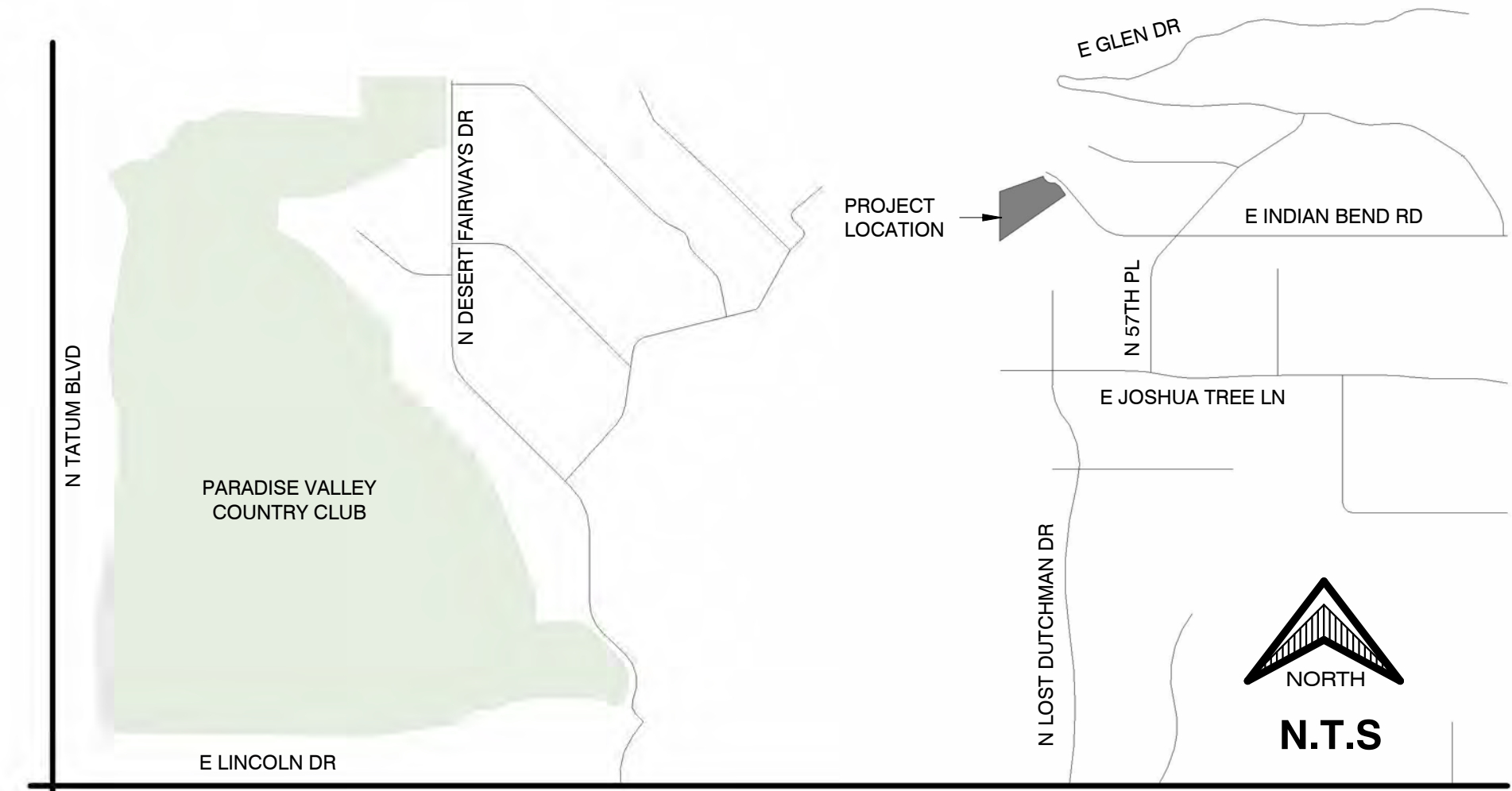




*RENDERING REPRESENTS AN ARCHITECTURAL CONCEPT AND IS INTENDED AS AN ILLUSTRATIVE EXAMPLE ONLY. FINAL DESIGN, CONSTRUCTION AND MATERIALS, INCLUDING LANDSCAPE, MAY VARY.

LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025



SHEET INDEX

- H0.00 COVER PAGE
- H1.01 ARCH. SITE PLAN
- H1.02 ARCH. SITE PLAN OVERLAY
- H1.03 ARCH. SITE PLAN OVERLAY - EXTERIOR IMPROVEMENTS
- H1.04 SITE PHOTOS
- H1.05 FLOOR PLAN - LOWER LEVEL
- H1.06 FLOOR PLAN
- H1.07 FLOOR PLAN - LOWER LEVEL CUT/FILL
- H1.08 FLOOR PLAN - MAIN LEVEL CUT/FILL
- H1.09 LOWEST P.O.I. DIAGRAM
- H1.10 3D TOPO OFFSET DIAGRAM
- H1.11 EXTERIOR RENDERING - AERIAL
- H1.12 EXTERIOR RENDERING - AERIAL
- H1.13 EXTERIOR RENDERING - AERIAL
- H1.14 EXTERIOR RENDERING - ELEVATION
- H1.15 EXTERIOR RENDERING - ELEVATION
- H1.16 EXTERIOR RENDERING - ELEVATION
- H1.17 EXTERIOR RENDERING - ELEVATION

NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

STRATTON
ARCHITECTS

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ZONING

R-43

LEGAL ADDRESS

5625 E INDIAN BEND RD PARADISE VALLEY 85253

APN

169-55-002A

NET SITE AREA

52,356 SF

CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

COVER PAGE

H0.00

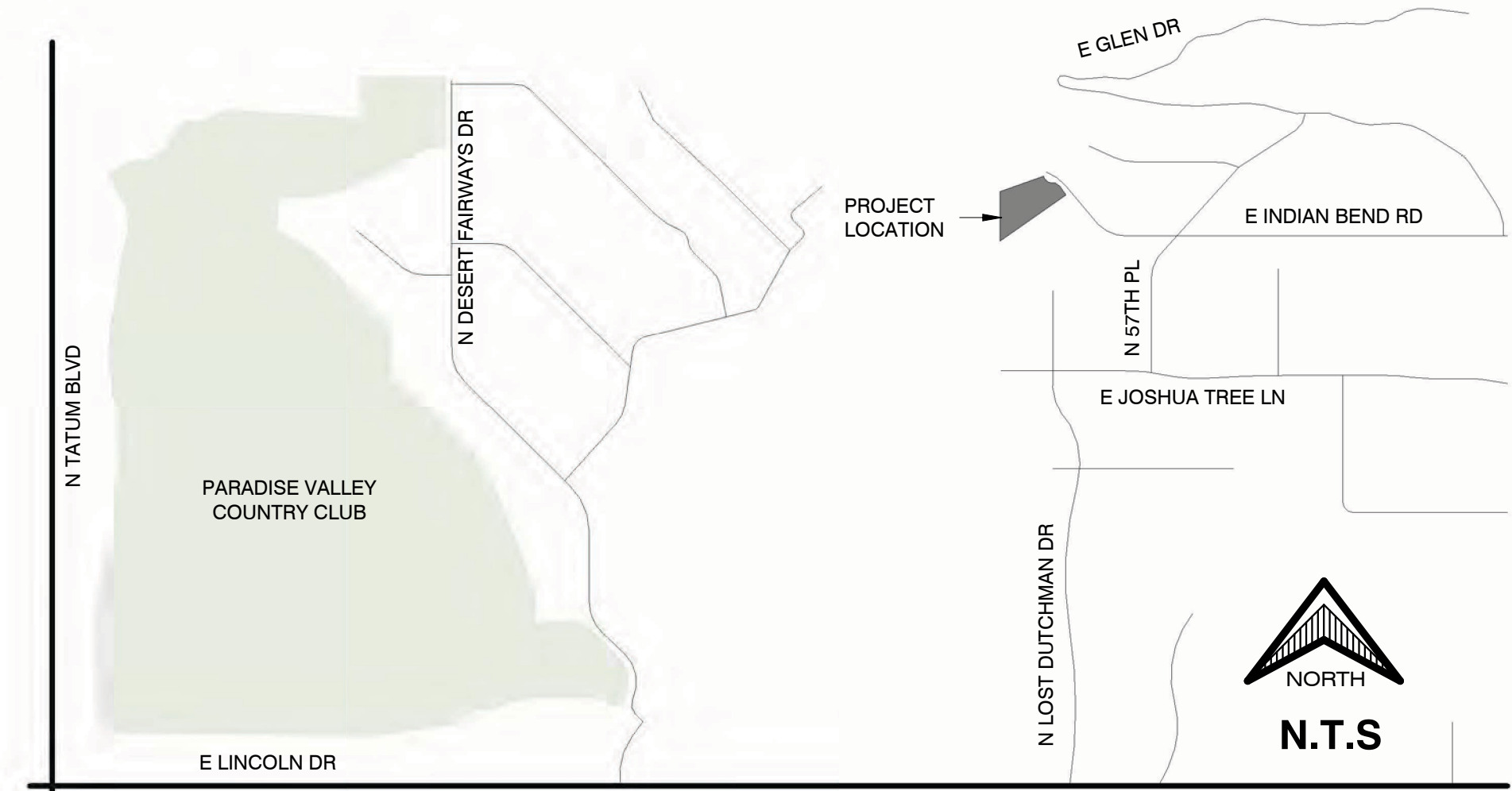
OF SHEETS



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LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025



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NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

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ZONING

R-43

LEGAL ADDRESS

5625 E INDIAN BEND RD PARADISE VALLEY 85253

APN

169-55-002A

NET SITE AREA

52,356 SF

CONCEPTUAL HILLSIDE

DATE 10.24.2025

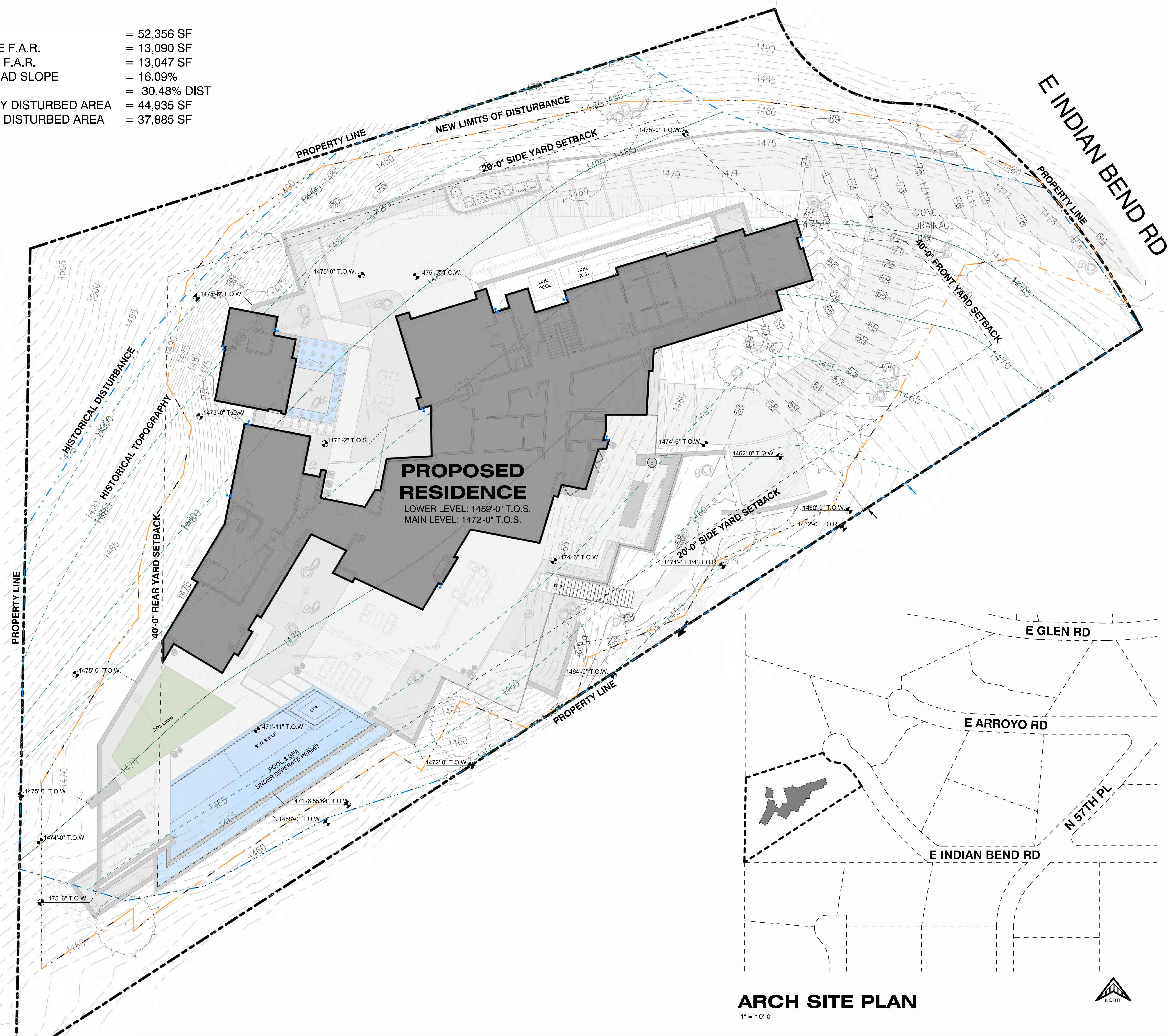
REV.

COVER PAGE

H0.00

OF SHEETS

LOT SIZE = 52,356 SF
ALLOWABLE F.A.R. = 13,090 SF
PROPOSED F.A.R. = 13,047 SF
BUILDING PAD SLOPE = 16.09%
CATEGORY = 30.48% DIST
PREVIOUSLY DISTURBED AREA = 44,935 SF
PROPOSED DISTURBED AREA = 37,885 SF



**STEWART
RESIDENCE**

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PARADISE VALLEY 85253
Project No.25-05

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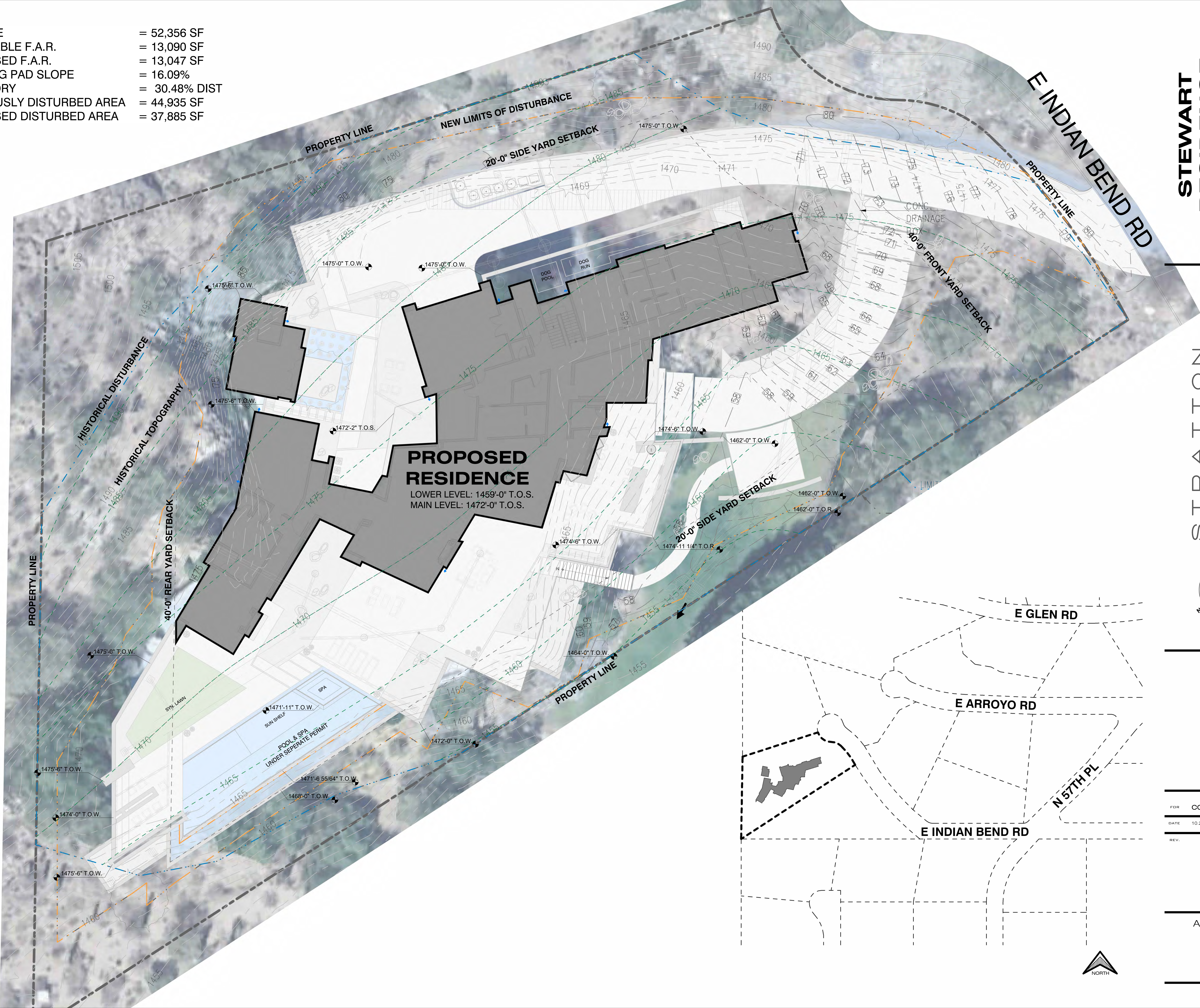
FDR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

ARCH. SITE PLAN

H1.01

OF SHEETS

LOT SIZE = 52,356 SF
ALLOWABLE F.A.R. = 13,090 SF
PROPOSED F.A.R. = 13,047 SF
BUILDING PAD SLOPE = 16.09%
CATEGORY = 30.48% DIST
PREVIOUSLY DISTURBED AREA = 44,935 SF
PROPOSED DISTURBED AREA = 37,885 SF



**STEWART
RESIDENCE**

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Project No.25-05

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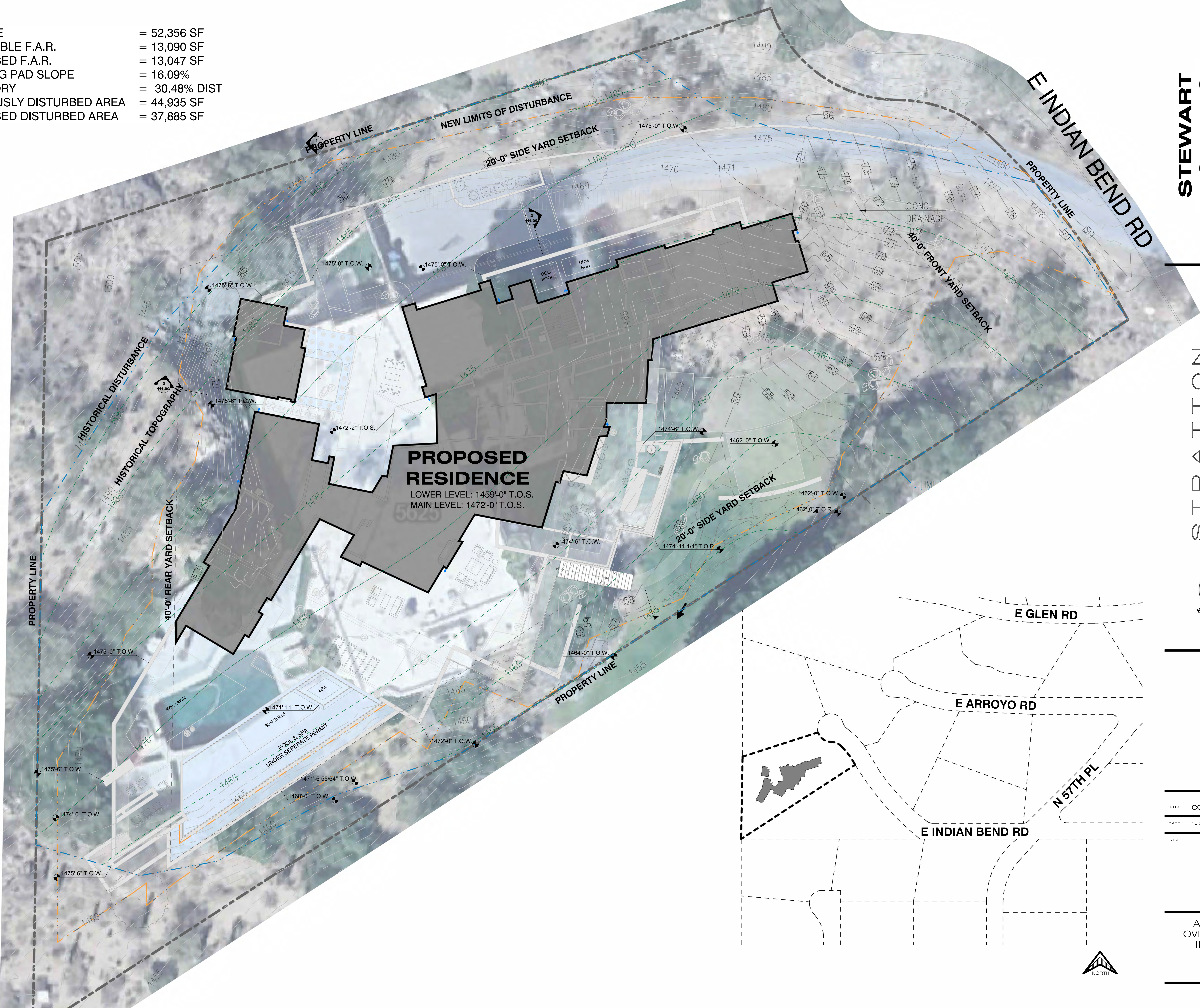
FDR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

ARCH. SITE PLAN
OVERLAY

H1.02

OF SHEETS

LOT SIZE = 52,356 SF
ALLOWABLE F.A.R. = 13,090 SF
PROPOSED F.A.R. = 13,047 SF
BUILDING PAD SLOPE = 16.09%
CATEGORY = 30.48% DIST
PREVIOUSLY DISTURBED AREA = 44,935 SF
PROPOSED DISTURBED AREA = 37,885 SF



**STEWART
RESIDENCE**

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Project No.25-05

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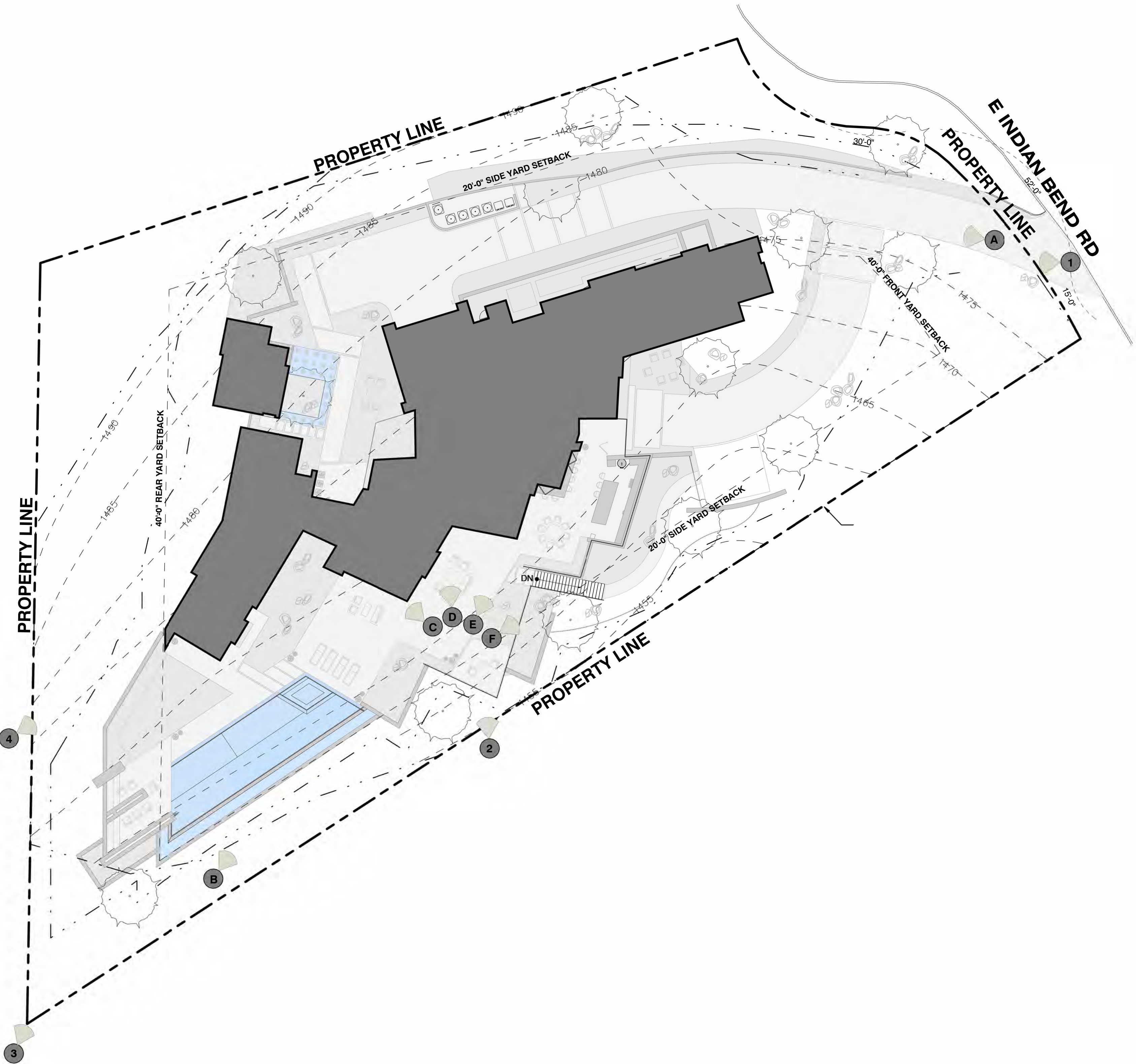
FDR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

ARCH. SITE PLAN
OVERLAY - EXTERIOR
IMPROVEMENTS

H1.03

OF SHEETS

SITE PHOTOS



ARCHITECTURAL SITE PLAN SITE CONDITIONS

1" = 20'-0"

A



B



C



D



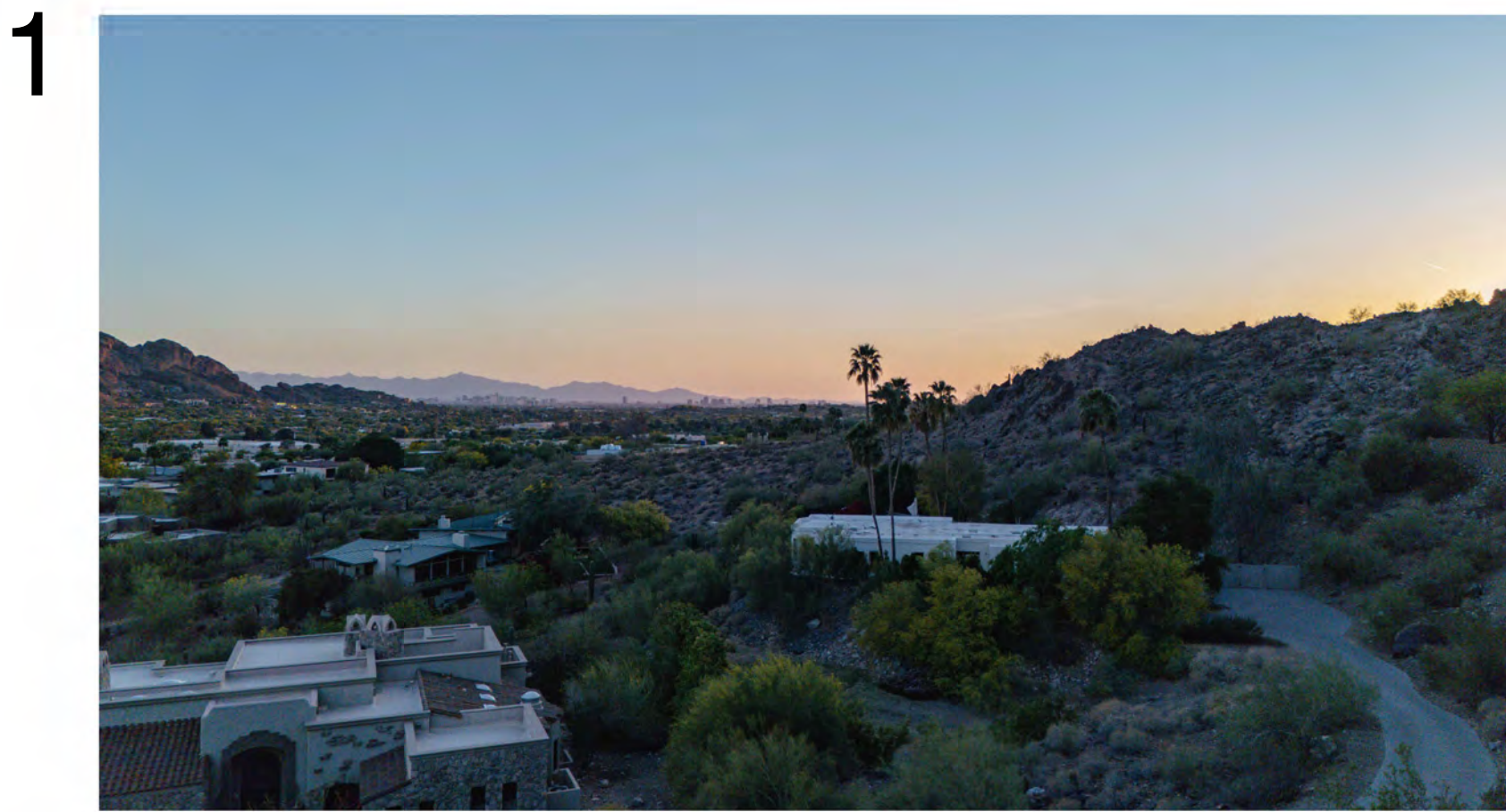
E



F



AERIALS



STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

STRATTON
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FOR CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

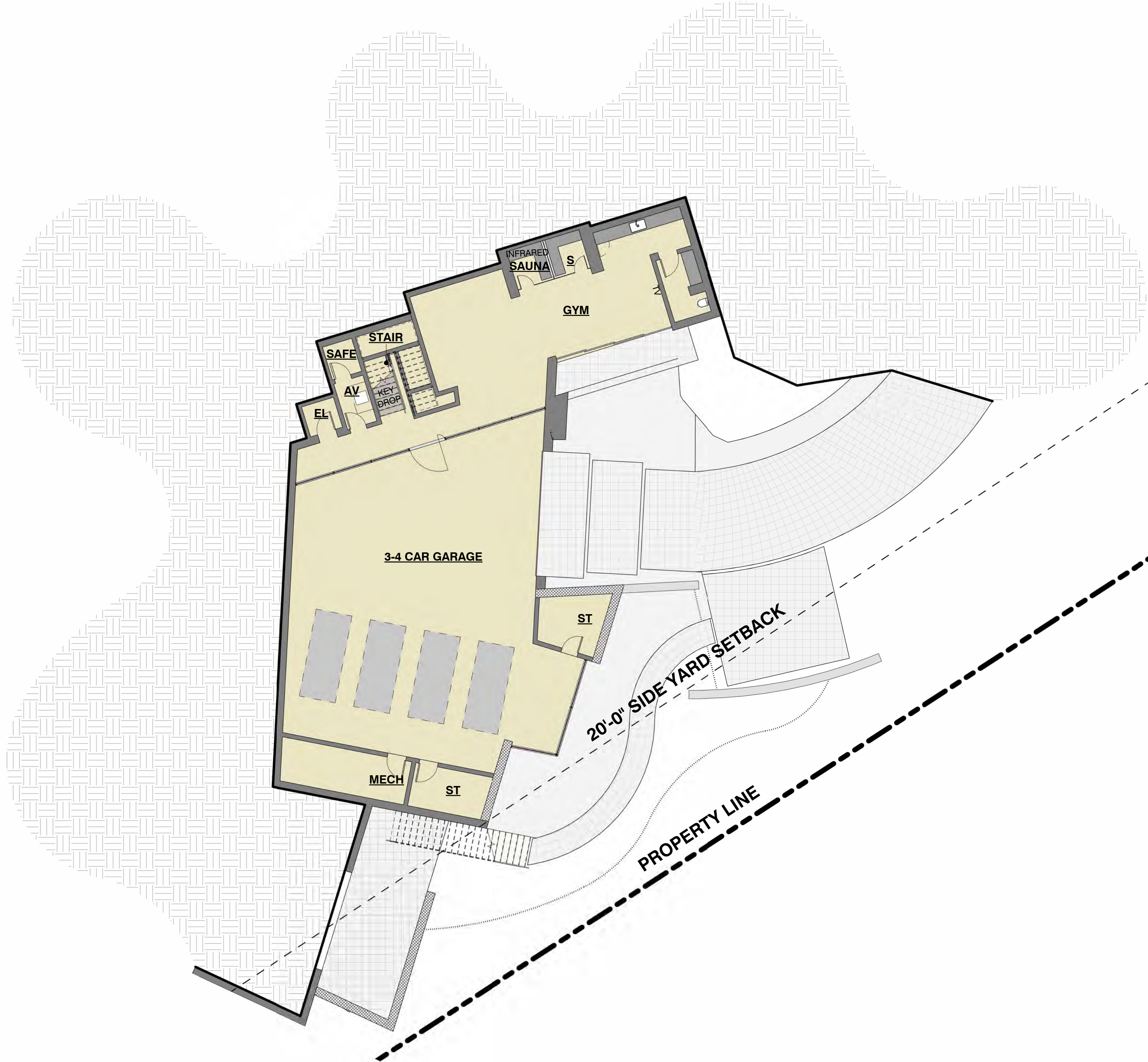
SITE PHOTOS

H1.04

OF SHEETS

LOWER LEVEL

3/32" = 1'-0"



STEWART
RESIDENCE

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Project No.25-05

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(602) 331-0701



FOR CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

FLOOR PLAN -
LOWER LEVEL

H1.05

OF SHEETS

MAIN LEVEL

3/32" = 1'-0"



STEWART
RESIDENCE

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PARADISE VALLEY 85253
Project No.25-05

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(602) 331-0701



FDR CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

FLOOR PLAN

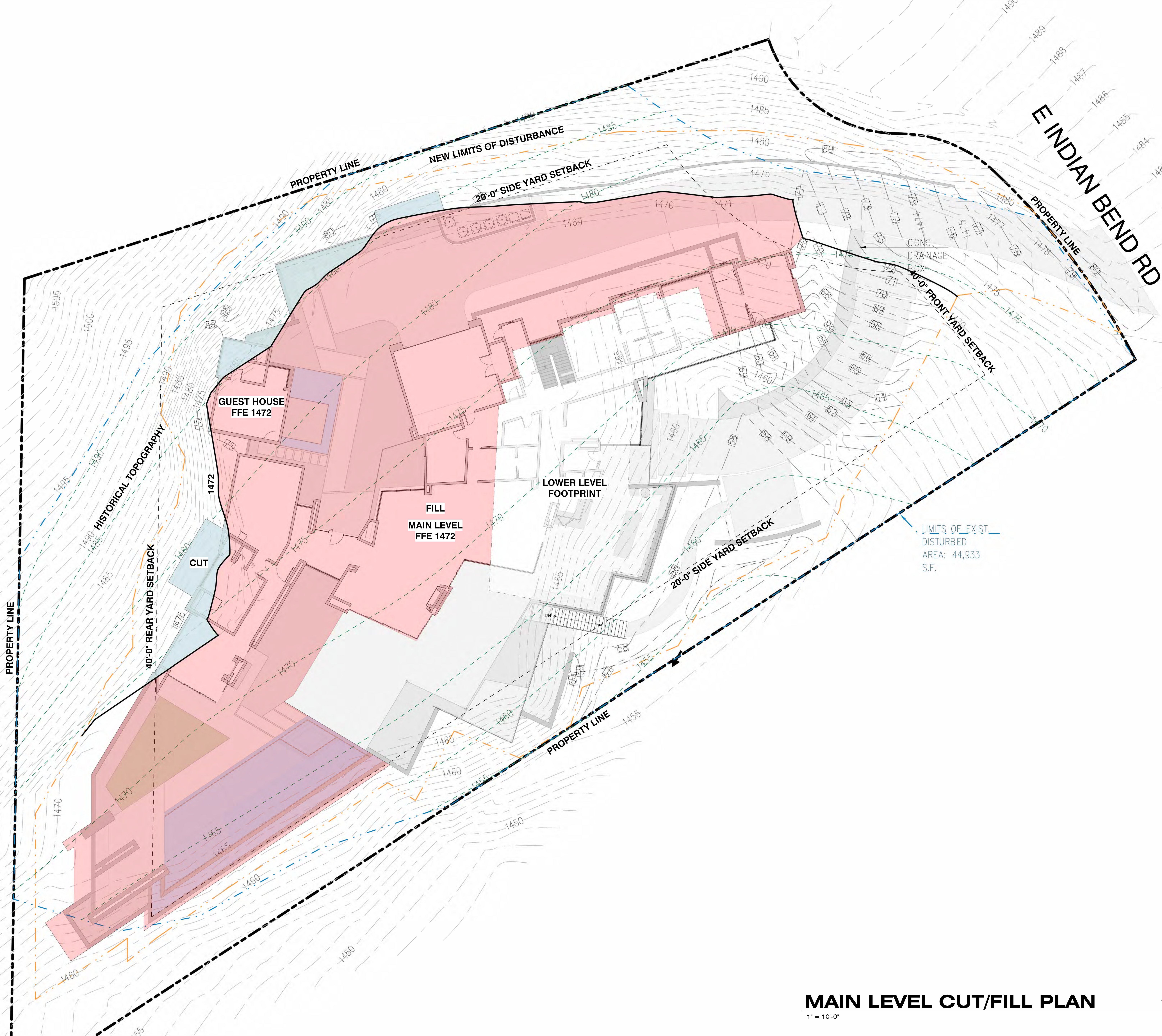
H1.06

OF SHEETS


$$1^{\text{st}} = 10^{\text{th}} - 0^{\text{th}}$$

25-05

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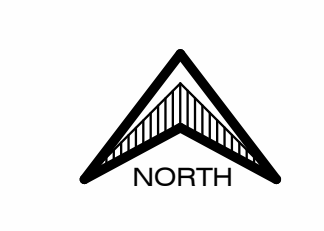


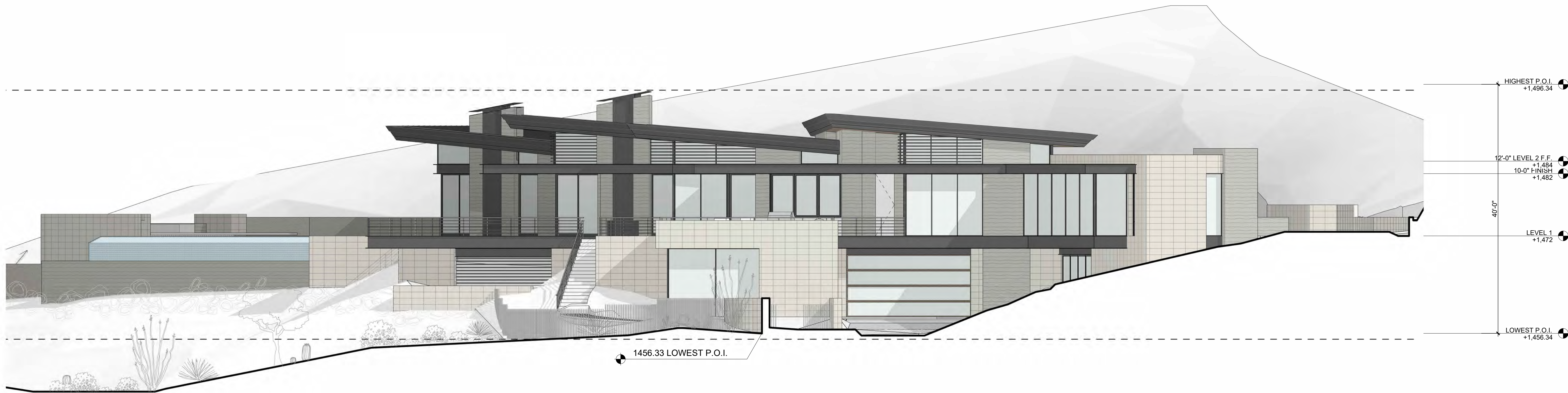
FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

FLOOR PLAN - MAIN
LEVEL CUT/FILL

H1.08
OF SHEETS

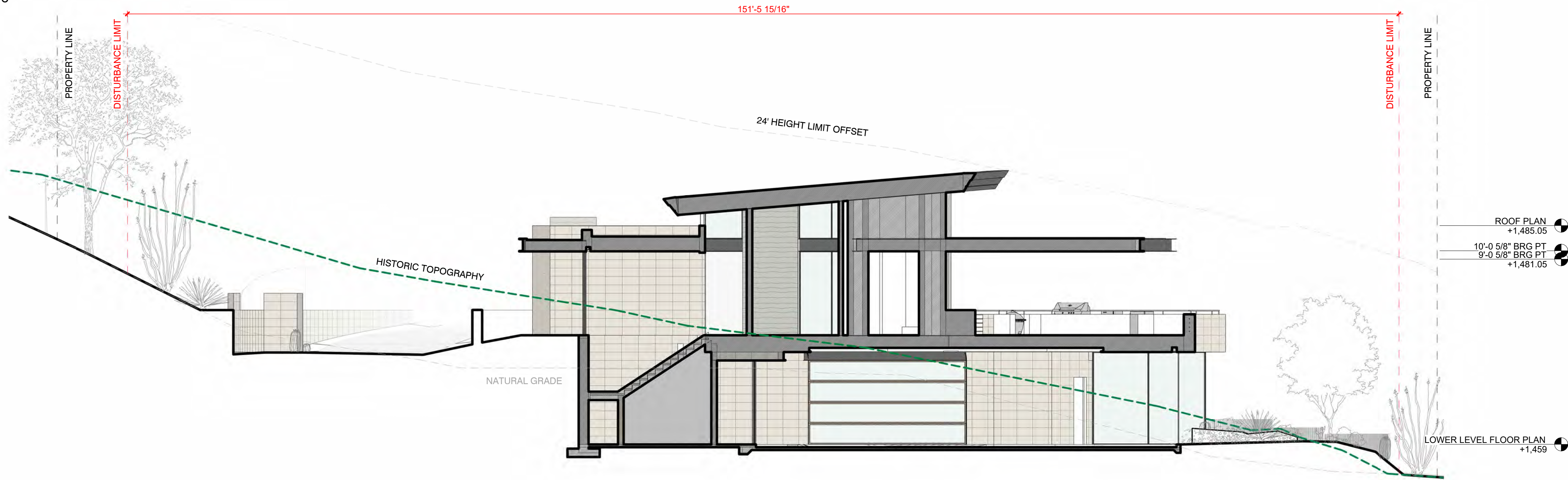
MAIN LEVEL CUT/FILL PLAN
1" = 10'-0"





FRONT ELEVATION - POINT OF IMPROVEMENT DIAGRAM

1/8" = 1'-0"

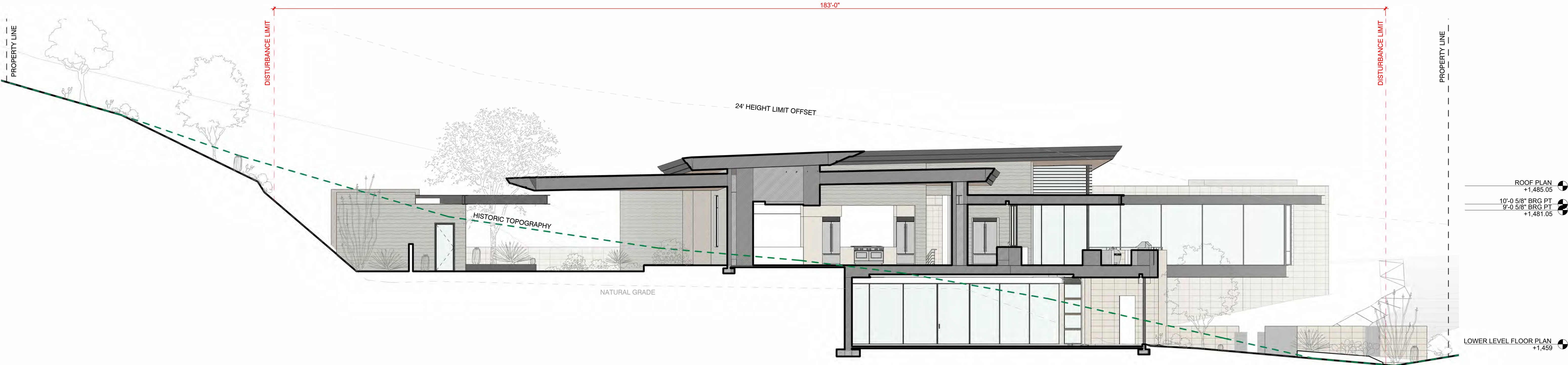


MATERIAL LEGEND

- EXPOSED STRUCTURAL STEEL & FASCIA
COLOR: POWDER COAT - MATTE BLACK
- STUCCO
COLOR: BENJAMIN MOORE - ROCKPORT GRAY
- EXTERIOR STONE VENEER
COLOR: SOLSTICE STONE - MESQUITE BRUSHED
- GLASS
CARDINAL GLASS - CLEAR - LOW E COATING
- 2 1/2"X2 1/2" ECHELON FINISH CONCRETE BLOCK -
COLOR - TRENDSTONE PEARLY WHITE
PATTERN: STACK BOND - RAKE HORIZONTAL
JOINT - FLUSH VERTICAL JOINT
- FRAME CONSTRUCTION
- CMU CONSTRUCTION

BUILDING SECTION 01

1/8" = 1'-0"



BUILDING SECTION 02

1/8" = 1'-0"

STEWART
RESIDENCE

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Project No.25-05

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FDR CONCEPTUAL HILLSIDE

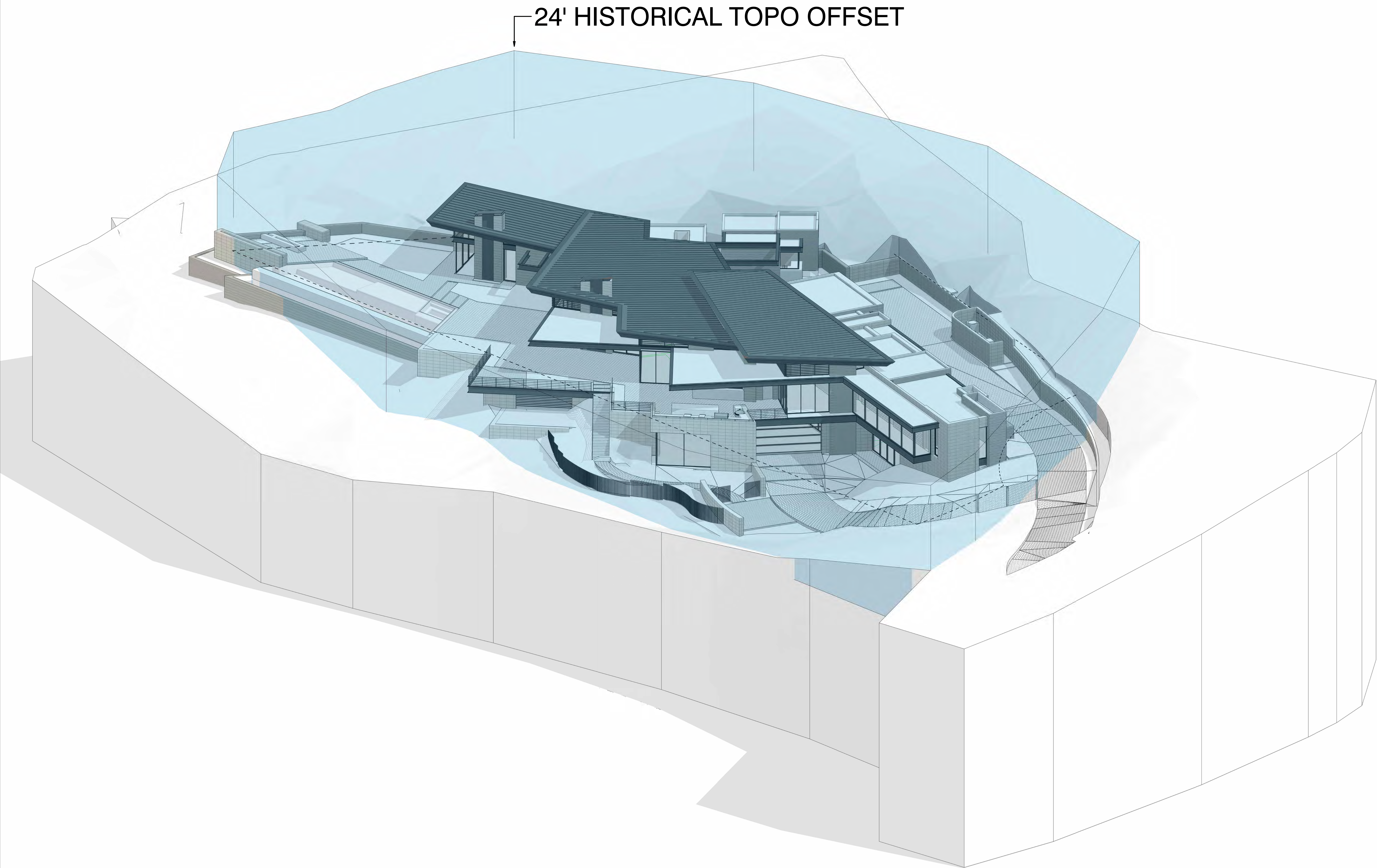
DATE 10.24.2025

REV.

LOWEST P.O.I.
DIAGRAM

H1.09

OF SHEETS



**STEWART
RESIDENCE**

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

3D TOPO OFFSET
DIAGRAM

H1.10
OF SHEETS

3D TOPO OFFSET DIAGRAM





AERIAL VIEW - EAST

STEWART
RESIDENCE

5625 E INDIAN BEND RD
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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

EXTERIOR
RENDERING -AERIAL

H1.11

OF SHEETS



AERIAL VIEW - SOUTHEAST

STEWART
RESIDENCE

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EXTERIOR
RENDERING - AERIAL

H1.12

OF SHEETS



AERIAL VIEW - SOUTH

STEWART
RESIDENCE

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REV.	

EXTERIOR
RENDERING - AERIAL

H1.13

OF SHEETS



ELEVATION - NORTH

STEWART
RESIDENCE

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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.14
OF SHEETS



ELEVATION - EAST

STEWART
RESIDENCE

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FDR	CONCEPTUAL HILLSIDE
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REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.15
OF SHEETS



ELEVATION - SOUTHEAST

STEWART
RESIDENCE

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FDR	CONCEPTUAL HILLSIDE
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REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.16
OF SHEETS



ELEVATION - SOUTH

STEWART
RESIDENCE

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PARADISE VALLEY 85253
Project No.25-05

STRATTON
ARCHITECTS

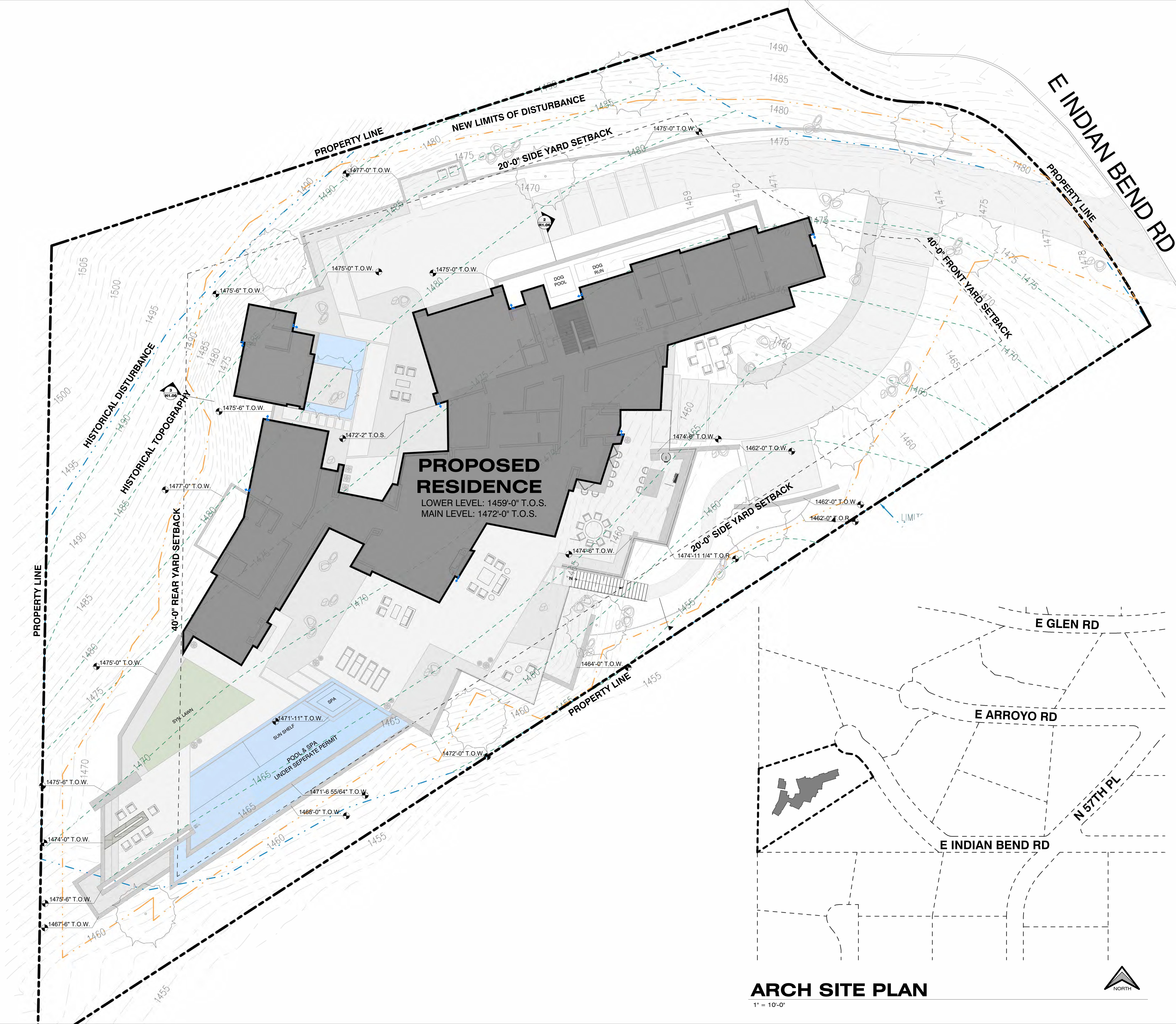
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FDR	CONCEPTUAL HILLSIDE
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REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.17
OF SHEETS



STEWART RESIDENCE

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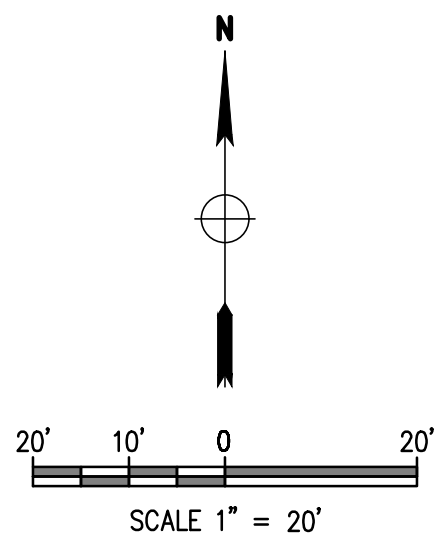
FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

ARCH. SITE PLAN

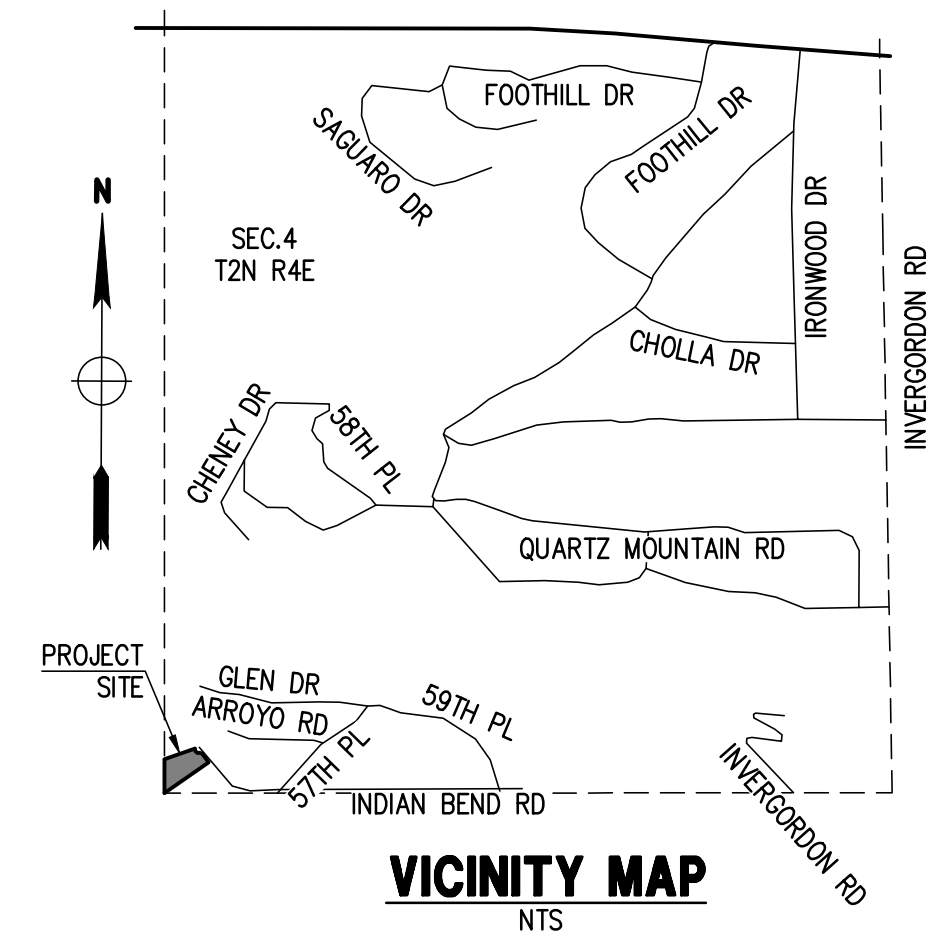
H1.01
OF SHEETS

ARCH SITE PLAN
1" = 10'-0"





BOUNDARY & TOPOGRAPHIC SURVEY
5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2
A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



SITE DATA

APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1.202 AC.)
CONSTRUCTION YEAR: 1967
QS #: 23-41

OWNER

NORMAN TRUST
330 W LAWRENCE RD.,
PHOENIX, AZ 85013

BASIS OF BEARINGS

THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK

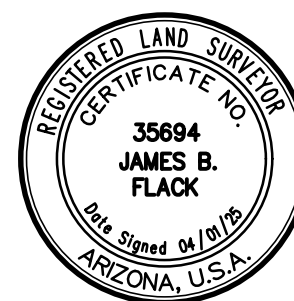
BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01.

GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 91 OF MAPS, PAGE 7 AND WARRANTY DEED REC. IN DOC. 2025-0058574 RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
- BUILDING SETBACKS FOR THIS PROPERTY ARE PER TOWN OF PARADISE VALLEY ZONING CODE. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2025.



04/01/25
DATE

JAMES FLACK, RLS

LEGAL DESCRIPTION

THAT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF LOT 34;

THENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;

THENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND 35, A DISTANCE OF 235 FEET;

THENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAD, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET;

THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, A DISTANCE OF 49.70 FEET TO A P.R.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;

THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C. HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;

THENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

SURVEY REFERENCES

- (R1) RECORDED PLAT PER BOOK 91 OF MAPS, PAGE 7, M.C.R.
- (R2) WARRANTY DEED RECORDED IN DOC. 2025-0058574, M.C.R.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	46.73' (M)
C2	40.00' (M&R2)	30.24' (M&R2)	43°19'11" (M) 43°19'10" (R2)	15.89' (M)	29.53' (M)
C3	200.00' (M&R2)	68.50' (M) 68.60' (R2)	19°37'24" (M) 19°39'10" (R2)	34.59' (M)	68.16' (M)
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	8.08' (C)

LEGEND

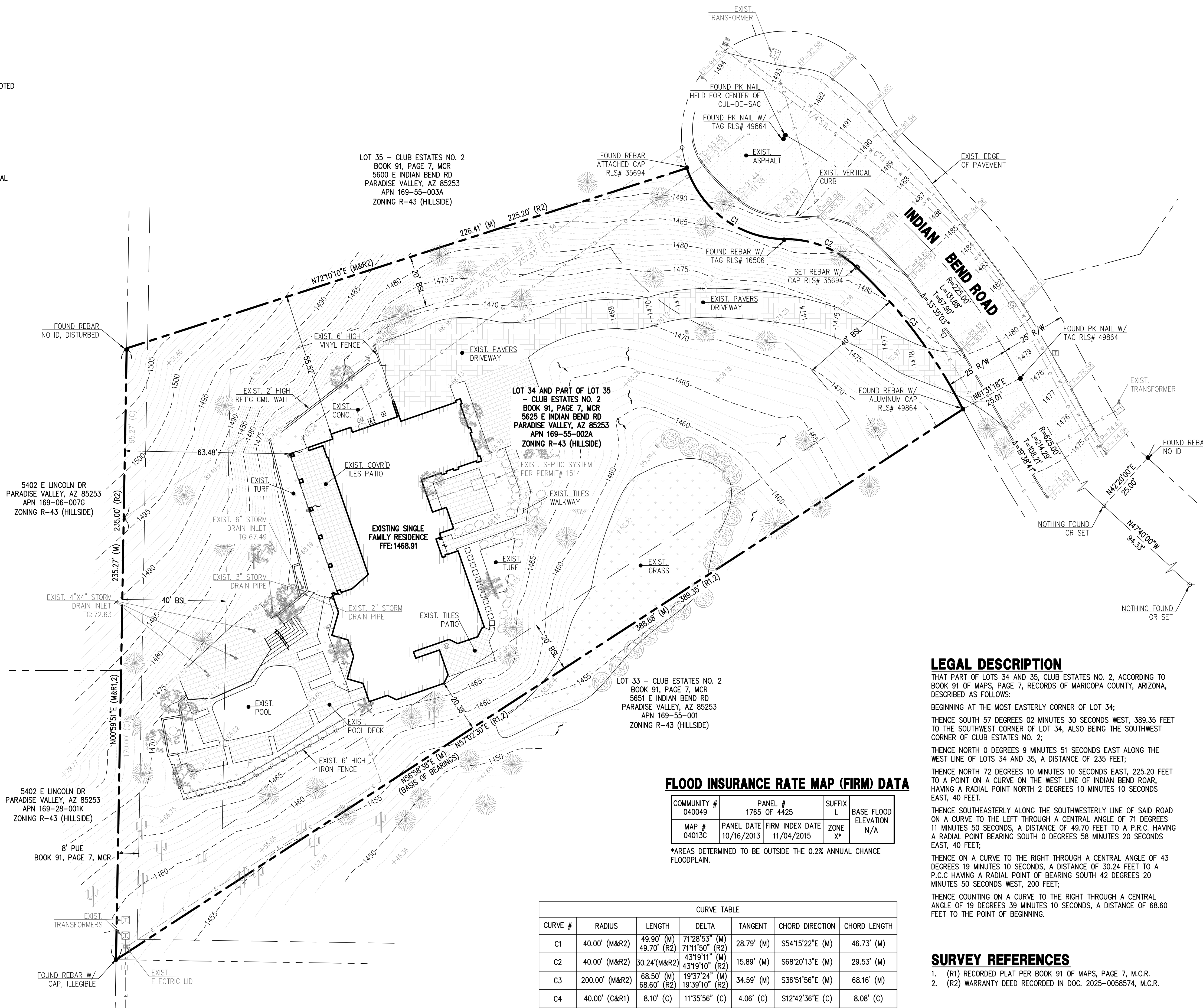
- FOUND REBAR OR AS NOTED
- SET REBAR & CAP OR AS NOTED
- NOTHING FOUND OR SET
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- MAILBOX
- WATER METER
- SEWER CLEANOUT
- TELECOMMUNICATIONS PEDISTAL
- STORM DRAIN INLET
- GAS METER
- GAS TEST VALVE
- ELECTRIC METER
- UTILITY CONTROL BOX
- A/C UNIT
- HOSE BIB
- POOL EQUIPMENT
- VINYL FENCE
- IRON FENCE
- STORM DRAIN PIPE
- GAS LINE
- WATER LINE
- CATV, PHONE LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- PALM TREE
- TREE
- CITRUS TREE
- MESQUITE TREE
- PIPE CACTUS
- SAGUARO
- STUMP

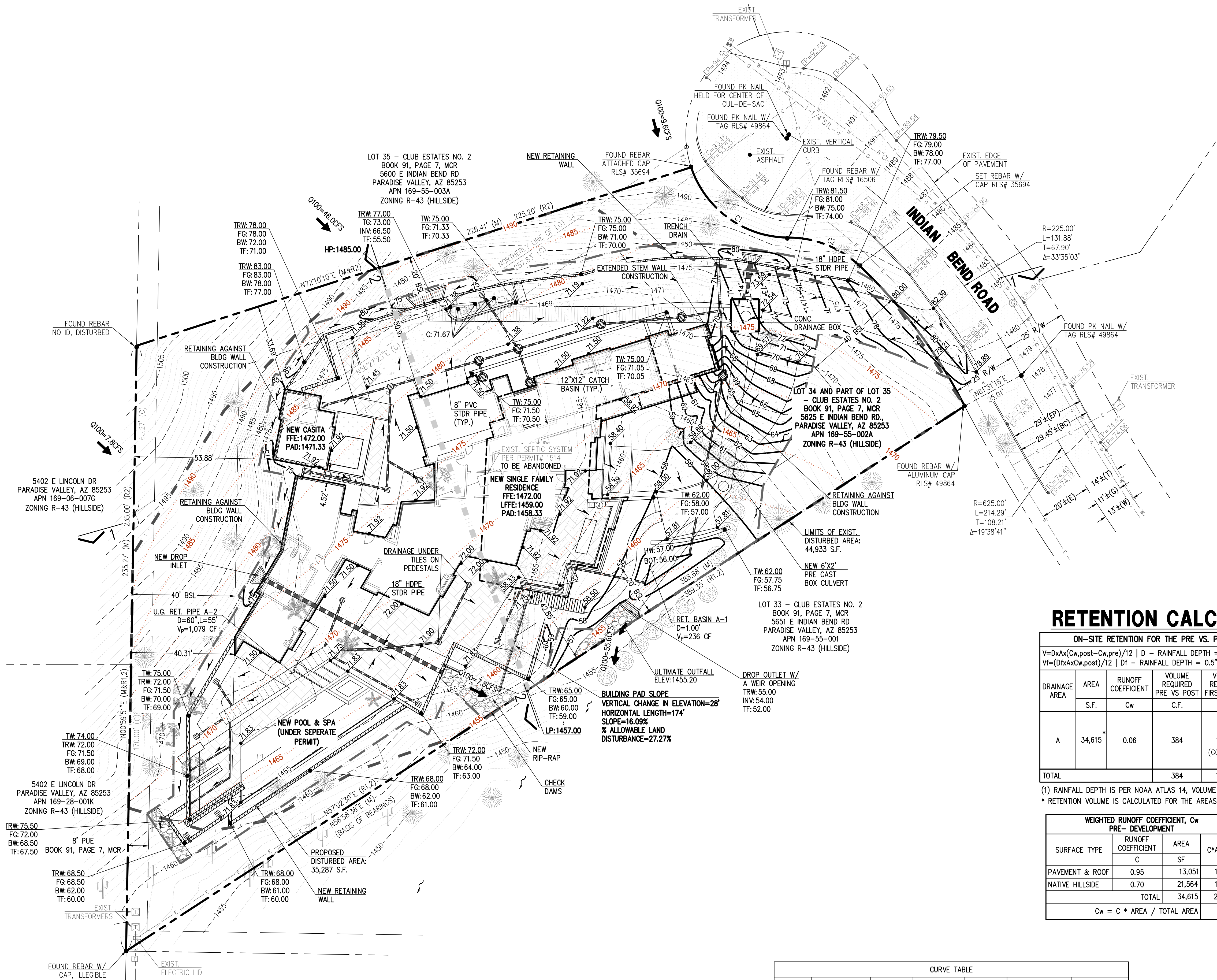
ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- (C) CALCULATED
- EL. ELEV
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX. EXIST.
- G GUTTER, GAS
- M MEASURED
- MCR MARICOPA COUNTY RECORDER
- P, PVMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER

UTILITIES

WATER: EPCOR
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS





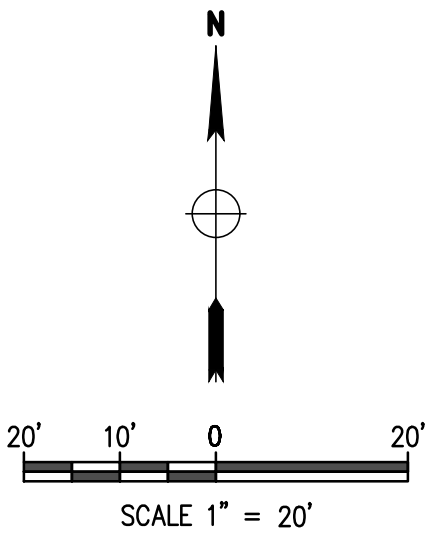
RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12 D - RAINFALL DEPTH = 2.22" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT Vf=(DfxAxCw,post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.			S.F.	FT	C.F.	C.F.	
A	34,615	0.06	384	1,240 (GOVERNS)	A1	HW	1,457.00	400	1.00	236	
						BOTTOM	1,456.00	72			
					A2	UNDERGROUND RETENTION PIPE		L=55'	D=60"	1,079	
TOTAL			384	1,240							1,315

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.
* RETENTION VOLUME IS CALCULATED FOR THE AREAS OF NEW DISTURBANCE.

WEIGHTED RUNOFF COEFFICIENT, C _w PRE- DEVELOPMENT				WEIGHTED RUNOFF COEFFICIENT, C _w POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF			C	SF	
PAVEMENT & ROOF	0.95	13,051	12,398	PAVEMENT & ROOF	0.95	20,352	19,334
NATIVE HILLSIDE	0.70	21,564	15,095	NATIVE HILLSIDE	0.70	14,263	9,984
TOTAL			27,493	TOTAL			29,319
C _w = C * AREA / TOTAL AREA			0.79	C _w = C * AREA / TOTAL AREA			0.85

CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M)	71°28'53" (M)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
		49.70' (R2)	71°11'50" (R2)			
C2	40.00' (M&R2)	30.24' (M&R2)	43°19'10" (M)	15.89' (M)	S68°20'13"E (M)	29.53' (M)
			43°19'10" (R2)			
C3	200.00' (M&R2)	68.50' (M)	19°37'24" (M)	34.59' (M)	S36°51'56"E (M)	68.16' (M)
		68.60' (R2)	19°39'10" (R2)			
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	S12°42'36"E (C)	8.08' (C)



Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN

LOT 34 & PART OF LOT 35 -
CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX @ LDCENX.COM



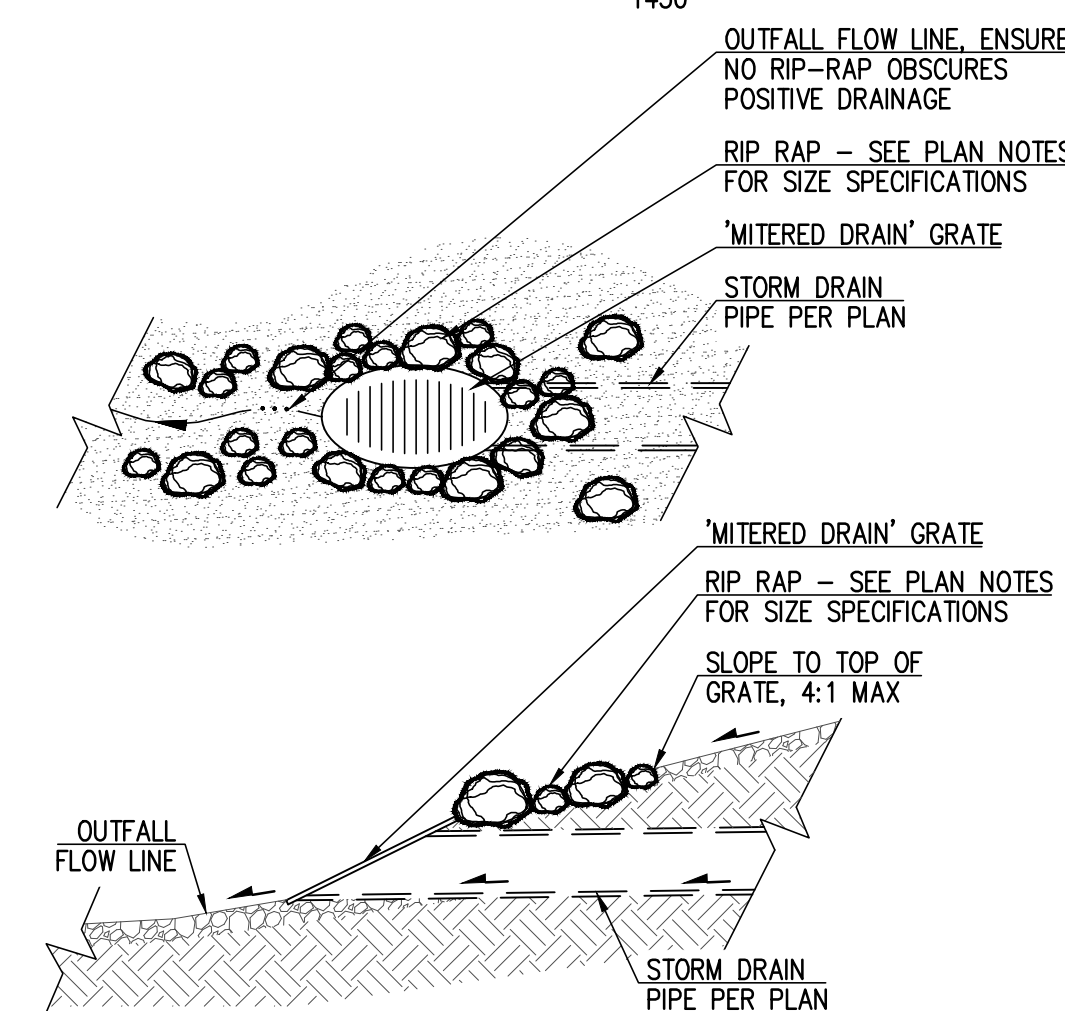
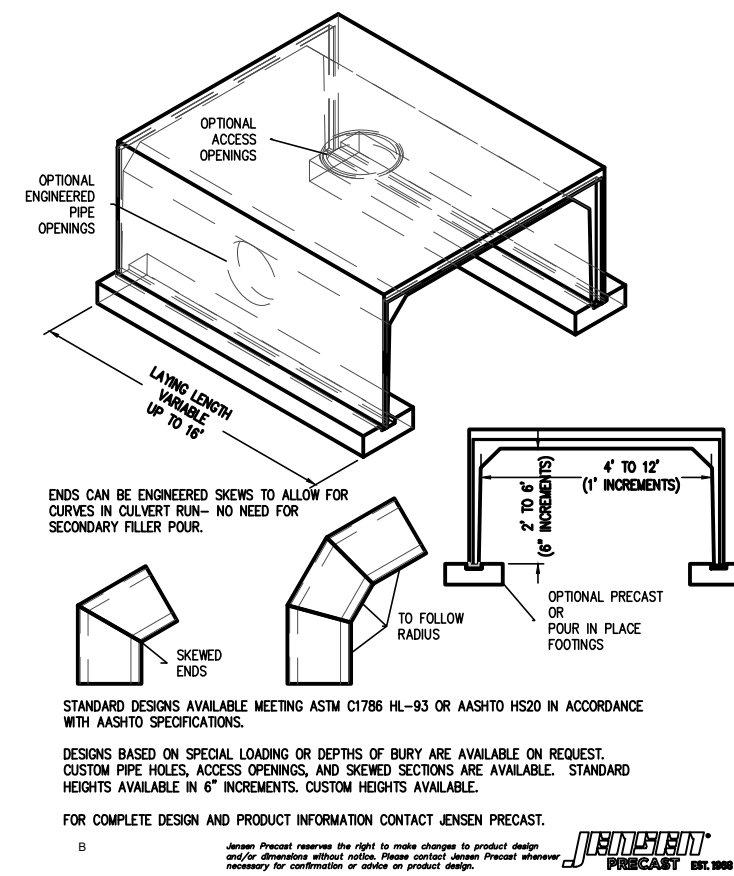
C-2
2 OF 3

DATE: 11/19/25
JOB: 2502063
DESIGNED BY: NP
DRAWN BY: CM
CHECKED BY: JL
PLOT DATE: 11/19/25

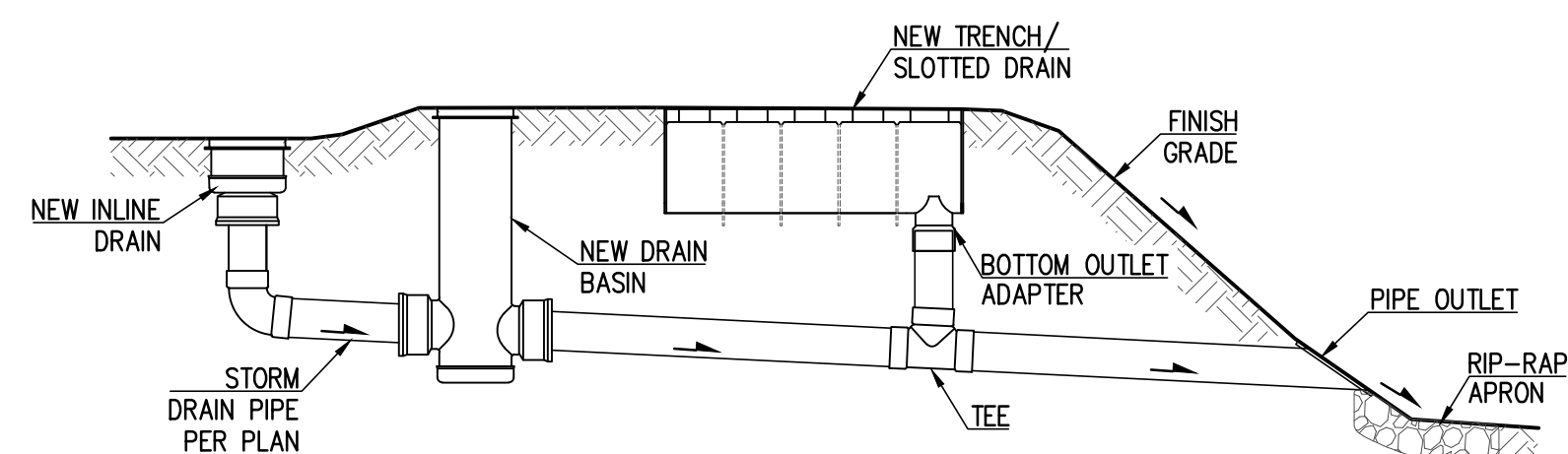
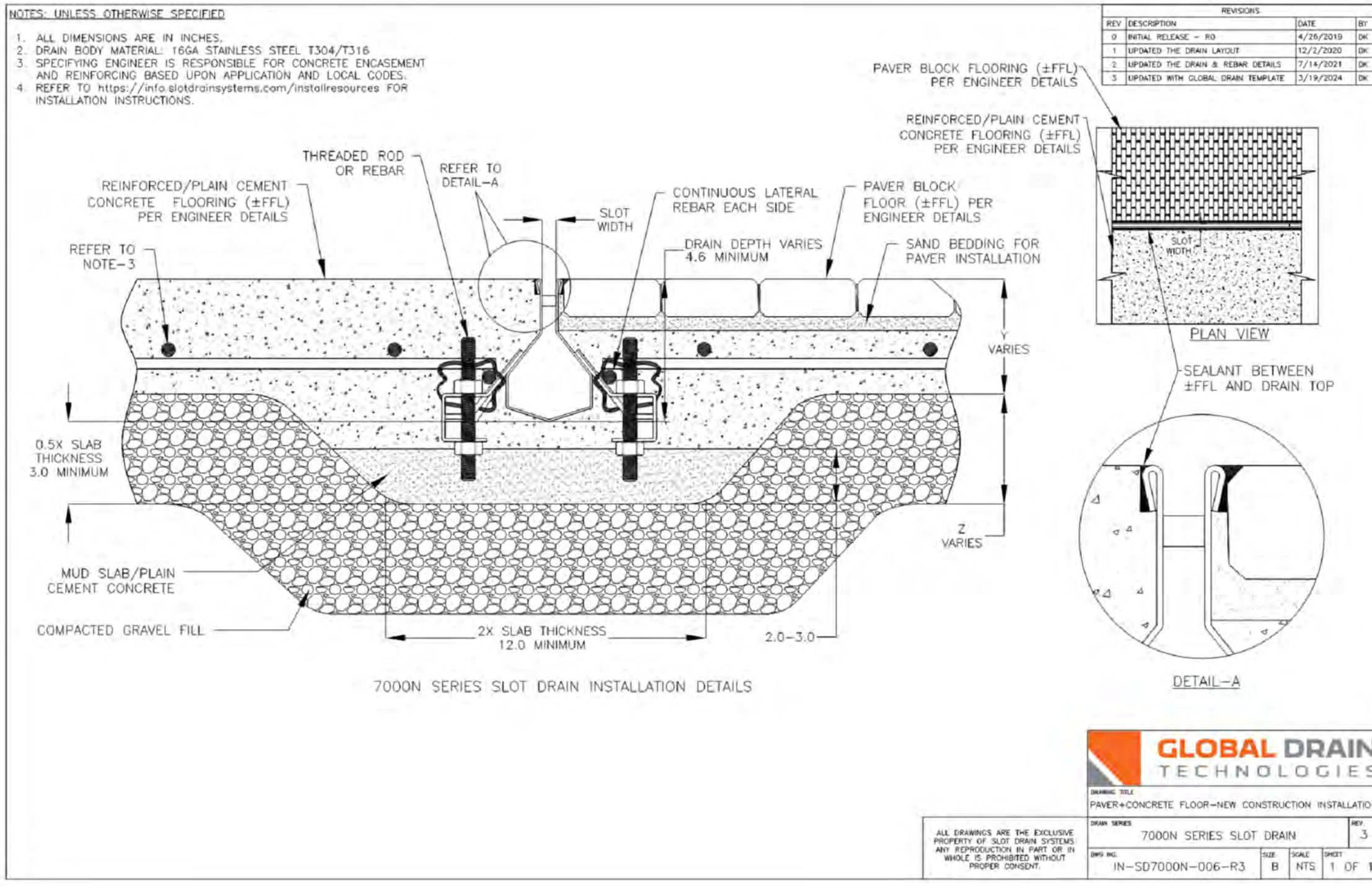
REVISIONS:

DATE:

SCALE: 1"=20'



STORM DRAIN OUTLET AT WALL DETAIL
N.T.S.



SCHEMATIC STORM DRAIN SYSTEM
N.T.S.

**GLOBAL DRAIN
TECHNOLOGIES**

SPECIFICATION SHEET

SPECIFICATIONS

GENERAL:

The surface drainage system shall be Catch Basin, to be used with a slab or trench as manufactured by Global Drain Technologies.

MATERIALS:

T304 Stainless Steel

LID:

Slot Lid (or) Parallel Design

INSTALLATION:

The Catch Basin shall be installed in accordance with the manufacturer's installation instructions and recommendations. Catch Basins are manufactured with levelers to secure the drain within the concrete slab.

TYPICAL MODULAR LAYOUT OF A CATCH BASIN SYSTEM

SLOT LID DESIGN

PARALLEL DESIGN

TYPICAL DRAIN WITH
LEVELER DETAILS

CATCH BASIN LID: STANDARD LID DESIGN AND STRAINER IS PART OF THE CATCH BASIN

DESCRIPTION	WIDTH INCHES	LENGTH INCHES	HEIGHT INCHES	OUTLET SIZE INCHES
CATCH BASIN	6 1/2	6 1/2	9	4

THESE DIMENSIONS ARE FOR INFORMATION PURPOSES ONLY. THE ACTUAL DIMENSIONS OF THE PRODUCT MAY VARY SLIGHTLY FROM THE DIMENSIONS SHOWN IN THIS SPECIFICATION SHEET. THE ACTUAL DIMENSIONS OF THE PRODUCT SHALL BE DETERMINED BY THE MANUFACTURER'S SPECIFICATIONS.

TF 855.497.7508

© 2024 775.2324

E orders@globaldraintech.com

W globaldraintech.com

2024

**LOT 34 & PART OF LOT 35 -
CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253**

**PRELIMINARY
GRADING & DRAINAGE
CROSS SECTIONS
DETAILS**

P 602 993 1984 | F 602 445 9462
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85028
PHOENIX@LDSG.COM

DATE: 11/19/25
JOB: 2502063
DESIGNED BY: NP
DRAWN BY: CM
VERSION: 1.1
CHECKED BY: JJ
PLOT DATE: 11/19/25

REVISIONS:

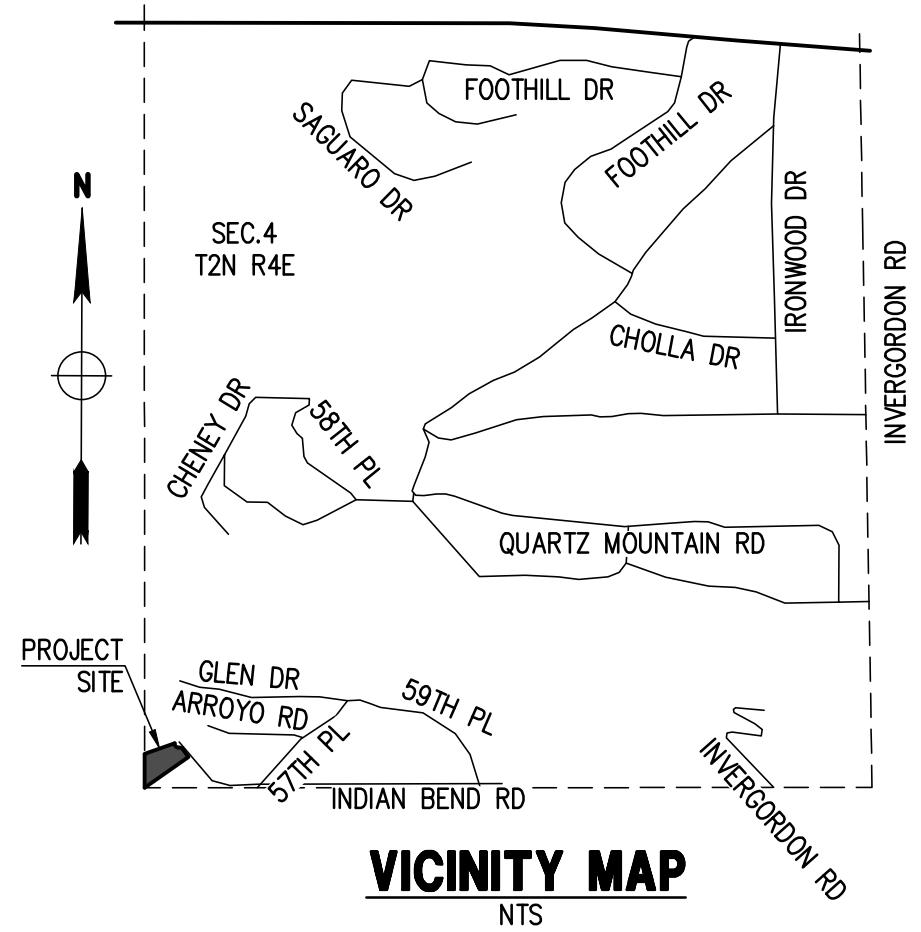
DATE:	SCALE: AS NOTED
	DESIGNED BY: NP
	DRAWN BY: CM
	CHECKED BY: JJ

THIS DRAWING IS AN INSTRUMENT OF SERVICE. ANY USE OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY THE CLIENT IS PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE.

AERIAL MAP EXHIBIT
STEWART RESIDENCE

5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER

NORMAN TRUST
330 W LAWRENCE RD.,
PHOENIX, AZ 85013

ARCHITECT

STRATTON ARCHITECTS
5090 N 40TH ST, SUITE 170,
PHOENIX, AZ 85018
CONTACT: PARKER BIERTZER
P: 262-339-2481
PARKER@STRATTON-ARCHITECTS.COM

SITE DATA

APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1.202 AC.)
CONSTRUCTION YEAR: 1967
QS #: 23-41

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

LEGAL DESCRIPTION

THAT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF LOT 34;
THENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;
THENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND 35, A DISTANCE OF 235 FEET;
THENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAD, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET;
THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, A DISTANCE OF 49.70 FEET TO A P.C.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;
THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C. HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;
THENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARINGS

THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK

BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01.

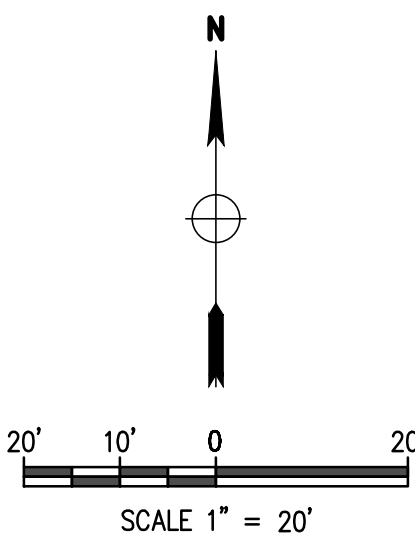
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LEGEND

---1462--- EXISTING CONTOUR
---1462--- EXISTING CONTOUR



CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
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HISTORIC GRADES
EXISTING DISTURBANCE
EXHIBIT

LOT 34 & PART OF LOT 35 -
CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDGNG.COM



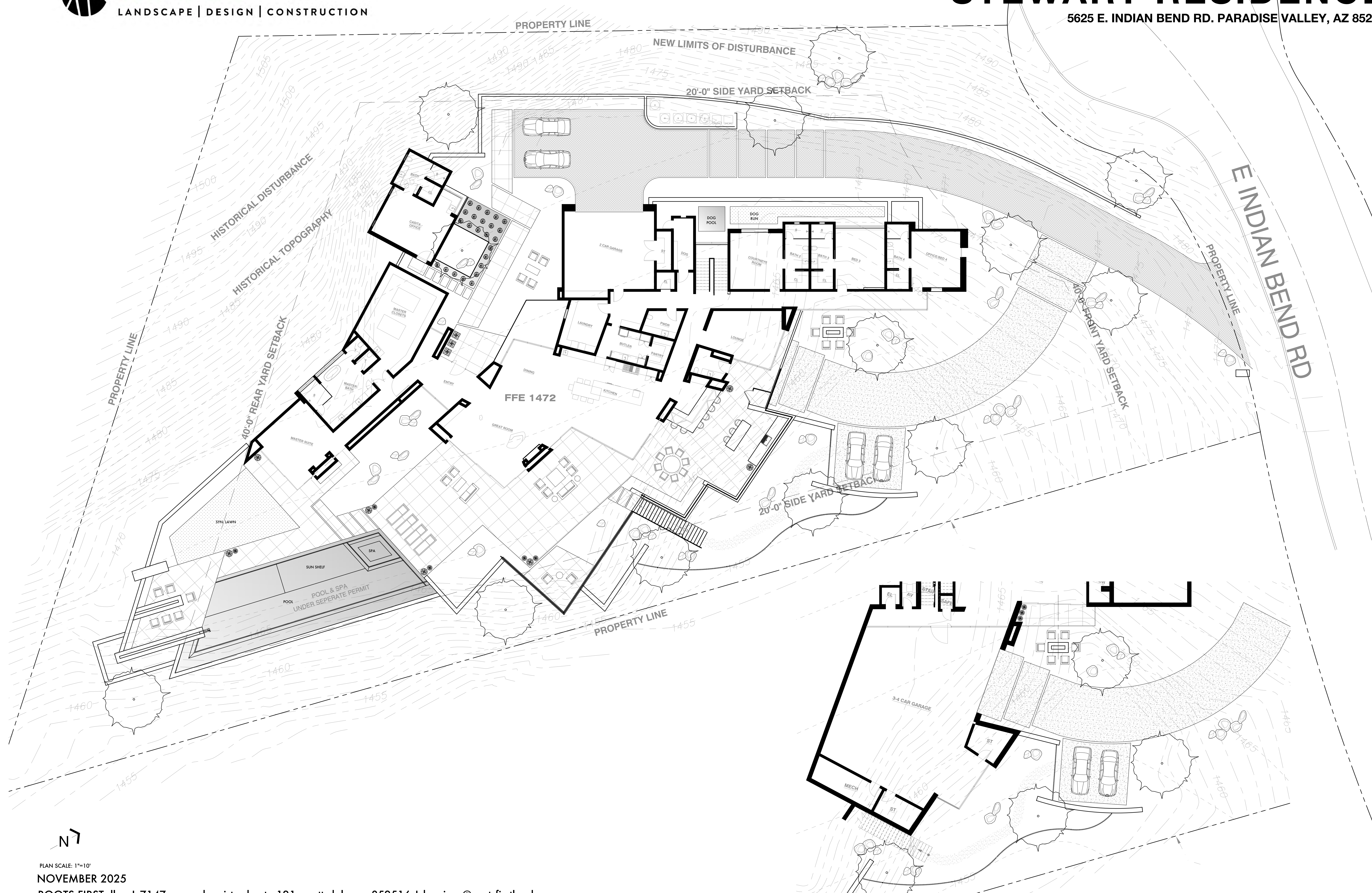
AE



CONCEPTUAL PLAN PREPARED FOR THE:

STEWART RESIDENCE

5625 E. INDIAN BEND RD. PARADISE VALLEY, AZ 85253



STEWART RESIDENCE



PLAN SCALE: 1"=10'

NOVEMBER 2025

ROOTS FIRST, llc. | 7147 e. rancho vista dr. ste.121, scottsdale, az 852516 | harrison@rootsfirstlandscape.com

EXTERIOR STRUCTURAL STEEL -
POWDER COAT - MATTE BLACK
LRV EST. 2-7



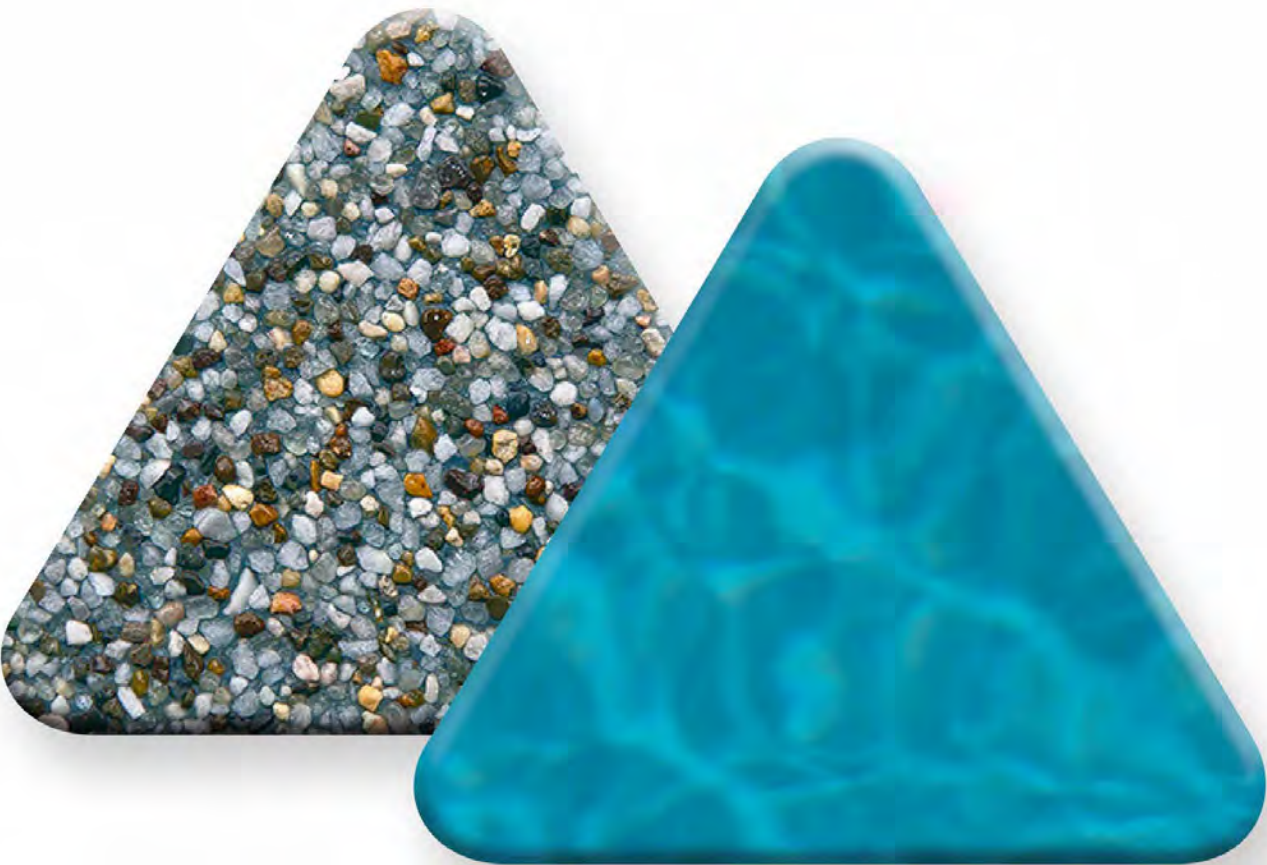
DOOR & WINDOW SASH -
AWAKE WINDOWS & DOORS - MATTE BLACK
LRV EST. 2-7



EXTERIOR GLASS -
CARDINAL GLASS - CLEAR
LOW E COATING

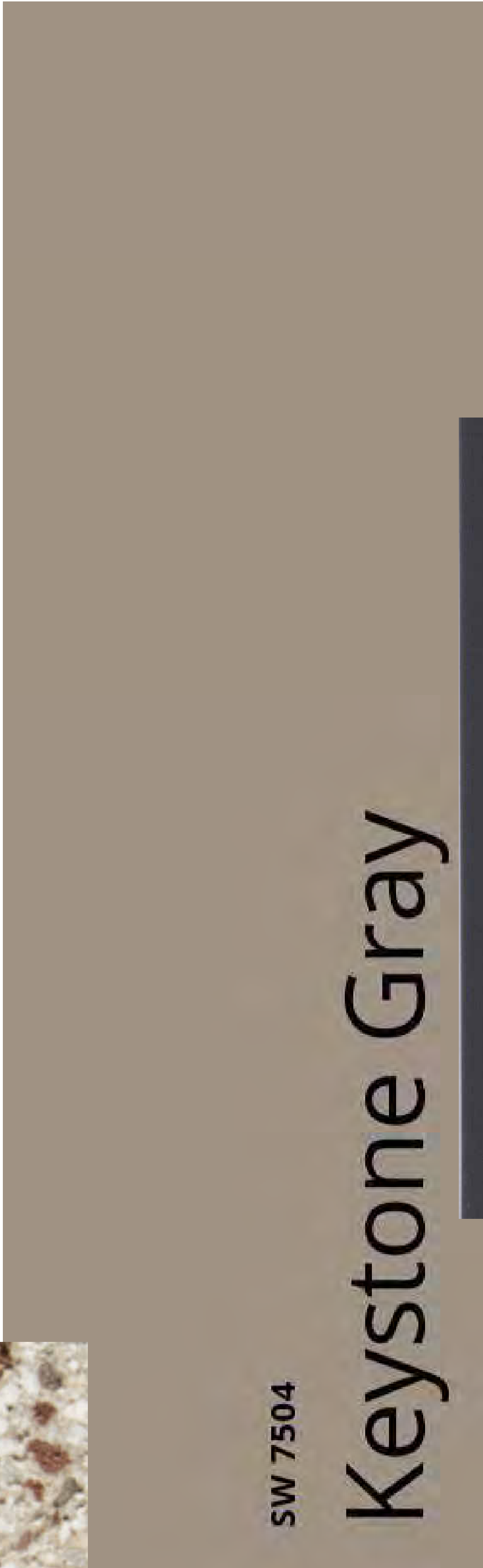


ARCHITECTURAL FINISH BLOCK -
ECHELON - TRENDSTONE PEARLY WHITE
LRV 36

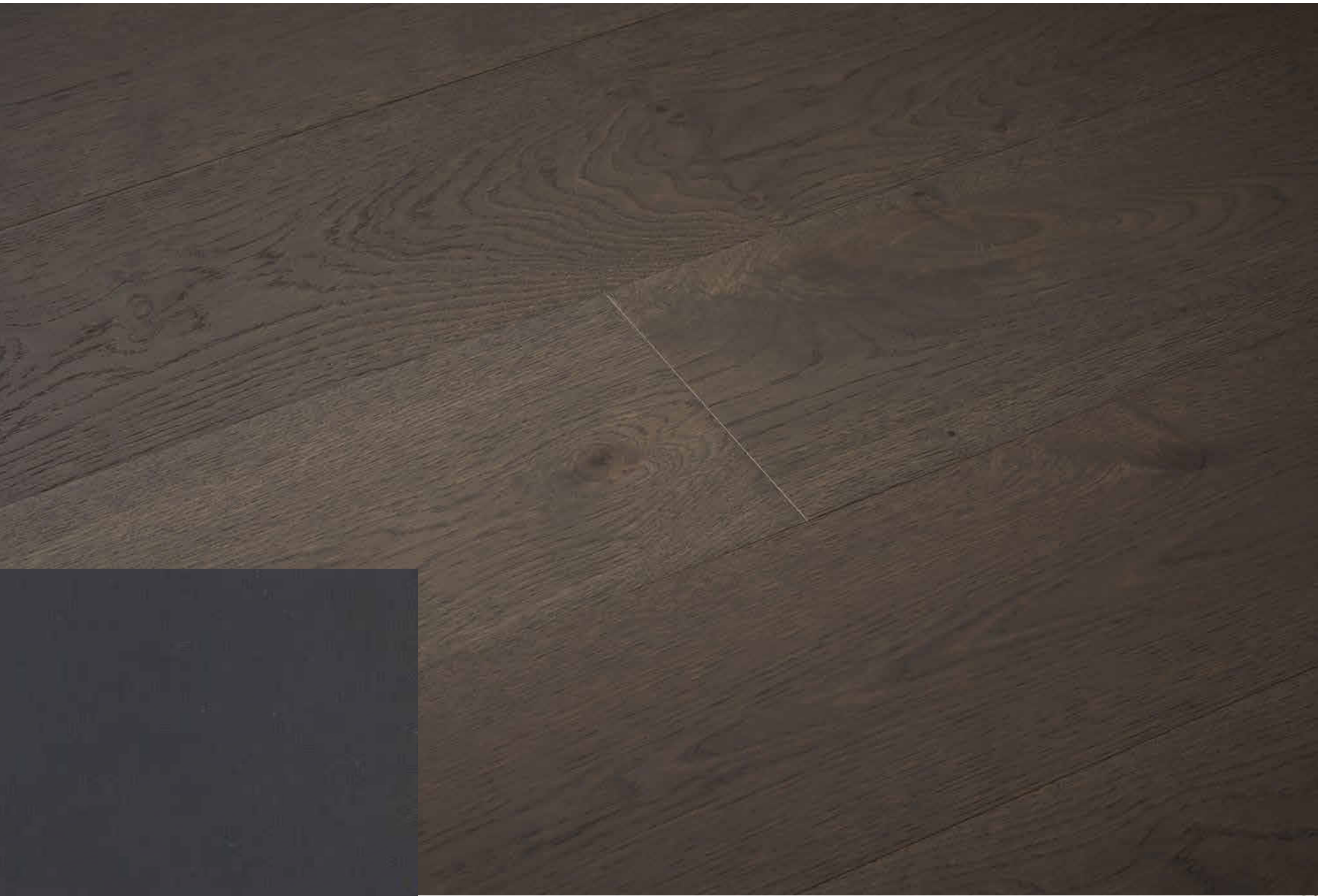


POOL LINER -
PEBBLE TEC - PEBBLE SHEEN BLUE GRANITE
LRV MAX. 36

STUCCO -
BENJAMIN MOORE - ROCKPORT GRAY
LRV 36



TONGUE & GROOVE CEILING -
HAVWOODS - ROTHBURY
LRV MAX. 36



TURF -
OLIVE PRO - SYNTHETIC TURF 70 OZ.
LRV 26



BREAKMETAL FASCIA -
OLD COUNTRY MILLWORK - MATTE BLACK
LRV EST. 2-7



EXTERIOR PAVERS & POOL COPING -
MONTERREY TILE - DESERT PORCELAIN
LRV MAX. 38



EXTERIOR STONE VENEER -
SOLSTICE STONE - MESQUITE BRUSHED
LRV 33



DRIVE PAVERS -
ACKER STONE - PALERMO
LRV MAX. 38



MAIN DRIVE MATERIAL -
ACID ETCHED CONCRETE - SANDSTONE 5237
LRV MAX. 38



AGGREGATE -
MADISON GOLD 3/4" D
LRV MAX. 30

STRATTON
ARCHITECTS

A. 5203 East Lincoln Drive Paradise Valley, Arizona 85253
P. (860) 331-0701

STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05