

Charles Drive Residence

4606 E. Charles Dr., Paradise Valley, AZ 85253

General Construction Notes

- All work shall comply with all applicable codes and ordinances.
- The Contractor shall verify all dimensions and conditions in the field. If a dimensional error occurs or a condition not covered in the drawings is encountered, the Contractor shall notify Designer before commencing that portion of the work.
- The Contractor shall notify Designer if discrepancies are noted in these Contract Documents, in sufficient time as to not cause delay.
- Dimensions take precedence over scale on the Construction Documents.
- Details, notes, and finishes shall be applicable to all typical conditions whether or not referenced at all places on these plans. The Contractor is responsible for any standard or special detailing not specified herein.
- The Contractor shall verify all existing grades and shall review all grading conditions prior to commencement of work.
- The Contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage during construction.
- The Contractor shall verify all equipment loads and notify Designer of any changes in size, weight, and location, or additional load to those indicated on the drawings.
- The Contractor shall supervise and direct the work, using the best skill and attention. He shall be solely responsible for all methods, techniques, sequences, and procedures, and for coordinating all portions of the work under the contract.
- All manufactured articles, material, and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written specifications or instructions unless hereinafter specified to the contrary.
- The Contractor shall verify and protect the location of existing utilities.
- The starting of work by any Contractor or Subcontractor shall be considered prima facie evidence that he has inspected and accepted all conditions involved in his work and finds them satisfactory.
- The Contractor shall be responsible for safety in the area of work in accordance with all applicable safety codes.
- Each Contractor is responsible for any damage to adjacent work and is responsible for the repair and said damage at his own expense.
- Finish grade shall slope 5% for a distance of 10'-0" to an approved water disposal area or to the drainage requirements per the governing body.
- Flat-roofed areas shall have a minimum slope of 1/4" per liner foot. Slope shall be integral to truss design when truss framing is used or slope with rippers at conventional framing.
- Slope and waterproof all sills and parapets. At C.M.U. use waterproof coating prior to installing finish. Do not penetrate top surface; attach at side.
- Minimum 22" x 30" attic access is required to all attic areas with 30 sf in area and 30" or more vertical clear height. See plan for location. Provide 30" clear headroom above the attic access.
- Gypsum board used on exterior soffits must be approved exterior type.
- Every sleeping room and basements with habitable space shall have at least one window with min. 5.7 sq. ft. net clear opening (5.0 sq. ft. at grade floor), minimum opening width of 20" minimum opening height of 24" and a sill height not more than 44"; or provide exterior door for emergency egress. Provide continuous egress from bedroom window to public way.
- All exterior windows in habitable spaces to be double-paned.
- All glass (with least dimension greater than 3" and bottom edge less than 60" above floor) in door and adjoining window less than 24" from locking device to be tempered.
- All glass in hazardous locations and all glass within 18" of floor (except single panes with 9 sq ft or less area) shall be safety glass (R308.4).
- Glazing located in railings regardless of area or height, adjacent to stairways, landings, or ramps within 36" of walking surface or less than 60" in height, and glazing adjacent to stairways within 60" of the bottom tread and less than 60" above nose of tread to be tempered.
- All glass in French or sliding doors shall be tempered.
- Shower enclosure shall be tempered glass. Glazing in any part of wall enclosing tub/shower/sauna where bottom edge is less than 60" above floor to be tempered.
- Shower walls shall be finished with moisture-resistant sheetrock and ceramic tile to a minimum height of 70" above drain.
- Water closets shall be a minimum of 15" from any vertical side surface to centerline of water closet and a minimum of 21" clear in front of water closet. Space other fixtures in accordance with Figure R307.2.
- General Contractor shall coordinate backing for all accessories (towel bar, toilet paper holders, clothes pegs, etc.) in bathrooms, kitchen and other areas as required.
- Furnish all finish hardware necessary for smooth operation of doors. Include all: flush required doorstops, thresholds, and weather-stripping bolts. In order to determine appropriate hardware function for each door consult a hardware consultant.
- Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage shall be sealed. Seal all voids around penetrations through floor slabs. Recessed lights are to be Type IC, or, if non-IC, installed inside an air-tight assembly.
- No gas piping shall be installed in or on the ground under any building or structure. Provide combustion air for gas appliances.
- Hose bibs are to be equipped with integral backflow preventers.

Abbreviations

ADD.	ADDENDUM	M.O.	MASONRY OPENING
ABC	AGGREGATE BASE COURSE	MATL	MATERIAL
A/C	AIR CONDITIONING	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	M.C.J.	MASONRY CONTROL JOINT
A.B.	ANCHOR BOLT	MECH.	MECHANICAL
AL	ALUMINUM	MTL	METAL
		MIN.	MINIMUM
BSMT.	BASEMENT	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BD.	BOARD		
B.O.	BOTTOM OF		
BLDG.	BUILDING	O.C.	ON CENTER
CAB.	CABINET	PTD.	PAINTED
C.I.P.	CAST IN PLACE	PR.	PAIR
C.H.	CEILING HEIGHT	PL	PLATE
CL	CENTERLINE	PLBG.	PLUMBING
CLR.	CLEAR		
CLO.	CLOSET	R.	RADIUS
COL.	COLUMN	REQ'D	REQUIRED
CONC.	CONCRETE	REV.	REVISION
C.J.	CONTROL JOINT	RD.	ROUND
CONT.	CONTINUOUS		
C.M.U.	CONCRETE MASONRY UNIT	SEC.	SECTION
		SIM.	SIMILAR
DIA./Ø	DIAMETER		
DIM.	DIMENSION	T.O.C.	TOP OF CHIMNEY
DISP.	DISPENSER	T.O.S.	TOP OF SLAB
DN	DOWN	T.O.S.F.	TOP OF SUBFLOOR
D.F.	DRINKING FOUNTAIN	T.O.P.	TOP OF PARAPET
		TYP.	TYPICAL
		T.O.W.P.	TOP OF WALL PLATE
EA.	EACH		
E.D.F.	ELECTRIC DRINKING FOUNTAIN	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATION	UR.	URINAL
EXP.	EXPANSION		
E.J.	EXPANSION JOINT	V.C.T.	VINYL COMPOSITION TILE
EXST.	EXISTING		
EXT.	EXTERIOR	W.C.	WATER CLOSET
		W/	WITH
INSUL.	INSULATION / INSULATED	W/O	WITHOUT
		WD.	WOOD
LAM.	LAMINATE		
LAV.	LAVATORY		

Project Directory

OWNER: Bernie Fritz / ABF Investments, LLC
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602-430-6930

CONTRACTOR: TBD

ARCHITECT: Jennifer Lamoreaux / Fit Designs, PLLC
15459 S. 44th Way, Phoenix, AZ 85044
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480-205-4515

CIVIL: Geoff Markowski / G-Mar, LLC
18223 W. Orchid Ln., Waddell, AZ 85355
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602-524-7877

STRUCTURAL: Daryl Young / Ambassador Engineering, LLC
619 E. Orchid Lane, Gilbert, AZ 85296
dyoung@ambassadorengineering.com
602-690-3994

ELECTRICAL: William Bethurum / VoltaUS
3666 N. Miller Rd., Suite 100, Scottsdale, AZ 85251
wb@voltaus.com
480-695-0511

Project Data

PROPERTY ADDRESS: 4606 E. Charles Dr., Paradise Valley, AZ 85253

PARCEL NUMBER: 168-69-022

ZONING: R-43

CONSTRUCTION TYPE: V-8

BUILDING SIZE:

Livable -	5054 sf	(2000 sf min.)
Garage / Mech -	2111 sf	
Covered Patios / Overhangs -	1285 sf	
Trellis Patio -	174 sf	(521 sf X 1/3 for lumber)
Total Footprint -	8624 sf	

LOT SIZE: 41,453 sf

FLOOR AREA RATIO: 8,586/41,453 = 20.7% (25% max.)

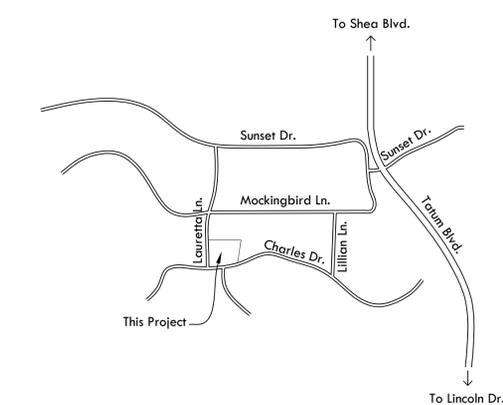
BUILDING SETBACKS:

Front - 40'-0"
Side - 20'-0" / 40'-0" (with Frontage)
Rear - 40'-0"

Project Narrative

The existing home, built in 1960, is to be demolished. A new 5000 SF +/- home will be constructed within the existing disturbed area, preserving the existing vegetation on the east side of the property. The new residence will have a contemporary style, with patios on front and rear to take advantage of the views. The garage portion of the house will be several steps lower than the main livable area to respond to the site slope of the site. Colors are to be subtle desert tones, with LRV ≤ 38%.

Vicinity Map N.T.S.



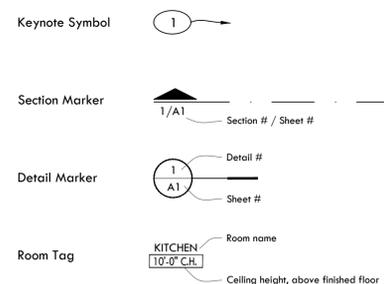
Sheet Index - Formal Review

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-	Survey
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C3	Civil Details, Sections
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A5	Floor Plan
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A7	Elevations - East & West
A8	Cross Sections
A9	Building & Landscape Lighting Plan
A10	Lighting Cut Sheets

Special Notes

- Contractor to stake footprint of entire new construction or addition and verify layout relating to setbacks, location, etc. w/ Owner, Architect, and local authority prior to commencing work.
- Setback certification is required at footing inspection when proposed wall is within 3'-0" of building setback.

Project Symbols



DATE: 1/28/19

SCALE: As Noted

DRAWN: JPL

JOB: 18-99

SHEET:

A0

Project Info



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.1



.10



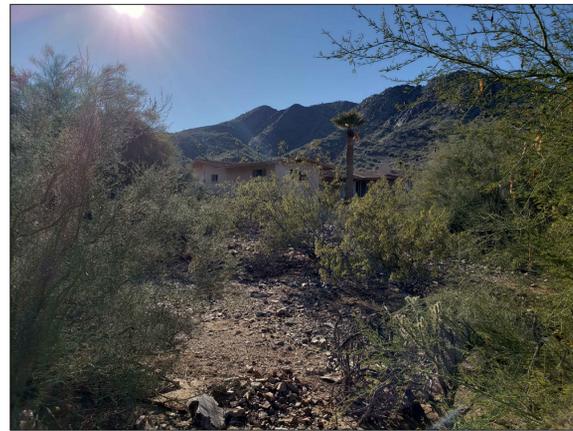
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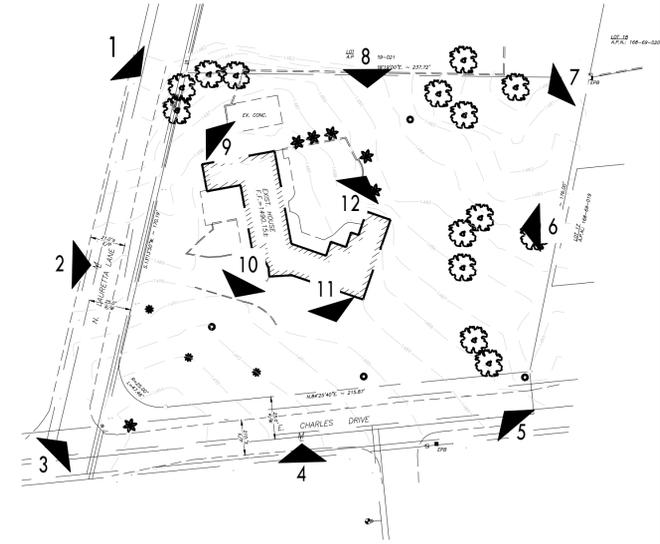
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Charles Drive Residence

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DATE: 1/7/19
SCALE: As Noted
DRAWN: JPL
JOB: 18-99
SHEET:

A1

Site Photos



Rear Yard / Pool Area - Facing Northwest .4
N.T.S.



Front View - Facing North .1
N.T.S.



Side View - Facing Southeast .5
N.T.S.



Front Yard From Above - Facing Northeast .2
N.T.S.



Side View - Facing West .6
N.T.S.



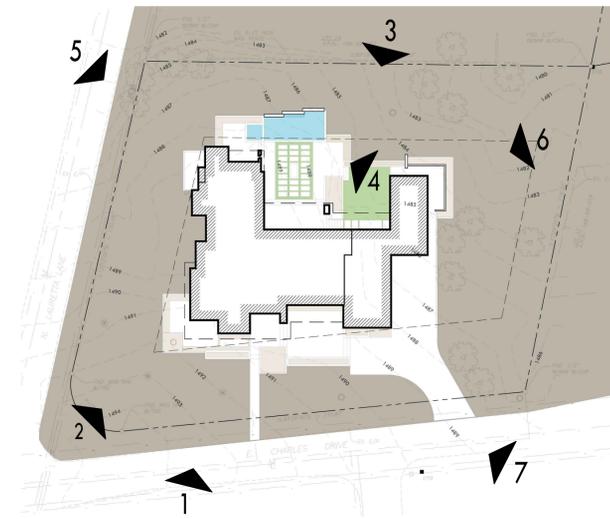
Driveway - Facing Northwest .7
N.T.S.



Rear Yard From Above - Facing Southwest .3
N.T.S.

Exterior Notes

- A. Structure will not exceed 24'-0" max height above natural grade.
- B. Exterior finishes are stucco and block, with an LRV of <38%.
- C. Pool barrier is achieved with retaining walls and a gate at the mechanical screen wall.
- D. Existing vegetation will remain wherever possible. New plants are to be desert type with low water consumption. Lawn areas shown are artificial.



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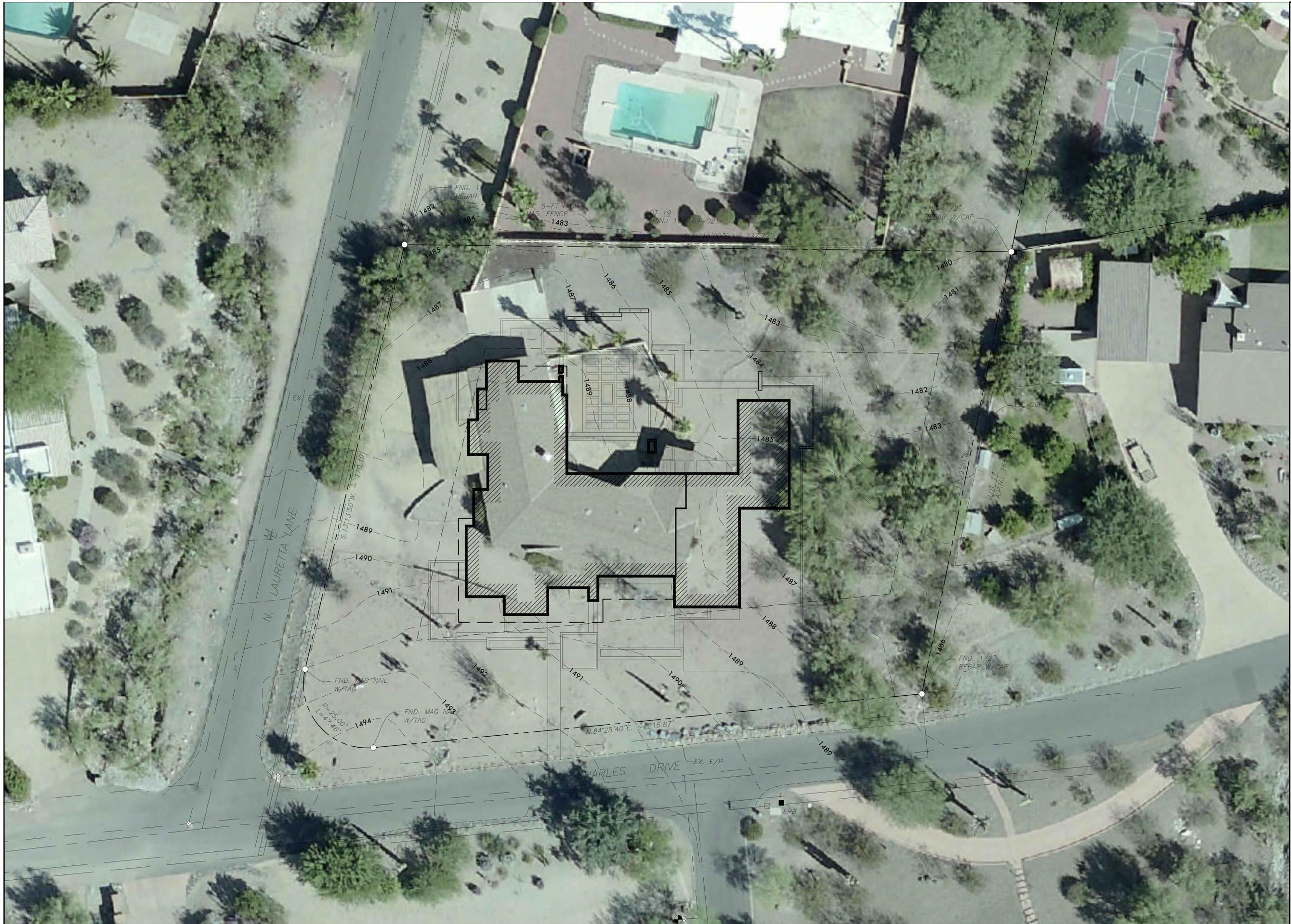
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A2

3D Renderings



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DATE: 1/7/19
 SCALE: 1/16" = 1'-0"
 DRAWN: JPL
 JOB: 18-99
 SHEET:

A3

Aerial Photo

PARADISE VALLEY GRADING AND DRAINAGE NOTES:

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINES IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4" BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL SPA, BARBEQUE, AND ANY STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHTOF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY, NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926) UNDER ALL CIRCUMSTANCES. THE TOWN WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

CIVIL ENGINEERING GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY DISCREPANCY OR OMISSION, THE ENGINEER SHALL BE NOTIFIED BEFORE ANY INTERPRETATION IS MADE.
- QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY AND ARE NOT FOR BIDDING OR CONTRACTING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR BIDDING HIS OWN QUANTITY TAKE-OFF.
- THE BUILDING MATERIALS CONTAINING ASBESTOS WILL NOT BE USED ON THIS PROJECT.
- THE CONTRACTOR SHALL MAKE NO CLAIM FOR QUANTITY ADJUSTMENT UNLESS ANY DAMAGE TO EXISTING UNDERGROUND FACILITIES, CALL BLUE STAKE CENTER (602) 263-1100 OR A PRIVATE UNDERGROUND UTILITY LOCATION COMPANY 48 HOURS PRIOR TO EXCAVATING. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
- UNDERGROUND INFORMATION AND UTILITIES SHOWN HAVE BEEN OBTAINED FROM INFORMATION PROVIDED ON QUARTER SECTION MAPS FROM THE UTILITY COMPANIES LOCATED WITHIN THE AREA. THUS, UNDERGROUND INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION.
- UTILITY COMPANIES SERVING THIS AREA ARE:
WATER: PRIVATE WATER COMPANY - EPCOR
SEWER: PRIVATE SEPTIC
TELEPHONE: CENTURYLINK
ELECTRIC: ARIZONA PUBLIC SERVICE
GAS: SOUTHWEST GAS
CABLE TV: COX COMMUNICATIONS
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITY FACILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID ANY DAMAGE TO EXISTING UNDERGROUND FACILITIES. CALL BLUE STAKE CENTER (602) 263-1100 OR A PRIVATE UNDERGROUND UTILITY LOCATION COMPANY 48 HOURS PRIOR TO EXCAVATING. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
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WATER: PRIVATE WATER COMPANY - EPCOR
SEWER: PRIVATE SEPTIC
TELEPHONE: CENTURYLINK
ELECTRIC: ARIZONA PUBLIC SERVICE
GAS: SOUTHWEST GAS
CABLE TV: COX COMMUNICATIONS
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- TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY, NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926) UNDER ALL CIRCUMSTANCES. THE TOWN WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

GRADING & DRAINAGE PLAN FOR "4606 E. CHARLES DRIVE"

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

CIVIL NOTES (APPLY UNLESS OTHERWISE NOTED ON CIVIL DRAWINGS)

LEGAL DESCRIPTION

LOT 20 OF "SUNSET HILLS" A SUBDIVISION PLAT RECORDED IN BOOK 68 OF MAPS, PAGE 2, RECORDS OF MARICOPA COUNTY, ARIZONA.

SHEET INDEX

SHEET NO.	NO.	NAME
C1	1	COVER SHEET & CIVIL NOTES
C2	2	GRADING & DRAINAGE PLAN
C3	3	SECTIONS AND DETAILS

RETENTION REQUIREMENTS - PRE VS POST DEVELOPMENT

PER TOWN OF PARADISE VALLEY REQUIREMENTS FOR SINGLE FAMILY RESIDENCE DRAINAGE DESIGN STANDARDS & MCDDM, VOL II AND VOL III.
 $V_r = (A * P * C) / 12$ V = Volume of retention required (cubic feet or acre-feet)
 Cw = Weighted Runoff factor for tributary areas
 P = 100-year, 2-hour storm event precipitation depth (inches) per Paradise Valley
 A = Drainage area (square feet or acres)

PRE DEVELOPMENT RETENTION REQUIREMENTS

A = 41,453 S.F.
 P = 2.24 INCHES
 C = 0.7 PRE
Vpre = 5,417 CUBIC FEET

RETENTION REQUIREMENTS - AREA OF DISTURBANCE

$V = A(P/12)C$ V = Volume of retention required (cubic feet or acre-feet)
 C = Runoff factor for tributary areas
 P = 100-year, 2-hour rainfall (in inches)
 A = Drainage area (square feet or acres)

WEIGHTED RUN-OFF COEFFICIENT CALCULATIONS

AREA TYPE	AREA (SQ.F.T)	C	C/A
ASPHALT/ROOF	8,916	0.90	8,024
CONCRETE	7,137	0.95	6,780
DESERT LANDSCAPE	24,697	0.70	17,288
GRAVEL DRIVEWAY	0	0.35	0
TURF	703	0.35	246
			32,339

$C = \frac{32,339}{41,453} = 0.78$

A = 41,453 S.F.
 D = 2.24 INCHES
 C = 0.78 WEIGHTED
Vpost = 6,037 CUBIC FEET

Vr = Vpost - Vpre = 6,037 - 5,417 = 620 CUBIC FEET

ON-SITE RETENTION PROVIDED

Volume = ((1/3)h)*(A1+A2+sqrt(A1*A2))

Retention Basins	A (sq.ft.)	Area (sq.ft.)	Depth (feet)	Volume (cu.ft.)
1481.0	2,241		0.5	928
1480.5	1,496			
VOLUME PROVIDED =	928	CUBIC FEET		
VOLUME REQUIRED =	620	CUBIC FEET		
EXCESS VOLUME =	308	CUBIC FEET		

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMITS. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF LAWS OR ORDINANCES.

TOWN OF PARADISE VALLEY _____ DATE _____

OWNER/DEVELOPER

ABF INVESTMENTS, LLC
 16202 S. 31ST WAY
 PHOENIX, AZ 85048
 PH: 602-430-6930
 CONTACT: BERNIE FRITZ

ARCHITECT/DESIGNER

FIT DESIGNS
 15459 S. 44TH WAY
 PHOENIX, ARIZONA 85044
 PH: 480-205-4515
 CONTACT: JENNIFER LAMOREAUX

PROJECT BENCHMARK

GDACS PT. #26100-1

FOUND 3" PARADISE VALLEY BRASS CAP IN HAND HOLE NEAR THE INTERSECTION OF MOCKINGBIRD AND TATUM ROAD WITH AN ELEVATION OF 1435.620 (NAVD '88 DATUM).

BASIS OF BEARING

N.15°13'50"E, ALONG THE MONUMENT FOR LAURETTA LANE AS SHOWN IN THE PLAT OF RECORD FOR "SUNSET HILLS" AS RECORDED IN BOOK 68 OF MAPS, PAGE 2, RECORDS OF MARICOPA COUNTY, ARIZONA.

SITE AREA DATA

PER TOPV HILLSIDE ORDINANCE, TABLE 1:

LOT AREA: 41,453 S.F. (NET)
 BLDG. SITE SLOPE: 5.3%
 ALLOWABLE DIST.: 60K (24,872 S.F.)
 EXIST. AREA DISTURBED: 39,100 S.F.
 NEW AREA DISTURBED: 33,724 S.F.

ZONING

R-43

SETBACKS:

FRONT: 40-FT
 REAR: 40-FT
 SIDES: 20-FT

CUT / FILL QUANTITIES

CUT 15 C.Y.
 FILL 2,000 C.Y.
 NEW FILL 1,985 C.Y.

QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN QUANTITY TAKE-OFF FOR ACCURACY OF CUT AND FILL ON THE SITE.

HILLSIDE ASSURANCE AMOUNT: \$1,947.00

PROJECT DESCRIPTION

GRADING AND DRAINAGE RELATED IMPROVEMENTS AS THEY APPLY TO THE NEW SINGLE FAMILY RESIDENCE TO THE SITE, ALONG WITH ASSOCIATED DRIVEWAYS, WALKWAYS AND LANDSCAPING. THE EXISTING HOUSE WILL BE DEMOLISHED AND REMOVED. THE NEW FINISHED FLOOR ELEVATION OF THE HOUSE IS AT LEAST 12-INCHES ABOVE NEAREST ADJACENT GRADE. SINCE THIS SITE IS NOT IN A FLOOD PLAIN AND NO OFF-SITE FLOWS IMPACT THE SITE, HIGH WATER ELEVATION OF RETENTION BASIN 'A' IS 1381.0 PER REFERENCED BENCHMARK.

SQUARE FOOTAGE

LIVABLE	5,054 S.F.
GARAGE / MECH.	2,111 S.F.
COVERED PATIOS / ENTRY	1,247 S.F.
TRELLIS / PATIO	174 S.F.
TOTAL UNDER ROOF:	8,586 S.F.

LOT COVERAGE:

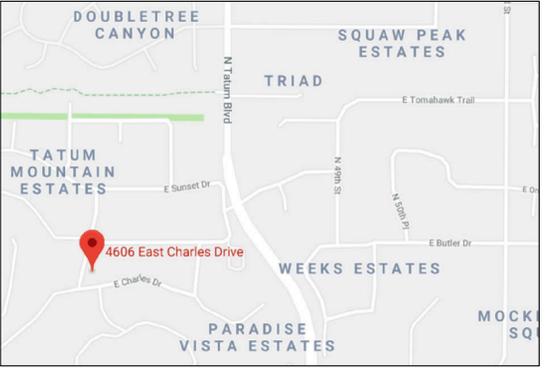
TOTAL LOT AREA
 8,586 / 41,453 = 20.7% (25% MAX.)

DRAINAGE STATEMENT

PER TOWN OF PARADISE VALLEY GRADING AND DRAINAGE STANDARDS, THE PRE VS. POST VOLUME WILL BE PROVIDED, ON-SITE, FOR THE 100-YEAR, 2-HOUR STORM EVENT.

- THIS PARCEL IS NOT IN A SPECIAL FLOOD HAZARD.
- OFF-SITE FLOWS DO IMPACT THIS SITE.
- RETENTION PROVIDED IS FOR THE PRE VS. POST STORM EVENT.
- EXTREME STORM FLOWS OUTFALL THE SITE (ESO) AT THE NORTHEAST CORNER OF THE PROPERTY INTO ITS EXISTING WATERCOURSE AT AN ELEVATION OF 1480.2 PER REFERENCED BENCHMARK.
- THE LOWEST FINISHED FLOOR ELEVATION OF 1492.50 IS SAFE FROM INUNDATION DURING THE 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS. THE 100-YEAR WATER SURFACE ELEVATION IS BASED ON THE RETENTION BASIN AT 1481.00.

FEMA SITE INFORMATION					
COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040049	1755	L	10/16/13	X	1 FOOT
	10/16/13				



VICINITY MAP

LEGEND

- (SOME ITEMS MAY NOT APPLY TO THESE DRAWINGS)
- BOUNDARY LINE
 - MONUMENT LINE
 - PROPERTY CORNER
 - EASEMENT LINE
 - MAS. FENCE
 - VERT. CURB & GUTTER
 - CONCRETE CURB
 - BUILDING
 - CONCRETE
 - BRASSCAP IN HANDHOLE
 - BRASSCAP FLUSH
 - SIGN
 - GAS METER
 - TELEPHONE RISER
 - CABLE RISER
 - POWER POLE
 - ELECTRICAL GUY DOWN
 - STREET LIGHT OR LIGHT POLE
 - WATER METER
 - BACK FLOW PREVENTION ASSEMBLY
 - DRYWELL/CATCH BASIN
 - SPRINKLER CONTROL BOX
 - ANTI-SIPHON LANDSCAPE VALVE
 - WATER
 - OVERHEAD CABLE TV
 - OVERHEAD TELEPHONE
 - UNDERGROUND TELEPHONE
 - OVERHEAD ELECTRICAL
 - UNDERGROUND ELECTRICAL
 - SANITARY SEWER
 - GAS
 - STORM DRAIN
 - FIRE LINE
 - NATURAL GROUND ELEV. (ADD 1400)
 - TOP OF CURB ELEV. (ADD 1400)
 - PAVEMENT ELEV. (ADD 1400)
 - GUTTER ELEV. (ADD 1400)
 - FINISHED FLOOR ELEV.
 - CONCRETE ELEV. (ADD 1400)
 - RIM ELEV. (ADD 1400)
 - INVERT ELEV. (ADD 1400)
 - TOP OF RETAINING WALL ELEV. (ADD 1400)
 - TOP OF FOOTING ELEV. (ADD 1400)
 - DRAINAGE SLOPE
 - EXTREME SITE OUTFALL (ESO)
 - TOP OF EMBANKMENT
 - BOTTOM OF EMBANKMENT

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

g-mar consulting engineers, llc
 18223 west orchid lane
 waddell, arizona 85355
 et.geoff@gy-mareng.com ph: 602.524.7877



PROJECT: CHARLES DRIVE RESIDENCE
 4606 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA
 OWNER: ABF INVESTMENTS, LLC
 16202 S. 31ST WAY, PHOENIX, ARIZONA 85048

CD	11-21-18	01-08-19	01-28-19
1ST CITY SUBMITTAL			
2ND CITY SUBMITTAL			
3RD CITY SUBMITTAL			

DATE ISSUED: 22 AUG 18
 DRAWN BY: GM/AD
 CHECKED BY: GM

SHEET DESCRIPTION:
 GRADING & DRAINAGE PLAN

SHEET
 C1
 OF
 1 OF 3
 PERMIT #

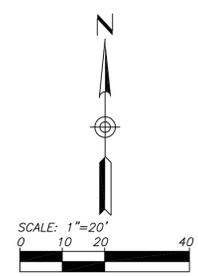
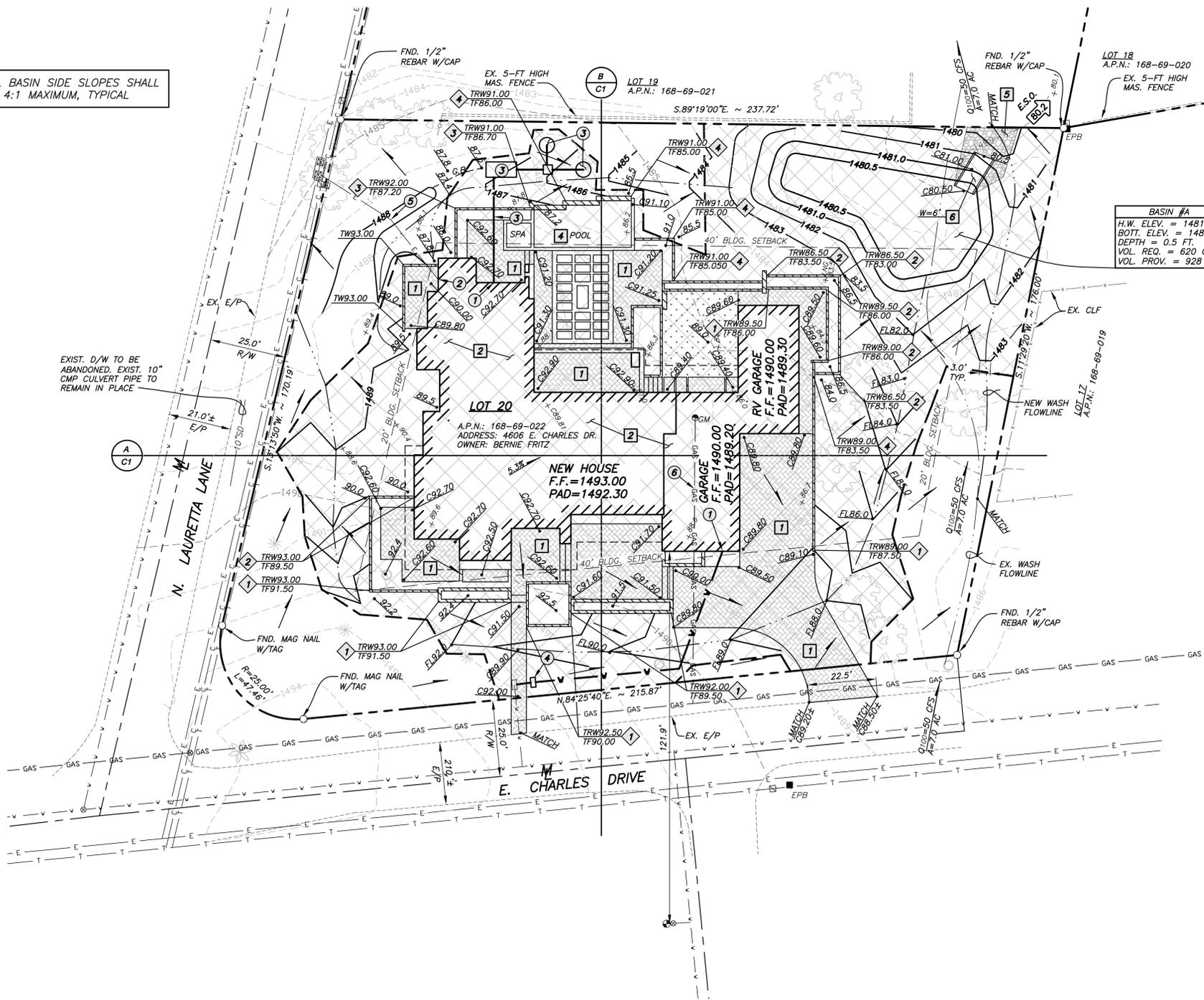
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602-263-1100
 (INSIDE MARICOPA COUNTY)
1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

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GRADING & DRAINAGE PLAN FOR "4606 E. CHARLES DRIVE"

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31,
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ALL BASIN SIDE SLOPES SHALL
BE 4:1 MAXIMUM, TYPICAL



BASIN #	H.W. ELEV.	BOTT. ELEV.	DEPTH	VOL. REQ.	VOL. PROV.
1	1481.0	1480.5	0.5 FT.	620 C.F.	928 C.F.

ON-SITE GRADING & DRAINAGE NOTES

- 4" THICK CONCRETE DRIVEWAY AND WALKWAY PER ARCHITECTURAL DRAWINGS AND SPECS.
- CONSTRUCT BUILDING ON EXISTING CONCRETE SLAB PER ARCH'L AND STRUCTURAL DRAWINGS.
- NOT USED.
- POOL AND SPA PER SEPARATE PERMIT.
- INSTALL D_{50} RIP-RAP: 3" TO 6" DIAMETER, ANGULAR GRANITE, HAND PLACED AND INTERLOCKING, OVER NON-WOVEN FILTER FABRIC. RIP-RAP SHALL BE PLACED AT MIN. 8-INCHES BELOW FINISHED GRADE.
- CONSTRUCT CONCRETE SPILLWAY PER DET. 1/C3.

ON-SITE UTILITY CONSTRUCTION NOTES

- SEE PLUMBING PLANS FOR WATER AND SEWER CONNECTION TO NEW INTERIOR/EXTERIOR PLUMBING FIXTURES.
- PROVIDE NEW 400 AMP ELECTRICAL SERVICE. COORDINATE LOCATION AND UNDERGROUND SERVICES WITH UTILITY CO.
- NEW 4" PVC SANITARY SEWER LINE AND SEPTIC SYSTEM PER SEPARATE PERMIT.
- NEW 3/4" WATER METER AND 1-1/4" DOMESTIC WATER SERVICE LINE. REFER TO PLUMBING PLANS FOR APPROVED AND TIE-IN LOCATION AT HOUSE.
- APPROXIMATE LOCATION OF NEW UNDERGROUND ELECTRIC SERVICE TO PANEL. SEE ELECTRICAL PLANS FOR CONTINUATION IN HOUSE.
- APPROXIMATE LOCATION OF EXISTING GAS LINE. NEW SERVICE AND LOCATION PROVIDED BY UTILITY COMPANY. REFER TO UTILITY COMPANY PLANS FOR APPROVED LOCATION.

AREA OF NEW LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE - 32,617 S.F.

SITE RETAINING WALL SCHEDULE

SITE RETAINING WALL PER ARCH'L DRAWINGS. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS.

WALL TYPE	RET. WALL HEIGHT (FT.)	SCREEN FENCE	LENGTH (L.F.)
1	1'-0" TO 2'-6"	PER ARCH'L	240
2	2'-7" TO 3'-6"	PER ARCH'L	135
3	3'-7" TO 4'-11"	PER ARCH'L	66
4	5'-0" TO 6'-0"	PER ARCH'L	111

TOTAL = 552 L.F.

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS FOR POOL BARRIER FENCING AROUND THE POOL AREA AND FOR CONNECTION TO TOP OF RETAINING WALLS.
- TOP OF RETAINING WALL HEIGHTS SHALL NOT EXCEED 6-INCHES ABOVE FINISHED GRADE OF RETAINED SOIL, TYPICAL.

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON-SITE. SEE LANDSCAPE PLANS AND NATIVE INVENTORY & SALVAGE PLAN.

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
(INSIDE MARICOPA COUNTY)
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

g-mar
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16202 S. 31ST WY. PHOENIX, ARIZONA 85048

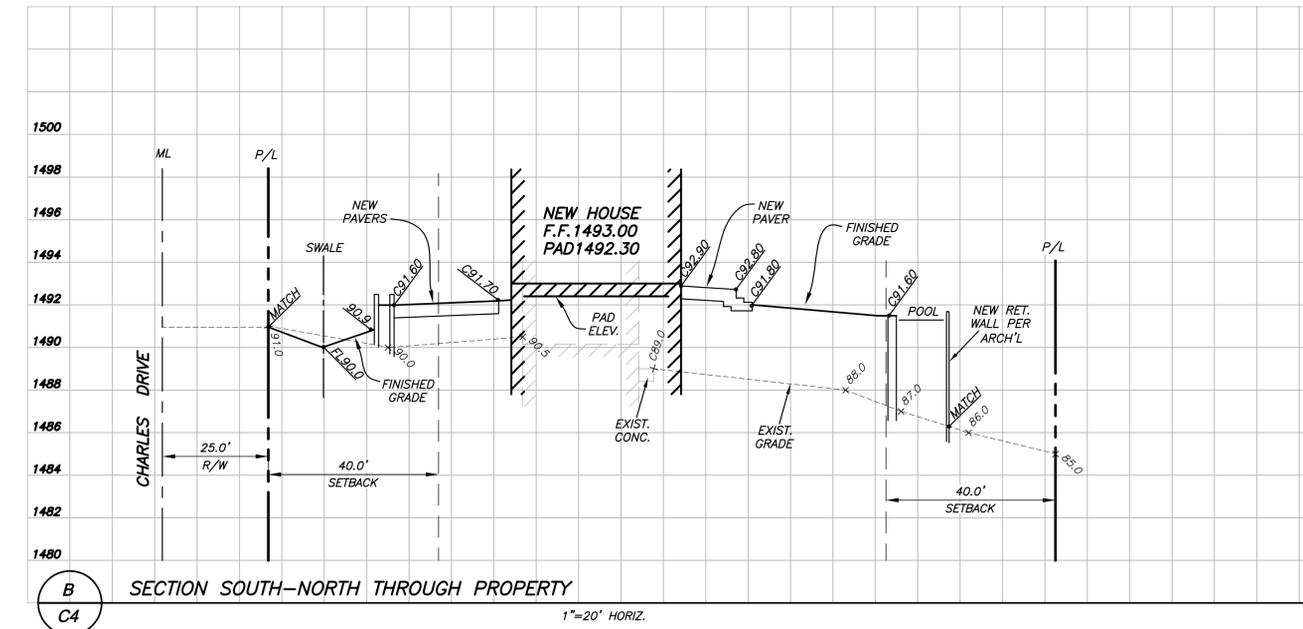
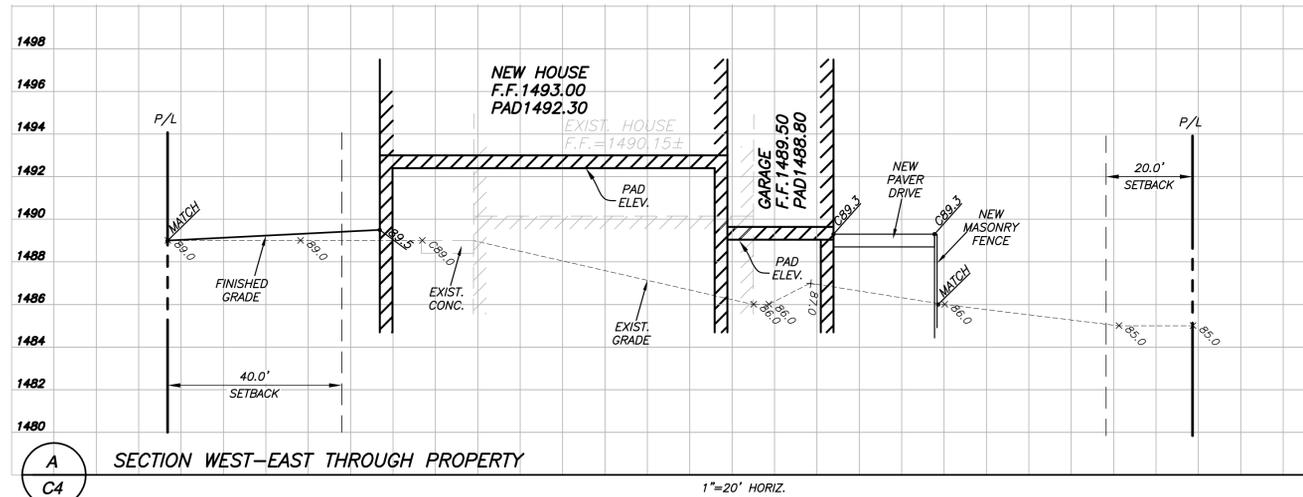
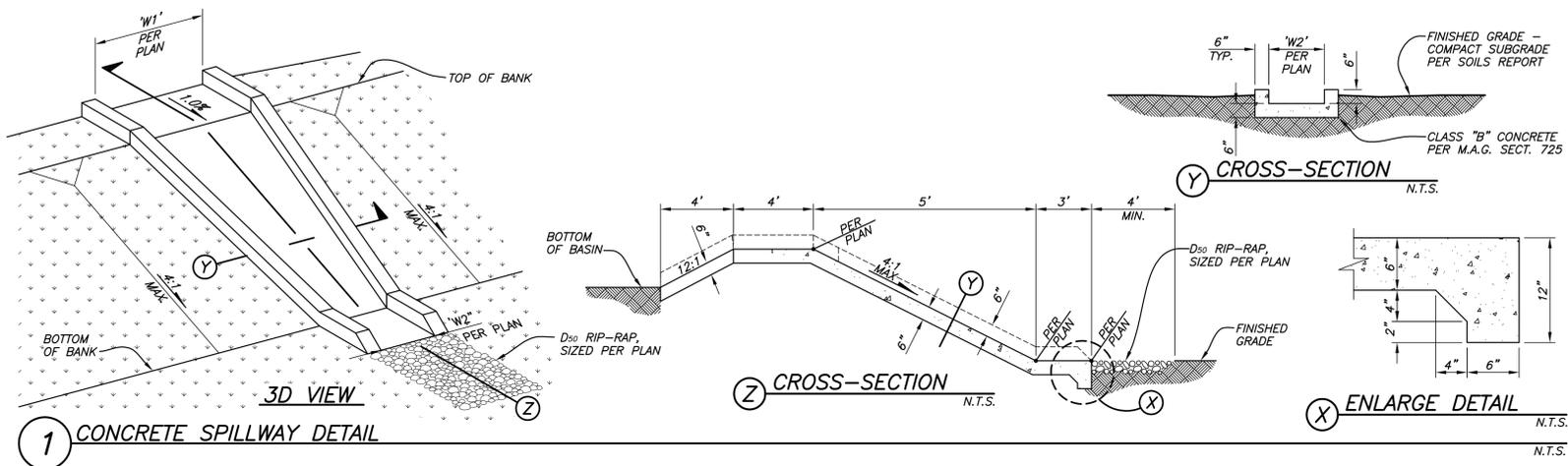
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SHEET DESCRIPTION:
GRADING
&
DRAINAGE PLAN

SHEET
C2
OF
2 OF 3
PERMIT #

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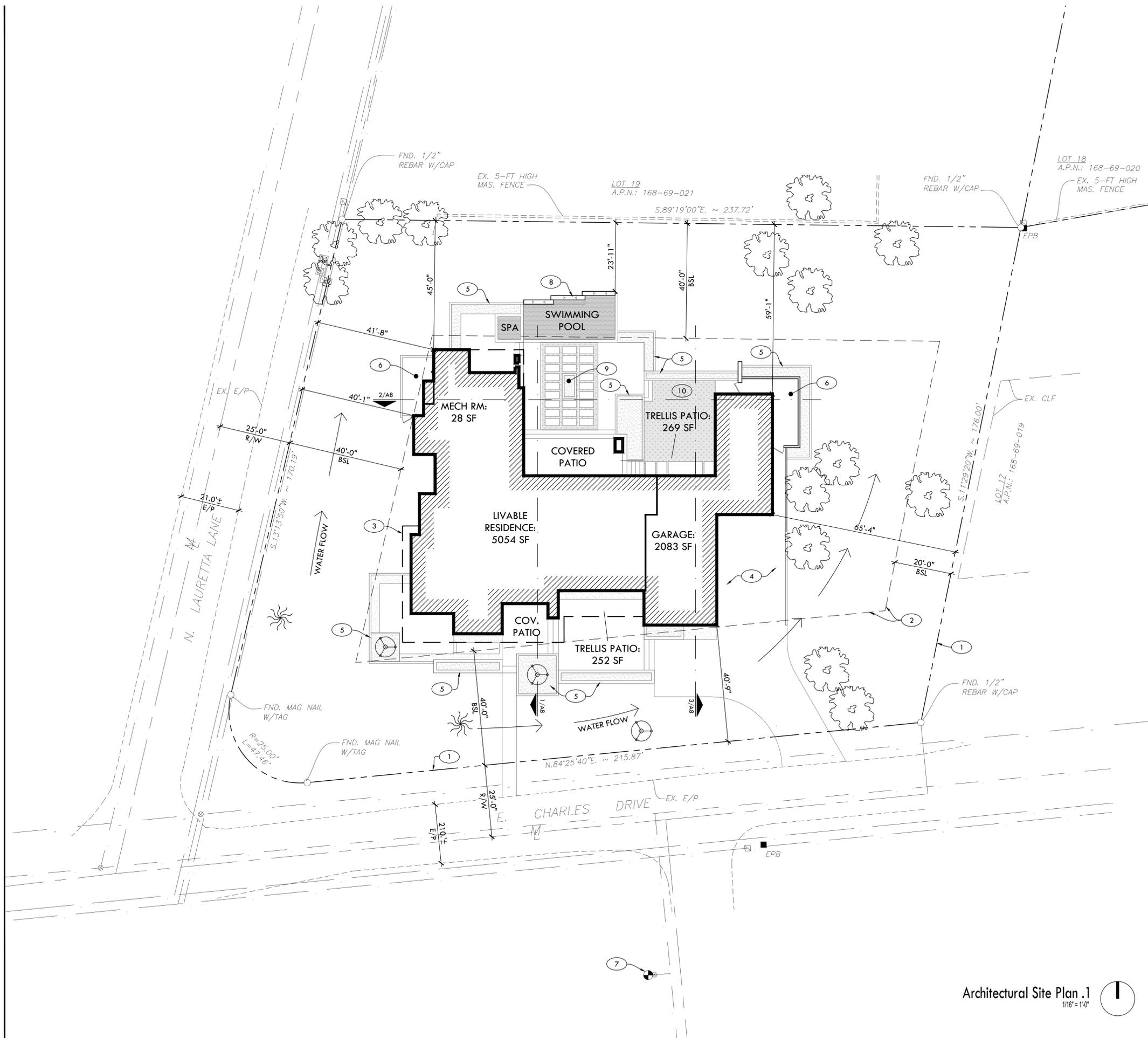
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 AND
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 3 OF 3
 PERMIT #

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Keynotes

1. Property line.
2. Building setback.
3. Roof overhang above.
4. New paver driveway.
5. Raised planter retaining wall, typ.
6. Screened mechanical / equipment area.
7. Existing fire hydrant.
8. Water feature accessory structure for swimming pool.
9. Gas fire pit.
10. Artificial grass lawn.



Fit Designs, PLLC
 15459 S. 44th Way
 Phoenix, Arizona 85044
 480.205.4515
 fitdesigns@live.com

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Charles Drive Residence
 4606 E. Charles Dr.
 Paradise Valley, AZ 85253

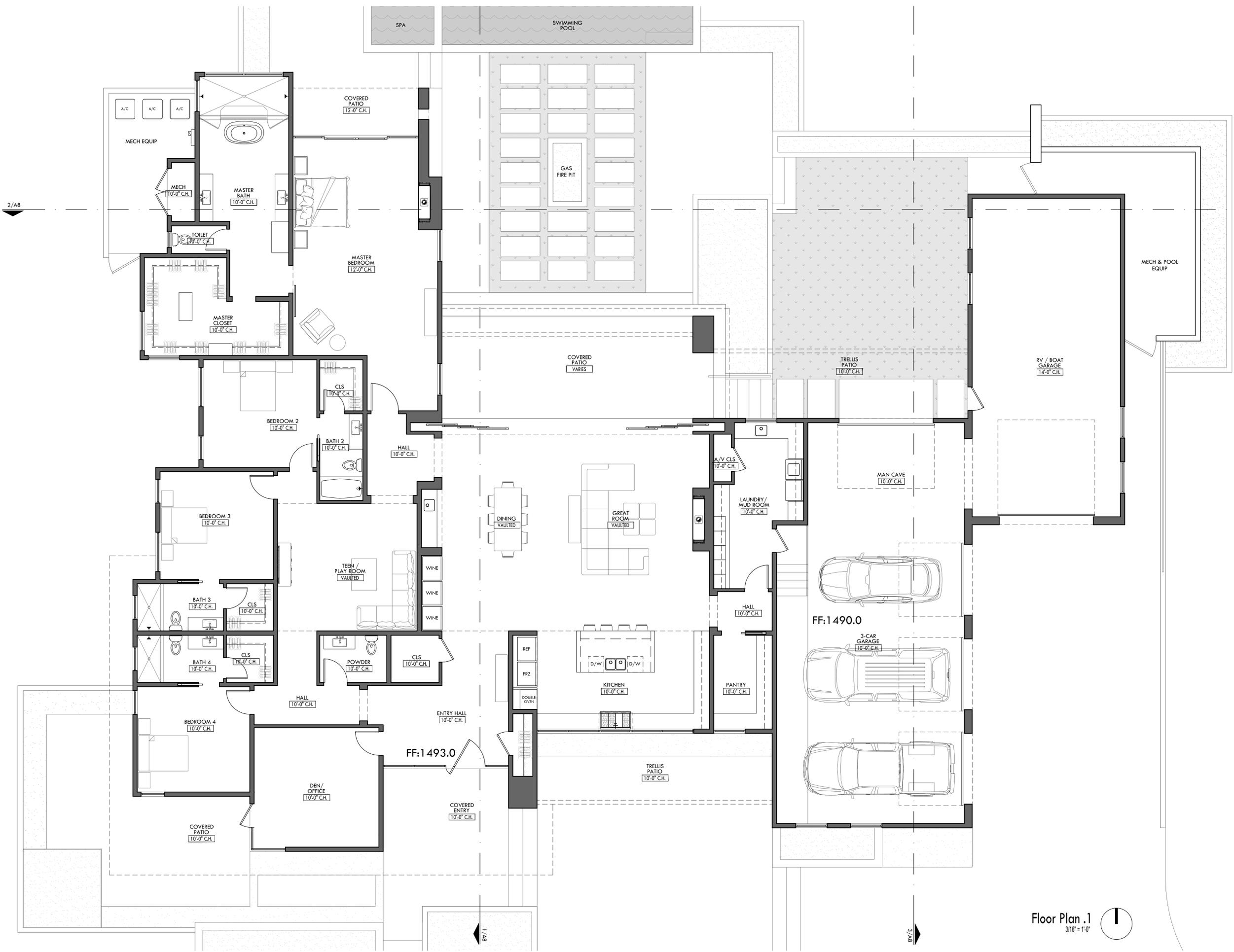
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JOB:	18-99
SHEET:	

Architectural Site Plan .1
 1/16" = 1'-0"



A4

Site Plan



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 fitdesigns@live.com

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Charles Drive Residence

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 Paradise Valley, AZ 85253

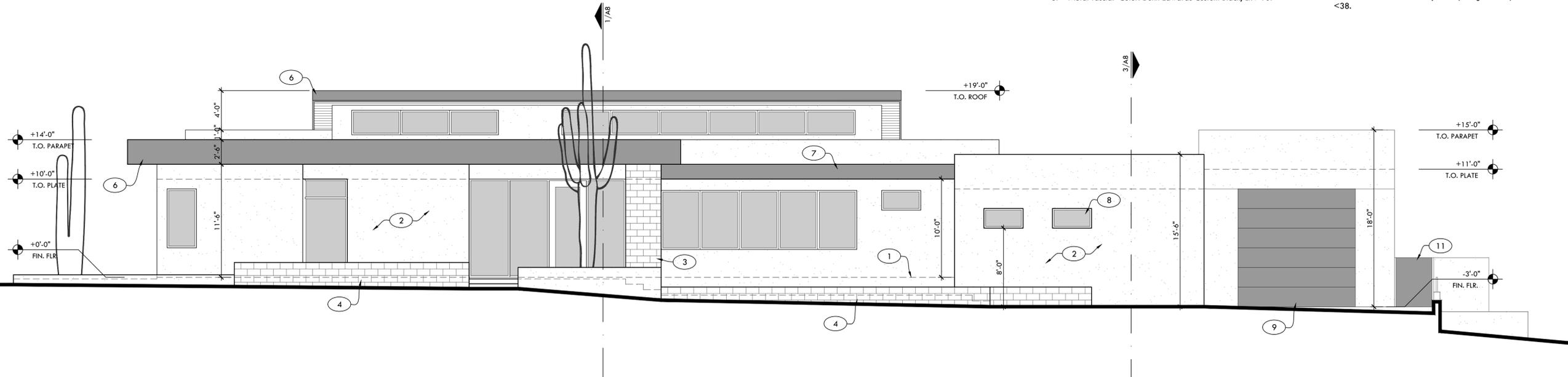
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 JOB: 18-99
 SHEET:

Floor Plan .1
 3/16" = 1'-0"

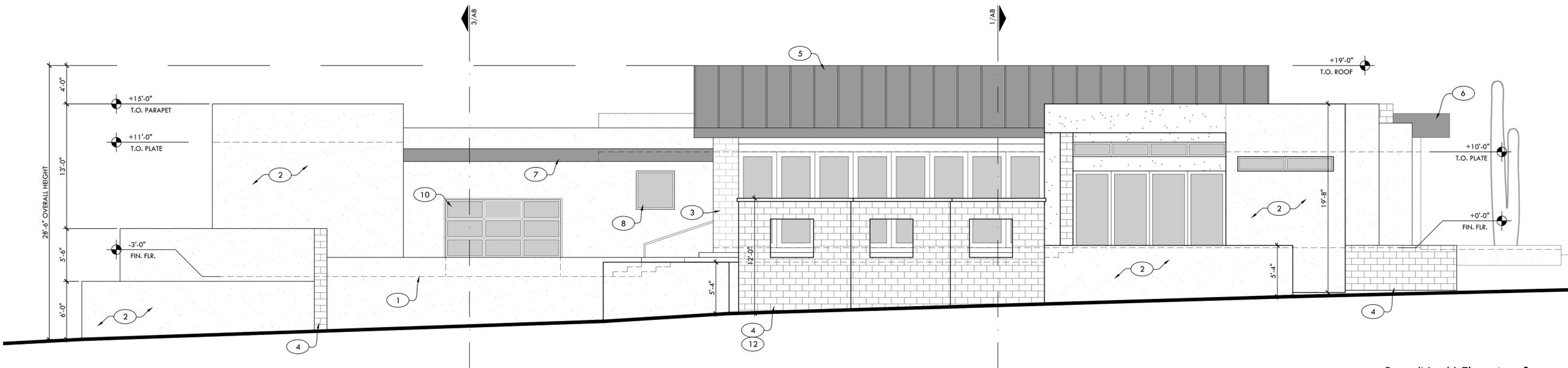
A5
 Floor Plan

Keynotes

1. Finished floor beyond.
2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3. Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4. CMU wall / planter. Color: Gray block, integral color, LRV <38.
5. Standing seam metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6. Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7. Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8. Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9. Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10. Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11. Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.
12. Water feature. Color: Gray block, integral color, LRV <38.



Front (South) Elevation .1
3/16" = 1'-0"



Rear (North) Elevation .2
3/16" = 1'-0"



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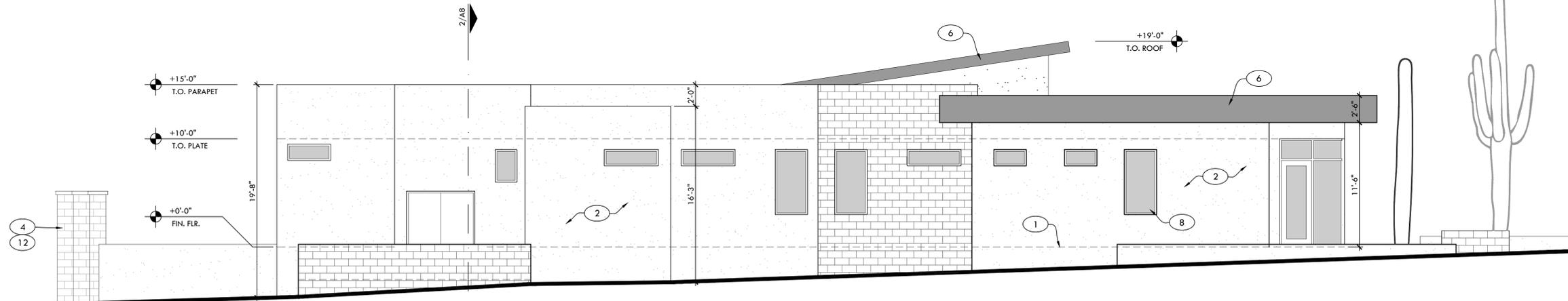
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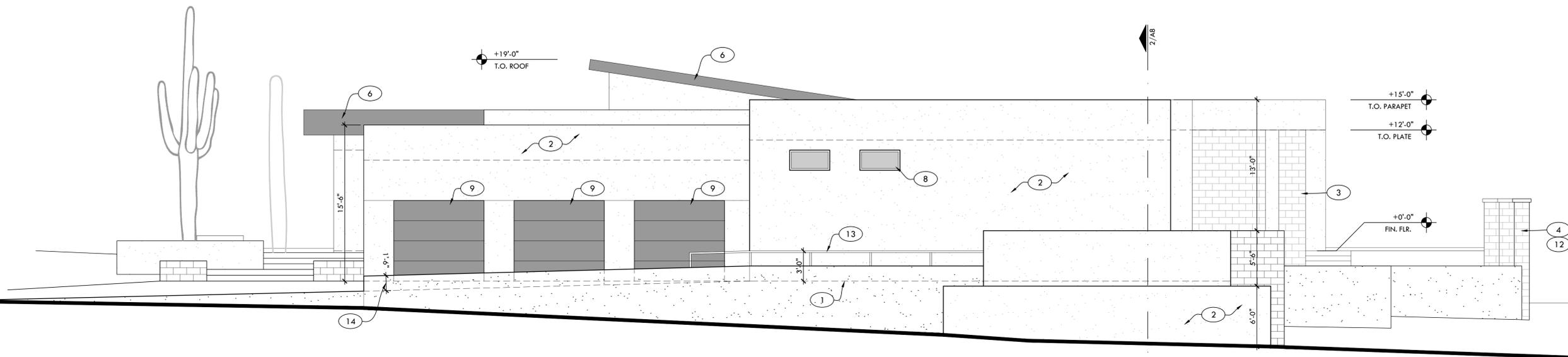
A6
Elevations

Keynotes

1. Finished floor beyond.
2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3. Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4. CMU wall / planter. Color: Gray block, integral color, LRV <38.
5. Standing seam metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6. Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7. Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8. Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9. Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10. Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11. Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.
12. Water feature. Color: Gray block, integral color, LRV <38.
13. Metal guardrail (open/view) adjacent to walkway with fall hazard. 42" max height. Color: Dunn Edwards Custom Black, LRV 10.
14. 18" max height driveway retaining wall.



Side (West) Elevation .3
3/16" = 1'-0"



Side (East) Elevation .4
3/16" = 1'-0"



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Charles Drive Residence
4606 E. Charles Dr.
Paradise Valley, AZ 85253

DATE:	1/28/19
SCALE:	As Noted
DRAWN:	JPL
JOB:	18-99
SHEET:	

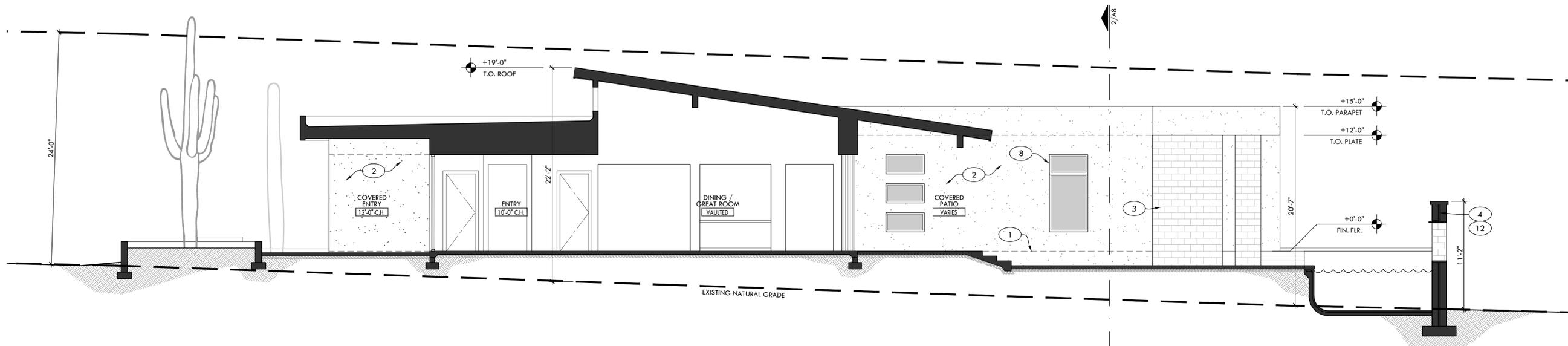
A7

Elevations

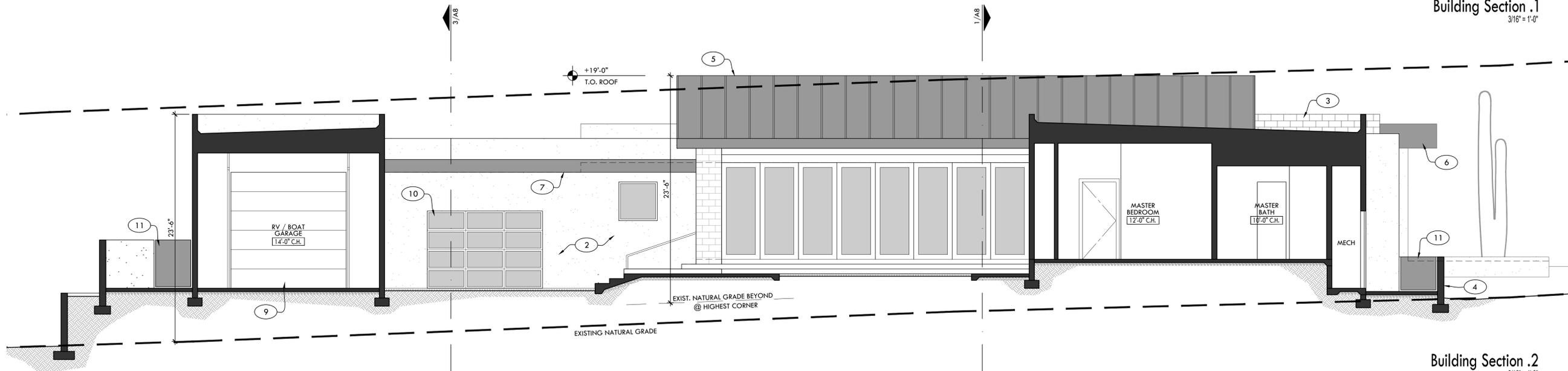
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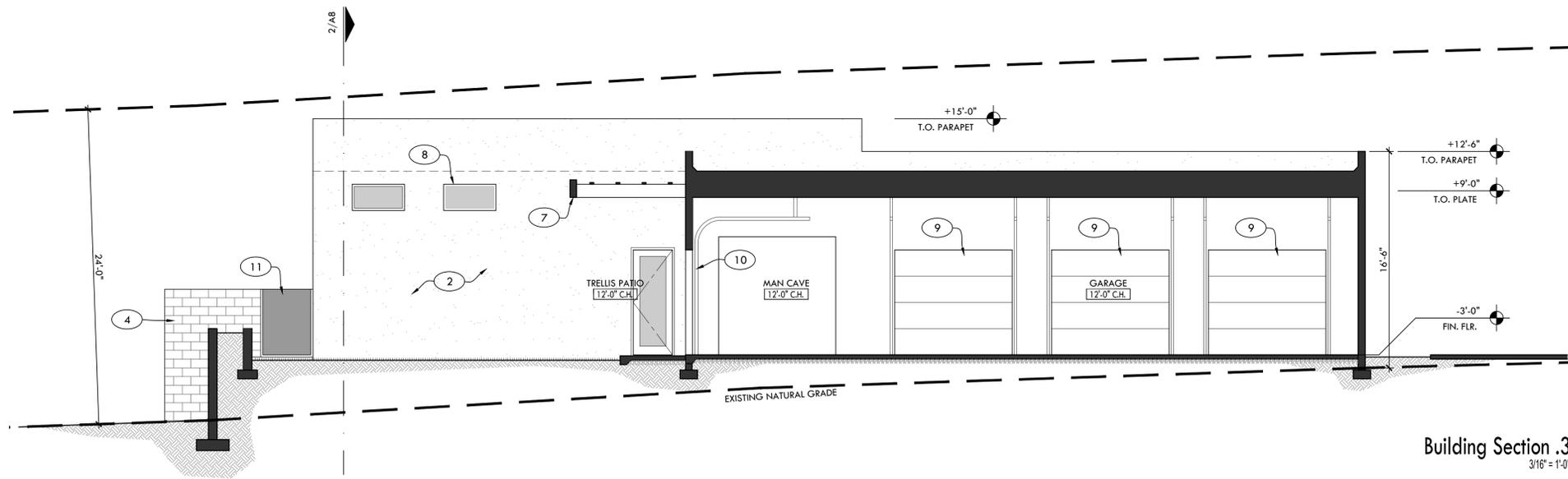
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Paradise Valley, AZ 85253



Building Section .1
3/16" = 1'-0"



Building Section .2
3/16" = 1'-0"



Building Section .3
3/16" = 1'-0"

Keynotes

1. Finished floor beyond.
2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3. Superlite CMU veneer, 1XB16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4. CMU wall / planter. Color: Gray block, integral color, LRV <38.
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DATE: 1/28/19

SCALE: As Noted

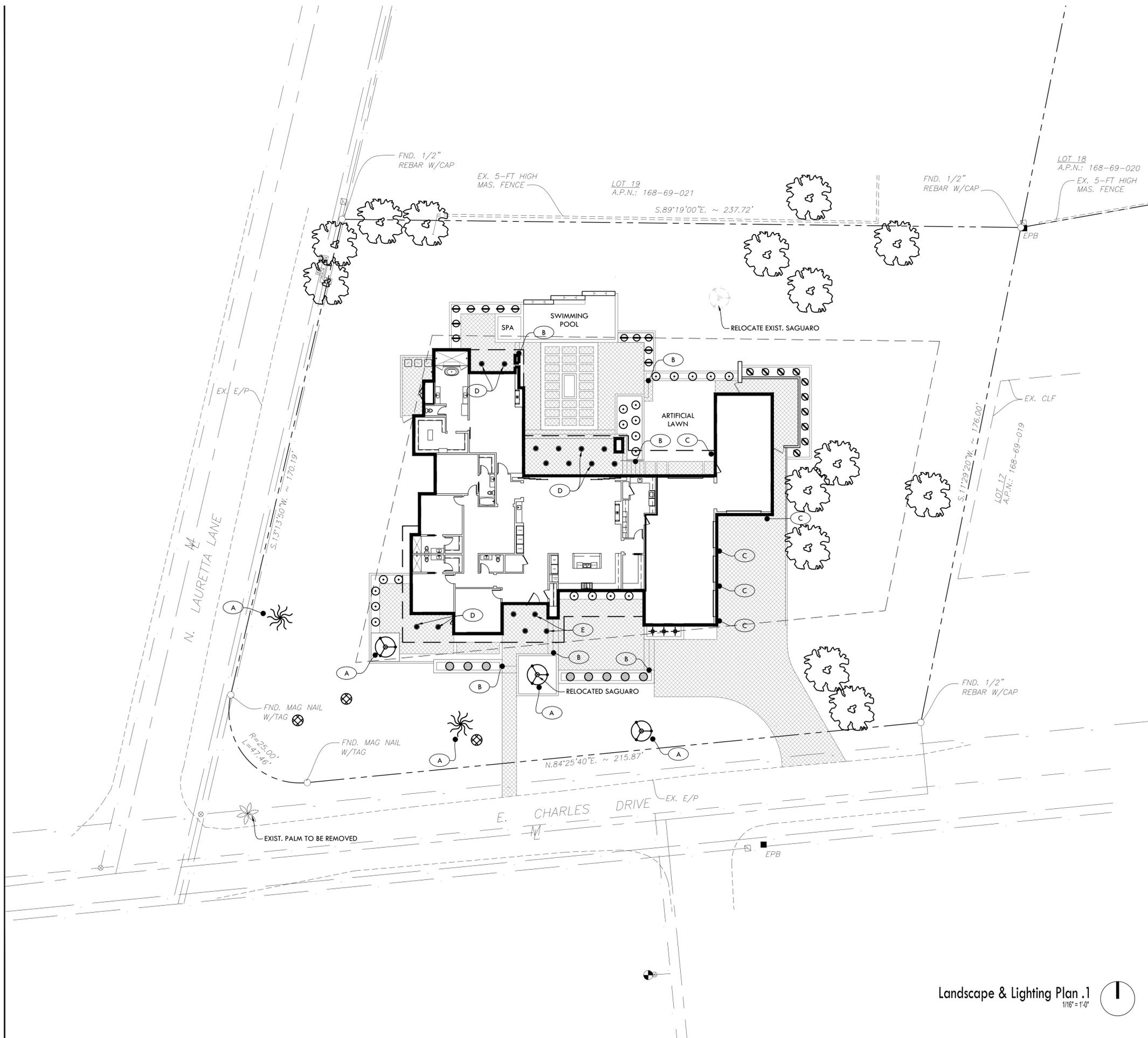
DRAWN: JPL

JOB: 18-99

SHEET:

A8

Cross Sections



Plant Legend

TYPE	QTY	SIZE
Existing Tree (Various)	-	-
Existing Saguaro	3	-
Existing Ocotillo	2	-
Existing Cactus (Various)	-	-
Silver Torch Cactus <i>Cleistocactus strausii</i>	3	3 gal
Golden Barrel <i>Echinocactus grusonii</i>	8	3 gal
Deergrass <i>Muhlenbergia rigens</i>	20	3 gal
Firestick Cactus <i>Euphorbia tirucalli 'Rosea'</i>	10	3 gal
Octopus Agave <i>Agave vilmoriniana</i>	12	3 gal

Legend

Hardscape - Patios, Walkways, Driveway

Lighting Legend

Refer to cut sheets on A10 for more info.

TYPE	QTY	LUMENS (EA.)	COLOR TEMP.
A. Landscape Uplight	5	135	2700k
B. Step Light	6	240	2700k
C. Wall Sconce	5	500	2700k
D. Recessed Can Light (w/ 45 degree cutoff)	16	630	2700k



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A9

Landscape / Lights

Landscape & Lighting Plan .1
1/16" = 1'-0"

H4 LED Downlight Series 2nd Generation - LED Light Engines

The Halo H4 LED is a family of 4" aperture recessed downlights with H457 series housings designed for use with Halo EL406 Series LED Light Engines and compatible TL4 and TLS4 Series LED trims. Halo H4 LED housings have integral LED drivers that offer dimming as a standard feature.

Halo H4 LED is a three part system: EL406 Light Engines, with TL4/ TLS4 trims and H457 housings. H4 LED 2nd Generation features 90 CRI color rendering index and offers a superior optical design that yields productive beam lumens, good cutoff and low glare.

DESIGN FEATURES

MECHANICAL

- (A) Upper Heat Sink
 - Durable extruded aluminum construction.
 - Conducts heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments.
- (B) Lower Heat Sink
 - Durable die-cast aluminum construction.
 - Precision keyed flange designed to lock with matching keyed slots in H4 trim rings.
 - Works in conjunction with the upper heat sink for heat conduction away from the LED

MOUNTING

- (C) Friction Blades
 - Precision formed stainless steel spring blades provide retention of the EL406 series of light engines in the H457 series housings.
 - Friction blade design allows the light engine to be installed in any position within the housing aperture (360 degrees).

ELECTRICAL

- (D) LED Connection
 - LED connector is non-screw base offering easy installation with the H457 Series housings.
 - LED connector is compliant with high-efficiency luminaire code requirements as a non-screw base socket.
 - Separate grounding cable included to the housing during installation.

COLOR SPECIFICATION & QUALITY STANDARDS

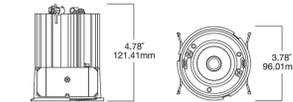
- Halo employs a tight chromaticity specification and LED color binning process to ensure LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) consistency over the useful life of the LED
- Halo H4 LED chromaticity specification is SDCM initial and SDCM at rated life, which exceeds ENERGY STAR® SSL color standards (as per ANSI 78.377-2008).
- Every Halo LED Module is quality tested and performance measured on the production line, and serialized to register lumens, wattage, CRI and CCT
- Halo LED's serialized testing and measurement process further ensures color and lumen consistency to meet stringent Cooper Lighting specifications and exceed ENERGY STAR® SSL standards
- Halo LED Modules and light engines include color designation in the model number

QUALIFICATION

- Halo LED offers the choice of four correlated color temperatures: 2700K, 3000K, 3500K, 4000K
- 90 CRI
- LED package consisting of an engineered array of multiple LEDs to create one virtual source, for a productive "cone of light"
- Designed for interchangeable trim choices, with selection from multiple reflector, baffle, and lens trim options
- H4 LED Light Engines are ENERGY STAR® Qualified as used with designated LED trims*
- Can be used to meet State of California Title 24, and International Energy Conservation Code - IECC, High Efficacy requirements when used with designated LED trims*
- LED emits no ultraviolet and only minimal infrared wavelengths
- ROHS compliant

H4 LED Downlight 2nd Generation 2700K, 3000K, 3500K, 4000K

4-Inch LED Light Engine FOR USE WITH H457 Series 4" LED Housings 90 CRI High Efficacy LED



TD518269EN
July 27, 2017 2:50 PM

Energy Data / Non-IC Housings

- Minimum operating temperature: -30°C / -22°F
- EMF/RFI Emissions FCC/CFR Part 18, Consumer Limits
- Sound rating: Class A standards
- Input voltage: universal 120V - 277V
- Power factor: >0.90
- Input frequency: 50/60Hz
- THD: <-20%
- Input power: 13.0 W
- Input current: 121mA
- Dimmable:
 - 120V leading edge (LE) and trailing edge (TE) dimmers
 - 0-10V controls

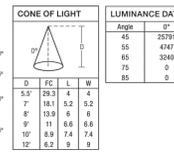
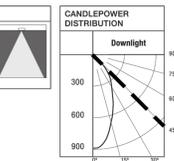
H457TATE010 Non-IC Rated / New Construction

- For non-insulated ceilings
- Insulation must be kept 3" from all sides and top of housing
- AIR-TITE™ meets restricted airflow requirements per ASTM E-283
- Driver: 15W, 120V-277V, 50/60Hz commercial / residential
- EMURFI: Rated for the more stringent FCC Consumer Limits
- Dimmable with most 120V leading edge (LE) and trailing edge (TE) dimmers to 10% (5% on dimmers with low-end trim adjustment)
- Dimmable to 10% with 0-10V DC dimming controls (two low voltage control wires required)
- Dimensions: 5-1/2"L x 8"W x 5-1/2"H (with 1/2" plaster lip) - Ceiling outlet: 4-1/2"

EL406930-TL406 TBZS (BRONZE)

Test Number	F123702
LED Module	EL406930
Trim	4" Specular Clear Reflector w/ Satin® Glass Lens
Lumens	58.2 lumens
SC	0.75 / 0.75 / 0.84

***45-DEGREE CUTOFF**



Angle	Beam Diameter (ft)	Beam Diameter (in)	Beam Diameter (mm)
15°	1.45	17.4	441
30°	2.9	34.8	882
45°	4.35	52.2	1323
60°	5.8	69.6	1764
75°	7.25	87.0	2205
90°	8.7	104.4	2646

H4 LED 2nd Generation Downlight Collection - Lumen and Compliance Summary

H4 LED Downlight Collection	ELG406927 - 2700K				ELG406930 - 3000K				ELG406935 - 3500K				ELG406940 - 4000K			
	LUMENS	ENERGY STAR (l)	ENERGY STAR (2)	ENERGY STAR (3)	LUMENS	ENERGY STAR (l)	ENERGY STAR (2)	ENERGY STAR (3)	LUMENS	ENERGY STAR (l)	ENERGY STAR (2)	ENERGY STAR (3)	LUMENS	ENERGY STAR (l)	ENERGY STAR (2)	ENERGY STAR (3)
Trim Type	STAR (1)	STAR (2)	T24 (3)	W50C (4)	STAR (1)	STAR (2)	T24 (3)	W50C (4)	STAR (1)	STAR (2)	T24 (3)	W50C (4)	STAR (1)	STAR (2)	T24 (3)	W50C (4)
Satin® Glass Lens Reflector	710	Yes	Yes	Yes	770	Yes	Yes	Yes	780	Yes	Yes	Yes	860	Yes	Yes	Yes
Specular Clear Reflector	TL4025CS															
Satin® Glass Lens Head Reflector	740	Yes	Yes	Yes	810	Yes	Yes	Yes	820	Yes	Yes	Yes	900	Yes	Yes	Yes
Satin® Glass Lens White Reflector	TL4029WS															
Satin® Glass Lens White Baffle	TL4033WS															
Satin® Glass Lens Specular Black Reflector	TL4025BS															
Satin® Glass Lens Satin Nickel Reflector	TL4025NS															
Tuscan Bronze Reflector	TL4027BS															
Satin® Glass Lens Black Baffle	TL4038BS															

HINKLEY & R.

HINKLEY LIGHTING, INC.
33200 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 440.653.5500 | (F) 440.653.5555
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



LUNA LED STEP 120V 58504BZ	
BRONZE	
WIDTH	3.0"
HEIGHT	4.5"
WEIGHT	0.7 LBS
MATERIAL	ZINC-ALUMINUM ALLOY
SOCKET	4W LED (INCLUDED)
LED INFO:	
LUMENS	240
COLOR TEMP.	2700K
CRI	90
INCANDESCENT EQUIVALENCY	1 x 20W
DIMMABLE	Yes, on any Incandescent, MLV, ELV, or CL dimmer.
NOTES	INDOOR/OUTDOOR USE.
EXTENSION	0.5"
CERTIFICATION	C-US WET RATED
VOLTAGE	120V
UPC:	640665585032

B. Step Light

HINKLEY & R.

HINKLEY LIGHTING, INC.
33200 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 330.653.5500 | (F) 440.653.5555
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

Large Wall Mount Lantern 1664SK 6Z (BRONZE)

ITEM NUMBER	1664SK
BRAND	Hinkley Lighting
MATERIAL	Extruded Aluminum
GLASS	Etched Glass Lens
HEIGHT	24.0"
WIDTH	9.0"
VOLTAGE	120V
WATTAGE	2-20w GU10 *Included
CERTIFICATION	C-US Wet Rated
<ul style="list-style-type: none"> Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky. Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act. For complete warranty information visit (hyperlink) 2 year finish warranty 12 year warranty on electrical wiring and components Bold lines and a clean, minimalist style complement contemporary architecture Striking black finish enhances design 	
FINISH	BRONZE

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR LIFE AGLOW!

S9382

6.5MR16/LED/40°/27K/120V/GU10
6.5 watt; LED MR16 LED; 2700K; 40° beam spread; GU10 base; 120 volts

- Features
 - Solid State LED lighting
 - High Efficacy
 - Long life
 - Dimmable
 - UL approved for totally enclosed fixtures



Item Number	UPC	Voltage	Watts	Incandescent Equivalent	Power Factor	Lamp Shape	Base
S9382	045923093821	120	6.5	50W	0.92	MR16	GU10
Lamp Code	Dimmable/Non-Dimmable	Suggested Dimmers	MOL In Inches	MOD In Inches	Initial Lumens	Average Rated Hours	Kelvin Temp
6.5MR16/LED/40°/27K/120V/GU10	Dimmable	Compatible dimmers for S9382	2-3/16"	2.00"	500	25000	2700
Color	CRI	Beam Spread Deg	Operating Temperature	Pack	Package Type	RoHS Compliant	UL or ETL Listed
Warm White	80	40	-25C (-13F) to a maximum of +45C (+113F)	48/12	Box	Yes	Yes
Warranty: 5 Year Limited - 10 hour use per day							

C. Sconce

NP Up Light SPECIFICATIONS

NP-BL (BRONZE METALLIC), >150 LUMENS, 2700K

Output	1LED	3LED	6LED	9LED	ZDC
Total Lumens †	50	135	280	360	110
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W):	2.0	4.2	10.1	11.2	9.1
VA	2.4	4.5	13.5	13.5	11.0
Efficacy (Lumens/Watt)	25	32	27	32	21
Color Rendering Index (CRI)	67	68	80	68	82
Center Beam Candlepower*					
Spot (17'-20')	232	464	1069	897	172
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	---
RGBW Available	No	No	No	No	Yes
Luxor Compatibility					
Default	Zoning	Zoning	Zoning	Zoning	---
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	---
ZDC Option	---	---	---	---	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs				

FX Luminaire

FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of highly efficient lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Die-cast aluminum A380 housing and shroud with stainless steel hardware. Die-cast zinc/aluminum alloy knuckle.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable. The LEDs are rated to 50,000 hrs. Maximum drive current: 1A.

Optics

Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (pre-installed), 3,000K (no lens), 4,500K, and 5,200K. Interchangeable optics for 10°, 20°, 30°, 32°, or 55°-58° distributions ordered pre-assembled to fixture. Color temperature and beam angle lenses field serviceable. For additional color filters, spread lenses, heat baffles, etc., use MR-16 sized accessories (MR-16: 1.95"/48.5mm dia. x 1.1mm thickness). Beam angle is calculated using LM-79 method for SSL luminaires.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Wiring
18 AWG SPT-1W 105°C 300V 1.5 meter length, pre-stripped

Power
Input: 10-15VAC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing
Die-cast aluminum housing with capacity for 1LED, 3LED, 6LED, 9LED, or ZDC integrated LEDs.

Shroud

Die-cast aluminum shroud with 45° cutoff (standard) or 60° long shroud option.

Knuckle
Die-cast zinc/aluminum alloy knuckle with 1/4-14 NPSM threads. Compress and lock features prevent slip after installation. 3+ increments adjustability over 220° of vertical adjustment.

Lens
Tempered glass lens with shock resistance and high tolerance for thermal expansion and stress.

Finish
Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight
1.9 lbs.

Hardware
1/4-20 x 1/2" stainless steel angle lock screw. Includes Super Slot Spike.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 when used with International Spike Kit ("EXTRA SPIKE") or alternate mount greater than or equal to IP65, or by selecting the "c" version.

Ambient Operating Temperature

0°F to 140°F

Control
LuxorZD or LuxorZDC utilizes Luxor® technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming/color. Standard fixture is zoneable with LuxorZD or LuxorZDC.

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for installation in the upward direction only.

ISO
9001:2015 certified facility

Warranty
10-year limited warranty

Listings
UL LISTED, ENEC, CE, RoHS, IP65

FX Luminaire.

LED Accent Lights

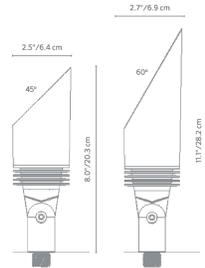


NP Up Light DESIGNER PLUS

Expertly engineered with 45° or 60° shroud options to illuminate a variety of spaces in 1, 3, 6, or 9 LED. An RGBW version is also available for use with LuxorZDC systems.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- ProAim® adjustability
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

D. Recessed Can Light



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A10
Lighting Cut Sheets