



STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701

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ZONING

R-43

LEGAL ADDRESS

5625 E INDIAN BEND RD PARADISE VALLEY 85253

APN

169-55-002A

NET SITE AREA

52,356 SF

FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

COVER PAGE

HO.00

OF SHEETS

25-05

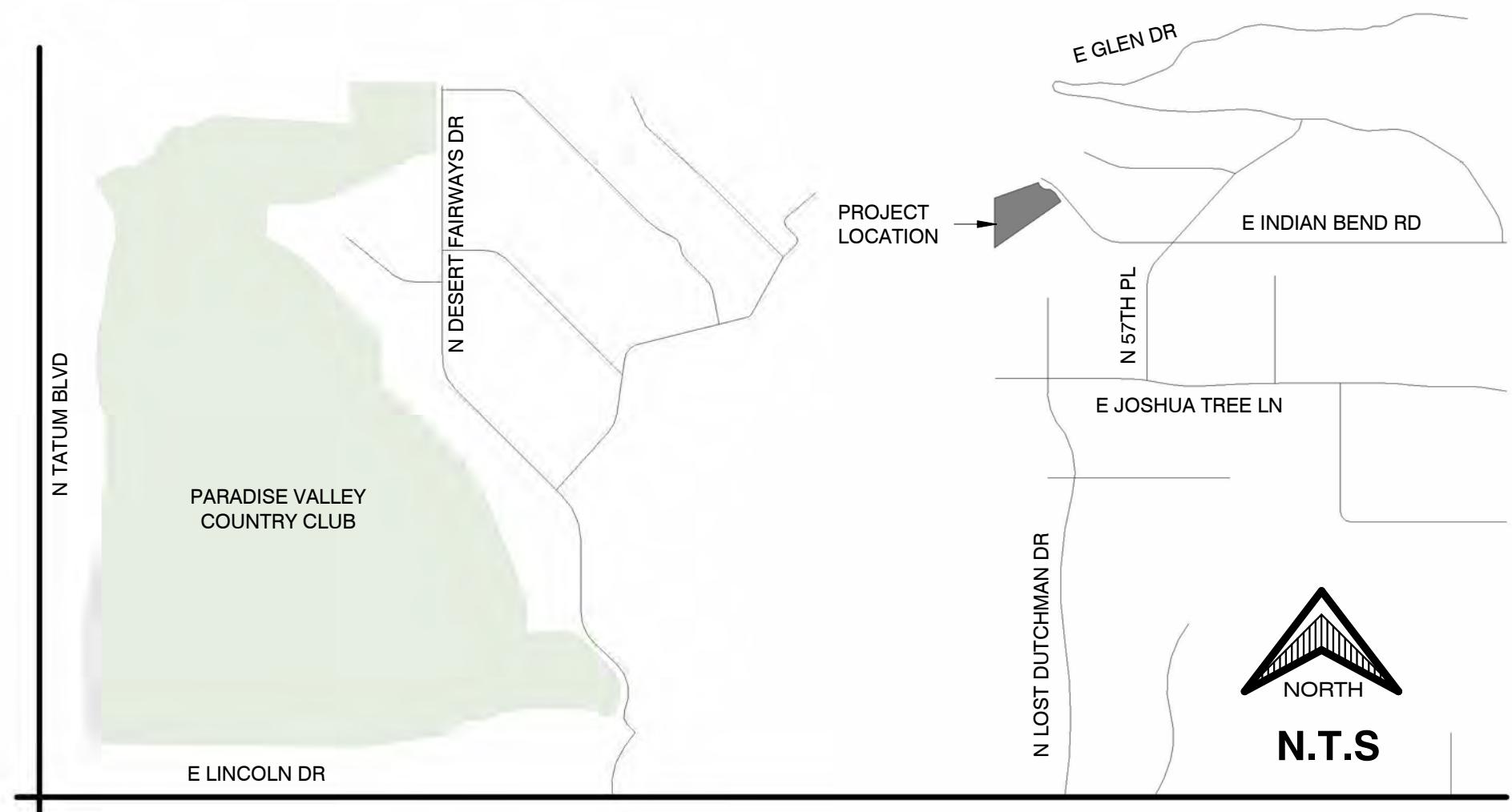
*RENDERING REPRESENTS AN ARCHITECTURAL CONCEPT AND IS INTENDED AS AN ILLUSTRATIVE EXAMPLE ONLY. FINAL DESIGN, CONSTRUCTION AND MATERIALS, INCLUDING LANDSCAPE, MAY VARY.

LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

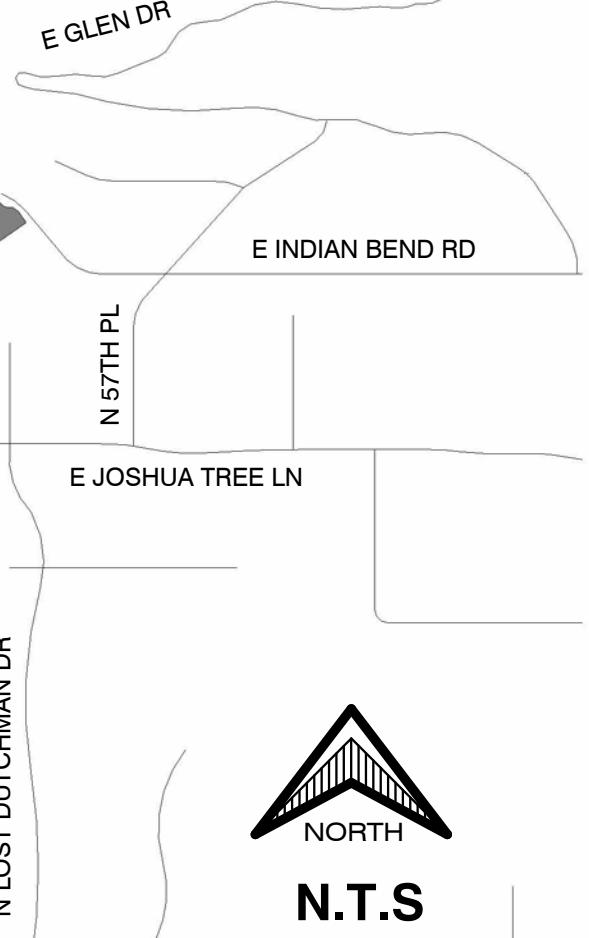
5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025

SHEET INDEX

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NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

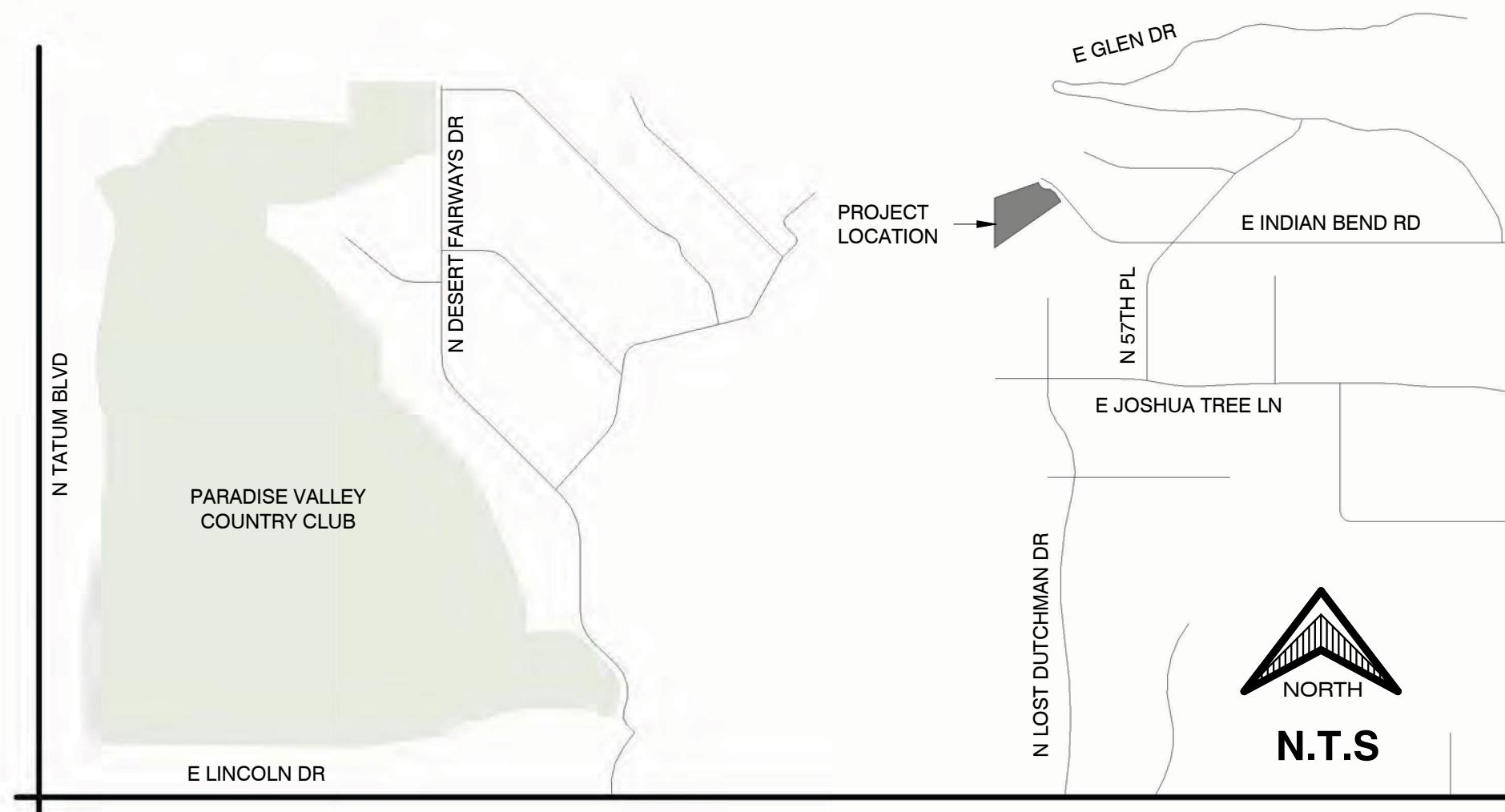




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LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025



NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

SHEET INDEX

H0.00 COVER PAGE
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STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05

7026 N Longlook Way, Paradise Valley, Arizona 85253
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ZONING
R-43
LEGAL ADDRESS
5625 E INDIAN BEND RD PARADISE VALLEY 85253
APN
169-55-002A
NET SITE AREA
52,356 SF

FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

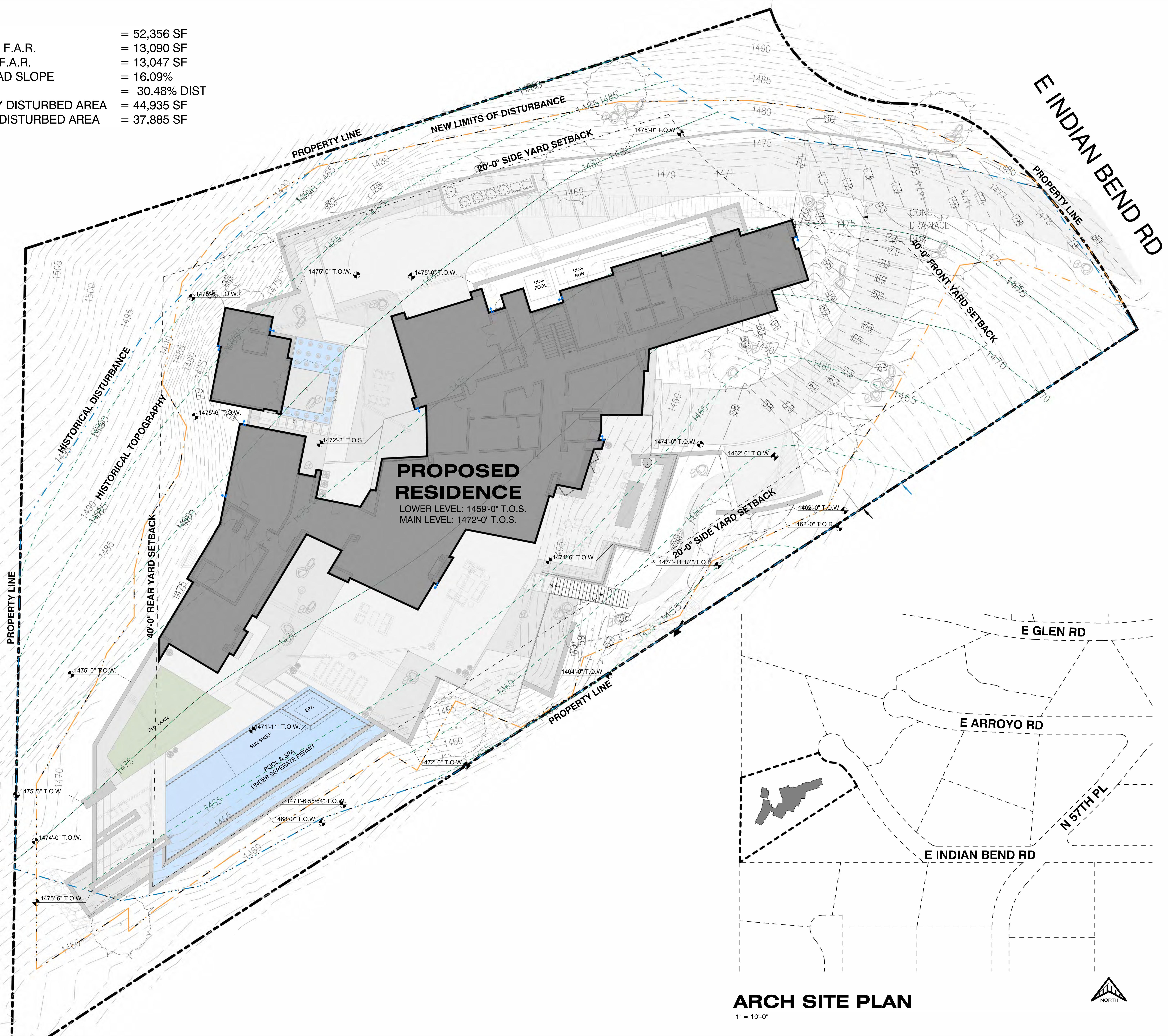
COVER PAGE

HO.00
OF SHEETS

LOT SIZE = 52,356 SF
 ALLOWABLE F.A.R. = 13,090 SF
 PROPOSED F.A.R. = 13,047 SF
 BUILDING PAD SLOPE = 16.09%
 CATEGORY = 30.48% DIST
 PREVIOUSLY DISTURBED AREA = 44,935 SF
 PROPOSED DISTURBED AREA = 37,885 SF

STEWART RESIDENCE

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NOT FOR CONSTRUCTION
REGISTERED ARCHITECT
JULIA A. ANDREW
STRATTON ARCHITECTS
10.24.2025
SIGNED
ARIZONA USA
Expires 3/31/2026

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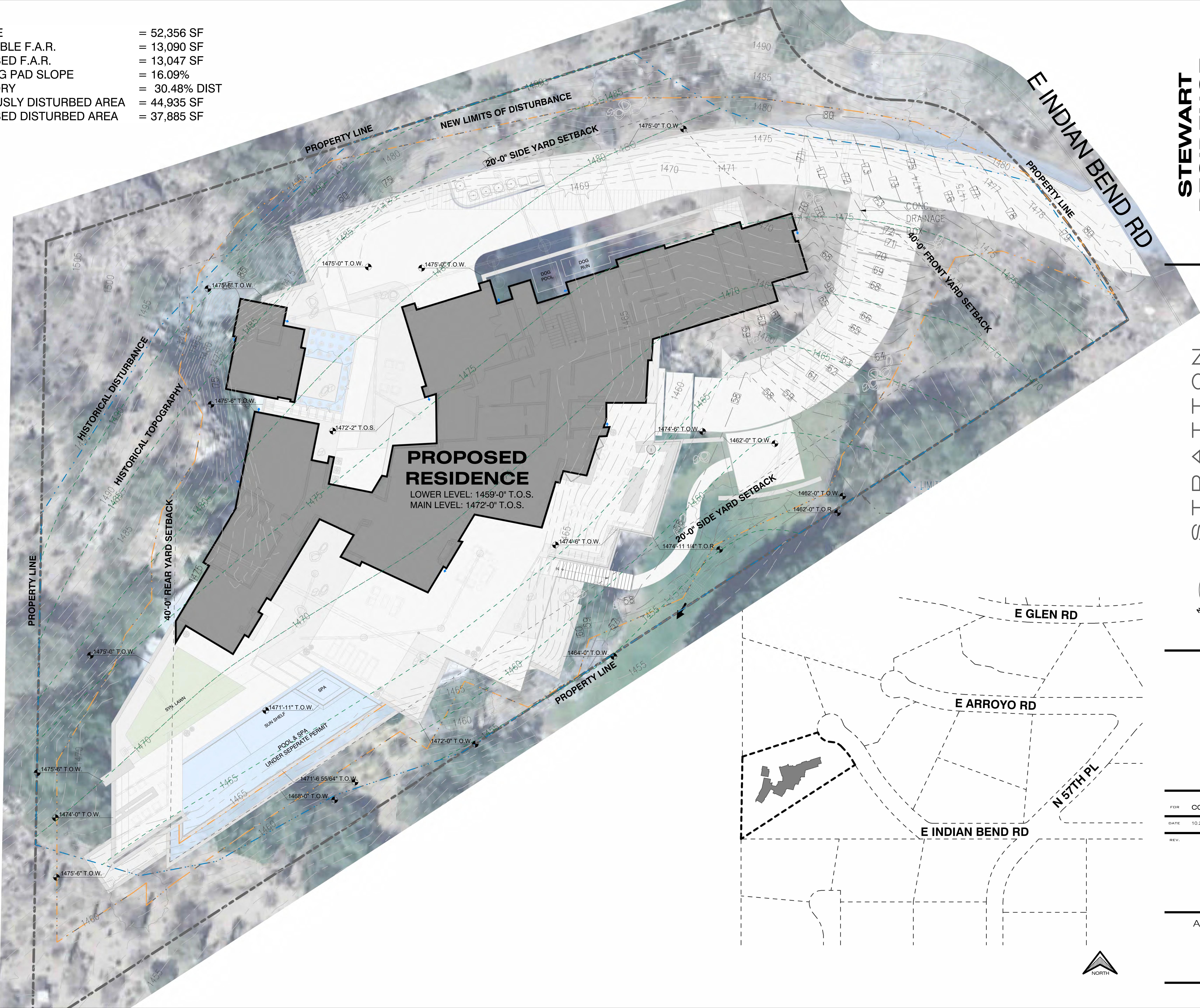
FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

ARCH. SITE PLAN

H1.01

OF SHEETS

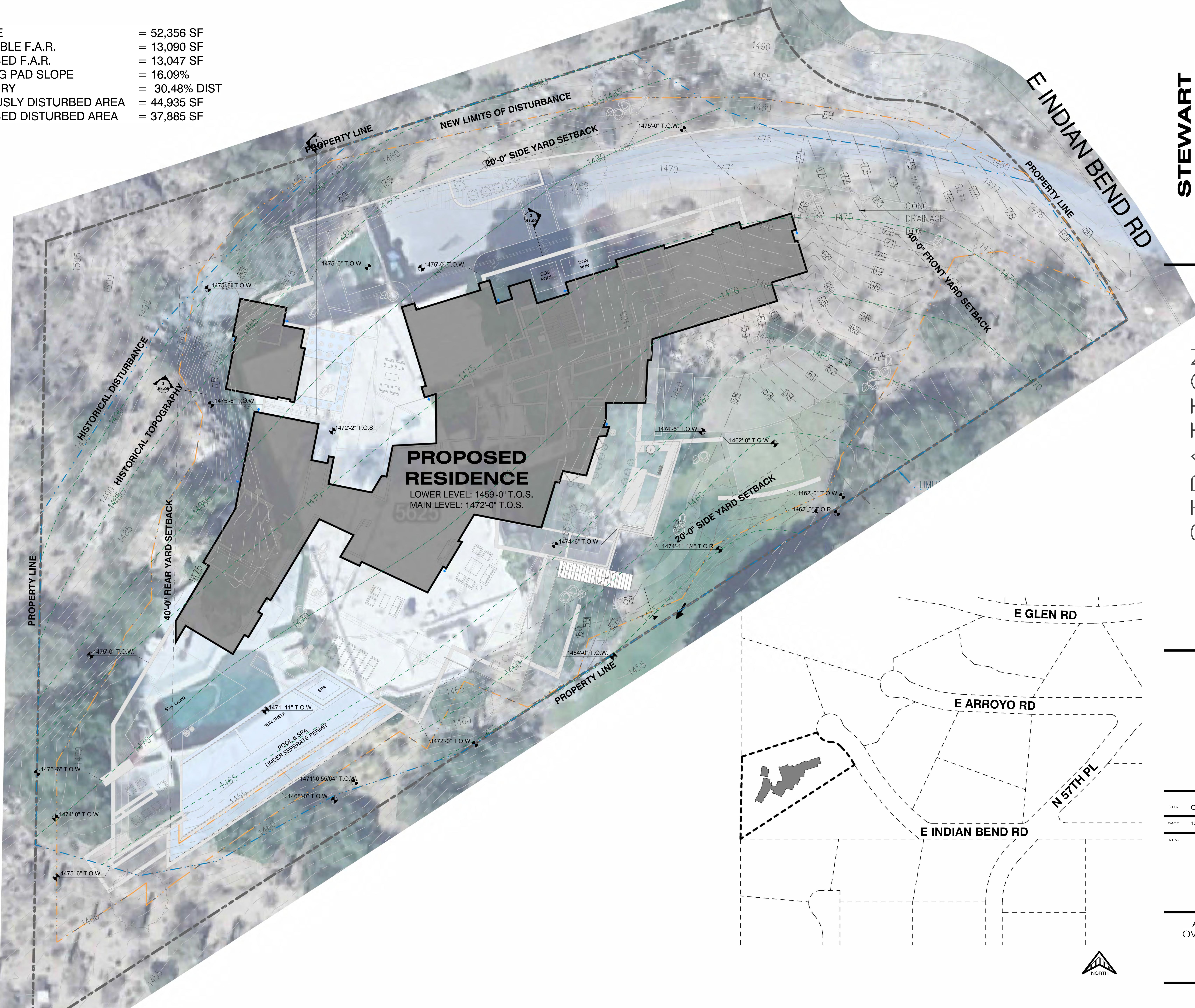
LOT SIZE = 52,356 SF
 ALLOWABLE F.A.R. = 13,090 SF
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LOT SIZE	= 52,356 SF
ALLOWABLE F.A.R.	= 13,090 SF
PROPOSED F.A.R.	= 13,047 SF
BUILDING PAD SLOPE	= 16.09%
CATEGORY	= 30.48% DIST
PREVIOUSLY DISTURBED AREA	= 44,935 SF
PROPOSED DISTURBED AREA	= 37,885 SF



RESIDENCE

625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

A R C H I T E C T S

Paradise Valley, Arizona 85253

adise Valley

CONCEPTUAL HILLSIDE

ARCH. SITE PLAN OVERLAY - EXTERIOR IMPROVEMENTS

H1.03

F SHEETS

5-25

5-05

5-05

5-05

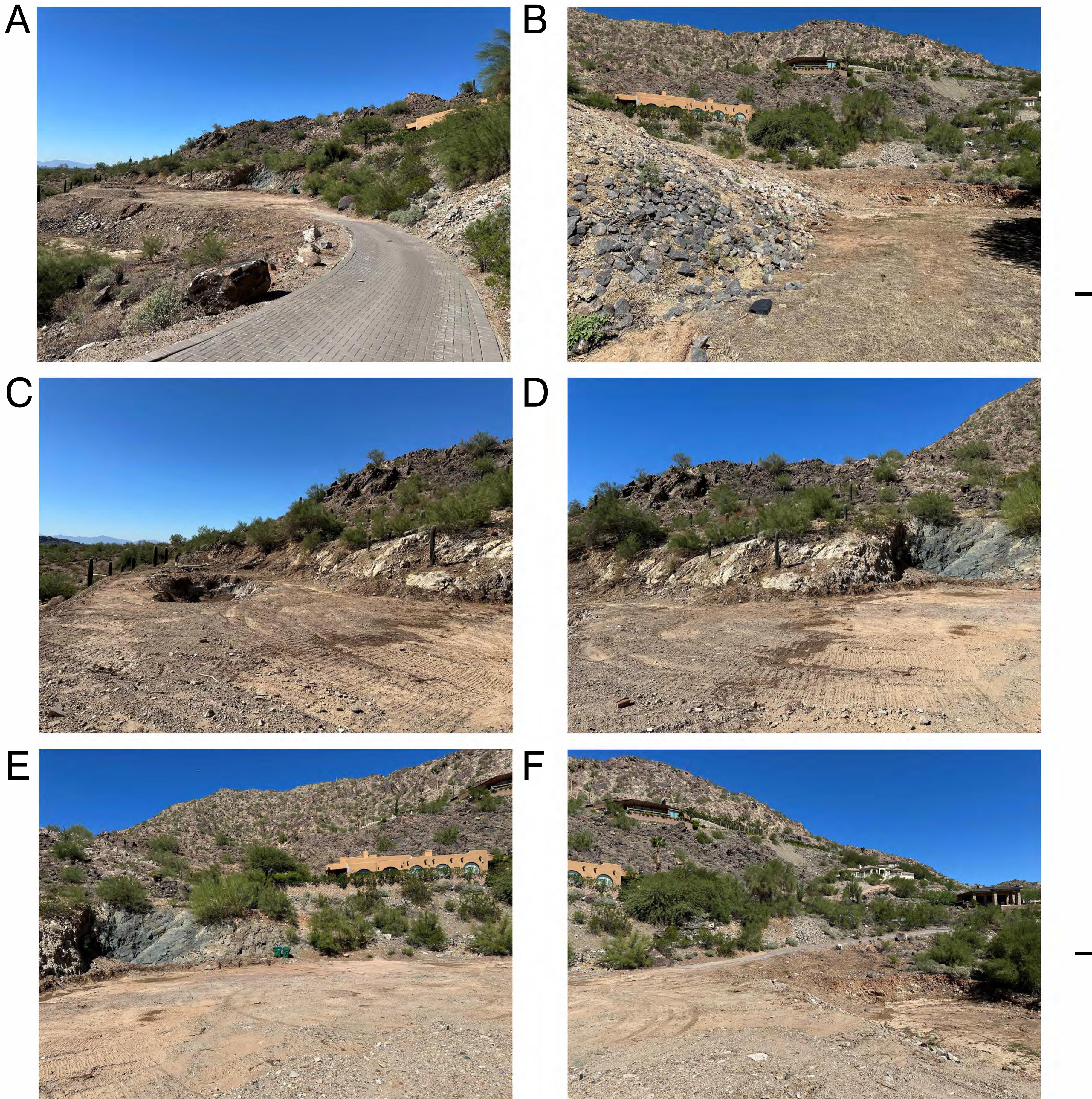
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SITE PHOTOS



ARCHITECTURAL SITE PLAN SITE CONDITIONS

1" = 20'-0"



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Project No. 25-05

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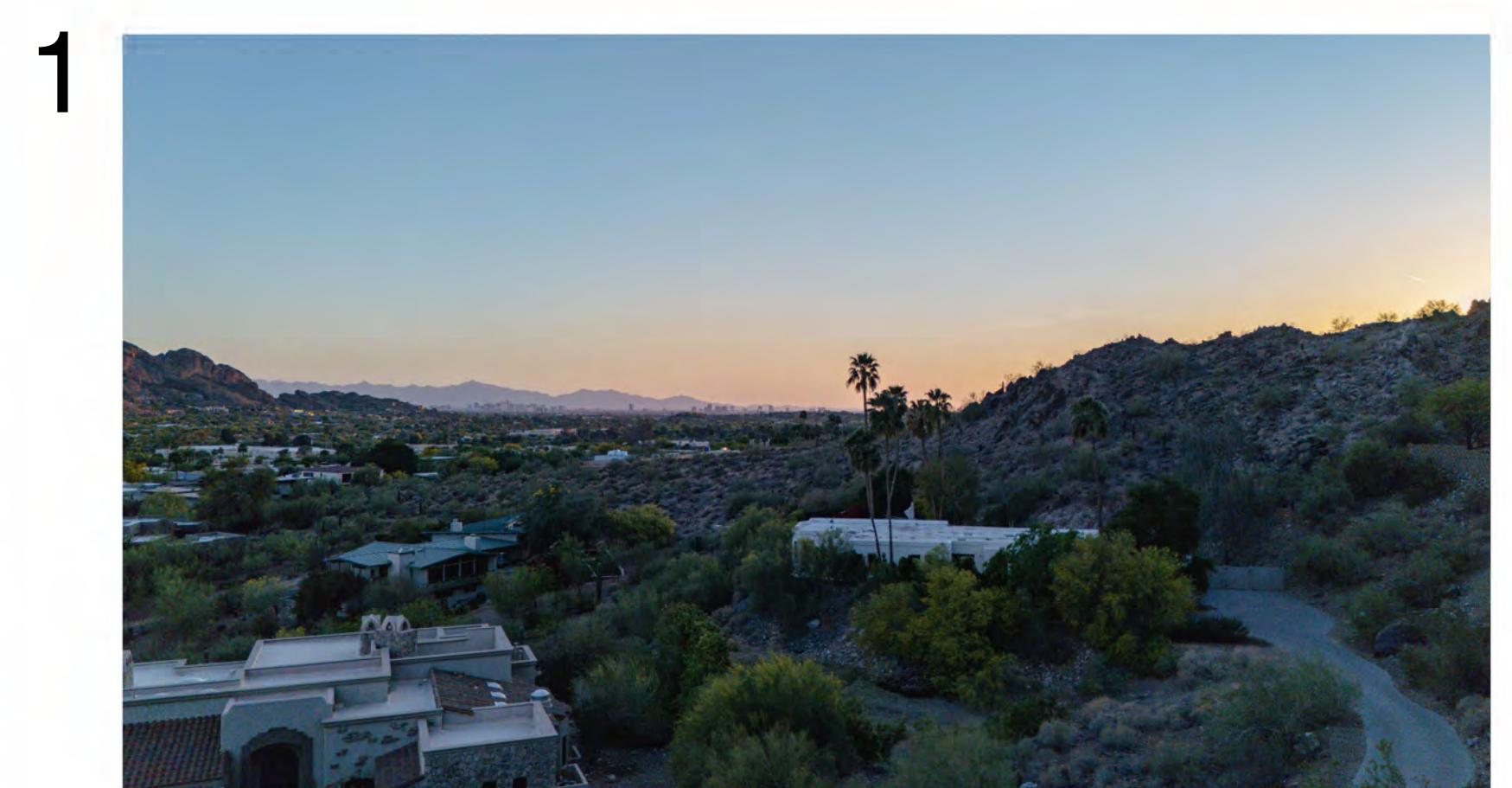
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AERIALS



FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

SITE PHOTOS

H1.04

OF SHEETS

STEWART RESIDENCE

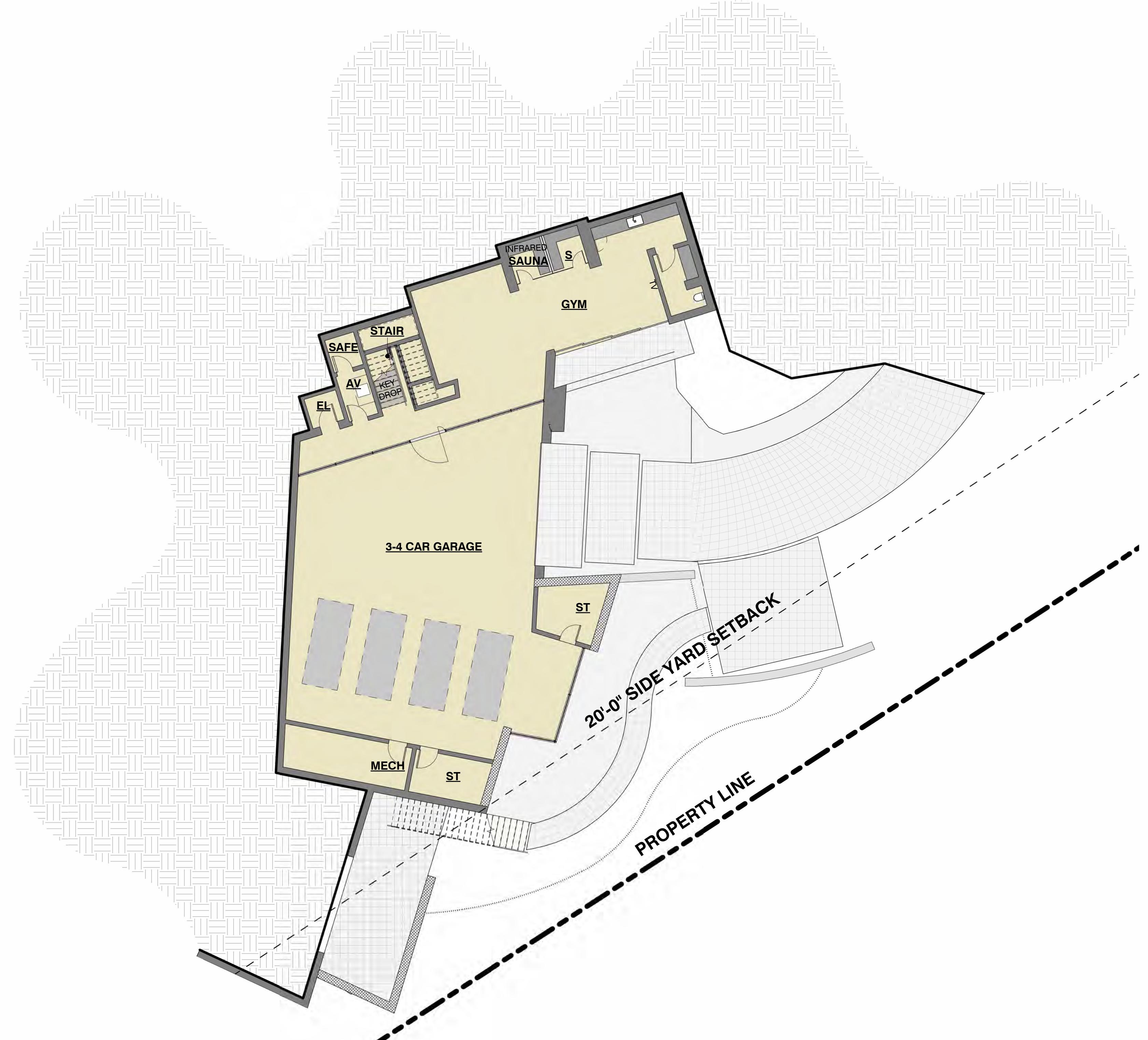
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LOWER LEVEL

3/32" = 1'-0"

FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
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FLOOR PLAN -
LOWER LEVEL

H1.05

OF SHEETS

25-05

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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

FLOOR PLAN - MAIN LEVEL CUT/FILL

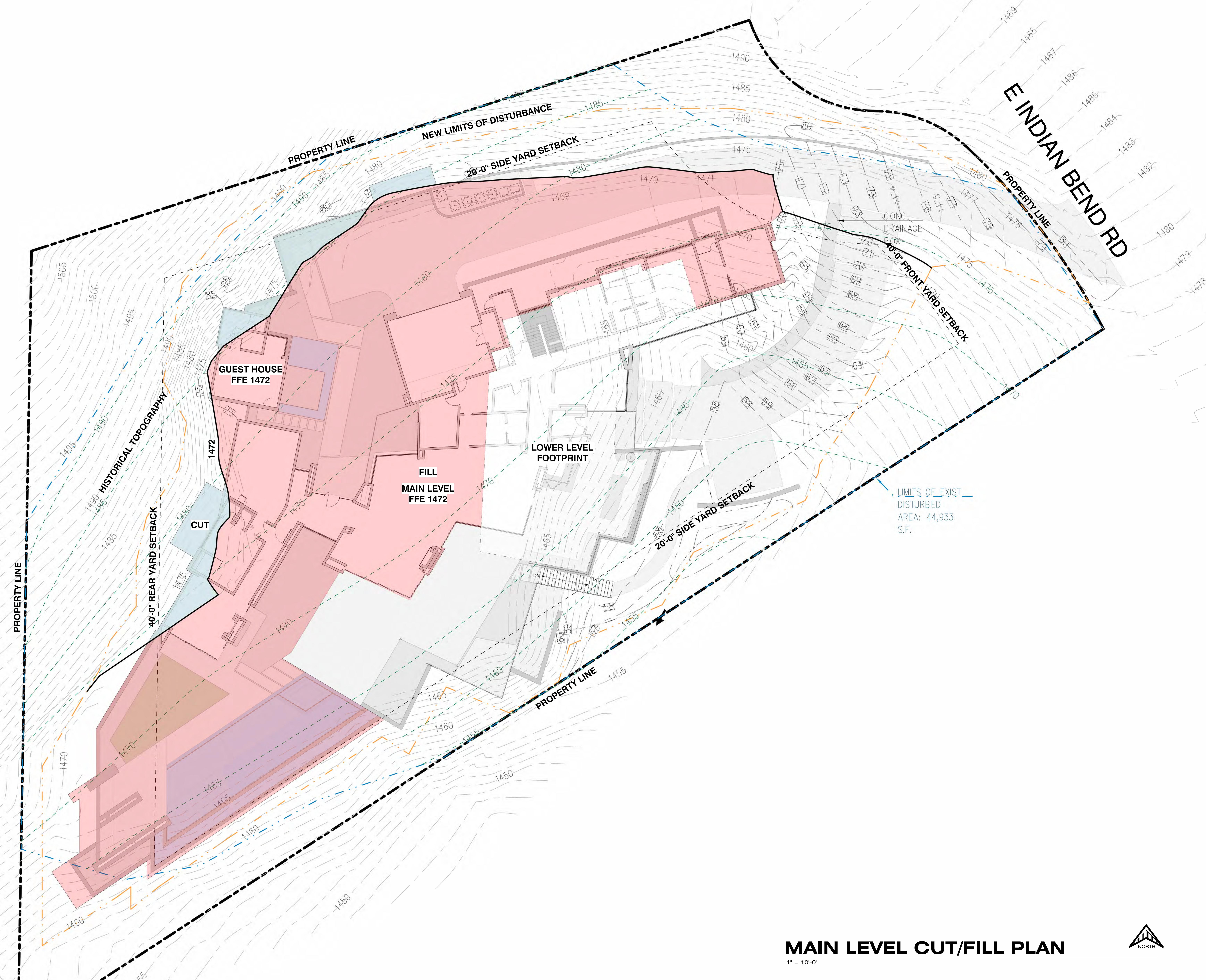
H1.08

OF SHEETS

25-05

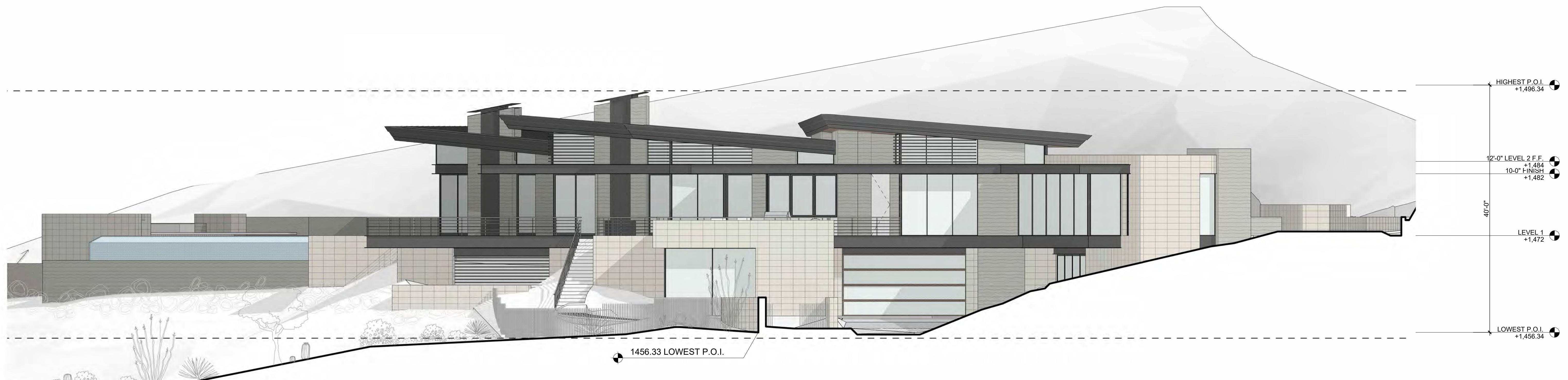
MAIN LEVEL CUT/FILL PLAN

1" = 10'-0"



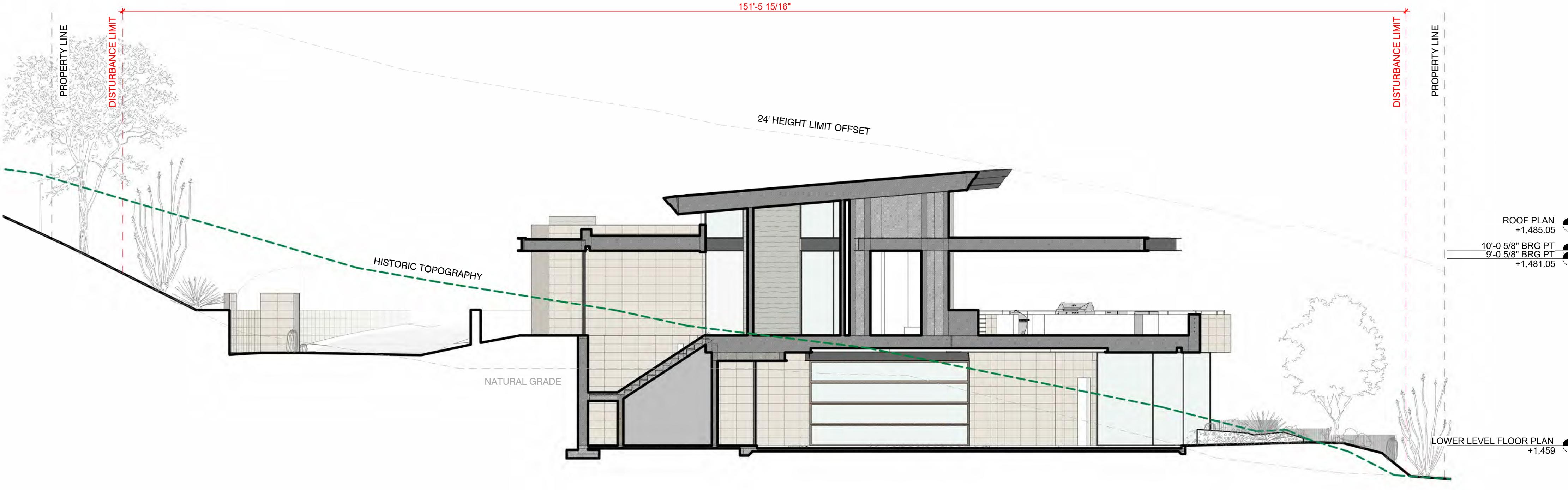
STEWART RESIDENCE

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PARADISE VALLEY 85253
Project No. 25-05



FRONT ELEVATION - POINT OF IMPROVEMENT DIAGRAM

1/8" = 1'-0"

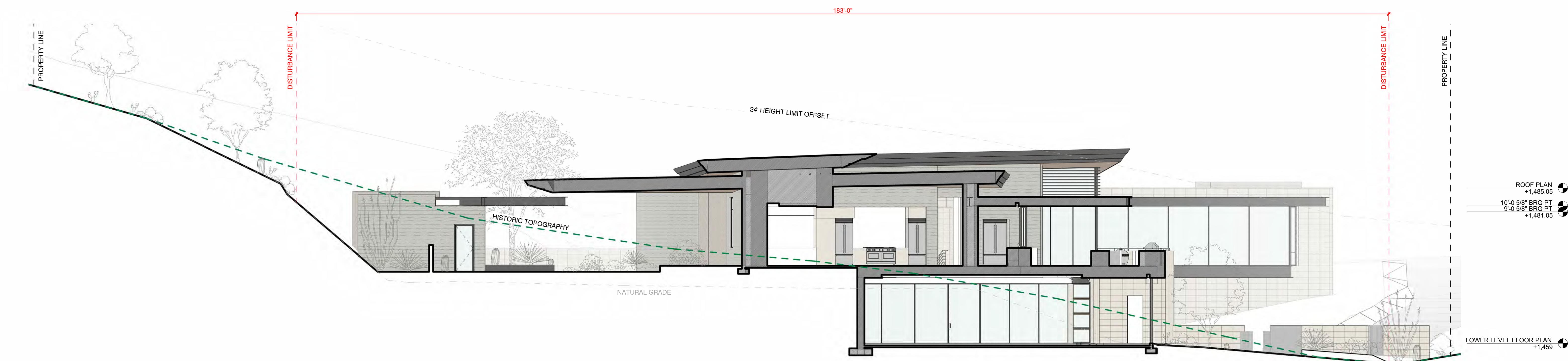


MATERIAL LEGEND

EXPOSED STRUCTURAL STEEL & FASCIA COLOR: POWDER COAT - MATTE BLACK
STUCCO COLOR: BENJAMIN MOORE - ROCKPORT GRAY
EXTERIOR STONE VENEER COLOR: SOLSTICE STONE - MESQUITE BRUSHED
Glass Cardinal Glass - Clear - Low E Coating
8x8x34 ECHELON FINISH CONCRETE BLOCK - COLOR: TRENDSTONE PEARLY WHITE PATTERN: STACK BOND - RAKE HORIZONTAL JOINT - FLUSH VERTICAL JOINT
FRAME CONSTRUCTION
CMU CONSTRUCTION

BUILDING SECTION 01

1/8" = 1'-0"



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BUILDING SECTION 02

1/8" = 1'-0"

FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.
LOWEST P.O.I. DIAGRAM
H1.09
OF SHEETS
25-05

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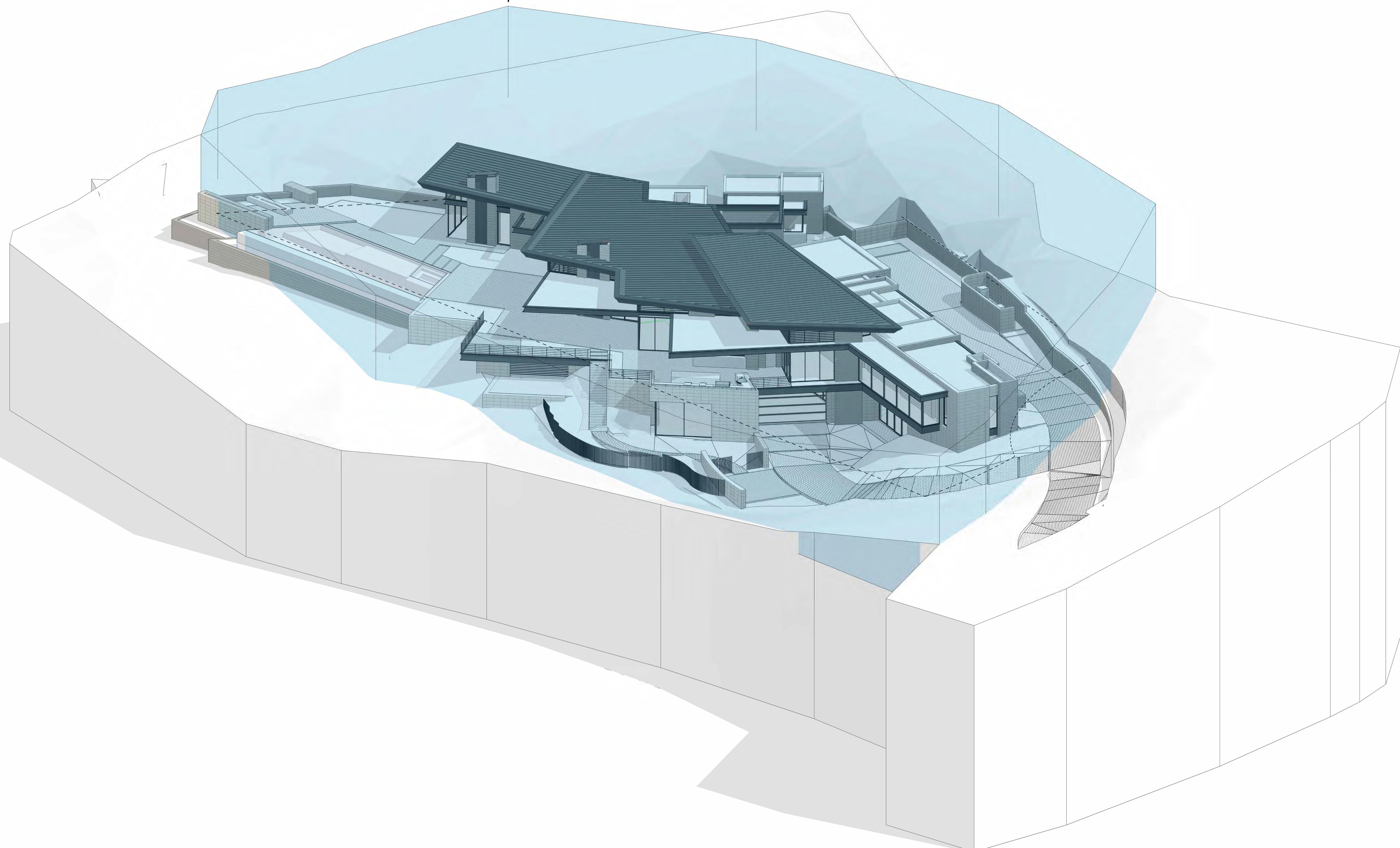
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24' HISTORICAL TOPO OFFSET



3D TOPO OFFSET DIAGRAM

H1.10

OF SHEETS



3D TOPO OFFSET DIAGRAM



AERIAL VIEW - EAST

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EXTERIOR
RENDERING -AERIAL

H1.11

OF SHEETS



AERIAL VIEW - SOUTHEAST

**STEWART
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PARADISE VALLEY 85253
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FOR CONCEPTUAL HILLSIDE
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EXTERIOR
RENDERING - AERIAL

H1.12

OF SHEETS



AERIAL VIEW - SOUTH

**STEWART
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FOR CONCEPTUAL HILLSIDE
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REV.

EXTERIOR
RENDERING - AERIAL

H1.13

OF SHEETS



ELEVATION - NORTH

**STEWART
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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
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EXTERIOR
RENDERING -
ELEVATION
H1.14

OF SHEETS

25-05



ELEVATION - EAST

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FOR CONCEPTUAL HILLSIDE
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EXTERIOR
RENDERING -
ELEVATION
H1.15

OF SHEETS



ELEVATION - SOUTHEAST

**STEWART
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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
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EXTERIOR
RENDERING -
ELEVATION
H1.16

OF SHEETS



ELEVATION - SOUTH

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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
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EXTERIOR
RENDERING -
ELEVATION
H1.17

OF SHEETS

25-05

STEWART RESIDENCE

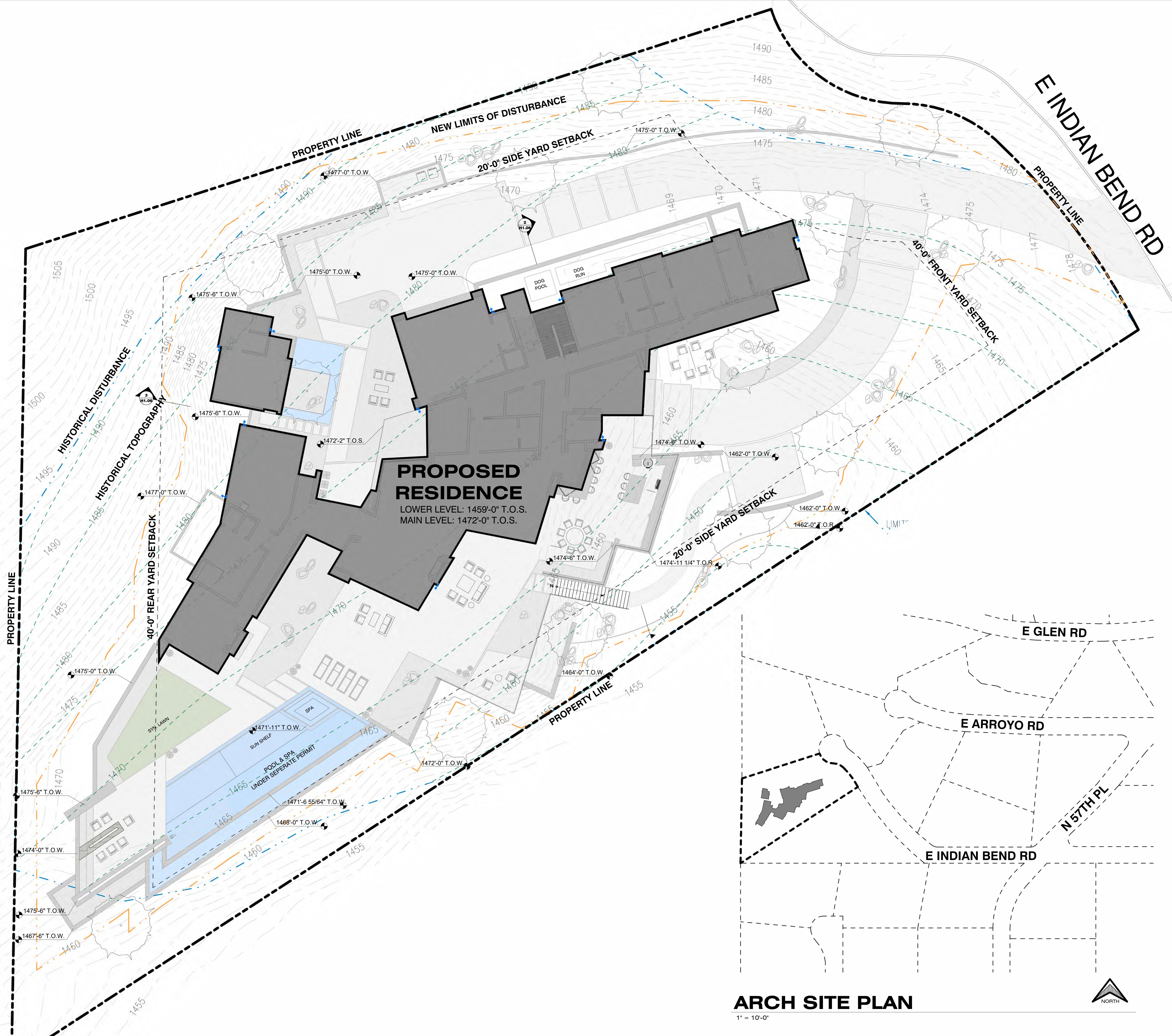
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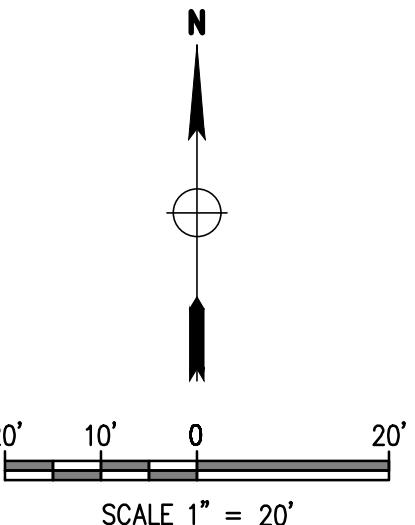
BOUNDARY & TOPOGRAPHIC SURVEY

5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253

LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,

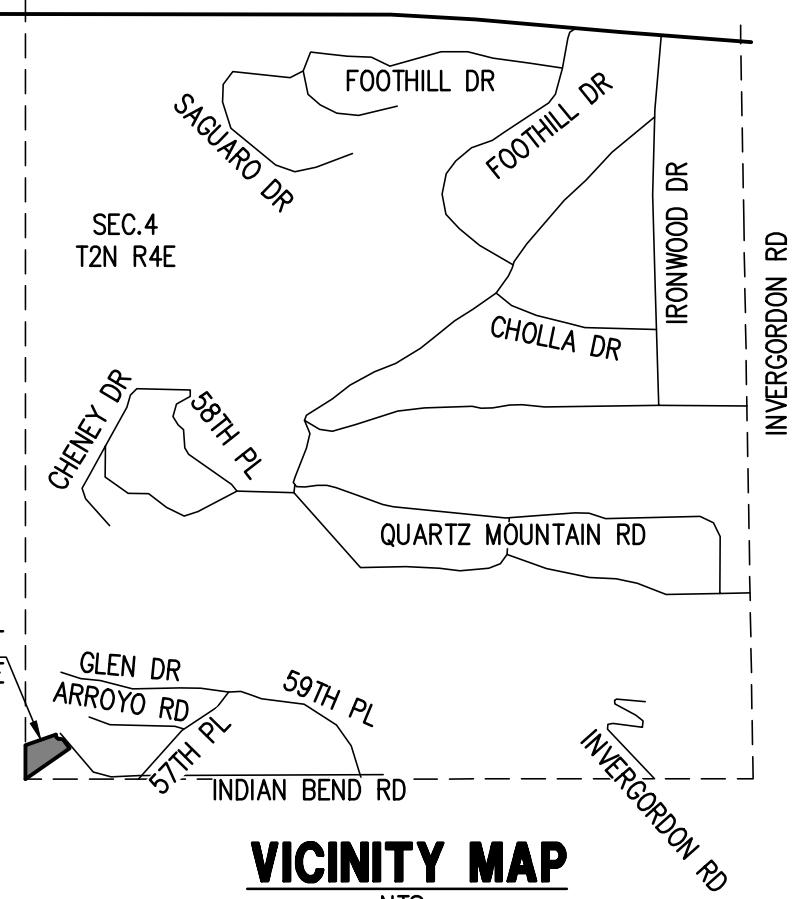
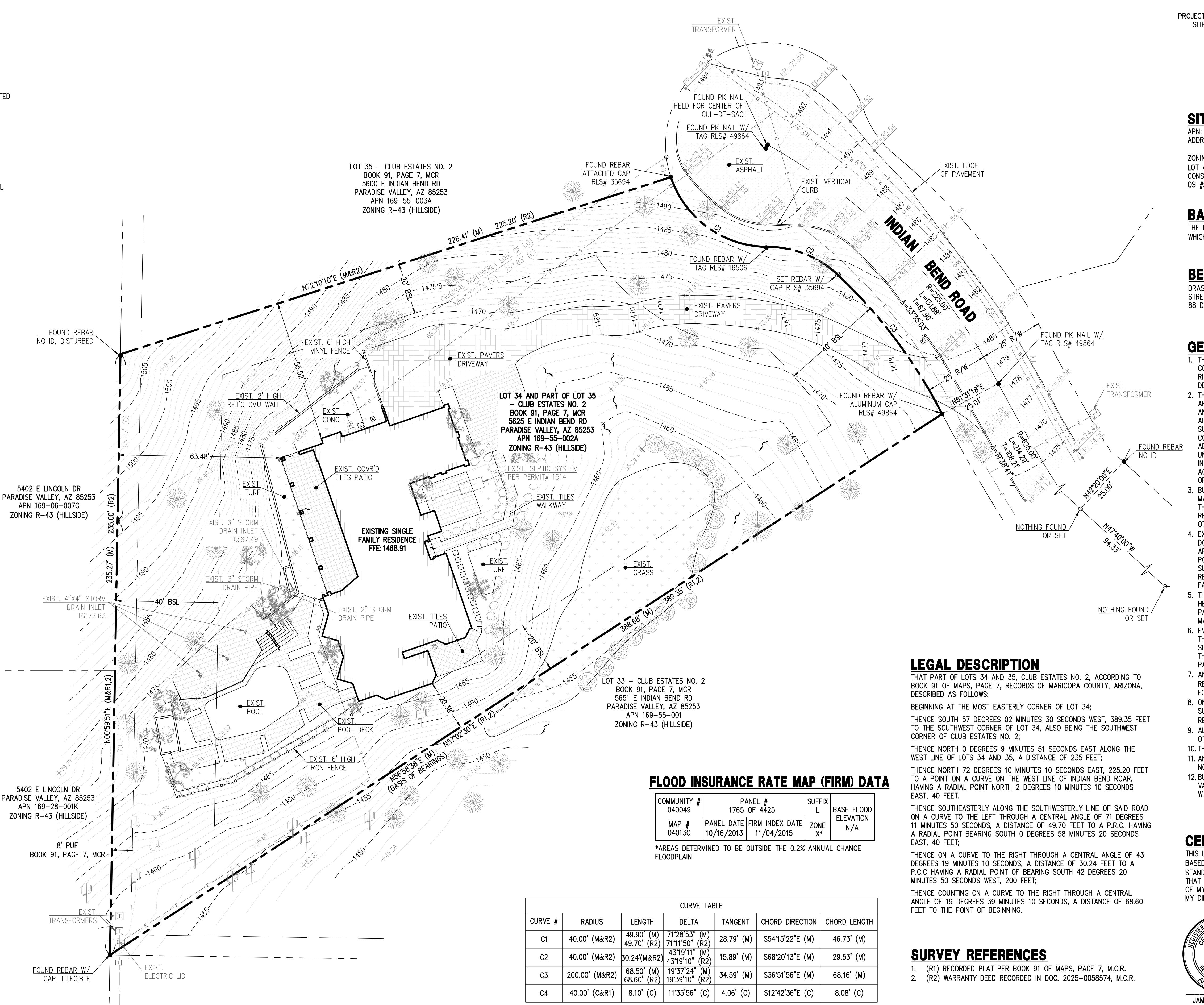
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGEND	
●	FOUND REBAR OR AS NOTED
○	SET REBAR & CAP OR AS NOTED
—	NOTHING FOUND OR SET
— — —	PROPERTY LINE
— - -	EASEMENT LINE
— - -	MONUMENT LINE
— - -	MAILBOX
— - -	WATER METER
— - -	SEWER CLEANOUT
— - -	TELECOMMUNICATIONS PEDISTAL
— - -	STORM DRAIN INLET
— - -	GAS METER
— - -	GAS TEST VALVE
— - -	ELECTRIC METER
— - -	UTILITY CONTROL BOX
— - -	A/C UNIT
— - -	HOSE BIB
— - -	POOL EQUIPMENT
— - -	VINYL FENCE
— - -	IRON FENCE
— - -	STORM DRAIN PIPE
— - -	GAS LINE
— - -	WATER LINE
— - -	CAT, PHONE LINE
— - -	ELECTRIC LINE
— - -	EXISTING CONTOUR
— - -	EXIST. DRAINAGE FLOW
— - -	EXIST. SPOT ELEVATION
— - -	PALO VERDE
— - -	PALM TREE
— - -	TREE
— - -	CITRUS TREE
— - -	MESQUITE TREE
— - -	PIPE CACTUS
— - -	SAGUARO
— - -	STUMP

ABBREVIATIONS	
BSL	BUILDING SETBACK LINE
(C)	CALCULATED
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
G	GUTTER, GAS
(M)	MEASURED
MCR	MARICOPA COUNTY RECORDER
P, PVMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
W	WEST, WATERLINE
WM	WATER METER

UTILITIES	
WATER: EPOR	
SANITARY SEWER: SEPTIC	
ELECTRIC: APS	
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS	
NATURAL GAS: SOUTHWEST GAS	
CABLE TV: CENTURY LINK, COX COMMUNICATIONS	



VICINITY MAP
NTS

SITE DATA

APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1.202 AC.)
CONSTRUCTION YEAR: 1967
QS #:

OWNER

NORMAN TRUST
330 W LAWRENCE RD., PHOENIX, AZ 85013

BASIS OF BEARINGS

THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK

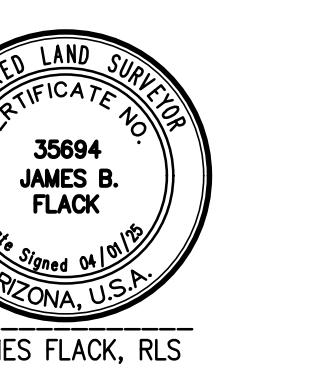
BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDA83# 24524-01.

GENERAL NOTES

1. THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A ROADWAY.
2. THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMprise ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
3. BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
4. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
5. THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 91 OF MAPS, PAGE 7 AND WARRANTY DEED REC. IN DOC. 2025-0058574 RECORDS OF MARICOPA COUNTY, ARIZONA.
6. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
7. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
8. ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
9. ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
10. THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
11. ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
12. BUILDING SETBACKS FOR THIS PROPERTY ARE PER TOWN OF PARADISE VALLEY ZONING CODE. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2025.



LOT 34 & PART OF LOT 35 - CLUB ESTATES NO. 2, 5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253	BOUNDARY & TOPOGRAPHIC SURVEY MAP
REVISIONS:	REVISIONS:
DATE:	DATE:
SCALE: 1"=20'	SCALE: 1"=20'
DESIGNED BY: NP	DESIGNED BY: MN
DRAWN BY: MN	DRAWN BY: JF
checked by: JF	checked by: MN
DATE: 04/01/25	DATE: 04/01/25
JOB: 2502063	JOB: 2502063
VERSION: 1.1	VERSION: 1.1
PLOT DATE: 04/01/25	PLOT DATE: 04/01/25

TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 6-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPAKTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- LOWEST FLOOR ELEVATION CERTIFICATE (LFE) IS REQUIRED AND SHALL BE UPLOADED TO YOUR PERMIT DOCUMENTS PRIOR TO SCHEDULING OF STRAP SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND IN EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION SITE TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 AM.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSH TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL Affected RIGHTS-OF-WAY ARE CLEANED AND/OR RESTORED TO THEIR ORIGINAL CONDITION, OR UNTIL ANY AND ALL DAMAGES TO Affected PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOB BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE PLACED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION, INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 6-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPAKTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNs ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO FUNCTION PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC. LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 30" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
- WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE - (BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRADE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS. DISTURBED AREA: TOTAL ACRES = 0.954 ACRES < 1 ACRE. NPDES PERMIT IS NOT REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
- THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.
- THE SCOPE OF THIS GRADING AND DRAINAGE PLAN COVERS CERTAIN SITE DRAINAGE IMPROVEMENTS AS DELINEATED BY THE LIMITS OF THE CONSTRUCTION AND IN ACCORDANCE TO THE PREPARED BY THE ARCHITECT SITE PLAN, WHICH HAS BEEN COORDINATED AND APPROVED BY THE OWNER, LAND DEVELOPMENT GROUP (LDG) ASSUMES NO LIABILITY FOR DRAINAGE ISSUES THAT MAY EXIST AND COULD CAUSE DAMAGE TO THE SUBJECT OR NEIGHBORING PROPERTIES BEYOND THE LIMITS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
- THE GRADING AND DRAINAGE DESIGN PRESENTED HEREIN IS BASED ON EVALUATING STORMWATER RUNOFF RESULTING FROM A STATISTICAL ANALYSIS OF STORM EVENTS OF PARTICULAR FREQUENCY, UP TO AND INCLUDING 100-YEAR EVENT AS REQUIRED BY THE CITY OF PHOENIX AND MARICOPA COUNTY DRAINAGE DESIGN MANUALS. A STORM EVENT EXCEEDING THE 100-YEAR EVENT MAY CAUSE OR CREATE THE RISK OF GREATER STORM IMPACT THAN IS PRESENTED AND ADDRESSED ON THIS PLAN.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOB BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE PLACED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION, INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	L	BASE FLOOD ELEVATION
040049	1765 of 4425			
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE X*	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

C-1	COVER SHEET
C-2	GRADING AND IMPROVEMENT PLAN
C-3	CROSS SECTIONS DETAILS

WATER: EPCOR
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

PRELIMINARY GRADING & DRAINAGE PLAN

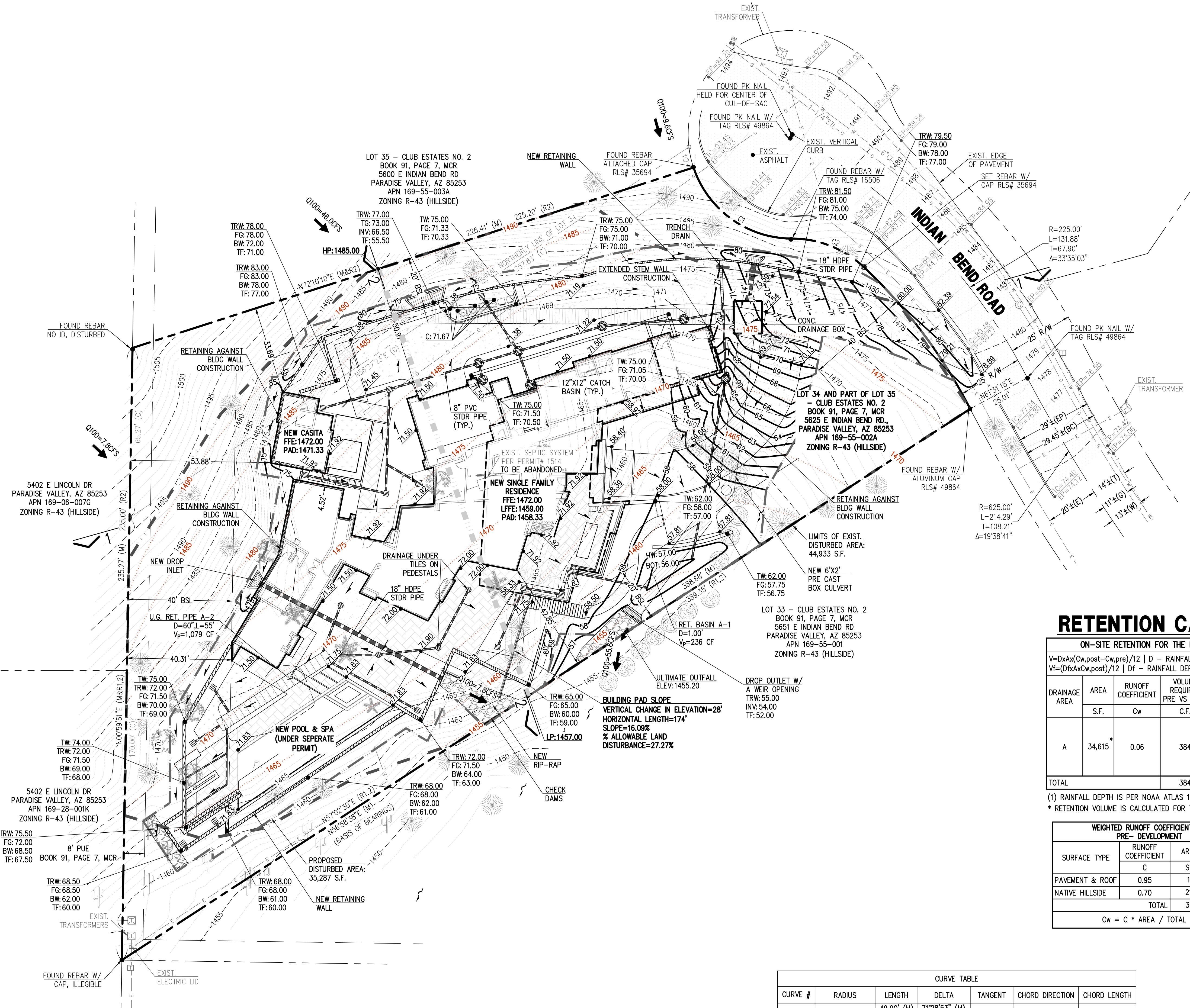
STEWART RESIDENCE

5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253

LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

●	FOUND REBAR OR AS NOTED
○	SET REBAR & CAP
○	NOTHING FOUND OR SET



RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT

V=DxAx(Cw,post-Cw,pre)/12 | D - RAINFALL DEPTH = 2.22" | A - TRIBUTARY AREA, SF | Cw - WEIGHTED RUNOFF COEFFICIENT

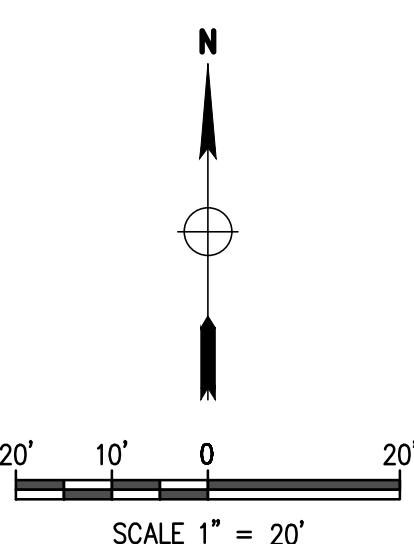
Vf=(DfxAxCw,post)/12 Df – RAINFALL DEPTH = 0.5" FIRST FLUSH A – TRIBUTARY AREA, SF Cw – WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.				S.F.	FT	C.F.	C.F.
A	34,615*	0.06	384	1,240 (GOVERNS)	A1	HW	1,457.00	400	1.00	236	
						BOTTOM	1,456.00	72			
					A2	UNDERGROUND RETENTION PIPE		L=55'	D=60"	1,079	
TOTAL			384	1,240						1,315	

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

* RETENTION VOLUME IS CALCULATED FOR THE AREAS OF NEW DISTURBANCE.

WEIGHTED RUNOFF COEFFICIENT, C _w PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT & ROOF	0.95	13,051	12,398
NATIVE HILLSIDE	0.70	21,564	15,095
	TOTAL	34,615	27,493
$C_w = C * AREA / TOTAL AREA$			0.79

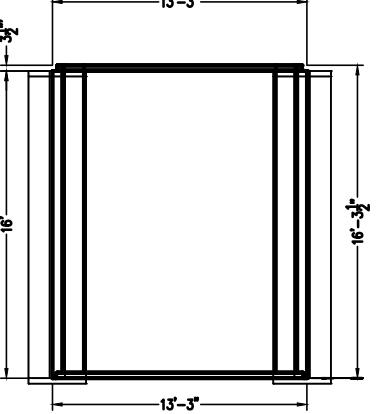
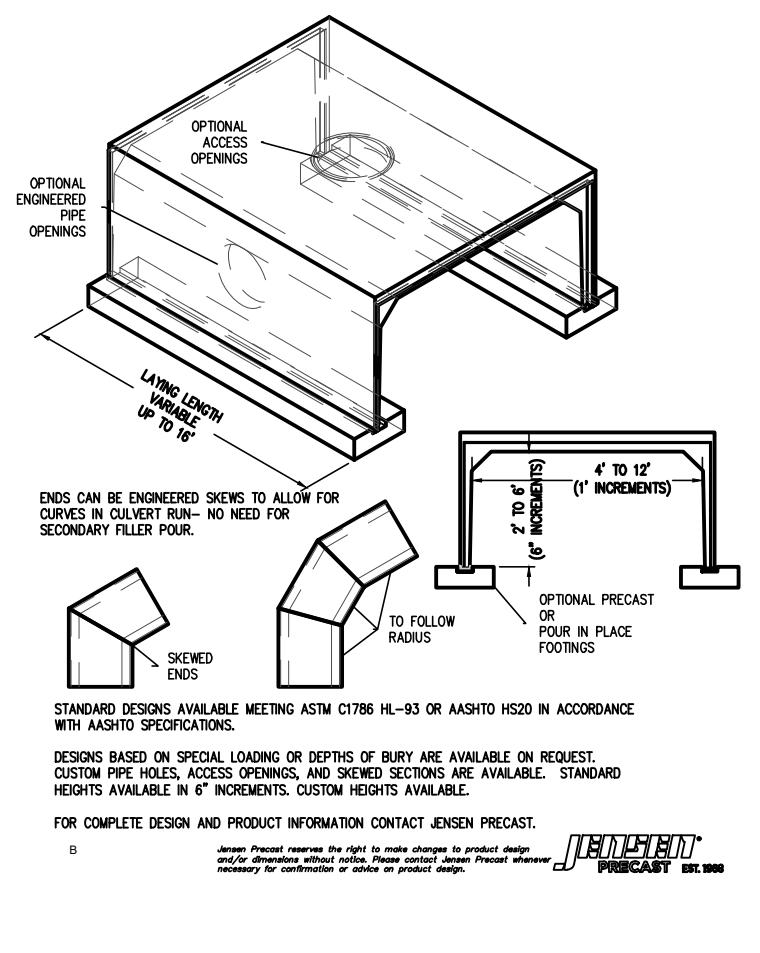
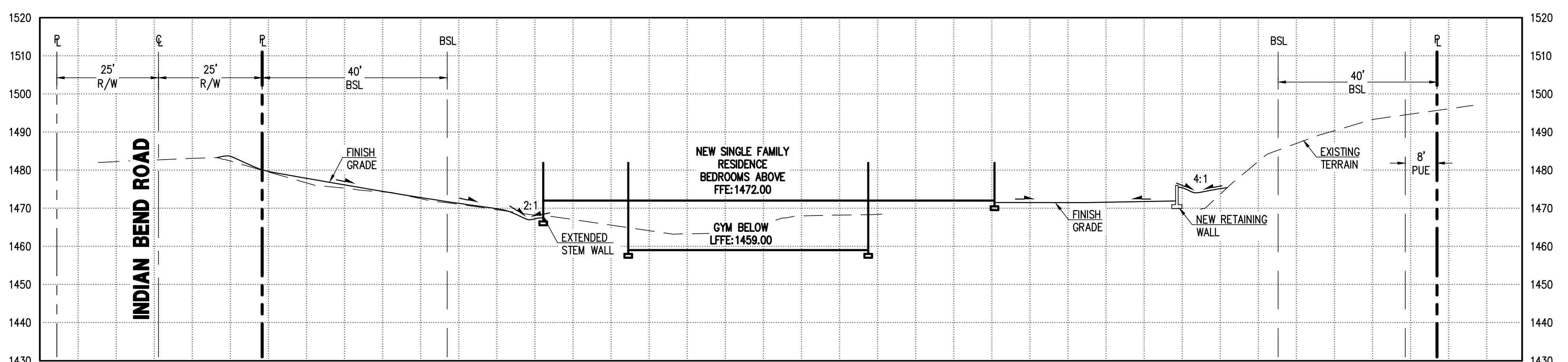
WEIGHTED RUNOFF COEFFICIENT, C_w			
LAND USE TYPE	RUNOFF COEFFICIENT	AREA	C^*AREA
	C	SF	
IMPERVIOUS SURFACE & ROOF	0.95	20,352	19,334
HILLSIDE	0.70	14,263	9,984
TOTAL		34,615	29,319
$C_w = C * AREA / TOTAL AREA$			0.85



CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
C2	40.00' (M&R2)	30.24'(M&R2)	43°19'11" (M) 43°19'10" (R2)	15.89' (M)	S68°20'13"E (M)	29.53' (M)
C3	200.00' (M&R2)	68.50' (M) 68.60' (R2)	19°37'24" (M) 19°39'10" (R2)	34.59' (M)	S36°51'56"E (M)	68.16' (M)
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	S12°42'36"E (C)	8.08' (C)

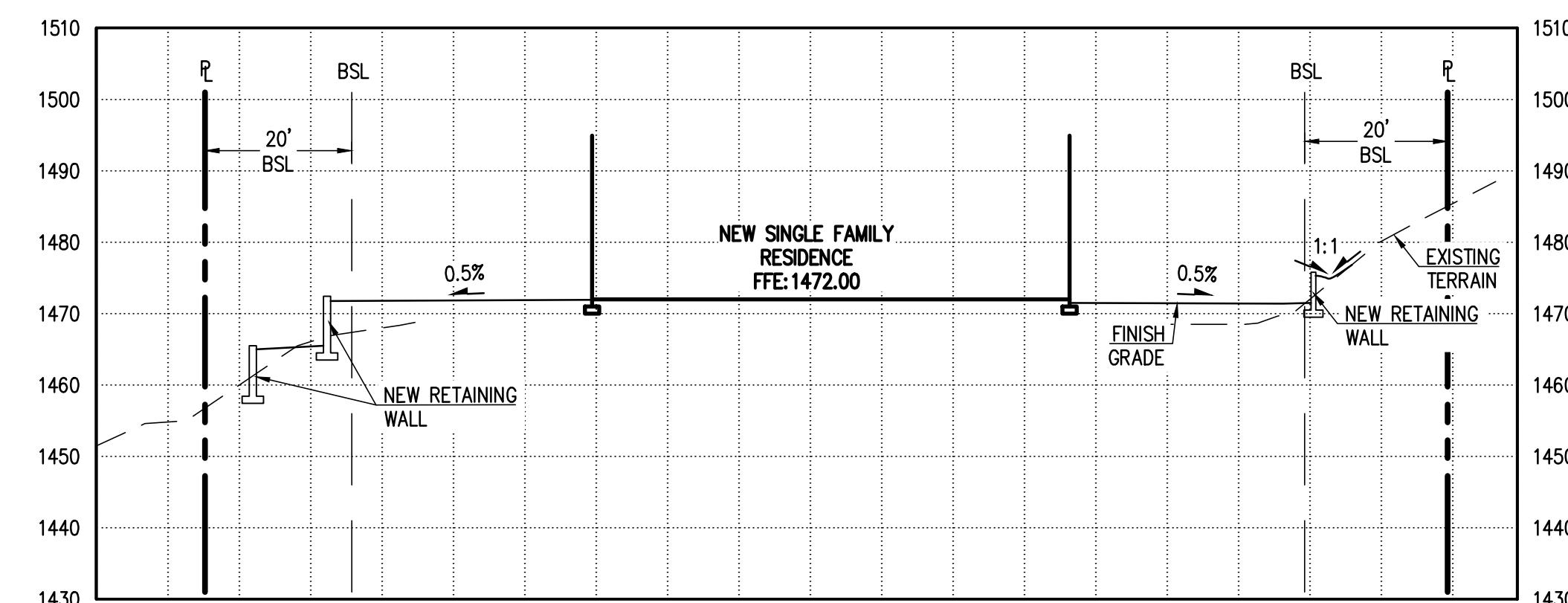
	DESIGNED BY: NP	JOB: 2502063
	DRAWN BY: CM	VERSION: 1.1
	CHECKED BY: JI	PLOT DATE: 11/1
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF LAND DEVELOPMENT GROUP, LLC. UNAUTHORIZED USE, REPRODUCTIONS, OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF LAND DEVELOPMENT GROUP, LLC IS PROHIBITED. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED.		

**LOT 34 & PART OF LOT 35 -
CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY AZ 85253**



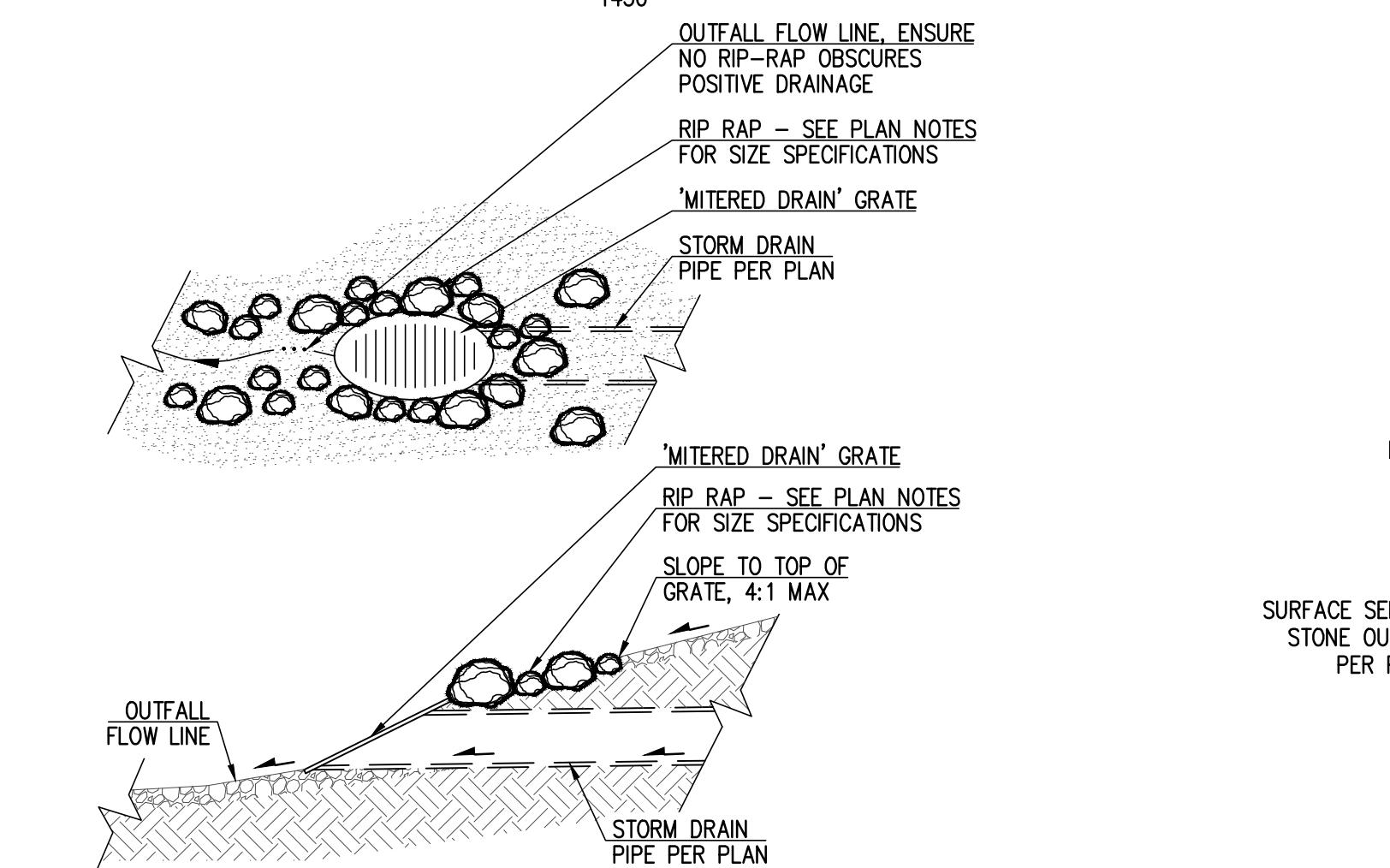
CROSS SECTION 1 - 1

SCALE HOR. 1" = 20', VER. 1" = 20'



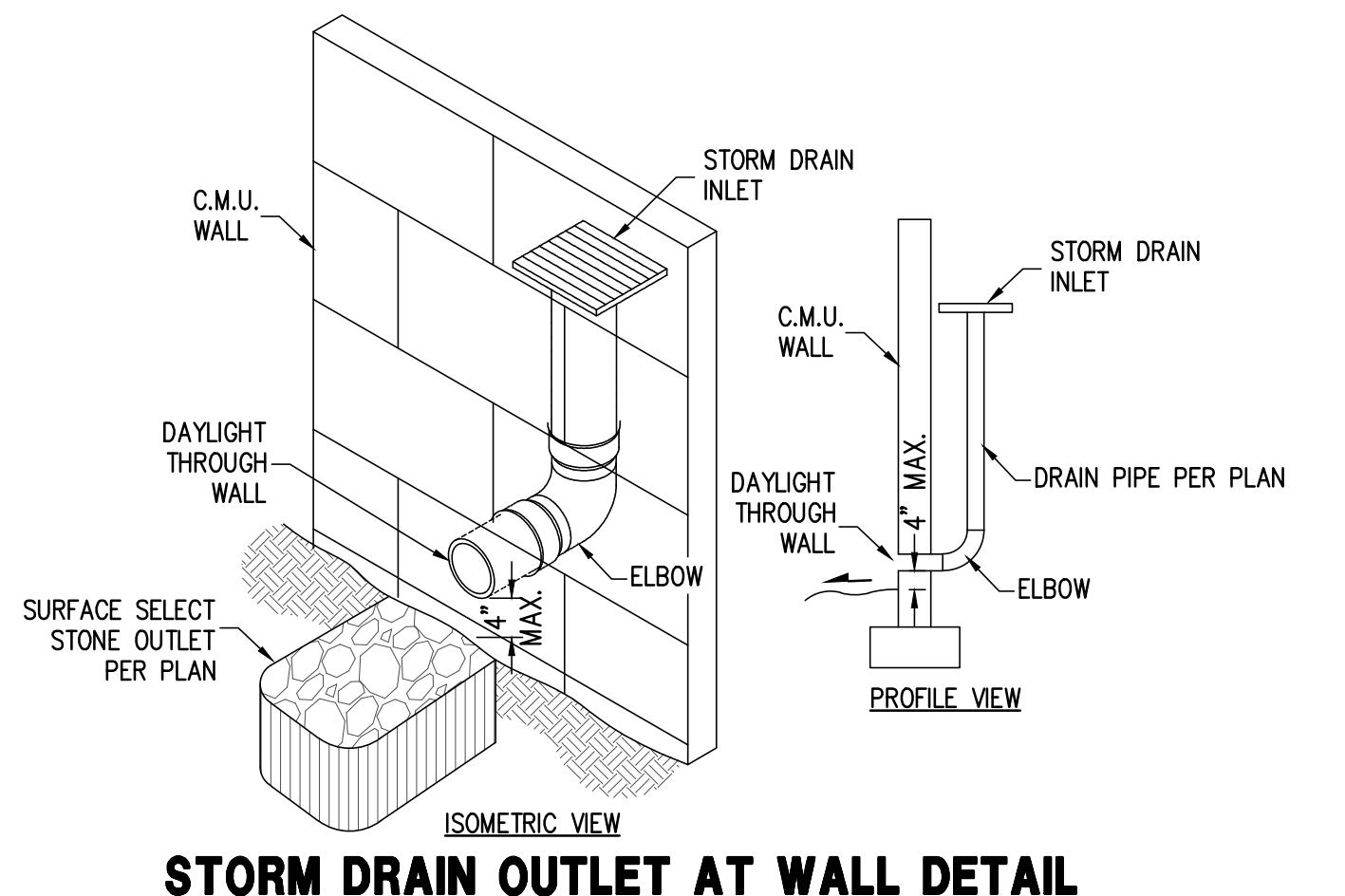
CROSS SECTION 2 - 2

SCALE HOR. 1" = 20', VER. 1" = 20'



PIPE OUTLET DETAIL

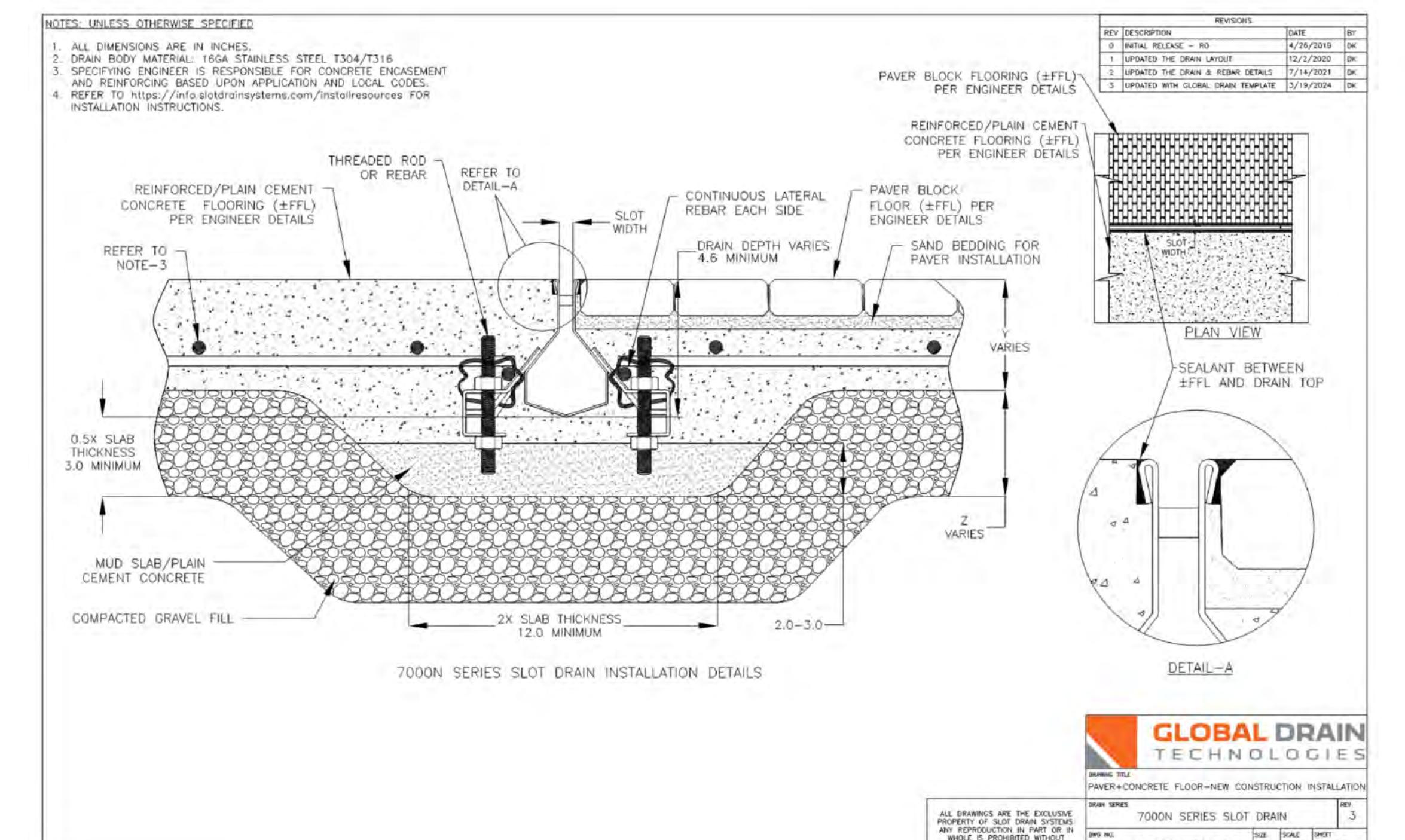
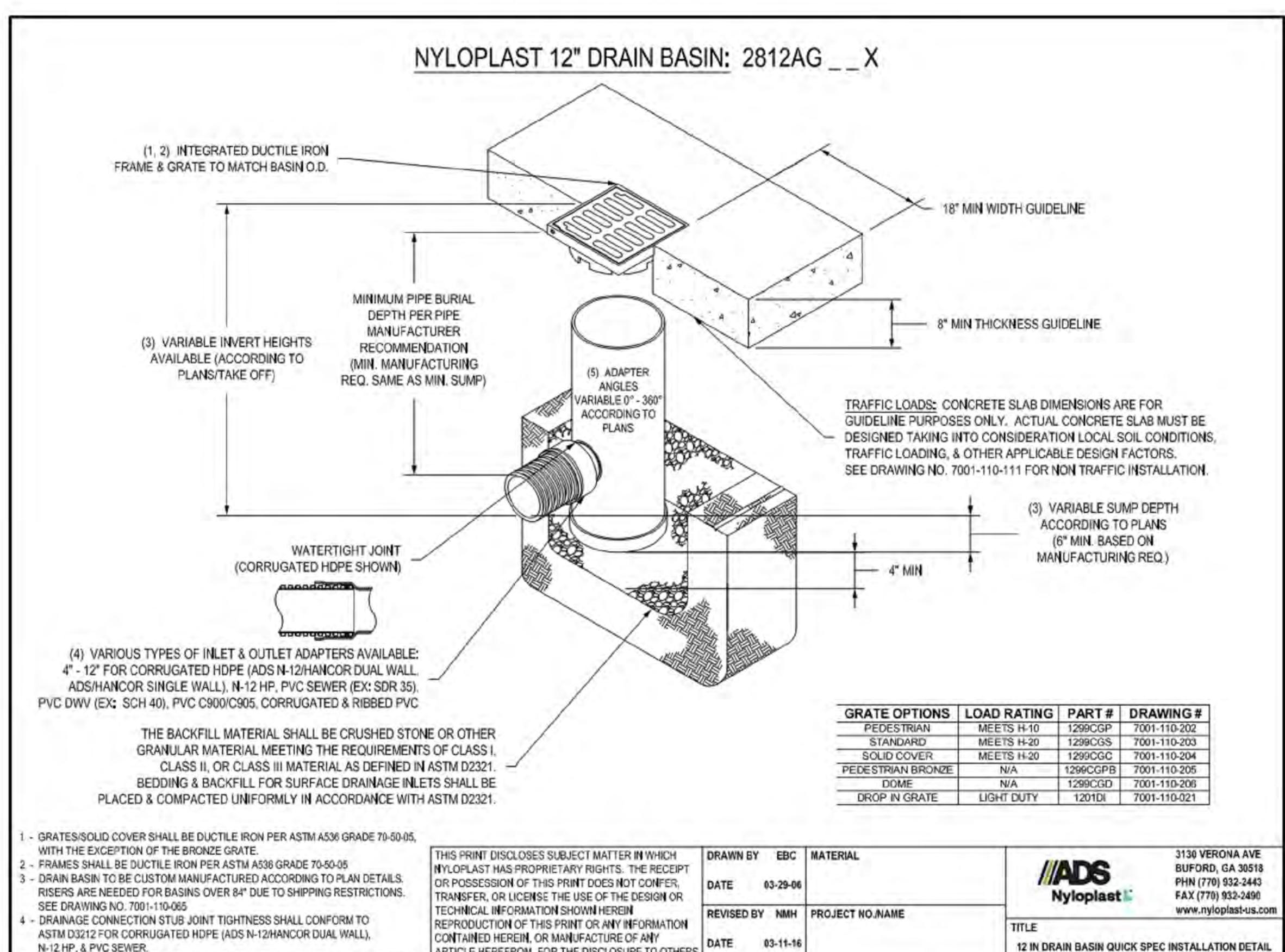
N.T.S.



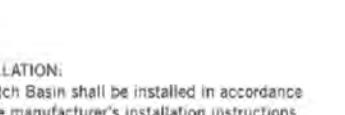
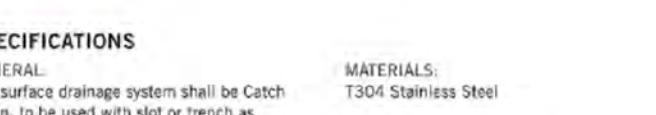
STORM DRAIN OUTLET AT WALL DETAIL

N.T.S.

**PRELIMINARY
GRADING & DRAINAGE
CROSS SECTIONS
DETAILS**



**CATCH BASIN
SPECIFICATION SHEET**



SPECIFICATIONS

MATERIALS:

The Catch Basin shall be installed in accordance with the manufacturer's installation instructions and recommendations. Catch Basins shall be manufactured with levelers to stabilize the drain within the concrete slab.

INSTALLATION:

The Catch Basin shall be used with slot or trench as manufactured by Global Drain Technologies.

The surface drainage system shall be Catch Basin, to be used with slot or trench as manufactured by Global Drain Technologies.

Materials: T304 Stainless Steel

Lid: Slot Lid (or) Panlid Design

Typical modular layout of a catch basin system.



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



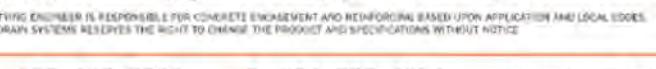
TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



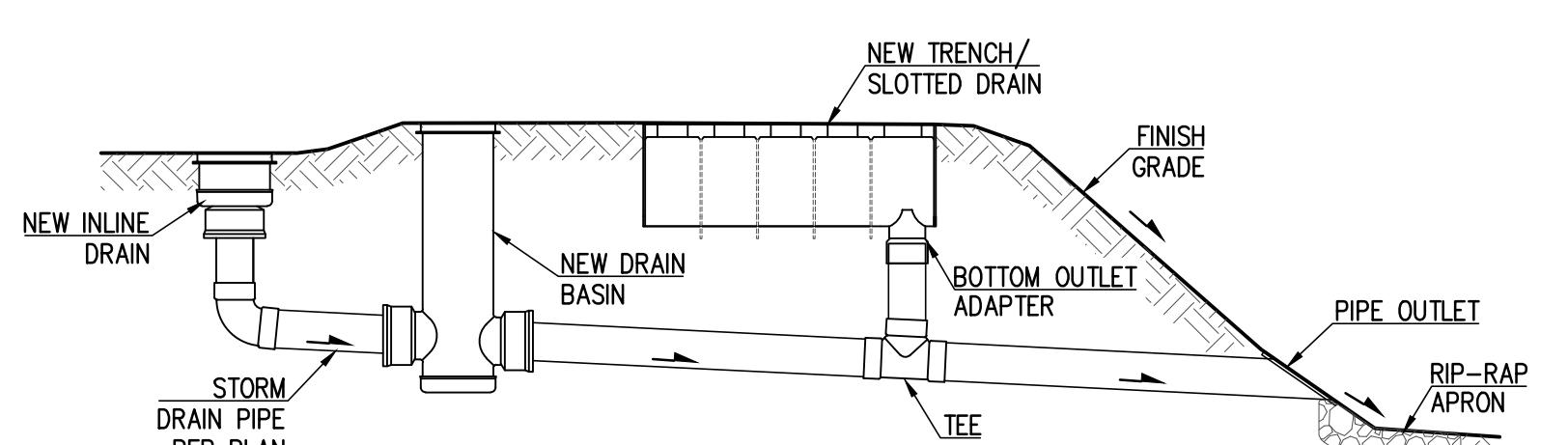
TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



TYPICAL DRAIN WITH LEVELER DETAILS



SCHEMATIC STORM DRAIN SYSTEM

N.T.S.



Contact Arizona 811 at least two full working days before you begin excavation

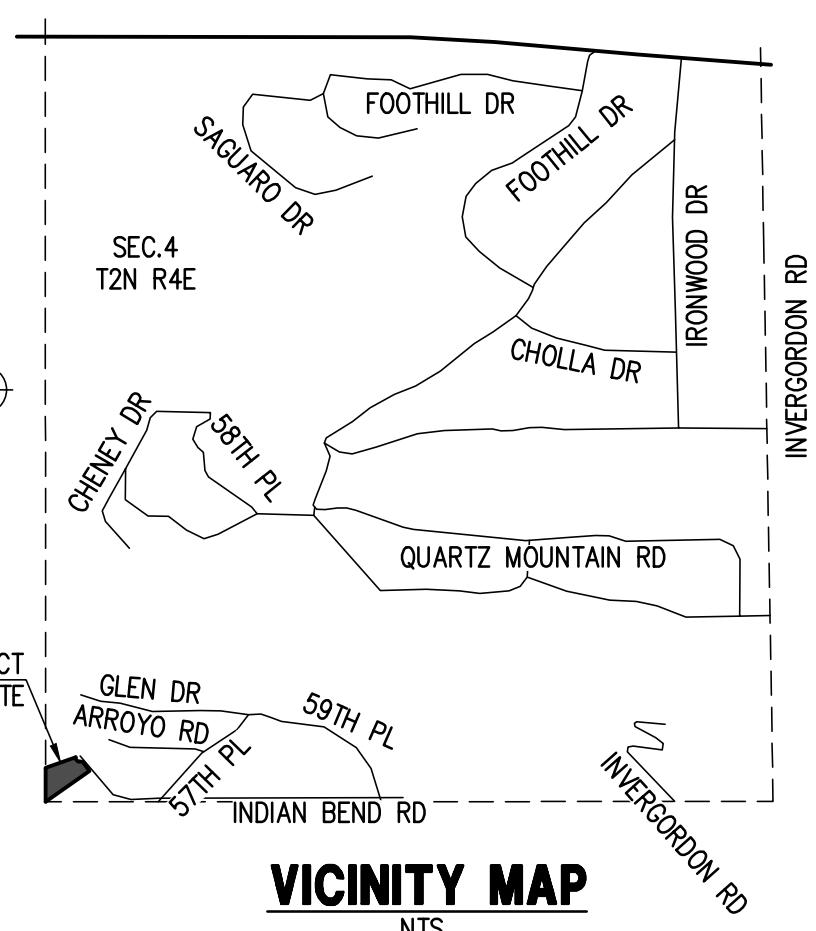
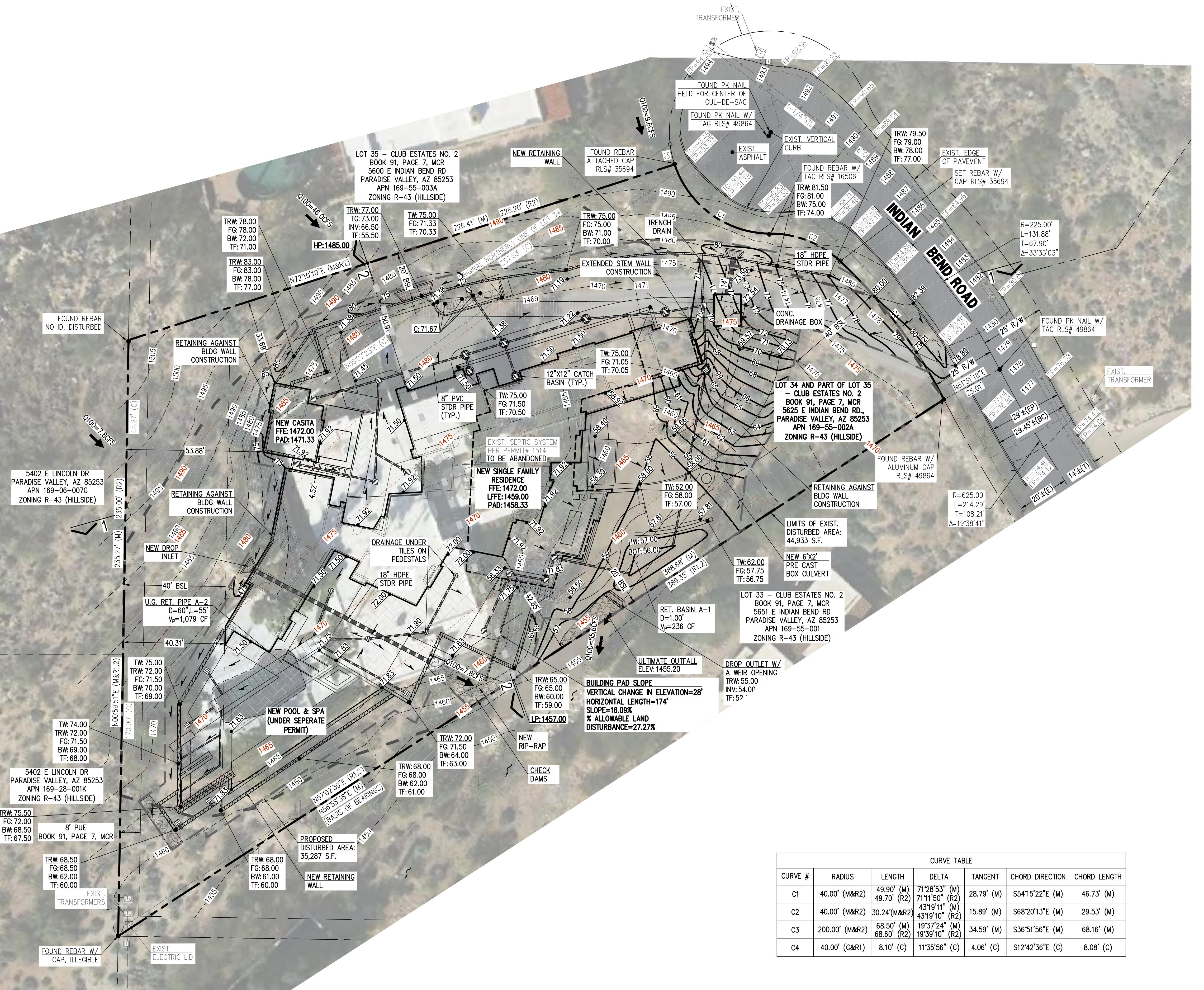
Call 811 or click Arizona811.com

C-3

3

AERIAL MAP EXHIBIT STEWART RESIDENCE

**5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2
A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**



OWNER
ERMAN TRUST
D W LAWRENCE RD.,
ENIX, AZ 85013

STRATTON ARCHITECTS
10 N 40TH ST, SUITE 170,
PHOENIX, AZ 85018
CONTACT: PARKER BIERTZER
480-262-339-2481
BIERTZER@STRATTON-ARCHITECTS.COM

VIL ENGINEER
D DEVELOPMENT GROUP, LLC
3 N CENTRAL AVE, SUITE 288
ENIX, AZ 85020
TACT: NICK PRODANOV, PE
602 889 1984

ITE DATA

N: 169-55-002A
RESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
NING: R-43 (HILLSIDE)
T AREA: 52,356 S.F. (1.202 AC.)
NSTRUCTION YEAR: 1967
#: 23-41

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

LEGAL DESCRIPTION

AT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

GINNING AT THE MOST EASTERLY CORNER OF LOT 34;

ENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;

ENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND A DISTANCE OF 235 FEET;

ENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAR, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET.

ENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, A DISTANCE OF 49.70 FEET TO A P.R.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;

ENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;

ENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

ASIS OF BEARINGS

WE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

ENCHMARK

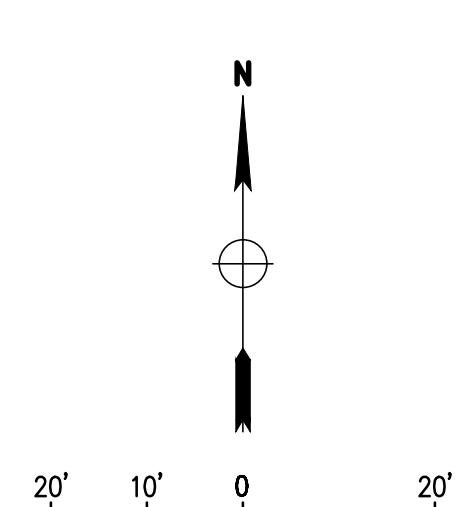
ASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH
STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD
DATUM, GDACS# 24524-01

OOD INSURANCE RATE MAP (FIRM) DATA

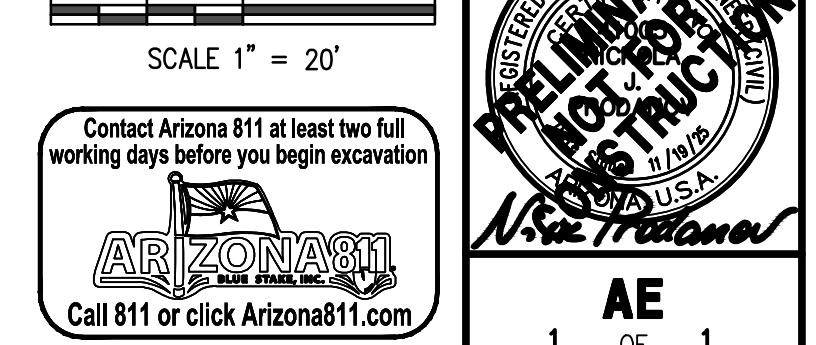
COMMUNITY # 040049	PANEL # 1765 OF 4425		SUFFIX L	BASE FLOOD ELEVATION N/A
MAP # 04013C	PANEL DATE 09/19/2020	FIRM INDEX DATE 11/04/2015	ZONE X*	

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN

LEGEND



CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
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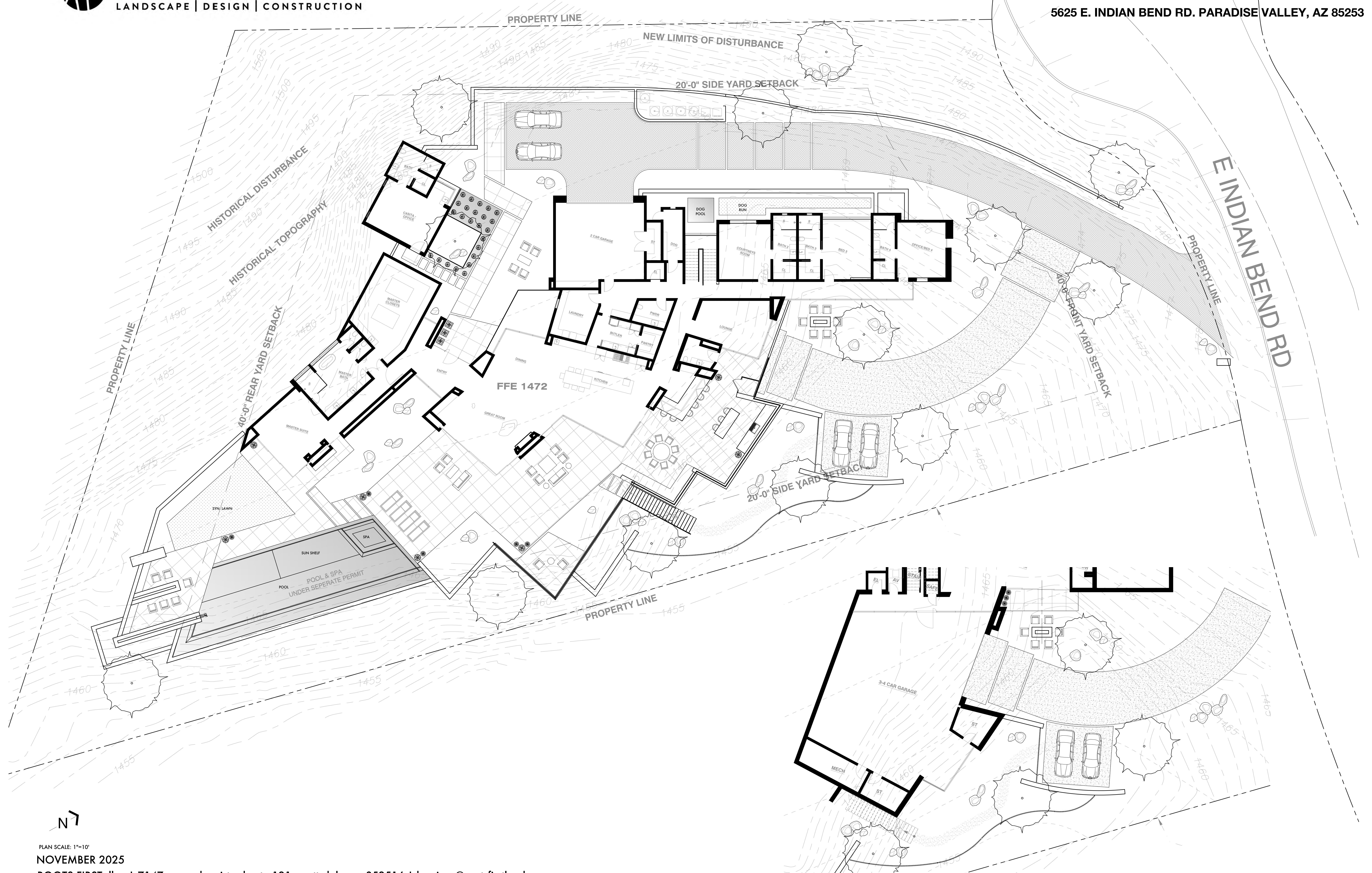
ROOTS FIRST

LANDSCAPE | DESIGN | CONSTRUCTION

CONCEPTUAL PLAN PREPARED FOR THE:

STEWART RESIDENCE

5625 E. INDIAN BEND RD. PARADISE VALLEY, AZ 85253



PLAN SCALE: 1"=10'

NOVEMBER 2025

ROOTS FIRST, llc. | 7147 e. rancho vista dr. ste.121, scottsdale, az 852516 | harrison@rootsfirstlandscape.com

EXTERIOR STRUCTURAL STEEL -
POWDER COAT - MATTE BLACK
LRV EST. 2-7



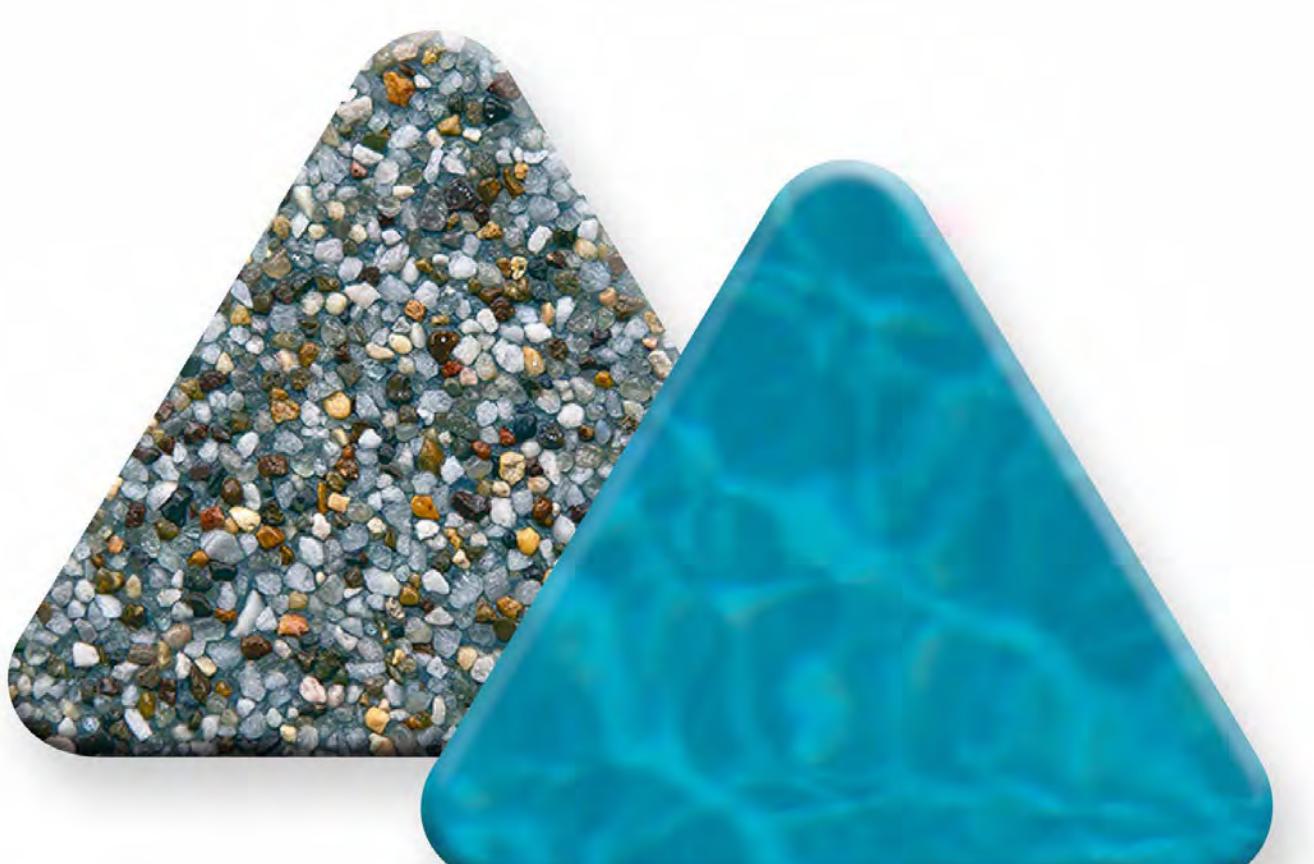
DOOR & WINDOW SASH -
AWAKE WINDOWS & DOORS - MATTE BLACK
LRV EST. 2-7



EXTERIOR GLASS -
CARDINAL GLASS - CLEAR
LOW E COATING

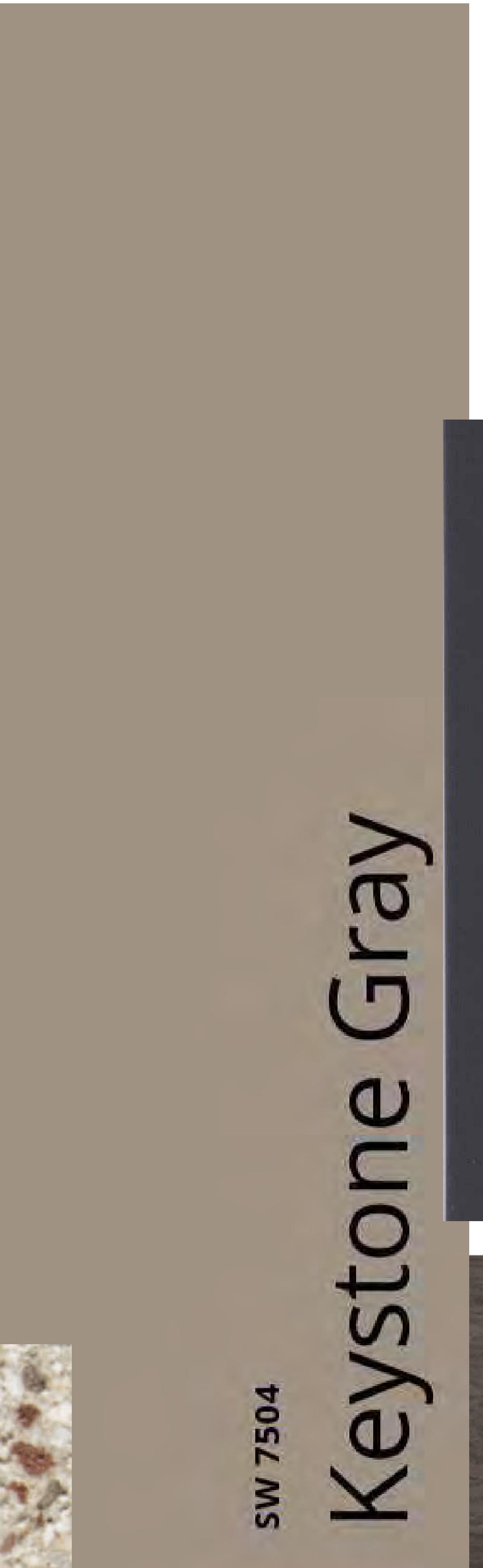


ARCHITECTURAL FINISH BLOCK -
ECHELON - TRENDSTONE PEARLY WHITE
LRV 36

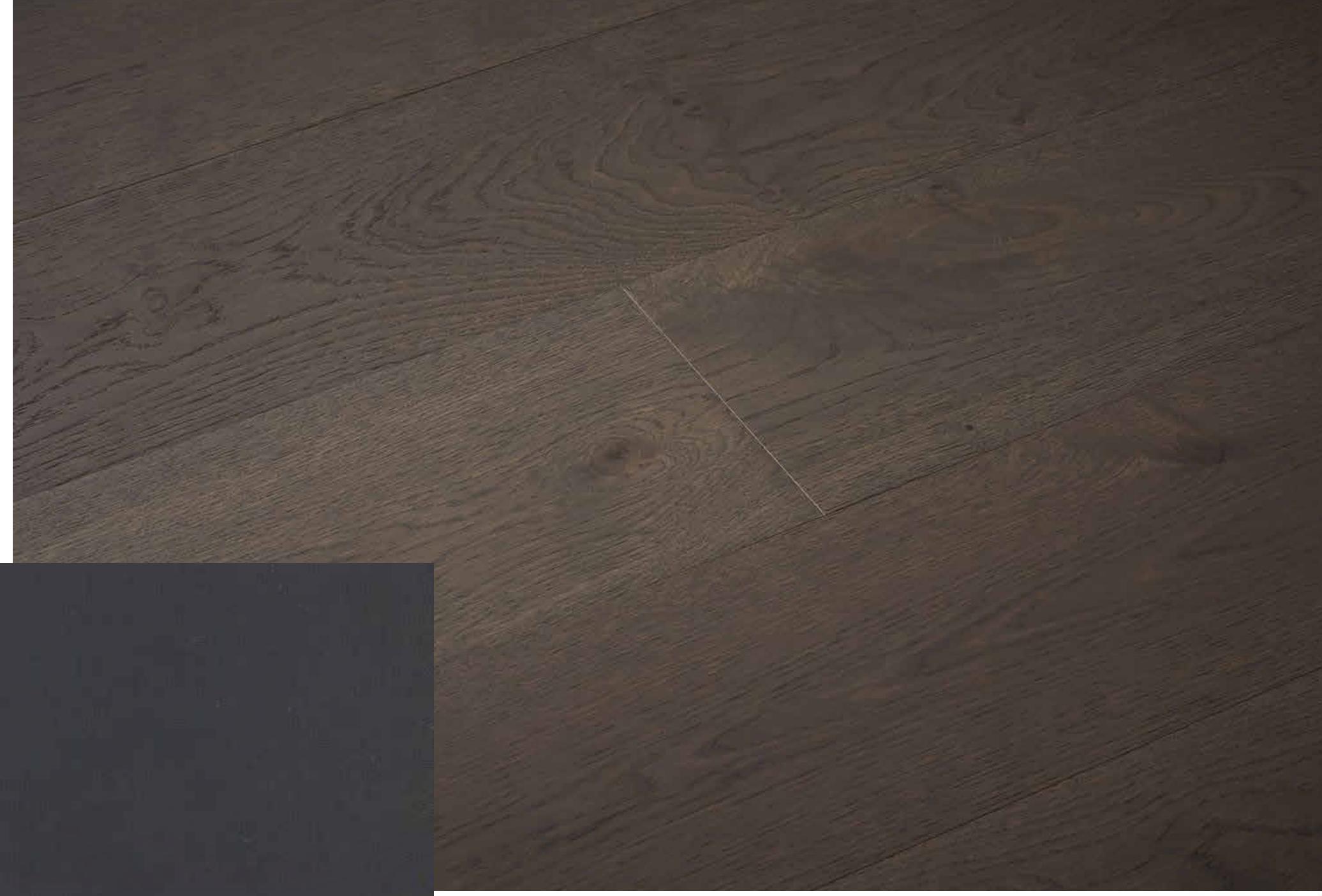


POOL LINER -
PEBBLE TEC - PEBBLE SHEEN BLUE GRANITE
LRV MAX. 36

STUCCO -
BENJAMIN MOORE - ROCKPORT GRAY
LRV 36



TONGUE & GROOVE CEILING -
HAVWOODS - ROTHBURY
LRV MAX. 36



BREAKMETAL FASCIA -
OLD COUNTRY MILLWORK - MATTE BLACK
LRV EST. 2-7

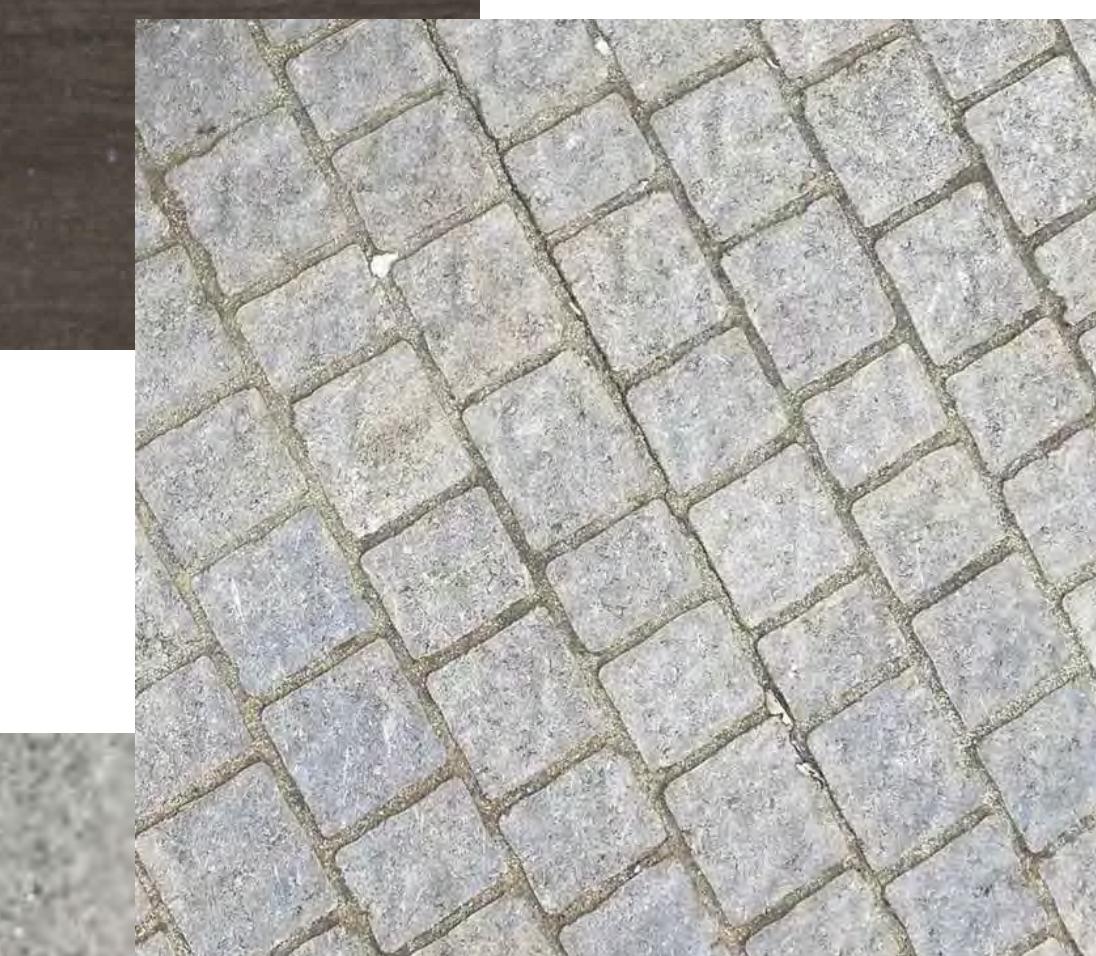


TURF -
OLIVE PRO - SYNTHETIC TURF 70 OZ.
LRV 26

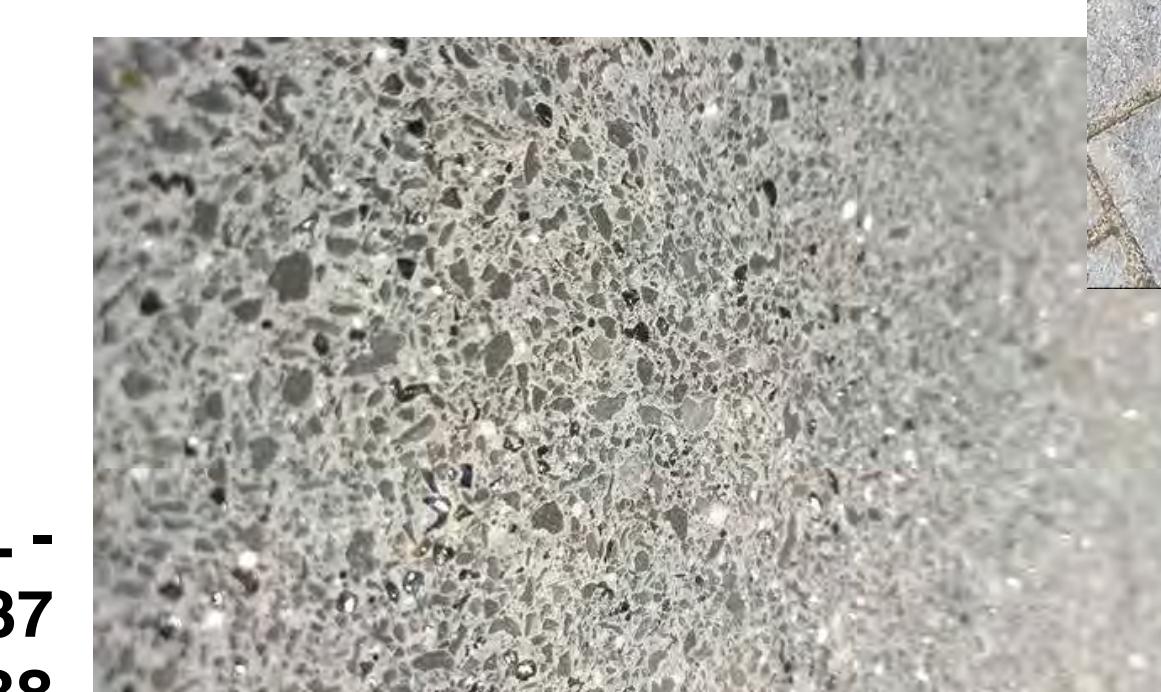


EXTERIOR PAVERS & POOL COPING -
MONTERREY TILE - DESERT PORCELAIN
LRV MAX. 38

DRIVE PAVERS -
ACKER STONE - PALERMO
LRV MAX. 38



EXTERIOR STONE VENEER -
SOLSTICE STONE - MESQUITE BRUSHED
LRV 33



MAIN DRIVE MATERIAL -
ACID ETCHED CONCRETE - SANDSTONE 5237
LRV MAX. 38



AGGREGATE -
MADISON GOLD 3/4" D
LRV MAX. 30

STRATTON
ARCHITECTS

A. 5203 East Lincoln Drive Paradise Valley, Arizona 85253
P. (860) 331-0701

STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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