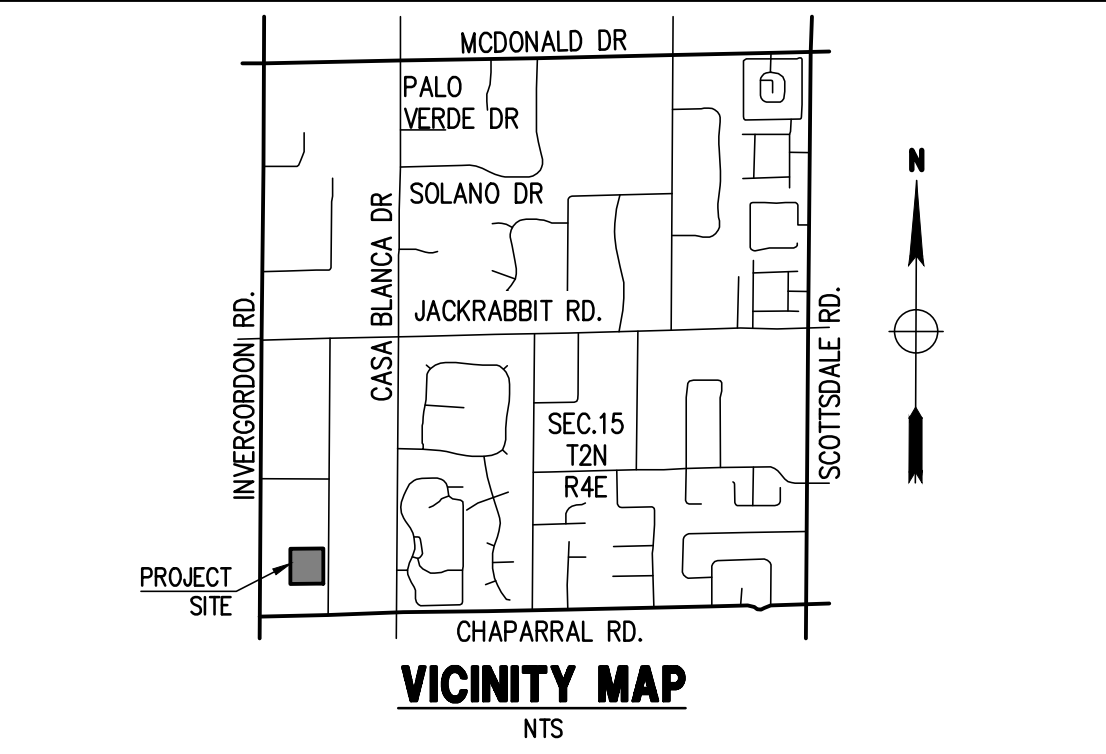


# ALTA/NSPS LAND TITLE SURVEY

## 5102 N WILKINSON RD., PARADISE VALLEY, AZ 85253

### LOT 63 - CAMELBACK LANDS

**A SUBDIVISION PLAT RECORDED IN BOOK 31 OF MAPS, PAGE 26, MCR.,  
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 15, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**



**SITE DATA**  
 APN: 173-20-007  
 ADDRESS: 5102 N WILKINSON RD., PARADISE VALLEY, AZ 85253  
 LOT AREA: 98,272 S.F. (2.256 AC.)  
 QS #: 19-43

**OWNER**  
 ALEX MERUELO  
 9550 FIRESTONE BLVD STE 105  
 DOWNEY, CA 90241

**BASIS OF BEARINGS**  
 THE MONUMENT LINE OF WILKINSON ROAD, THE BEARING OF WHICH IS N00°02'41"E.

**BENCHMARK**  
 BRASS CAP IN HANDHOLE AT THE INTERSECTION OF N INVERGORDON RD AND E JACKRABBIT ROAD HAVING AN ELEVATION OF 1375.83 NAVD 88 DATUM, GDACS# 24555-1

**LEGAL DESCRIPTION**  
 PARCEL NO. 1  
 LOT 63, CAMELBACK LANDS, ACCORDING TO BOOK 31 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2  
 AN EASEMENT FOR INGRESS/EGRESS AND ALL OTHER PURPOSES ALONG THE NORTH 20 FEET OF LOT 63, CAMELBACK LANDS, ACCORDING TO BOOK 31 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SET FORTH IN EASEMENT DOCUMENT RECORDED IN DOCUMENT NO. 93-019773.

**GENERAL NOTES**

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND APPEARS TO HAVE VEHICULAR ACCESS FROM A DEDICATED ROADWAY WITH STREET NAME OF "WILKINSON ROAD".
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON TITLE REPORT PROVIDED BY CLIENT REFERENCED HEREON.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
- A ZONING REPORT OR LETTER WAS NOT PROVIDED AT TIME OF THIS SURVEY, THEREFORE, NO ZONING DATA HAS BEEN SHOWN HEREON.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK FOR THIS SURVEY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK FOR THIS SURVEY.
- THERE IS NO OBSERVED EVIDENCE OF THE PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

**UTILITIES**  
 WATER: EPCOR  
 SANITARY SEWER: TOWN OF PARADISE VALLEY  
 ELECTRIC: APS  
 TELEPHONE: CENTURY LINK, COX  
 NATURAL GAS: SOUTHWEST GAS  
 CABLE TV: CENTURY LINK, COX

**FLOOD INSURANCE RATE MAP (FIRM) DATA**

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A

MAP # 04013C  
 PANEL DATE 10/16/2013  
 ZONE X\*  
 N/A

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

**CERTIFICATE OF SURVEY**  
 CERTIFIED TO:  
 -COMMONWEALTH LAND TITLE INSURANCE COMPANY NCS  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 5, 7(A), 8, 11(A), 13-14, 16-19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN DECEMBER, 2024.

REGISTERED LAND SURVEYOR  
 35694  
 JAMES B. FLACK  
 License No. 11719  
 State of Arizona, U.S.A.

DATE: 04/11/25  
 JOB: 2412385  
 VERSION: 1.1  
 PLOT DATE: 04/11/25

DATE: 04/11/25  
 SCALE: 1" = 20'  
 DESIGNED BY: NP  
 DRAWN BY: DW  
 CHECKED BY: JF

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 04/11/25  
 SCALE: 1" = 20'  
 DESIGNED BY: NP  
 DRAWN BY: DW  
 CHECKED BY: JF

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 DRAWN BY: DW  
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**LEGEND**

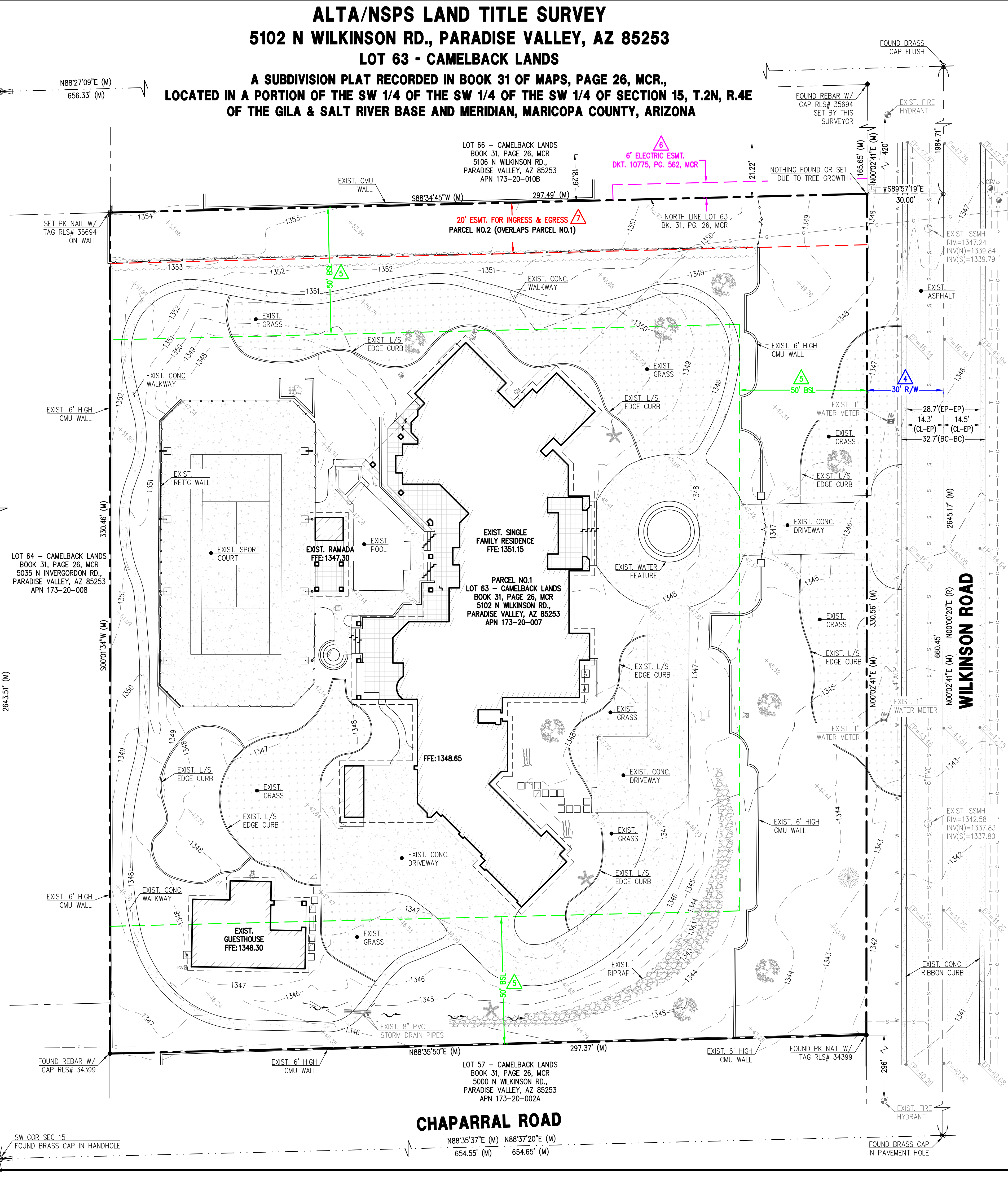
- SECTION CORNER
- 1/4 QUARTER
- BRASS CAP IN HANDHOLE
- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- SET REBAR & CAP OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SECTION LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- A/C UNIT
- TELEPHONE PEDESTAL
- SEWER CLEANOUT
- MAILBOX
- GAS METER
- CABLE TV RISER
- SEWER MANHOLE
- GAS LINE
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALM TREE
- TREE
- PALO VERDE
- OLEANDERS

**ABBREVIATIONS**

- BSL BUILDING SETBACK LINE
- (C) CALCULATED
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P, PVMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- WM WATER METER

**SCHEDULE 'B' ITEMS**  
 BY: COMMONWEALTH LAND TITLE INSURANCE COMPANY NCS  
 DATE OF REPORT: OCTOBER 05, 2021 AT 8:31 A.M.

NO.	DESCRIPTION	NOT PLOTTABLE, NOT SHOWN
1	PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES FOR THE SECOND INSTALLMENT OF 2021 TAXES	NOT PLOTTABLE, NOT SHOWN
2	LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY ITS INCLUSION WITHIN ANY DISTRICT FORMED PURSUANT TO TITLE 48, ARIZONA REVISED STATUTES.	NOT PLOTTABLE, NOT SHOWN
3	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.	NOT PLOTTABLE, NOT SHOWN
4	EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLAT OF SAID SUBDIVISION	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX
5	COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDED NO. BOOK 68 OF MISC., PAGE 194	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX
6	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: UTILITY EASEMENT RECORDING DATE: AUGUST 8, 1974 RECORDING NO. DOCKET 10775, PAGE 562	THIS ITEM LIES ON PROPERTY TO THE NORTH, AND IS SHOWN BY THE INDEX
7	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: DONALD D. AND DOROTHY D. MEYERS, THEIR SUCCESSORS AND/OR ASSIGNS PURPOSE: INGRESS AND EGRESS AND ALL OTHER PURPOSES AS INDICATED IN THE DOCUMENT RECORDING DATE: APRIL 2, 1993 RECORDING NO. 1993-019773 AFFECTS: NORTH 20 FEET OF LOT 63	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX



SW COR SEC 15  
 FOUND BRASS CAP IN HANDHOLE

**CHAPARRAL ROAD**  
 N88°35'37"E (M) N88°37'20"E (M)  
 654.55' (M) 654.65' (M)

DATE: 04/11/25

**ALTA/NSPS LAND TITLE SURVEY**

**LOT 63 - CAMELBACK LANDS**  
**5102 N WILKINSON RD.,**  
**PARADISE VALLEY, AZ 85253**

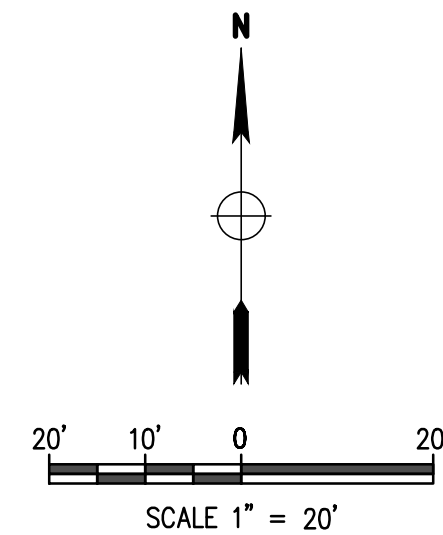
P. 602.869.1984 | F. 602.445.9482  
 8808 N CENTRAL AVE., SUITE 288  
 PHOENIX, AZ 85020  
 PHOENIX@LDGEN.COM

**Land DEVELOPMENT GROUP**

1 OF 1

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SECTION LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- A/C UNIT
- TELEPHONE PEDESTAL
- SEWER CLEANOUT
- MAILBOX
- GAS METER
- CABLE TV RISER
- SEWER MANHOLE
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- CATV, PHONE
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- EXISTING CONTOUR
- EXIST. SPOT ELEVATION

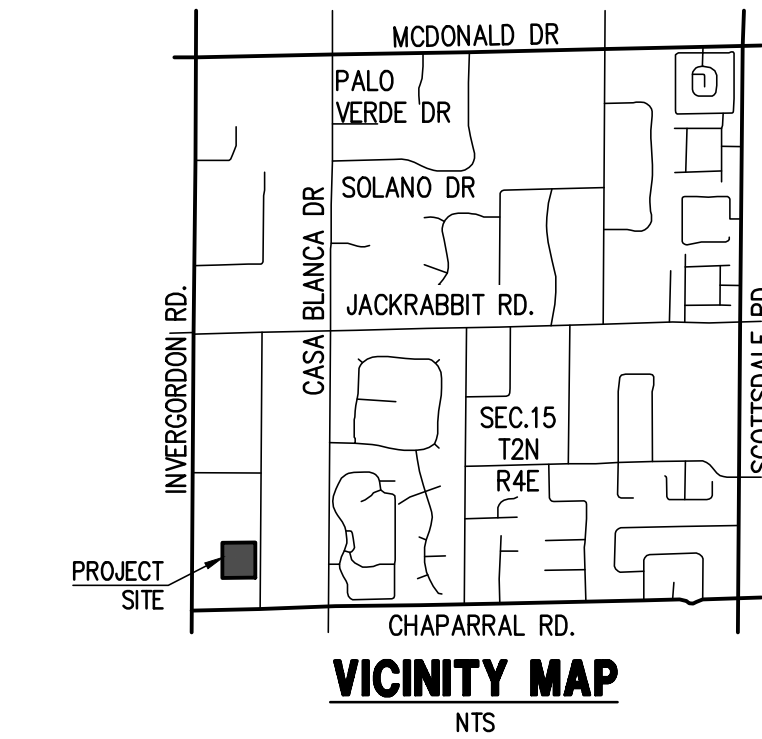


# GRADING & DRAINAGE PLAN FOR DEMOLITION & LOT SPLIT

## "CAMELBACK LANDS 8"

**A LOT SPLIT OF LOT 63 - CAMELBACK LANDS, RECORDED IN BOOK 31 OF MAPS, PAGE 26, MCR,  
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 15, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**

**JACKRABBIT ROAD**



**SITE DATA**  
 APN: 173-20-007  
 ADDRESS: 5102 N WILKINSON RD., PARADISE VALLEY, AZ 85253  
 LOT AREA: 98,272 S.F. (2.256 AC.)  
 OS #: 19-43

**OWNER**  
 ALEX MERUELO  
 9550 FIRESTONE BLVD STE 105  
 DOWNEY, CA 90241

**BASIS OF BEARINGS**  
 THE MONUMENT LINE OF WILKINSON ROAD, THE BEARING OF WHICH IS N00°02'41"E.

**BENCHMARK**  
 BRASS CAP IN HANDHOLE AT THE INTERSECTION OF N INVERGORDON RD AND E JACKRABBIT ROAD HAVING AN ELEVATION OF 1375.83 NAVD 88 DATUM, GDACS# 24555-1

**LEGAL DESCRIPTION**  
 PARCEL NO. 1  
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 PARCEL NO. 2  
 AN EASEMENT FOR INGRESS/EGRESS AND ALL OTHER PURPOSES ALONG THE NORTH 20 FEET OF LOT 63, CAMELBACK LANDS, ACCORDING TO BOOK 31 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SET FORTH IN EASEMENT DOCUMENT RECORDED IN DOCUMENT NO. 93-0197773.

**UTILITIES**  
 WATER: EPDOR  
 SANITARY SEWER: TOWN OF PARADISE VALLEY  
 ELECTRIC: APS  
 TELEPHONE: CENTURY LINK, COX  
 NATURAL GAS: SOUTHWEST GAS  
 CABLE TV: CENTURY LINK, COX

ON-SITE RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT						
V=DxIxCw/12						
D=RAINFALL DEPTH=2.18"   A=TRIBUTARY AREA, SF   Cw=RUNOFF COEFFICIENT						
DRNG AREA (LOT)	AREA S.F.	RUNOFF COEFFICIENT Cw	VOLUME REQUIRED C.F.	Basin ID	CONTOUR ELEVATION	VOLUME PROVIDED C.F.
1	49,140	0.70	6,249	1	HW 1346.00 BOT 1344.00	4,025 2,250
2	49,132	0.70	6,248	2	HW 1342.00 BOT 1340.00	4,025 2,250

**GRADING AND DRAINAGE KEY-NOTES**  
 ① GRATE TEMPORARY RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.

**EARTHWORK QUANTITIES**  
 OUT: 1,400 C.Y.  
 FILL: 20 C.Y.  
 NET CUT: 1,380 C.Y.  
 ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK, SWELL, FOOTING EXCAVATIONS, UTILITIES ETC. IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

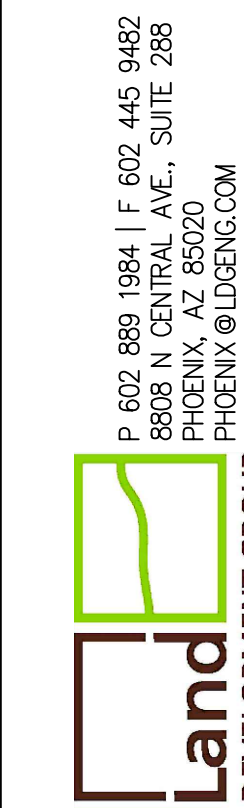
**APPROVAL**  
 THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER  
 TOWN OF PARADISE VALLEY

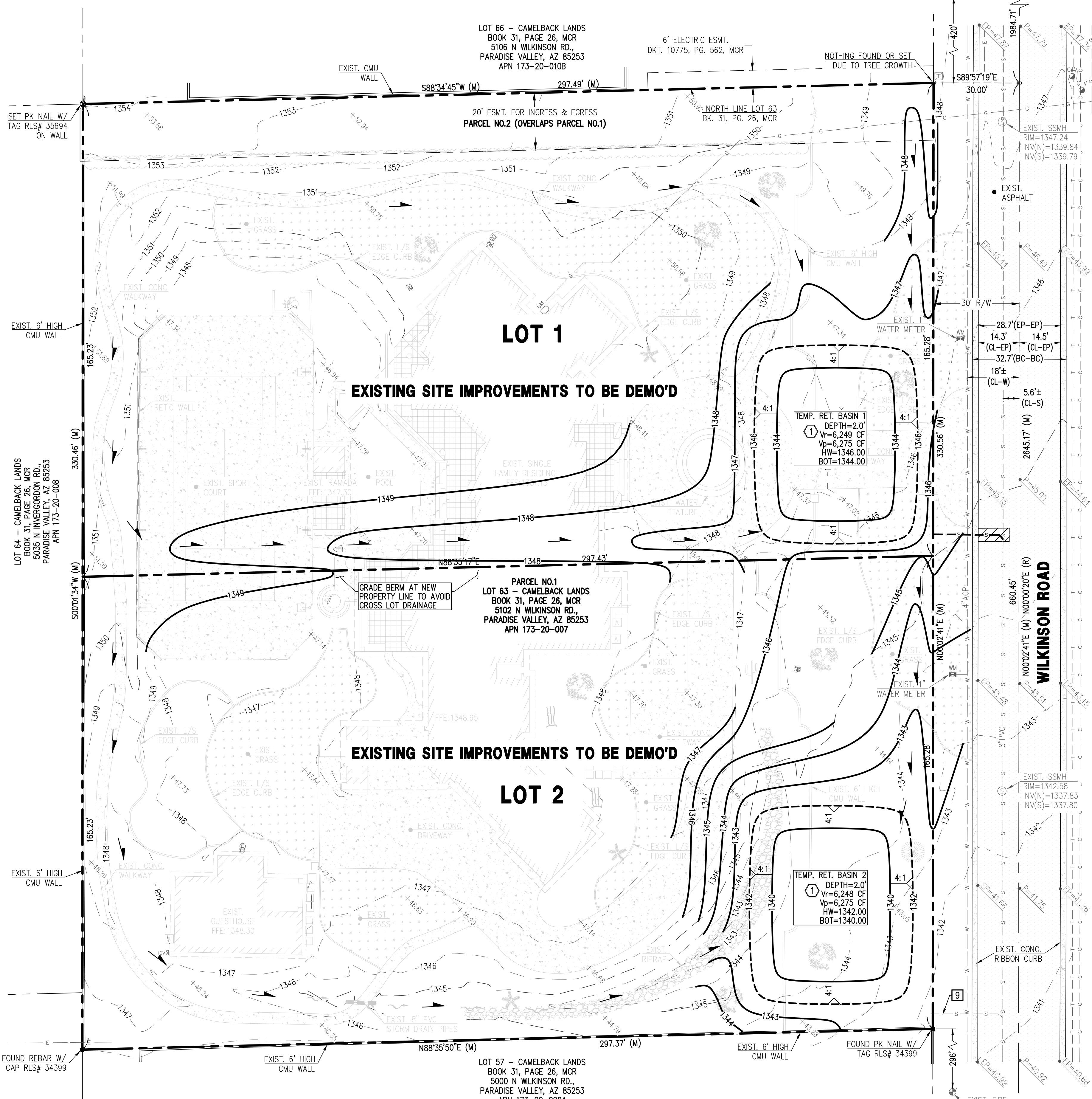
DATE



**GRADING & DRAINAGE PLAN FOR DEMOLITION & LOT SPLIT LOT 63 - CAMELBACK LANDS, 5102 N WILKINSON RD., PARADISE VALLEY, AZ 85253**



P. 602.889.1984 | F. 602.445.9482  
 8808 N CENTRAL AVE., SUITE 208  
 PHOENIX, AZ 85020  
 PHOENIX@LDG.COM



**TOWN OF PARADISE VALLEY NOTES**

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WAITAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
15. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1 OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP & SHEAR INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
36. A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

LOT 64 - CAMELBACK LANDS  
 BOOK 31, PAGE 26, MCR  
 5102 N WILKINSON RD.,  
 PARADISE VALLEY, AZ 85253  
 APN 173-20-008

LOT 66 - CAMELBACK LANDS  
 BOOK 31, PAGE 26, MCR  
 5106 N WILKINSON RD.,  
 PARADISE VALLEY, AZ 85253  
 APN 173-20-010B

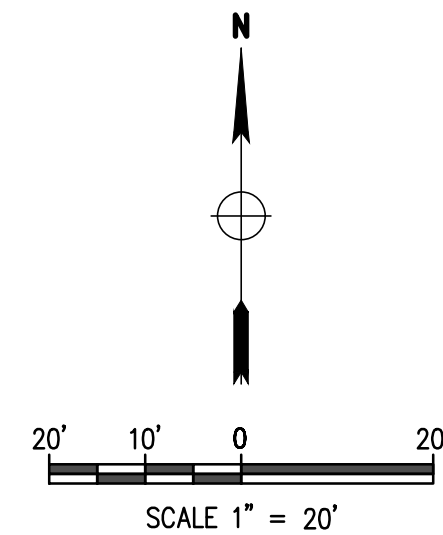
PARCEL NO.1  
 LOT 63 - CAMELBACK LANDS  
 BOOK 31, PAGE 26, MCR  
 5102 N WILKINSON RD.,  
 PARADISE VALLEY, AZ 85253  
 APN 173-20-007

LOT 57 - CAMELBACK LANDS  
 BOOK 31, PAGE 26, MCR  
 5000 N WILKINSON RD.,  
 PARADISE VALLEY, AZ 85253  
 APN 173-20-002A

**CHAPARRAL ROAD**

**LEGEND**

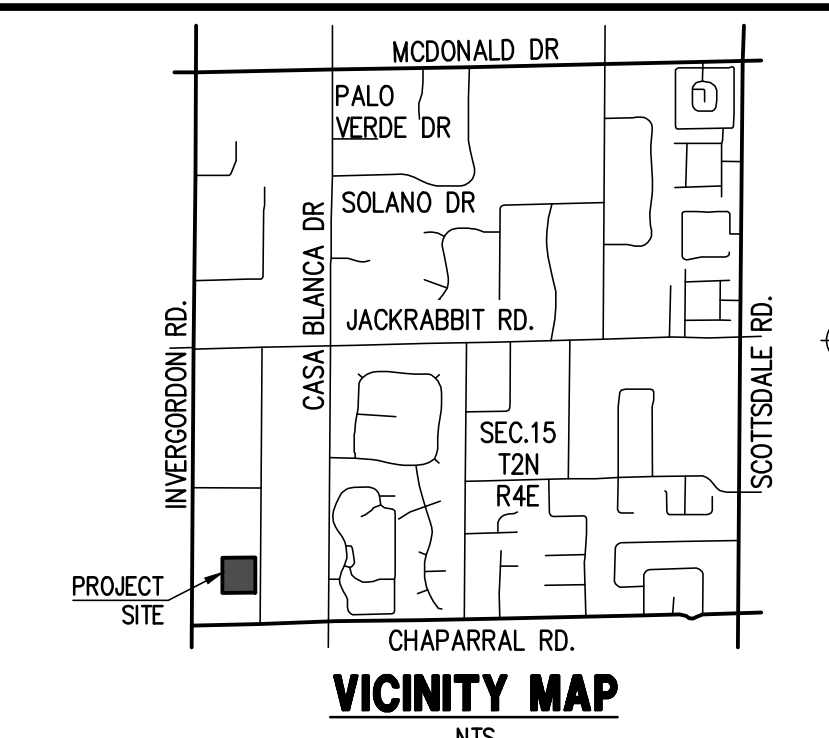
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SECTION LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- A/C UNIT
- TELEPHONE PEDESTAL
- SEWER CLEANOUT
- MAILBOX
- GAS METER
- CABLE TV RISER
- SEWER MANHOLE
- GAS LINE
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- EXISTING CONTOUR
- EXIST. SPOT ELEVATION



# WATER & SEWER PLAN "CAMELBACK LANDS 8"

**A LOT SPLIT OF LOT 63 - CAMELBACK LANDS, RECORDED IN BOOK 31 OF MAPS, PAGE 26, MCR,  
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 15, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**

**JACKRABBIT ROAD**



**SITE DATA**

APN: 173-20-007  
ADDRESS: 5102 N WILKINSON RD., PARADISE VALLEY, AZ 85253  
LOT AREA: 98,272 S.F. (2.256 AC.)  
QS #: 19-43

**OWNER**

ALEX MERUELO  
9550 FIRESTONE BLVD STE 105  
DOWNEY, CA 90241

**BASIS OF BEARINGS**

THE MONUMENT LINE OF WILKINSON ROAD, THE BEARING OF WHICH IS N00°02'41"E.

**BENCHMARK**

BRASS CAP IN HANDHOLE AT THE INTERSECTION OF N INVERGORDON RD AND E JACKRABBIT ROAD HAVING AN ELEVATION OF 1375.83 NAVD 88 DATUM, GDCAS# 24555-1

**LEGAL DESCRIPTION**

PARCEL NO. 1  
LOT 63, CAMELBACK LANDS, ACCORDING TO BOOK 31 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2  
AN EASEMENT FOR INGRESS/EGRESS AND ALL OTHER PURPOSES ALONG THE NORTH 20 FEET OF LOT 63, CAMELBACK LANDS, ACCORDING TO BOOK 31 OF MAPS, PAGE 26, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SET FORTH IN EASEMENT DOCUMENT RECORDED IN DOCUMENT NO. 93-0197773.

**UTILITIES**

WATER: EPCCOR  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: APS  
TELEPHONE: CENTURY LINK, COX  
NATURAL GAS: SOUTHWEST GAS  
CABLE TV: CENTURY LINK, COX

**SANITARY SEWER CONSTRUCTION KEY-NOTES**

1. CONNECT TO EXISTING SANITARY SEWER LINE PER MAG STD DET. 440-3.
2. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER.
3. INSTALL 4" PVC SDR 35 SEWER SERVICE. REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1 AND MAG SPECS, SEC. 601.
4. CAP SEWER SERVICE AT PROPERTY LINE PER MAG STD DET. 427.
5. SAWCUT, REMOVE AND REPLACE A.C. PAVEMENT PER M.A.G. SECTION 336.
6. SAWCUT, REMOVE AND REPLACE RIBBON CURB IN KIND.
7. EXISTING UNDERGROUND UTILITIES, CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATIONS PRIOR TO INSTALLATION OF SEWER PIPE. REPORT DISCREPANCIES TO ENGINEER.
8. PROTECT IN PLACE.
9. APPLY CRACK FILL AND SEAL EXISTING ROAD AND BETWEEN EXISTING AND NEW PAVEMENT AREAS PRIOR TO ANY PAVEMENT TREATMENT. REPAIR/REPLACE ANY DAMAGED PAVEMENT DUE TO CONSTRUCTION AND APPLY POLYMER MODIFIED MASTER SEAL COAT PER THE TOWN OF PARADISE VALLEY REQUIREMENTS. PAVEMENT TREATMENT SEAL SHALL BE APPLIED TO THE ENTIRE WIDTH OF THE STREET AND FOR THE WHOLE LENGTH OF THE PROJECT.
10. EXISTING SEWER SERVICE PER CITY Q.S. MAP, CONTRACTOR TO VERIFY SIZE & LOCATION AND INSPECT FOR PROPER WORKING CONDITIONS.

**NOTE:**

PER TOWN CODE - ALL NEW SEWER MAINS AND TAPS REQUIRE VIDEO SCOPE, SUBMITTED VIA US OR ELECTRONICALLY PRIOR TO FINAL INSPECTION.

**WATER KEY-NOTES**

1. EXISTING 1" WATER METER, VERIFY IF ACTIVE AND IN PROPER WORKING CONDITION.
2. CONNECT TO EXISTING WATERMAIN W/ 6"x6" TEE W/ JOINT RESTRAINTS PER MAG DETAILS 302-1, 302-2, 303-1, AND 303-2. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION & REPORT ANY DISCREPANCIES TO OWNER.
3. INSTALL 6" DUCTILE IRON PIPE (PRESSURE CLASS 350). POLYWRAP PER MAG SECTION 610. MINIMUM BURIAL DEPTH SHALL BE 36". TRENCH PER EPCCOR DETAIL 350-1.
4. INSTALL WET BARREL FIRE HYDRANT PER EPCCOR DETAIL 360-2. PLACE MIN. 4' FROM BACK OF STREET CURB.
5. INSTALL 6" VALVE BOX & COVER PER MAG STD DET. 391-1, TYPE C.

**APPROVAL**

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER  
TOWN OF PARADISE VALLEY

DATE



DATE:	04/11/25
JOB:	2412385
VERSION:	1.1
PLOT DATE:	04/11/25

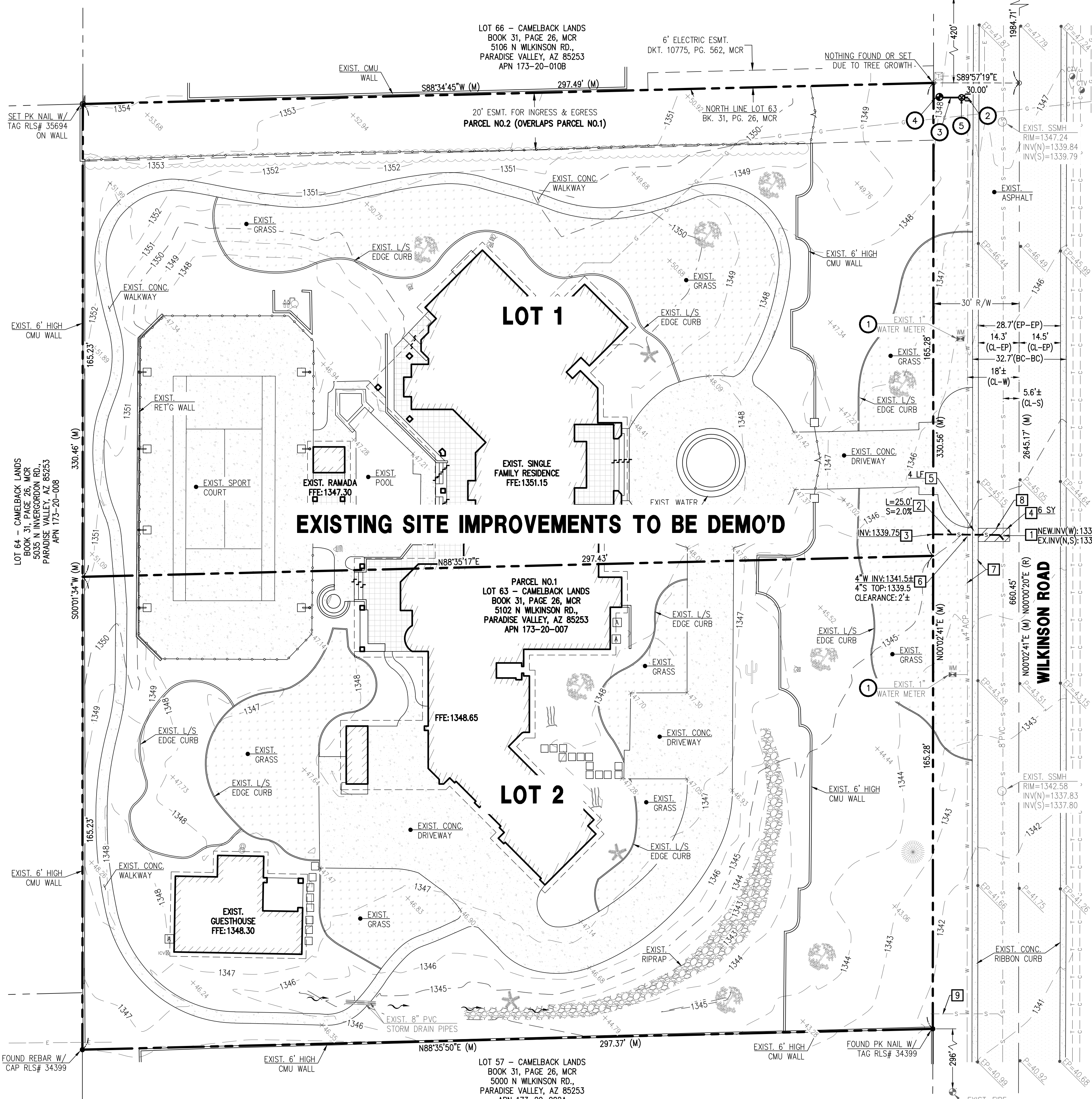
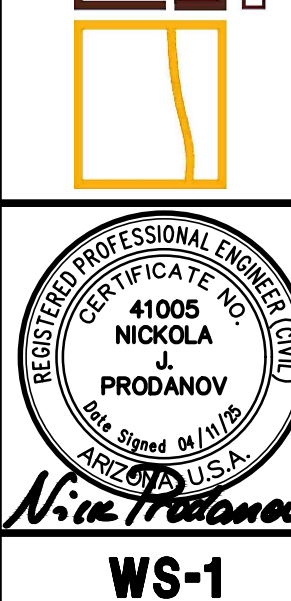
DESIGNED BY:	NP
DRAWN BY:	DW
CHECKED BY:	JF

DATE:	
SCALE:	1"=20'
REVISIONS:	

**WATER & SEWER PLAN  
"CAMELBACK LANDS 8"**

**LOT 63 - CAMELBACK LANDS  
5102 N WILKINSON RD.,  
PARADISE VALLEY, AZ 85253**

P 602 869 1984 | F 602 445 9482  
8808 N CENTRAL AVE., SUITE 208  
PHOENIX, AZ 85020  
PHOENIX@LDGEN.COM



**GENERAL NOTES (TOWN OF PARADISE VALLEY)**

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
2. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
3. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR REAPPROVAL.
4. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
5. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
6. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
7. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
8. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.

**SANITARY SEWER NOTES (TOWN OF PARADISE VALLEY)**

1. TOWN OF PARADISE VALLEY ENGINEERING DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY CONSTRUCTION BEGINS (480 348 3528).
2. APPROVAL OF THESE PLANS SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE OR OTHER HEALTH / SAFETY ISSUE.
3. ALL MANHOLES NEWLY CONSTRUCTED OR EXISTING AND WORKED IN FOR CONNECTIONS SHALL BE PAINTED WITH INSECTICIDE PAINT PER CITY OF SCOTTSDALE SUPPLEMENTAL SPECIFICATIONS.
4. ALL 5'-0" MANHOLES ON PIPE 15-INCHES AND LARGER SHALL BE COATED PER COS SUPPLEMENT TO M.A.G. SEC. 625.
5. THE FOLLOWING MAG DETAILS ARE SPECIFICALLY NOT APPROVED:  
DET. 425 - 24" ALUMINUM MANHOLE FRAME AND COVER.
6. NEW MANHOLES ARE TO BE BUILT WITHOUT STEPS.
7. THE PERFORMANCE OF THE PROPOSED SANITARY SEWER LINE SHALL MEET OR EXCEED THOSE OF THE EXISTING SANITARY SEWER LINES ALREADY IN PLACE.
8. ALL SEWER CROSSINGS WITH NEW OR EXISTING WATER LINES SHALL BE FIELD VERIFIED FOR LOCATION AND ELEVATION BETWEEN BOTH UTILITIES. IF THE CLEARANCE BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF THE SEWER LINE IS LESS THAN 24", BOTH LINES SHALL BE ENCASED PER MAG. STD DET. 404.
9. A SIX (6) FOOT MINIMUM HORIZONTAL SEPARATION FROM ANY UNDERGROUND UTILITY SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF UNDERGROUND UTILITY.
10. A ONE (1) FOOT MINIMUM VERTICAL SEPARATION FROM ANY DRY UNDERGROUND UTILITY CROSSING SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF DRY UNDERGROUND UTILITY.
11. A TWO (2) FOOT MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ANY SEWER MAIN OR SEWER DRAIN MAIN CROSSING AND WATER MAIN. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN OR STORM DRAIN MAIN.
12. EXCEPTIONS OR DEVIATIONS FROM THE ABOVE MINIMUM CLEARANCES MUST BE APPROVED AND SHOWN ON THE APPROVED WATER AND SEWER PLANS. WHEN UTILITY CONFLICTS ARE FOUND DURING CONSTRUCTION, ALL CHANGES AND REVISIONS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
13. ANY AND ALL MORE STRINGENT SEPARATION REQUIREMENTS REQUIRED BY FEDERAL, STATE, COUNTY, OR LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
14. ON-SITE SANITARY SEWER TO COMPLY WITH 2006 IPC.
15. MANHOLES MUST BE VACUUM TESTED AND SEALED AFTER BACKFILLING.
16. SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
17. CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING.
18. TRENCH BEDDING, BACKFILL AND PAVEMENT REPLACEMENT PER MAG STD DET. 200.
19. ALL SEWER LINES MUST BE INSTALLED USING A LASER.
20. WHEN DIP SEWER PIPE IS USED UNLESS OTHERWISE SPECIFIED PER M.A.G. SEC. 750.1.
21. PER CITY OF SCOTTSDALE - MANHOLES IS MORE THAN 10' DEEP OR THE LINE IS 15" OR LARGER, THE MANHOLE SHALL BE 5' IN DIAMETER, PAGE 516 (9) OF DSPM 2018.
22. CONCRETE OR ASPHALT DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED AND REPLACED IN KIND PRIOR TO FINAL INSPECTION.
23. BACKFILL, TRENCH BEDDING, PAVEMENT AND SURFACE REPLACEMENT THICKNESS AND TYPE PER M.A.G. SEC. 336, AND MAG STD DET. 200-1 OR REPLACE IN KIND, WHICHEVER IS GREATER.
24. IN ACCORDANCE WITH AAC R18-4-213.B, ALL MATERIALS ADDED AFTER JANUARY, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
25. ALL SEWER MAINS MUST BE VIDEO TAPED AND REVIEWED BY THE TOWN OF PARADISE VALLEY PRIOR TO FINAL ACCEPTANCE. SEE MAG SPEC. SEC. 615 AND COS SUP. SPEC. SEC. 615.10.

LOT 64 - CAMELBACK LANDS  
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LOT 57 - CAMELBACK LANDS  
BOOK 31, PAGE 26, MCR  
5000 N WILKINSON RD.,  
PARADISE VALLEY, AZ 85253  
APN 173-20-002A

LOT 66 - CAMELBACK LANDS  
BOOK 31, PAGE 26, MCR  
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PARCEL NO.1  
LOT 63 - CAMELBACK LANDS  
BOOK 31, PAGE 26, MCR  
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APN 173-20-007

PARCEL NO.2 (OVERLAPS PARCEL NO.1)