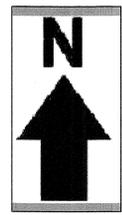


TRAVERTINE
ANKARA TUMBLED
LRV 38



NATIVE PLANT INVENTORY
TREE RELOCATORS, INC.
 6502 N. 81st Place Scottsdale, AZ 85250
 Office: 480-947-6118
 Cell: 602-376-9986
 Fax: 480-361-4824
 treerelocators@cox.net

NATIVE PLANT INVENTORY PLAN



5826 E. Indian Bend Road Paradise Valley, AZ

To: Planning Department
 City of Paradise Valley

Date: 10-15-2017

Subject: Steven Tartlow
 5826 E. Indian Bend Road

ORDERED BY: D. Tarlow

Tag Colors: Red - Salvage
 Blue - Unsalvageable
 White - Remain in Place

Tag#	Size	Species	Condition	Disposition	# Arms	Height	Width	Comments
1	14"	Mesquite	Good	Remain in Place				
2	4"	Saguaro	Good	Salvageable				
3	9"	Saguaro	Good	Remain in Place				
4	12"	Palo Verde	Poor	Unsalvageable				Trunk Disease
5	6"	Palo Verde	Poor	Unsalvageable				Angled Trunk
6	8"	Palo Verde	Poor	Unsalvageable				Rock
7	7"	Palo Verde	Poor	Unsalvageable				Structure
8	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
9	4"	Palo Verde	Poor	Unsalvageable				Lateral root
10	8"	Palo Verde	Poor	Unsalvageable				Angled Trunk
11	8"	Palo Verde	Poor	Unsalvageable				Wash
12	7"	Palo Verde	Poor	Remain in Place				
13	4"	Ironwood	Good	Salvageable				
14	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
15	5"	Palo Verde	Poor	Unsalvageable				Lateral root
16	5"	Palo Verde	Poor	Unsalvageable				Lateral root
17	5"	Palo Verde	Poor	Unsalvageable				Structure
18	8"	Palo Verde	Poor	Unsalvageable				Slope
19	10"	Palo Verde	Poor	Unsalvageable				Exposed Roots
20	8"	Palo Verde	Poor	Unsalvageable				Trunk Disease
21	7"	Palo Verde	Poor	Unsalvageable				Slope
22	3"	Saguaro	Good	Salvageable				
23	3"	Saguaro	Good	Salvageable				
24	6"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
25	8"	Palo Verde	Poor	Unsalvageable				Structure
26	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
27	8"	Palo Verde	Poor	Unsalvageable				Slope
28	8"	Palo Verde	Poor	Unsalvageable				Exposed Roots
29	8"	Palo Verde	Poor	Unsalvageable				Exposed Roots
30	6"	Saguaro	Good	Salvageable				Split Trunk
31	20"	Mesquite	Fair	Remain in Place				
32	9"	Palo Verde	Good	Remain in Place				
33	8"	Mesquite	Poor	Unsalvageable				Exposed Roots
34	12"	Palo Verde	Poor	Unsalvageable				Split Trunk

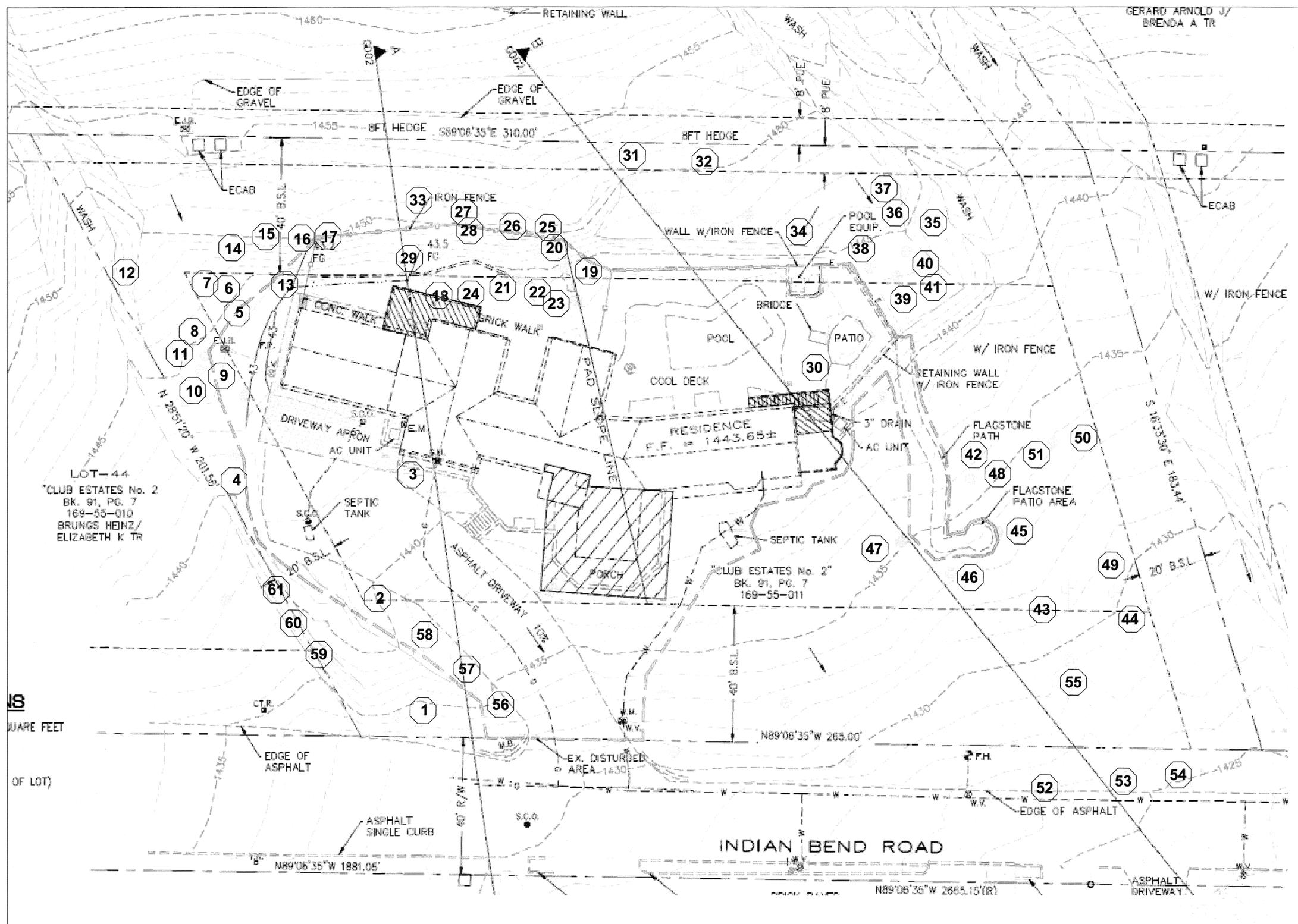
Tag#	Size	Species	Condition	Disposition	# Arms	Height	Width	Comments
35	56"	L.F. Saguaro	Good	Remain in Place	2			
36	6"	Palo Verde	Poor	Unsalvageable				Lateral root
37	7"	Palo Verde	Poor	Unsalvageable				Wash
38	8"	Palo Verde	Poor	Unsalvageable				Split Trunk
39	7"	Palo Verde	Poor	Unsalvageable				Structure
40	8"	Palo Verde	Fair	Remain in Place				
41	8"	Mesquite	Fair	Remain in Place				
42	6"	Palo Verde	Fair	Remain in Place				
43	34"	L.F. Saguaro	Good	Remain in Place	10			
44	14"	Saguaro	Good	Remain in Place				
45	7"	Mesquite	Poor	Unsalvageable				Angled Trunk, Bore Die Back
46	8"	Palo Verde	Poor	Unsalvageable				
47	4"	Barrel	Good	Remain in Place				
48	8"	Ironwood	Fair	Remain in Place				
49	8"	Mesquite	Fair	Remain in Place				
50	10"	Palo Verde	Fair	Remain in Place				
51	8"	Palo Verde	Poor	Remain in Place				
52	8"	Palo Verde	Poor	Remain in Place				
53	8"	Palo Verde	Poor	Remain in Place				
54	8"	Palo Verde	Poor	Remain in Place				
55	3"	Barrel	Good	Salvageable				
56	10"	L.F. Saguaro's	Good	Salvageable	4			
57	3"	Saguaro	Good	Salvageable				
58	3"	Saguaro	Good	Salvageable				
59	7"	Palo Verde	Poor	Unsalvageable				Wash
60	7"	Palo Verde	Poor	Unsalvageable				Wash
61	7"	Palo Verde	Poor	Unsalvageable				Wash

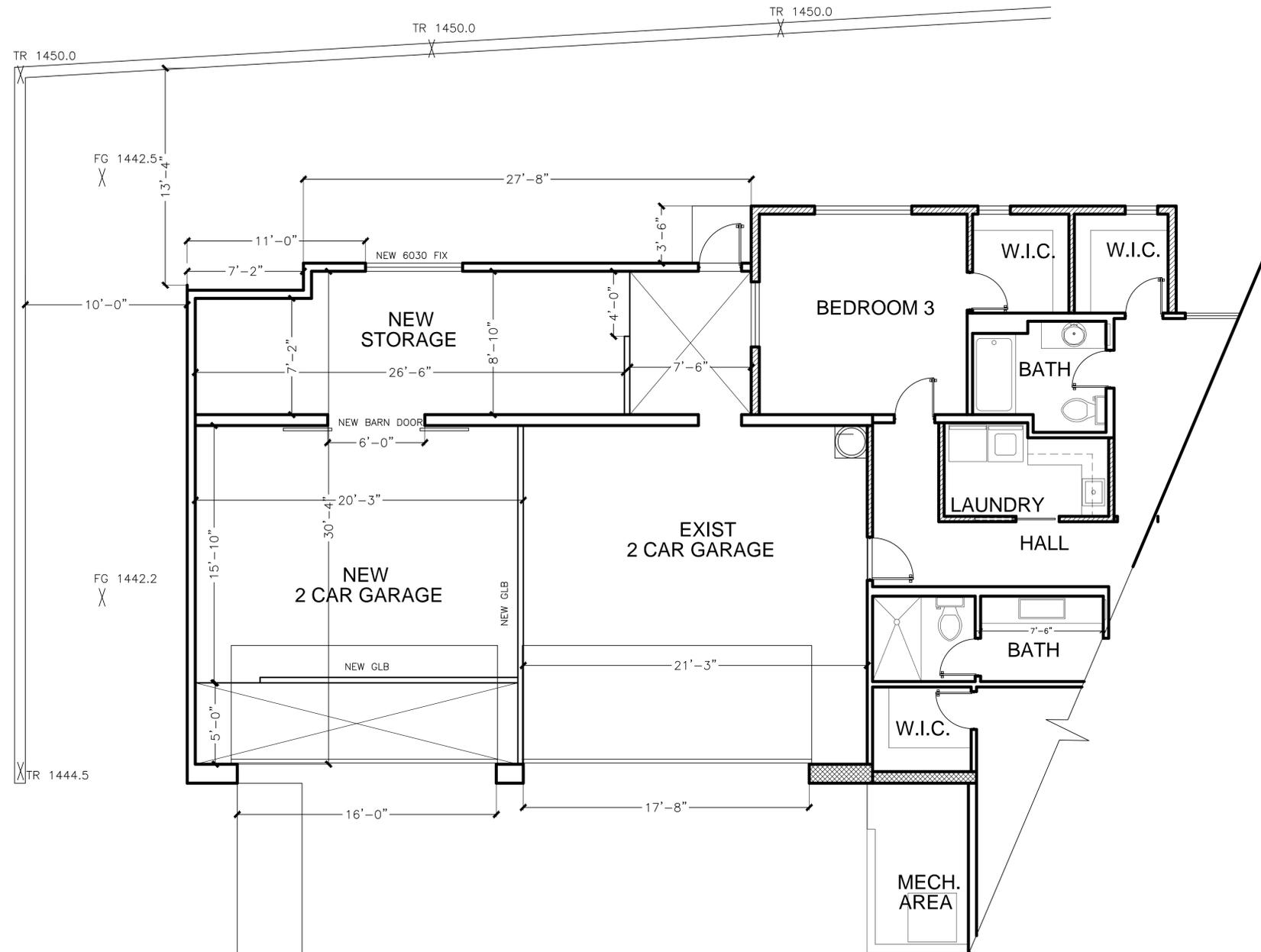
Plant Summary

Plant Totals	Tree	Cacti
Remain in Place	15 31%	5 38%
Salvage	1 2%	8 62%
Destroy	32 67%	0 0%
Total	48	13

Indicates Existing Native Plant

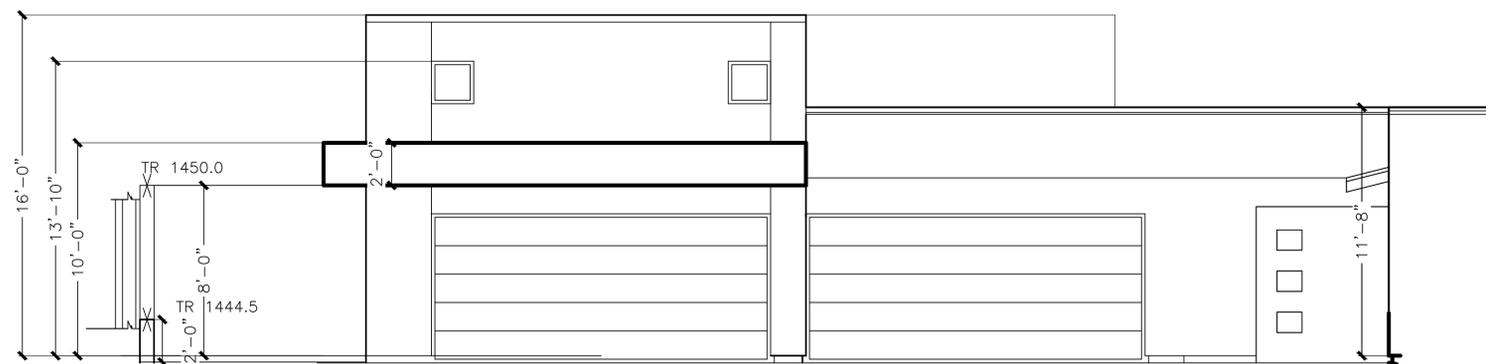
PLANT SALVAGE CONTRACTOR:
 Tree Relocators, Inc.
 6502 N. 81st Place
 Scottsdale, AZ
 O. 480-947-6118 F. 480-361-4824
 E. treerelocators@cox.net





PROPOSED GARAGE ADDITION - FLOOR PLAN

SCALE: 1/4" = 1'-0"
 TRIM AND RAILING: METAL FRINGE - DET626 - LRV-21



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Made By:



ARCHITECTURAL CONSULTANTS

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 PHOENIX AZ 85012
 PH 602.340.0626

info@rdteam.com

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Tarlow's Pool House & Garage addition

OWNER

STEFAN & SHELLEY TARLOW

5826 E. INDIAN BEND RD
 PARADISE VALLEY, AZ
 85253

APN: # 169-55-011

DRAWING TITLE

GARAGE FLOOR PLAN ADDITION & NEW ELEVATION ADDITIONS



Drawn By: DC Date: 11/20/17

REVISION

DATE:	BY:
12/07/2015	ROBERT LEE

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GARAGE ADDITION PROPOSED ELEVATIONS & CROSS SECTION

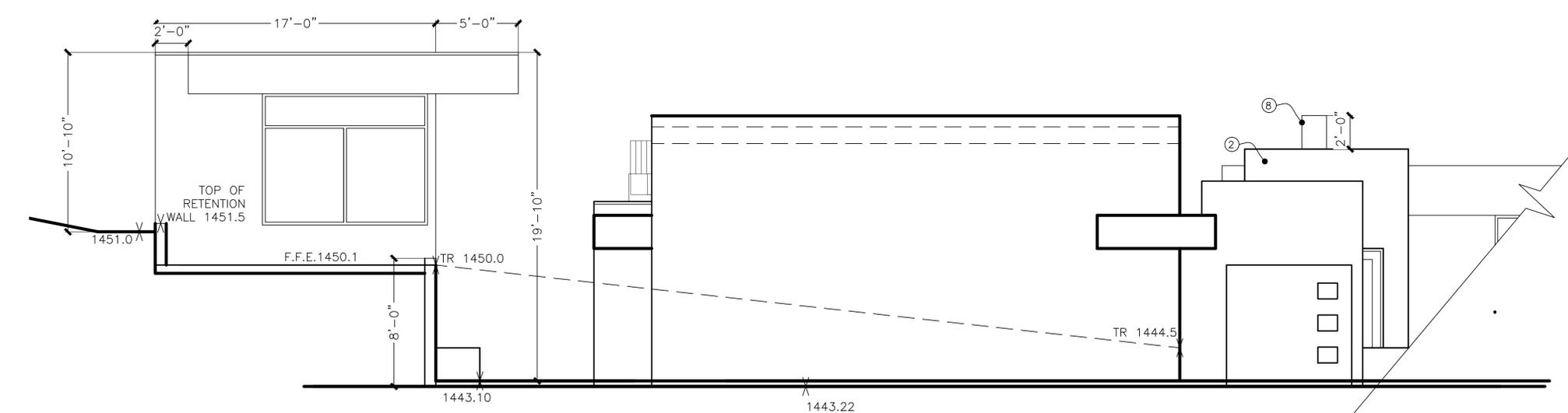


Drawn By: DC Date: 11/20/17

REVISION
DATE: 12/07/2015 BY: ROBERT LEE

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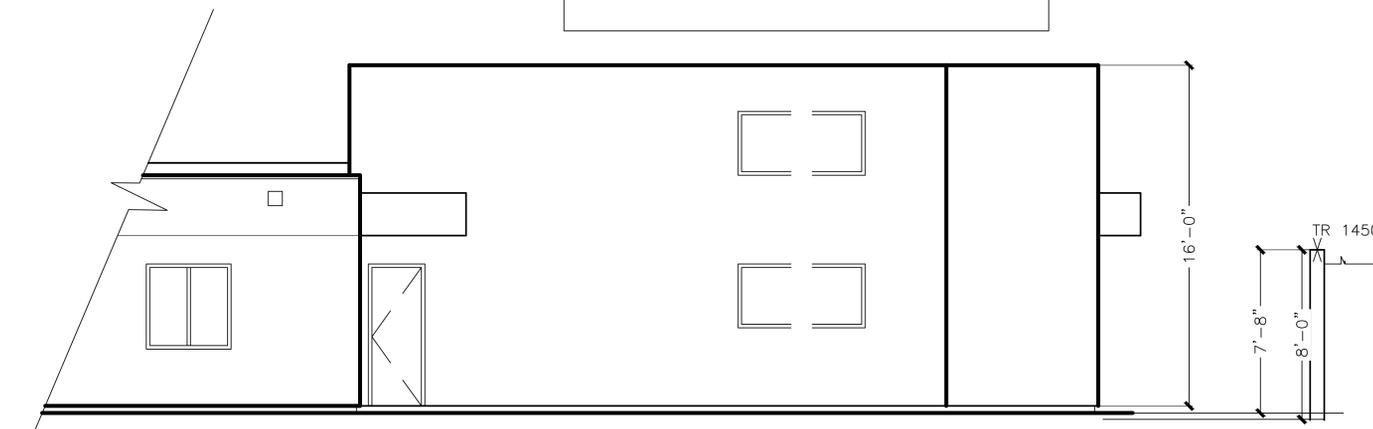
A-2



PROPOSED GARAGE ADDITION -SIDE ELEVATION

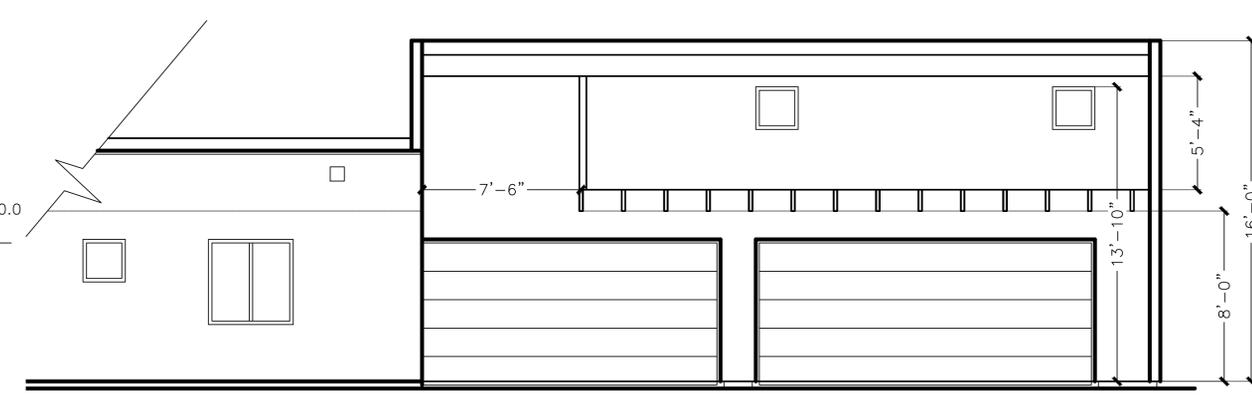
SCALE: 1/4" = 1'-0"

COLOR:
BODY: SHAGGY BARKED - DEC771 - LRV 38
TRIM AND RAILING: METAL FRINGE - DET626 - LRV 21



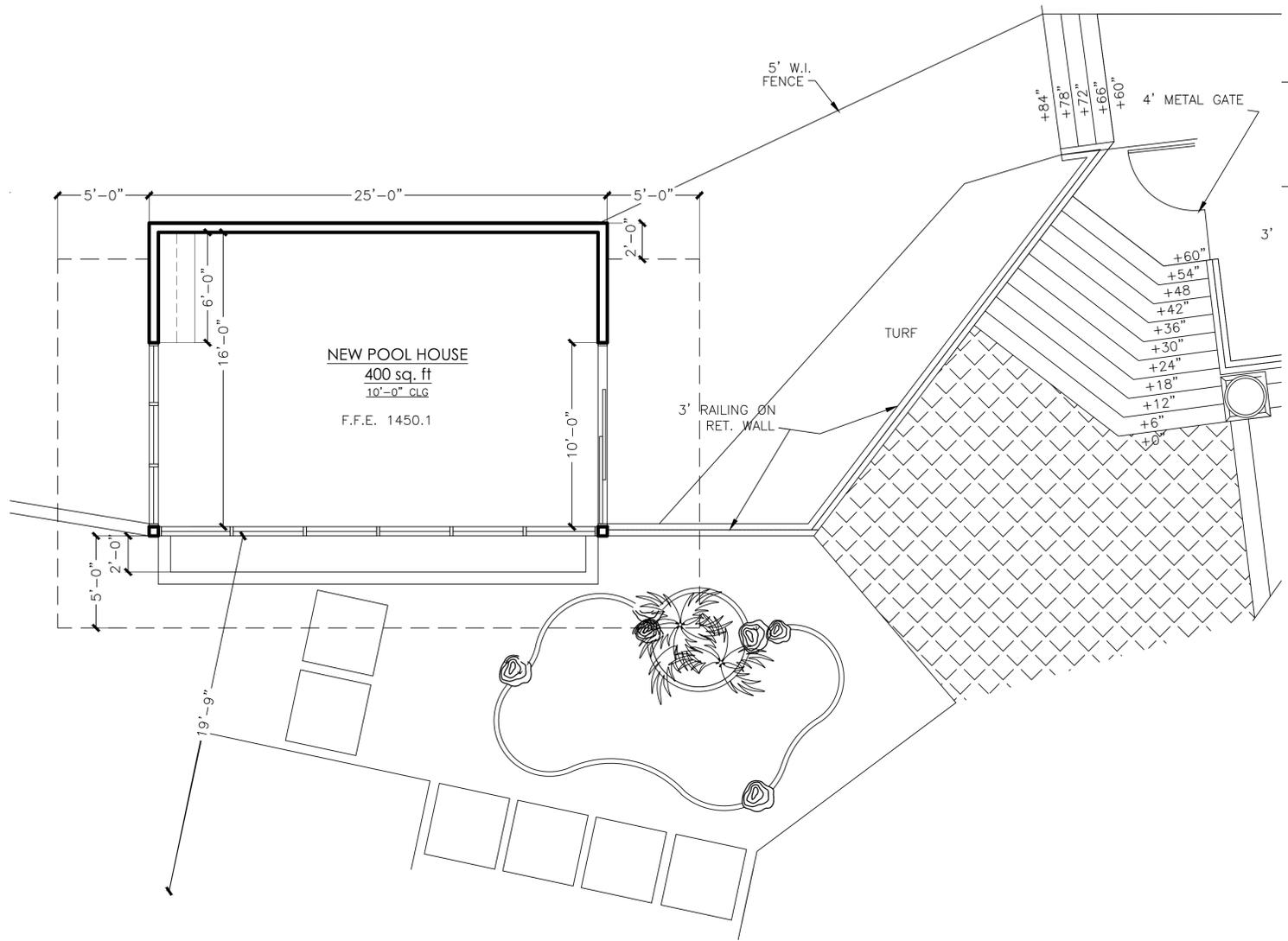
REAR ELEVATION

SCALE: 1/4" = 1'-0"



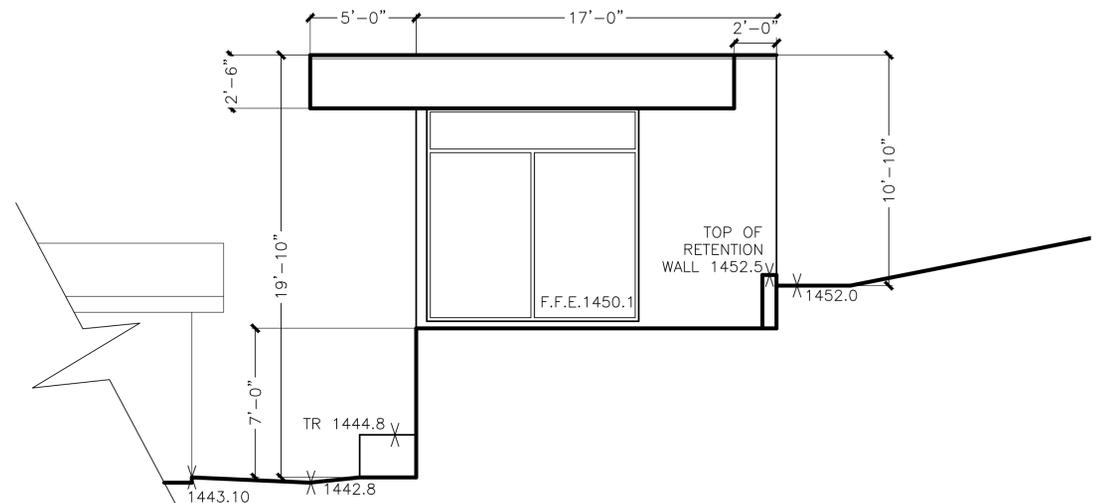
CROSS SECTION

SCALE: 1/4" = 1'-0"



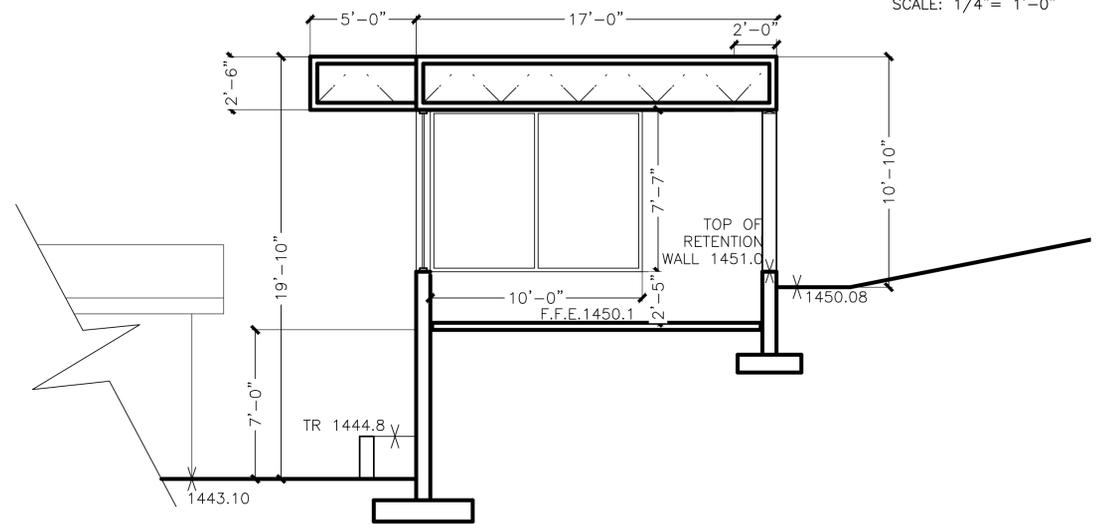
PROPOSED POOL HOUSE - FLOOR PLAN

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

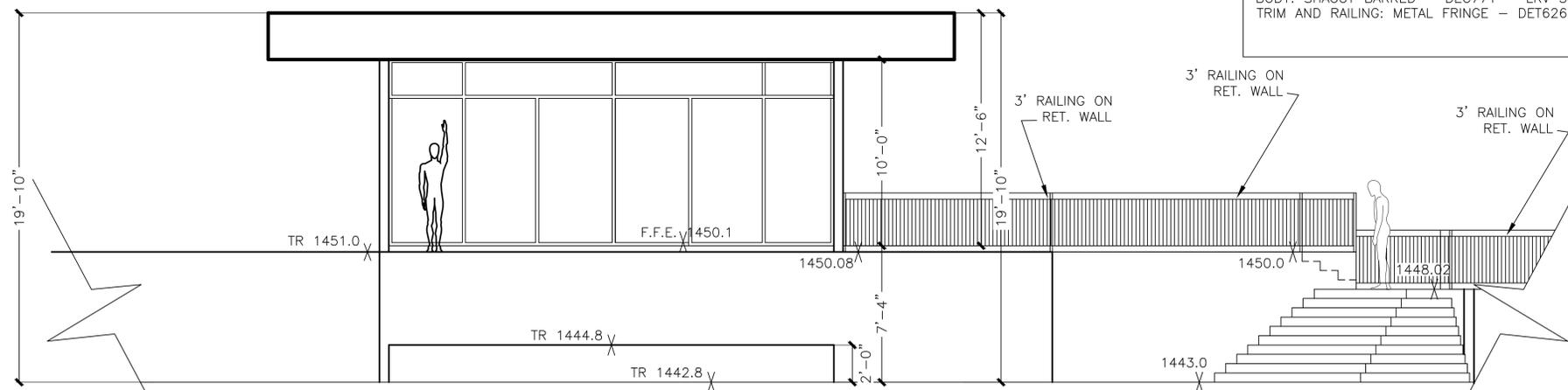
SCALE: 1/4" = 1'-0"



CROSS SECTION

SCALE: 1/4" = 1'-0"

COLOR:
 BODY: SHAGGY BARKED - DEC771 - LRV 38
 TRIM AND RAILING: METAL FRINGE - DET626 - LRV 21



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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APN: # 169-55-011

DRAWING TITLE

POOL HOUSE PROPOSED FLOOR PLAN & POOL HOUSE ELEVATIONS



EXPIRES 06/30/20

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REVISION

DATE: BY:

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A-3



VIEW 1



VIEW 2



FRONT VIEW

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SHELLEY
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VIEWS



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