#### **RESOLUTION NO. 2025-10**

- A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA, APPROVING THE SECOND AMENDMENT TO AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF SCOTTSDALE AND THE TOWN OF PARADISE VALLEY.
- WHEREAS, the Town of Paradise Valley, Arizona (the "Town") and the City of Scottsdale, Arizona (the "City") entered into Intergovernmental Agreement COS 960001, dated February 5, 1996 (the "Original Agreement"), relating to deannexation of a portion of the Scottsdale Road right-of-way (the "Right-of-Way") by the Town and subsequent annexation of the same by the City for the purpose of expansions to Scottsdale Road; and
- **WHEREAS**, the Original Agreement was amended once by that First Amendment to Intergovernmental Agreement COS 960001A, dated December 9, 2002 (together with the Original Agreement, the "Agreement"); and
- WHEREAS, Section 7 of the Original Agreement established the improvements to be made (including a wall and landscaping) within the Right-of-Way, and assigned to the City responsibility for ongoing maintenance of the wall and landscaping; and
- WHEREAS, the Town desires to make improvements to the walls and landscaping areas (the "Town Improvements") within the Right-of-Way near the northwest and southwest corners of the intersection of Scottsdale Road and Doubletree Ranch Road; and
- **WHEREAS**, the parties desire to amend the Agreement to allow the Town to make the Town Improvements within the Right-of-Way, subject to the terms of this Second Amendment.
- **NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Council of the Town of Paradise Valley, Arizona, as follows:
  - Section 1. The recitals above are hereby incorporated as if fully set forth herein.
- <u>Section 2</u>. The Second Amendment to Intergovernmental Agreement between the City of Scottsdale and the Town of Paradise Valley is hereby approved in substantially the form and substance attached hereto as <u>Exhibit A</u> and incorporated herein by this reference.
- <u>Section 3</u>. The Mayor, the Town Manager, the Town Clerk, and the Town Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose and intent of this Resolution.

# PASSED AND ADOPTED by the Mayor and Council of the Town of Paradise Valley, Arizona, on this 12th day of June 2025. Mark Stanton, Mayor ATTEST: Duncan Miller, Town Clerk APPROVED AS TO FORM:

Andrew McGuire, Town Attorney

#### EXHIBIT A TO RESOLUTION NO. 2025-10

(Second Amendment to Intergovernmental Agreement between the City of Scottsdale and the Town of Paradise Valley)

See following pages.

# SECOND AMENDMENT TO INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF SCOTTSDALE AND THE TOWN OF PARADISE VALLEY

THIS SECOND AMENDMENT TO INTERGOVERNMENTAL AGREEMENT (this "Second Amendment"), is entered into and effective as of \_\_\_\_\_\_\_, 2025, between the CITY OF SCOTTSDALE, an Arizona municipal corporation (the "City"), and the TOWN OF PARADISE VALLEY, an Arizona municipal corporation ("Town"), each individually referred to as a "Party" and collectively referred to as the "Parties."

#### RECITALS

- A. Arizona Revised Statutes ("**A.R.S.**") §§ 11-951 *et seq.*, authorizes public agencies, including the Parties, to enter into agreements to jointly exercise their respective powers for the public benefit.
- B. The City and the Town previously entered into Intergovernmental Agreement COS 960001, dated February 5, 1996 (the "**Original Agreement**"), relating to deannexation of a portion of Scottsdale Road by the Town and subsequent annexation of the same by the City for the purpose of expansions to Scottsdale Road. The Original Agreement was amended once by that First Amendment to Intergovernmental Agreement COS 960001A, dated December 9, 2002 (the "**First Amendment**" and, together with the Original Agreement, the "**Agreement**").
- C. Section 7 of the Original Agreement established the improvements to be made (including a wall and landscaping), and assigned to the City responsibility for ongoing maintenance of the wall and landscaping.
- D. The Town desires to make improvements to the walls and landscaping areas (the "**Town Improvements**") on property owned or controlled by the City near the northwest and southwest corners of the intersection of Scottsdale Road and Doubletree Ranch Road as depicted on <u>Exhibit A</u> attached hereto and incorporated herein by reference (the "**Property**").
- E. The City desires to allow the Town to make the Town Improvements within the Property, subject to the terms of this Second Amendment.

#### **AGREEMENT**

Now, therefore, in consideration of the foregoing introduction and recitals, which are incorporated herein by reference, the following mutual covenants and conditions, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

- 1. Installation and Maintenance of Town Improvements.
- A. <u>Access to and Maintenance of Property; License.</u> The City hereby grants to the Town a license, subject to the terms set forth below, to enter upon the Property for the purpose of constructing, installing, modifying, maintaining, repairing, and replacing the Town Improvements and existing plants and trees on a portion of the Property, as depicted and

described in the site plan attached hereto as <u>Exhibit B</u> (the "**Site Plan**"). After completion of the Town Improvements, the Town shall be allowed to enter upon the Property periodically for maintenance of and repairs to the Town Improvements. The Town shall be solely responsible for maintenance of the Town Improvements and existing plants and trees on the Site Plan. So long as the Town's access does not require closures of the sidewalk or travel lanes on the west side of Scottsdale Road, the Town may access the Property without further approval by the City; if closures are required, the Town shall obtain prior approval by the City of plans for such closures.

- B. <u>Compliance with City Requirements</u>. The Town shall be solely responsible for ensuring that all construction within the City's rights-of-way is in conformance with the City's requirements for work within its rights-of-way all. The City shall be allowed to inspect the Town Improvement Areas during the construction period.
- C. <u>Rights in Adjacent Land</u>. The Town's rights are expressly limited to the Property. Without limitation, in the event any public right-of-way or other public or private property at or adjacent to the Property is owned, dedicated, abandoned, or otherwise acquired, used, improved, or disposed of by the City, said property does not accrue to this Second Amendment but is the City's only. In addition, and severable from the preceding sentence, upon any such event, the Town will, upon the City's request, execute and deliver to the City a disclaimer of any right-of-way or other property.
- D. <u>Reservations</u>. The City specifically reserves to itself and excludes from this Second Amendment a non-exclusive delegable right over the Property (the "**Reserved Rights**"). The Reserved Rights are for the exercise of all the City's rights under this Second Amendment and for any and all purposes that do not, in the City's reasonable discretion, materially and substantially interfere with the Town's lawful conduct under this Second Amendment. The Reserved Rights include:
  - (i) The right to use and allow others to use the Property, and to permit any existing or future improvements upon the Property and any related construction, operation, use, maintenance, repair, and replacement of any such improvements at any location upon the Property, so long as those uses and improvements do not (a) materially and substantially impair the Town's ability to access or use the Property as provided in this Second Amendment or (b) damage the Town Improvements.
  - (ii) The right to access the Property and to allow others to access the Property. Such access may occur at all reasonable times, for the purposes of construction, operation, use, maintenance, repair, or replacement of any improvements or facilities located within the Property from time to time. The City shall ensure that any damage or injury to any part of the Property or the Town Improvements resulting from any such access will be promptly repaired at the expense of the party so accessing the Property.
- E. <u>Condition of Title</u>. The Town's rights under this Second Amendment are subject to all covenants, conditions, restrictions, easements, agreements, liens, reservations, and encumbrances upon, and all other recorded or unrecorded matters or conditions of title to, or agreements or documents regarding, the Property (collectively, the "**Site Documents**"). The Town's rights to use the Property pursuant to this Second Amendment are limited to those interests held by the City under the Site Documents. The Town will have no power to amend, modify, terminate, or otherwise change the Site Documents or create new Site Documents.

- F. <u>Condition of License Area</u>. The License Area is being made available in an "as is" condition without any express or implied warranties of any kind, including without limitation any warranties or representations as to its condition or fitness for any use.
- G. <u>No Real Property Interest</u>. Despite any provision in this Second Amendment to the contrary, and despite any negotiation, correspondence, course of performance, or dealing, or other statements or acts by or between the parties, the Town's rights are limited to the Property, and the Town's rights in the Property are limited to the specific limited license rights created by this Second Amendment. The City and the Town do not by this instrument intend to create a lease, easement, or other real property interest. The Town will have no real property interest in the Property.
- H. Relations with Other Users. The Town will coordinate with the City as necessary to maintain good relations with all other entities having any right to access or use the Property, all other occupants of the Property, and the occupants of surrounding real property (none of whom are third-party beneficiaries to this Second Amendment or to the Agreement). The Town will immediately give the City notice of any actual or threatened dispute, violation, or other disagreement relating to the Property. Neither Party is an agent for the other with respect to the Property.
- I. <u>Insurance</u>. The Town shall ensure its typical policies of insurance extend to and cover its work within the Property. In the event the Town Improvements are damaged by an act of a third party not covered by Section 1(D)(ii) above, the City shall cooperate with the Town in proceedings against such third party for recovery of amounts owed as a result of the damages, including assignment of claims as necessary.
- 2. <u>Indemnification</u>. Each Party (as "Indemnitor") agrees to indemnify, defend, and hold harmless the other Party (as "Indemnitee") from and against any and all claims, losses, liability, costs, or expenses (including reasonable attorney's fees) (collectively referred to as "Claims") arising out of the negligent performance of this Second Amendment and the Agreement, but only to the extent that such Claims that result in vicarious/derivative liability to the Indemnitee are caused by the act, omission, negligence, misconduct, or other fault of the Indemnitor, its officers, officials, agents, employees, or volunteers.
- 3. <u>No Joint Venture</u>. This Second Amendment and the Agreement are not intended to and do not constitute, create, or otherwise give rise to a joint venture, partnership, or other formal business association or organization between the Parties. The Parties' rights and obligations are limited to those expressly set forth in this Second Amendment or the Agreement.
- 4. <u>E-Verify</u>. To the extent applicable under A.R.S. § 41-4401, the Parties warrant compliance with all federal immigration laws and regulations that relate to their employees and their compliance with the E-Verify requirements under A.R.S. § 23-214(A). Either Party's failure to comply with such warranty shall be deemed a material breach of this Second Amendment and may result in the termination of this Second Amendment and the Agreement by the non-breaching Party. To ensure that the Parties and their subcontractors are complying with the warranty under this section, each Party's and its subcontractor's books, records, correspondence, accounting procedures and practices, and any other supporting evidence relating to this Second Amendment and the Agreement, including the papers of any of the their employees who perform any work or services pursuant to this Second Amendment and the Agreement (all of the foregoing hereinafter referred to as "**Records**"), shall be open to inspection and subject to audit and/or reproduction during normal working hours by the other Party, to the extent necessary to adequately permit (A)

evaluation and verification of any invoices, payments, or claims based on actual costs (including direct and indirect costs and overhead allocations) incurred, or units expended directly in the performance of the services contemplated under this Second Amendment and the Agreement, and (B) evaluation of the Parties' and their subcontractors' compliance with the Arizona employer sanctions laws referenced above. To the extent necessary for either Party to audit Records as set forth in this section, the Parties and their subcontractors hereby waive any rights to keep such Records confidential. For the purpose of evaluating or verifying such actual or claimed costs or units expended, the Parties shall have access to said Records, even if located at their respective subcontractors' facilities, from the effective date of this Second Amendment until three years after the date this Second Amendment is terminated. The Parties and their subcontractors shall provide each other Party with adequate and appropriate workspace to conduct audits in compliance with the provisions of this section. Each Party shall give the other or its subcontractors reasonable advance notice of intended audits. The Parties shall require their subcontractors to comply with the provisions of this section by insertion of the requirements hereof in any subcontract pursuant to the Agreement.

- 5. <u>Compliance with Laws</u>. Each Party shall comply with all applicable laws, ordinances, executive orders, rules, regulations, standards, and codes of the federal, state, and local government whether or not specifically referenced herein. The Parties agree that there will be no discrimination as to race, sex, religion, color, age, creed, or national origin in regard to obligations, work, and services performed under the terms of any contract ensuing from this engagement. The Parties will comply with Executive Order No. 11246, entitled "Equal Employment Opportunity," as amended by Executive Order No. 11375, and as supplemented by the Department of Labor Regulations (41 CFR, Part 60).
- 6. <u>Venue; Choice of Law.</u> Any litigation arising from this Second Amendment and the Agreement or performance hereunder will be decided in the federal courts in Phoenix or in state courts of Maricopa County unless otherwise agreed by the Parties. The laws of the State of Arizona shall govern the construction and interpretation of this Second Amendment.
- 7. <u>Amendments.</u> This Second Amendment may be amended only by the mutual written consent of authorized representatives for both Parties and approval by their respective Councils.
- 8. <u>Conflict of Interest.</u> This Second Amendment and the Agreement are subject to the provisions of A.R.S. § 38-511. Either Party may cancel this Second Amendment and the Agreement without penalty or further obligations if any person significantly involved in initiating, negotiating, securing, drafting, or creating this Second Amendment and the Agreement on behalf of a Party is, at any time while this Second Amendment and the Agreement or any extensions thereof are in effect, an employee of any other Party to this Second Amendment and the Agreement in any capacity or a consultant to any other Party of this Second Amendment and the Agreement with respect to the subject matter of this Second Amendment and the Agreement.
- 9. <u>Counterparts</u>. This Second Amendment may be executed in two or more counterparts, each of which shall be deemed an original but all of which together shall constitute the same instrument. Facsimile, copied, electronic, and scanned signatures are acceptable as original signatures.
- 10. <u>Entire Agreement; Interpretation; Parol Evidence</u>. The Agreement, as amended by this Second Amendment, represents the entire agreement of the Parties with respect to its subject matter, and all previous agreements, whether oral or written, entered into prior to the Agreement,

as amended by this Second Amendment, are hereby revoked and superseded by the Agreement. No representations, warranties, inducements, or oral agreements have been made by any of the Parties except as expressly set forth herein, or in any other contemporaneous written agreement executed for the purposes of carrying out the provisions of the Agreement, as amended by this Second Amendment. The Agreement, as amended by this Second Amendment, shall be construed and interpreted according to its plain meaning, and no presumption shall be deemed to apply in favor of, or against the Party drafting this Second Amendment. The Parties acknowledge and agree that each has had the opportunity to seek and utilize legal counsel in the drafting of, reviewing, and entering into this Second Amendment.

- 11. <u>Severability</u>. The provisions of this Second Amendment are severable to the extent that any provision or application held to be invalid by a Court of competent jurisdiction shall not affect any other provision or application of this Second Amendment that may remain in effect without the invalid provision or application.
- 12. <u>Provisions Required by Law.</u> Each and every provision of law and any clause required by law to be in this Second Amendment will be read and enforced as though it were included herein and, if through mistake or otherwise any such provision is not inserted, or is not correctly inserted, then upon the application of either party, this Second Amendment will promptly be physically amended to make such insertion or correction.
- 13. <u>Waiver</u>. Waiver of any breach of any term, condition, or covenant herein contained shall not be deemed to be a waiver of any subsequent breach of any term, covenant, or condition herein.
- 14. Agreement Subject to Appropriation. The Parties are obligated only to pay their obligations set forth in the Agreement (as amended by this Second Amendment) as may lawfully be made from funds appropriated and budgeted for that purpose during their then-current fiscal year. The Parties' obligations under the Agreement (as amended by this Second Amendment) are current expenses subject to the "budget law" and the unfettered legislative discretion of their respective governing bodies concerning budgeted purposes and appropriation of funds. Should either elect not to appropriate and budget funds to pay its obligations, the Agreement (as amended by this Second Amendment) shall be deemed terminated at the end of the then-current fiscal year term for which such funds were appropriated and budgeted for such purpose, and the Parties shall be relieved of any subsequent obligations under the Agreement (as amended by this Second Amendment). The Parties agree that neither has an obligation or duty of good faith to budget or appropriate the payment of their respective obligations set forth in the Agreement (as amended by this Second Amendment) in any budget in any fiscal year other than the fiscal year in which the Agreement (as amended by this Second Amendment) is executed and delivered. The Parties shall be the sole judge and authority in determining the availability of funds for their respective obligations under the Agreement (as amended by this Second Amendment). Each Party shall keep the other informed as to the availability of funds for the Agreement (as amended by this Second Amendment). The Parties' respective obligations to make any payment pursuant to the Agreement (as amended by this Second Amendment) are not general obligations or debts. Each Party hereby waives any and all rights to bring any claim against the other from or relating in any way to the other's termination of the Agreement, or the Second Amendment, pursuant to this Provided, however, that nothing in this section shall limit the Parties' respective obligations to perform maintenance and repairs on the Property after the Town Improvements are constructed.

15. <u>Notices</u>. All notices, requests for payment, or other correspondence between the Parties regarding this Second Amendment shall be mailed or delivered to the respective Parties at the following addresses:

If to the City: City of Scottsdale

3939 N. Drinkwater Blvd. Scottsdale, AZ 85251 Attn: City Manager

With copy to: City of Scottsdale

3939 N. Drinkwater Boulevard Scottsdale, Arizona 85251

Attn: City Attorney

If to Town: Town of Paradise Valley

6401 E. Lincoln Drive

Paradise Valley, Arizona 85253 Attn: Andrew Ching, Town Manager

With copy to: Gust Rosenfeld P.L.C.

One East Washington Street, Suite 1600

Phoenix, Arizona 85004-2553

Attn: Andrew McGuire

- 16. Forced Labor of Ethnic Uyghurs. To the extent applicable under A.R.S. § 35-394, the Parties each warrants and certifies to the other that it does not currently, and agrees that it will not use for the duration of the Agreement, as amended by this Second Amendment, the forced labor, any goods or services produced by the forced labor, or any contractors, subcontractors, or suppliers that use the forced labor or any goods or services produced by the forced labor of ethnic Uyghurs in the People's Republic of China. If a Party becomes aware that it is not in compliance with this paragraph, it shall notify the other Party of the noncompliance within five business days of becoming aware of it. If such violating Party fails to provide a written certification that it has remedied the noncompliance within 180 days after that, the Agreement, as amended by this Second Amendment, shall terminate unless the termination date of the Agreement, as amended by this Second Amendment, occurs before the end of the remedy, in which case the Agreement, as amended by this Second Amendment, terminates on its termination date.
- 17. <u>Titles; Headings</u>. Headings are inserted for the convenience of the Parties only and are not to be considered when interpreting this Second Amendment.

[Signatures on following pages.]

IN WITNESS W	/HEREOF, the	Parties hav	e executed	this	Agreement	by	signing	their
signatures, as of the date	te first written a	bove.						

	CITY OF SCOTTSDALE, an Arizona municipal corporation
	Lisa Borowsky, Mayor
ATTEST:	
Ban Lane, City Clerk	
acknowledges: (i) that she has review Scottsdale; and (ii) that, as to the C	ements of A.R.S. § 11-952(D), the undersigned attorney red the above Second Amendment on behalf of the City of City of Scottsdale only, has determined that this Second within the powers and authority granted under the laws of
Sherry R. Scott, City Attorney By: Lindsay Hampshire, Assistant City	v Attorney

[Signatures continue on following page.]

	TOWN OF PARADISE VALLEY, an Arizona municipal corporation
	Mark Stanton, Mayor
ATTEST:	
Duncan Miller, Town Clerk	
acknowledges: (i) that he has reviewed the Paradise Valley; and (ii) that, as to the To	nts of A.R.S. § 11-952(D), the undersigned attorneys above Second Amendment on behalf of the Town of wn of Paradise Valley only, has determined that this is within the powers and authority granted under the

Andrew McGuire, Town Attorney

# EXHIBIT A TO SECOND AMENDMENT TO INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF SCOTTSDALE AND THE TOWN OF PARADISE VALLEY

[Depiction of Town Improvements]

(See following pages.)

## TOWN OF PARADISE VALLEY IMPROVEMENT PLANS FOR

# DOUBLETREE RANCH ROAD

TOWN ENTRY LANDSCAPE BEAUTIFICATION PROJECT NO: 2024-04



#### **OWNER**

CONTACT: SAM KAYAT, P.E. TOWN OF PARADISE VALLEY 6401 E LINCOLN DR PARADISE VALLEY, AZ 85253 PH: 480-348-3541 EMAIL: SKAYAT@PARADISEVALLEYAZ.GOV

#### PROJECT MANAGER

CONTACT: ANNE DEBOARD, PLA KIMLEY-HORN & ASSOCIATES, INC. 1661 E CAMELBACK RD #400 PHOENIX, AZ 85016 PH: 602-906-1106 EMAIL: ANNE.DEBOARD@KIMLEY-HORN.COM

#### **ENGINEER**

CONTACT: DAVID RODRIGUEZ KIMLEY-HORN & ASSOCIATES, INC. 1661 E CAMELBACK RD #400 PHOENIX, AZ 85016 PH: 602-906-1136 EMAIL: DAVID.RODRIGUEZ@KIMLEY-HORN.COM

#### **APPROVALS**

TOWN ENGINEER

REGION |

CON-23-051 ENG

#### RECORD DRAWING CERTIFICATION

OR NOTED HEREON WERE MADE BY MYSELF OR UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE SIGNATURE

### MAYOR

MARK STANTON

**VICE MAYOR** 

**ELLEN ANDEEN-KELLER** 

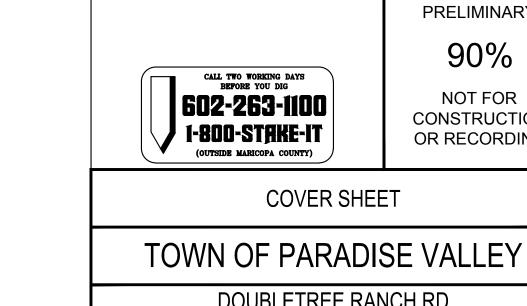
#### **TOWN COUNCIL**

CHRISTIE LABELLE KAREN LIEPMANN SCOTT MOORE JULIE PACE ANNA THOMASSON

#### **TOWN ENGINEER**

SHAR JOHNSON, P.E.

#### **UTILITY & AGENCY CONTACT LIST** ELECTRIC RONNIE GANDARA 602-320-7069 BERNEIL WATER CO WATER BRAD FOLKMAN 480-966-5804 WATER, SEWER, CITY OF SCOTTSDALE JULIA CAMPO 480-312-5215 STORM DRAIN CATV, FIBER OPTICS JONATHAN MUTCH 480-243-0042 COMMUNICATIONS, FIBER TODD GILLAM CROWN CASTLE 602-799-0818 OPTICS KEVIN WAGNER, COAXIAL, FIBER OPTICS CENTURYLINK-LUMEN 480-768-4574 TERRATECH GAS SOUTHWEST GAS ANDREW SAKS 480-387-9755 ZAYO COMMUNICATIONS ALANNA BRUCE 713-485-8066 JAMES THACKER



**PRELIMINARY** NOT FOR

CONSTRUCTION OR RECORDING

**COVER SHEET** 

DOUBLETREE RANCH RD TOWN ENTRY BEAUTIFICATION

CON-23-051 ENG DR: RJB | DES: RJB | CK: ATC | DATE: 03/25 | DATE: 03/25 | SCALE: N/A

BELL ROAD GREENWAY PARKWAY THUNDERBIRD ROAD CACTUS ROAD 19 SHEA BOULEVARD DOUBLETREE RANCH ROAD MOCKINGBIRD LN

BENCHMARKS

PROJECT BENCHMARK

A TOWN OF PARADISE VALLEY BRASS CAP FLUSH, LOCATED AT THE INTERSECTION OF INVERGORDON ROAD AND CALLE BRUVIRA.

**VICINITY MAP** 

TOWNSHIP 3N, RANGE 4E

N.T.S.

ELEV = 1318.90 NAVD - 88 (TOWN OF PARADISE VALLEY DATUM)

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

## SHEET INDEX

13 - 14

15 - 18

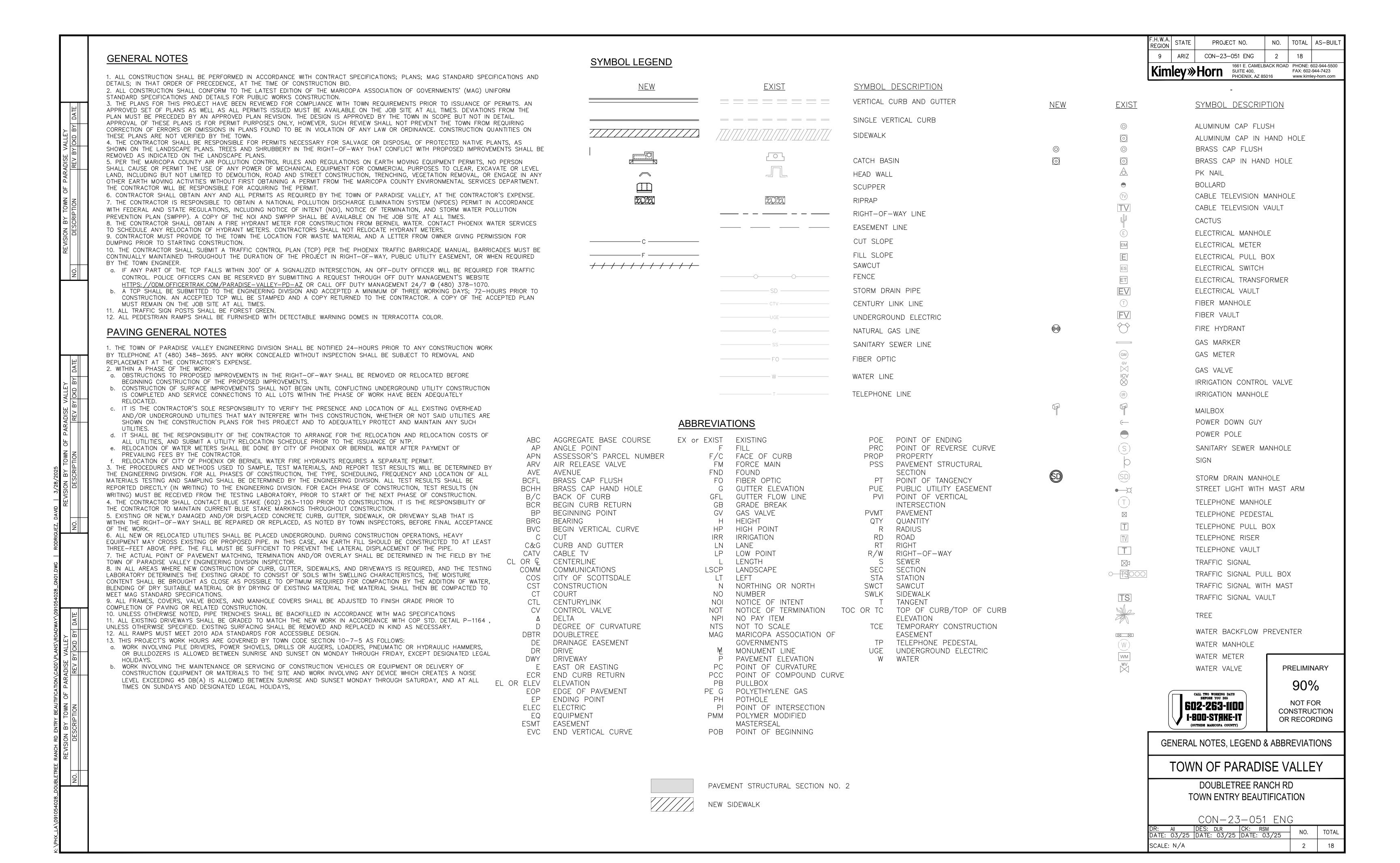
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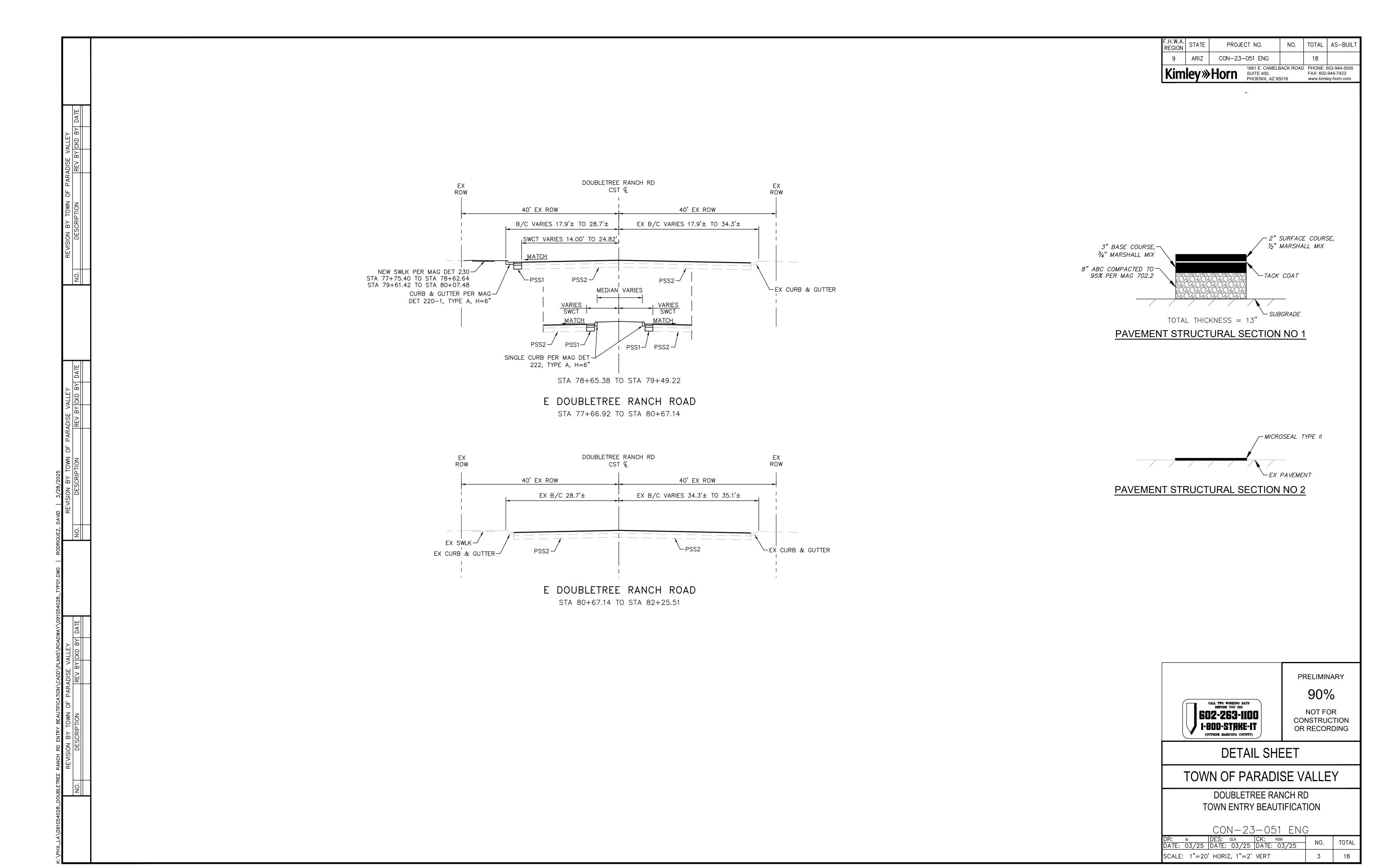
\_\_PROJECT AREA

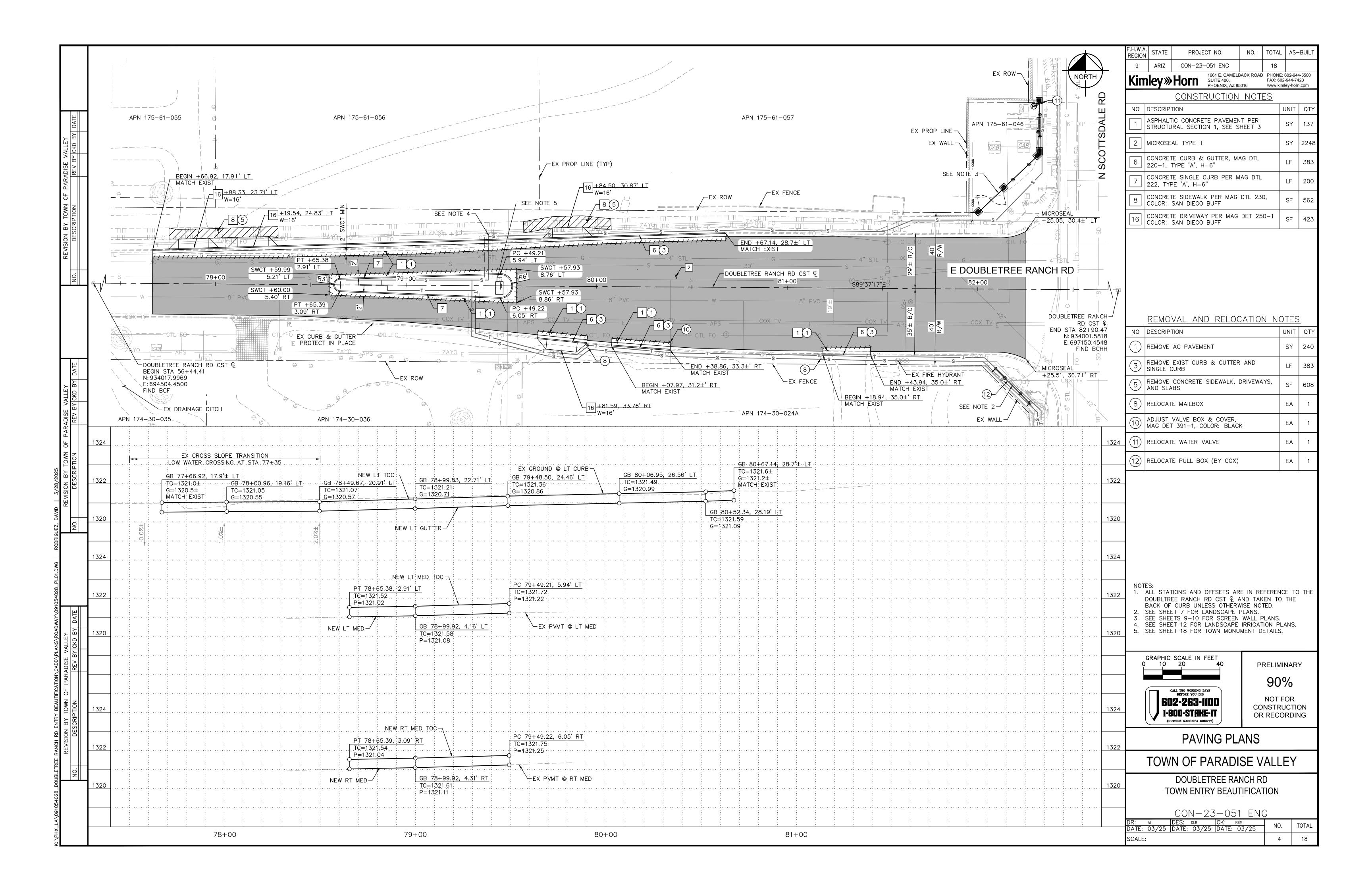
**COVER SHEET** GENERAL NOTES, LEGEND & ABBREVIATIONS TYPICAL SECTIONS & DETAILS SHEET PAVING PLANS & PROFILES SIGNING AND MARKING GENERAL NOTES & PLAN SHEET LANDSCAPE PLANS LANDSCAPE DETAILS HARDSCAPE DETAILS 9 - 10 11 - 12 IRRIGATION PLAN

**IRRIGATION DETAILS** 

STRUCTURAL PLANS

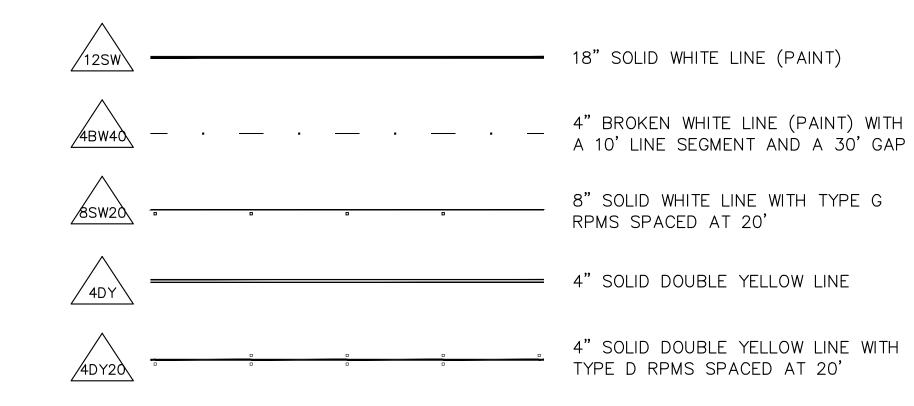






#### **SIGNING AND MARKING NOTES:** 1. ALL PAVEMENT MARKINGS, SIGNING AND WORK ZONE TRAFFIC CONTROL TYPE AND LAYOUT NEED TO CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. WORK ZONE TRAFFIC CONTROL NEEDS TO CONFORM TO THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL AND/OR AS DIRECTED BY THE CITY PUBLIC WORKS INSPECTOR OR TRAFFIC ENGINEERING DIVISION. 2. SIGNS ARE TO BE INSTALLED ON TELESPAR PREPUNCHED SQUARE STEEL TUBING POSTS PER COS STANDARD DETAIL NO. 2131. 3. DIMENSIONS TO SIGNS NEED TO INCLUDE THE SIGN POST, OR IN THE CASE OF MULTIPLE POSTS, THE PLAN VIEW CENTER OF THE SIGN. 4. ALL LONGITUDINAL STRIPING (EDGE LINE, LANE LINE AND CENTERLINE) SHALL BE .090"(90 MIL) EXTRUDED THERMOPLASTIC, UNLESS OTHERWISE NOTED ON THE PLANS. 5. ALL TRANSVERSE STRIPING (STOP LINES, CROSSWALK LINES)SHALL BE A MINIMUM OF .090"(90 MIL) EXTRUDED THERMOPLASTIC, UNLESS NOTED OTHERWISE ON THE PLANS. 6. ALL PLAN VIEW STRIPING DIMENSIONS ARE MEASURED TO THE FACE OF CURB, CENTER OF THE LINE OR CENTER OF THE DOUBLE LINE. 7. ALL PAVEMENT SYMBOLS, ARROWS AND LEGENDS SHALL BE TYPE 1 PERMANENT, HIGH PERFORMANCE PRE-FORMED PAVEMENT TAPE. (TAPE MUST PERFORM AS 3M 380I-ES SERIES OR EQUIVALENT.) 8. RAISED PAVEMENT MARKERS (RPMS) SHALL BE USED ON ALL STRIPED STREETS. RPMS SHALL BE INSTALLED PER COS STANDARD DETAIL NO. 2132 AND ADOT STANDARD DRAWING M-19, WITH A CITY APPROVED BITUMINOUS 9. BLUE TYPE BB (2-WAY REFLECTIVE) RPMS SHALL BE USED TO INDICATE THE LOCATION OF ALL FIRE HYDRANTS AND REMOTE FIRE DEPARTMENT CONNECTIONS, PER COS STANDARD DETAIL NO. 2363. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY SANDBLASTING, HYDRO BLASTING OR GRINDING PRIOR TO THE INSTALLATION OF NEW PAVEMENT MARKINGS. TREATMENT OF PAVEMENT AFTER STRIPING HAS BEEN REMOVED, SHALL BE A SS-1H OR A PRODUCT APPROVED BY THE CITY INSPECTOR. 10. ASTM TYPE XI SHEETING (MINIMUM) SHALL BE USED FOR ALL WARNING AND REGULATORY AND STREET NAME SIGNS. ALL ADVANCE STREET NAME SIGNS SHALL BE TYPE XI SHEETING. SCHOOL WARNING SIGNS AND ACCOMPANYING PLACARDS MUST BE ASTM TYPE XI FLUORESCENT YELLOW GREEN SHEETING. ALL METRO SIGNS SHALL COMPLY WITH THE COS STANDARD DETAIL NO. 2134-4 AND 2134-3. 11. THE CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF ALL PAVEMENT MARKINGS USING CONTROL POINTS SPACED NO MORE THAN 50 FEET APART. PAVEMENT MARKING LAYOUT SHALL BE APPROVED BY TRAFFIC ENGINEERING PRIOR TO THE APPLICATION OF THE FINAL PRODUCT. ALL PAVEMENT MARKING DRAWINGS ARE SCHEMATIC ONLY. THE CONTRACTOR SHALL FOLLOW ALL DIMENSIONS, DETAILS AND STANDARDS WHEN INSTALLING PAVEMENT STRIPING, MARKING AND MARKERS. 77+00 78+00 80+00 79+00 308' SHIFT TAPER PROPOSED MONUMENT SIGN DOUBLETREE RANCH ROAD Q /6SW\

#### PAVEMENT MARKING LEGEND



82+00

17.5'±

∕4BW4∕√

∕8SW2Ò\

∕12SW\



- $\begin{pmatrix} 1 \end{pmatrix}$  LEFT TURN ARROW PER ADOT STD. DWG. M-10
- (2) ONLY SYMBOL PER ADOT STD. DWG. M-6
- MEDIAN NOSE TREATMENT PER COS DETAIL 2225 AND 2226



-*-----*

DOUBLETREE RANCH RD

CONSTRUCTION OR RECORDING SIGNING AND MARKING PLAN

**PRELIMINARY** 

NOT FOR

#### TOWN OF PARADISE VALLEY

DOUBLETREE RANCH RD TOWN ENTRY BEAUTIFICATION

CON-23-051 ENG						
DR:LN DATE: 03/25	DES:ZMH DATE: 03/25	CK:RD DATE: 03/25	NO.	TOTAL		
SCALE:	1"=40' HORIZ		5	18		

		GI	ENERAL LANDSCAPE NOTES	
		1.	ALL WORK SHALL BE CONFINED TO LIMITS OF	
		2.	SITE GRADING NECESSITATED BY THE WORK A CALLED OUT ON THE PLANS SHALL BE CONSID	
	DATE	3.	CONTRACTOR SHALL COORDINATE AND BE LOCAL MUNICIPALITIES AS WARRANTED.	
PARADISE VALLEY		REV BY CKD BY D	4. -	CONTRACTOR IS TO REVIEW PLANS, VERIFY SIPRIOR TO INSTALLATION. ANY DISCREPANCIES SPECIFICATIONS AND EXISTING SITE CONDAMBIGUITIES IN DRAWINGS OR SPECIFICATION TO THE LANDSCAPE ARCHITECT, IN WRITING, INCONSISTENCIES OR AMBIGUITIES. WORK INCOVERY OF SUCH DISCREPANCIES, INCONDONE AT THE CONTRACTOR'S RISK.
Y IOWN OF	DESCRIPTION	5.	DEVIATION FROM THESE PLANS AND NOTES OWNER, THE LANDSCAPE ARCHITECT, OR THE CAUSE FOR THE WORK TO BE DESIGNATED UN	
REVISION BY	DESC	6.	THE CONTRACTOR ACKNOWLEDGES & AGRE RISK UNTIL SITE IS ACCEPTED, AND HE WILL B THE OWNER.	
Ľ	ON	7.	THE CONTRACTOR WILL BE HELD RESPONSIE REFERENCE POINTS AND HUBS DURING TH SHALL BEAR THE COST OF REPLACING SAME.	
		8.	THE CONTRACTOR IS RESPONSIBLE FOR HOLAND PROTECTING ALL PUBLIC AND PRIVATE UTHE CONSTRUCTION SITE AT LEAST 48 HOURS OR CONSTRUCTION ACTIVITY.	
		9.	THE CONTRACTOR SHALL SALVAGE AND PROT MANHOLES, TELEPHONE RISERS, WATER VAI PHASES UNLESS NOTED OTHERWISE. THE CO EXPENSE, ANY EXISTING UTILITIES DAMAGED I	
	D BY DATE	10.	ANY FOREIGN ITEM FOUND DURING CON OWNER. THIS INCLUDES, BUT IS NOT LIMITE CURRENCY, ARTIFACTS AND ANTIQUITIES.	
PARADISE VALLEY	REV BY CKD	11.	ALL SURPLUS EXCAVATION SHALL BE TAKEN T ADDITIONAL COST TO THE OWNER. IF OWNER POSSESSION OF SURPLUS EXCAVATION MATER	
OF PAR,		12.	CONTRACTOR IS RESPONSIBLE FOR VERIFYING PERMITS AND APPROVALS PRIOR TO COMMEN	
_	ESCRIPTION	13.	CONTRACTOR IS TO MAINTAIN CONTROLLED ALL AREAS OF THE SITE THROUGHOUT CONST	
REVISION BY	DESCRI	14.	MAINTAIN THE SITE IN A NEAT AND ORDERL' MORE OFTEN IF NECESSARY, INSPECT & AND MATERIAL.	
- RE	ÖN	15.	IT IS THE RESPONSIBILITY OF THE CONTRACT MULCH AND OTHER MATERIALS TRACKED ON SIDEWALKS. THE CONTRACTOR MUST CLE CONTRACTOR MUST USE WATER OR OTH AIRBORNE DUST TO A REQUIRED MINIMUM.	
		16.	PROVIDE PROTECTION TO ALL FINISHED UNMARRED, AND SUITABLY PROTECTED UNTIL	
		17.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION ACTIVITY TO EXISTING	
PARADISE VALLEY		Y DATE	18.	EROSION CONTROL MEASURES (IE: SILT FENC MAINTAINED BY THE CONTRACTOR PER CONTROL MEASURES DAMAGED BY THE CON SPECIFICATIONS.
	/ BY CKD BY	19.	PLANT QUANTITIES LISTED IN THE PLANT LEGICONTRACTOR. THE CONTRACTOR SHALL DO ACCORDINGLY.	
BY TOWN OF PARADISI	RIPTION REV	- 20.	ALL PLANT MATERIAL SHALL BE HEALTHY, VIG FOLIATED (WHEN IN-LEAF) AS IS TYPICAL HEALTHY, WELL DEVELOPED STANDARDS, AN OTHER ABNORMALITIES. PLANT MATERIAL SH AMERICAN STANDARD FOR NURSERY STOCK AMERICAN ASSOCIATION OF NURSERYMAN.	
VISION BY	DESCRIF	21.	OWNER'S REPRESENTATIVE RESERVES THE R DEEMED UNACCEPTABLE.	
_		1		

ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.									
	2.	A II	ΙΙΔΤΖΙΛ	ΔΙΙ	CANOPY	TRFFS	\\//ITH	ΔΙ	IVAIIVIVA

- DING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND UNICIPALITIES AS WARRANTED.
- CTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES ) INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND ATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR ITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH STENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS RY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE THE CONTRACTOR'S RISK.
- ON FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE THE LANDSCAPE ARCHITECT. OR THE TOWN OF PARADISE VALLEY MAY BE OR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- NTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS TIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY
- ITRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY ICE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND EAR THE COST OF REPLACING SAME.
- ITRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING DITECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO ISTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, STRUCTION ACTIVITY.
- ITRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, LES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN , ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- REIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CY, ARTIFACTS AND ANTIQUITIES.
- PLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO NAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE ION OF SURPLUS EXCAVATION MATERIAL.
- CTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH AS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD
- IN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND FTEN IF NECESSARY. INSPECT & AND PICK UP ALL SCRAP. DEBRIS. & WASTE
- RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR LKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP NE DUST TO A REQUIRED MINIMUM.
- PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN. RED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- ITRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING DNSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE NED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION l measures damaged by the contractor shall be replaced per civil ATIONS.
- UANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID INGLY.
- NT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE WELL DEVELOPED STANDARDS, AND BE FREE OF ANY BRUISES, CUTS OR BNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AN ASSOCIATION OF NURSERYMAN.
- S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL UNACCEPTABLE.
- 22. LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- 23. ALL TREE LOCATIONS TO BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

- 24. INSTALL ALL CANOPY TREES WITH A MINIMUM OF 10 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- 25. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP.
- 26. DECOMPOSED GRANITE: ALL AREAS LABELED DECOMPOSED GRANITE ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1/2" BELOW TOP OF CURB OR SIDEWALK.
- 27. AREAS TO RECEIVE DECOMPOSED GRANITE SHALL BE SPRAYED A MINIMUM OF TWO APPLICATIONS APPROVED PRE-EMERGENT HERBICIDE (SURFLAN OR APPROVED EQUAL). FIRST APPLICATION SHALL BE APPLIED DIRECTLY TO THE SOIL SURFACE. SECOND APPLICATION SHALL BE APPLIED TO DECOMPOSED GRANITE AFTER SETTLEMENT. ALL HERBICIDE APPLICATIONS SHALL BE MADE BY A LICENSED APPLICATOR IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. PROVIDE LISTING OF MANUFACTURERS WITH CHEMICAL ANALYSIS AND APPLICATIONS. PROVIDE 48 HOUR NOTIFICATION TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING APPLICATIONS. FIELD VERIFY INSTALLATION LIMITS OF ALL DECOMPOSED GRANITE COVER WITH THE OWNER'S REPRESENTATIVE PRIOR TO STARTING ANY WORK.
- 28. DECOMPOSED GRANITE SHALL EXTEND UNDER TREES AND SHRUBS.
- 29. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE ENTIRE PROJECT FOR 90 DAYS AFTER ACCEPTANCE OF THE WORK BY THE OWNER'S REPRESENTATIVE. UPON COMPLETION OF THE MAINTENANCE PERIOD, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITY.
- 30. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH-LIST ITEMS. THEN OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE OF SUBSTANTIAL COMPLETION. DETERMINE WITH THE OWNER'S REPRESENTATIVE THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH-LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- 31. ALL GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS OF THE CONTRACT SHALL APPLY.
- 32. CONTRACTOR SHALL COORDINATE WITH EACH INDIVIDUAL OWNER ON LOW-VOLTAGE LANDSCAPE LIGHTING RESTORATION, TYP.

TREES			
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QT
	Existing Tree / Date Palm to Remain	-	
Δ	Parkinsonia florida Blue Palo Verde	36" Box, 2" Cal. Min.	
SHRUBS &	GROUNDCOVER		
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QT
$\Theta$	Lantana x 'New Gold' New Gold Lantana	5 Gal.	;
$\bigcirc$	Simmondsia chinensis 'Vista' Compact Jojoba	5 Gal.	
ACCENTS	& GRASSES		
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QT
*	Agave Murpheyi Hohokam Agave	5 Gal.	
*	Agave victoriae-reginae Queen Victoria-Agave	5 Gal.	
<b></b>	Carnegiea gigantea Saguaro	8'-10' Ht. Min.	
•	Echinocactus grusonii Golden Barrel Cactus	12" Dia. Min.	
35	Opuntia basilaris Beavertail Prickly Pear	6 Pad Min.	
MISCELLAN	NEOUS		
SYMBOL	DESCRIPTION		<u>Q</u> T
	Decomposed Granite Color: Madison Gold; Size: 3/4" screened	d, 2" depth	443 \$
+ + + + + + + + + + + + + + + + + + +	Decomposed Granite Color: Match Existing, Size: Match Existing	ing; 2" depth	172 9
	Rip-Rap Color: Match Existing, Size: Match Existi	ing	3 (
$\bigcirc$	Boulder 2' 3'		9 E 1 E

- 1. THE LANDSCAPE AND IRRIGATION DESIGN WILL COMPLY WITH TOWN OF PARADISE VALLEY CODE AND CITY OF SCOTTSDALE DSPM CHAPTER 8.
- 2. SIGHT VISIBILITY PER COS DSPM CHAPTER 5

H.W.A. STATE NO. | TOTAL | AS-BUIL PROJECT NO. REGION ARIZ CON-23-051 ENG 1661 E. CAMELBACK ROAD PHONE: 602-944-550 Kimley»Horn SUITE 400, PHOENIX, AZ 85016

CALL TWO WORKING DAYS BEFORE YOU DIG 602-263-1100 1-800-STAKE-IT

**PRELIMINARY** NOT FOR CONSTRUCTION

OR RECORDING

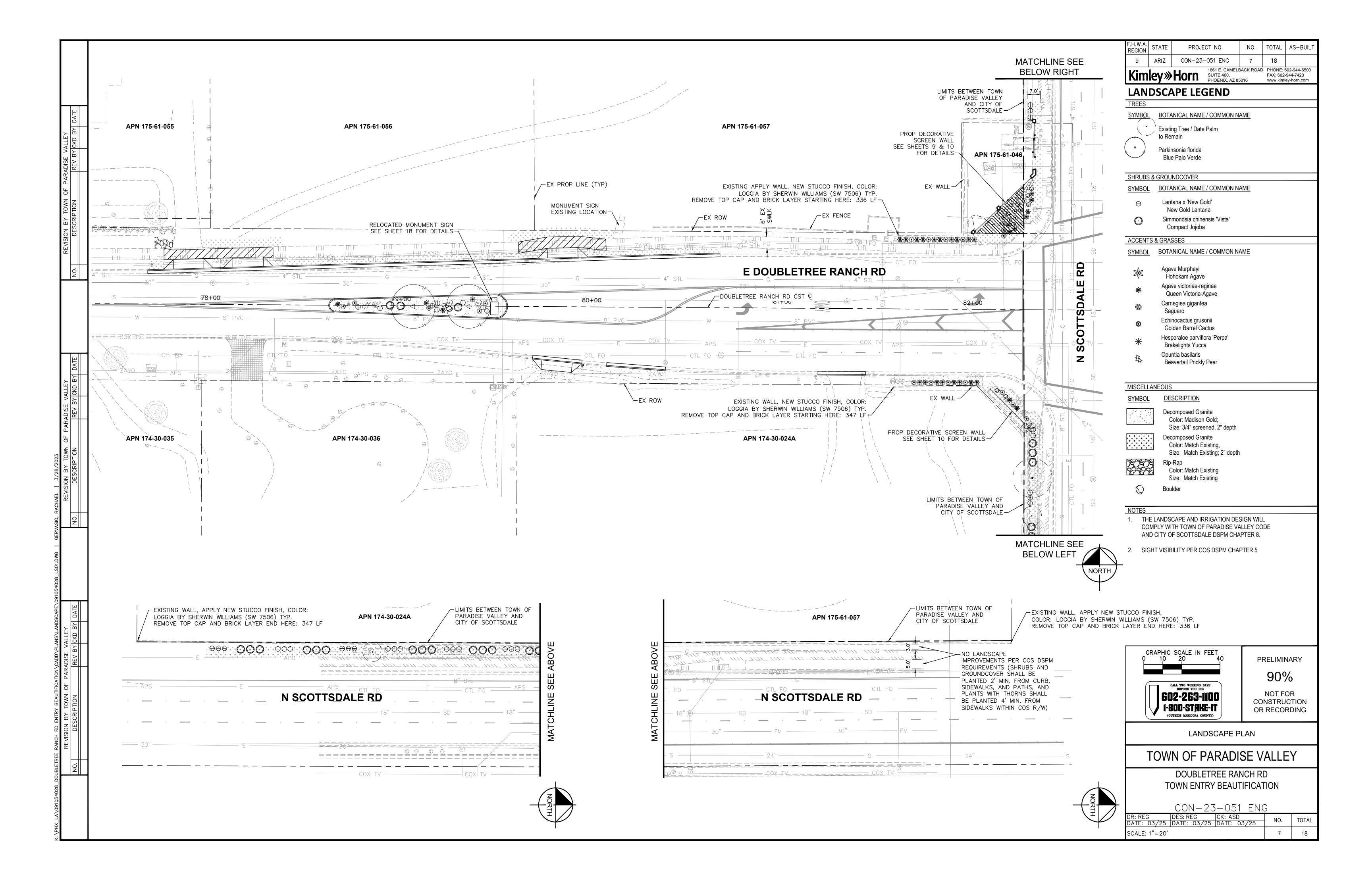
LANDSCAPE COVER SHEET

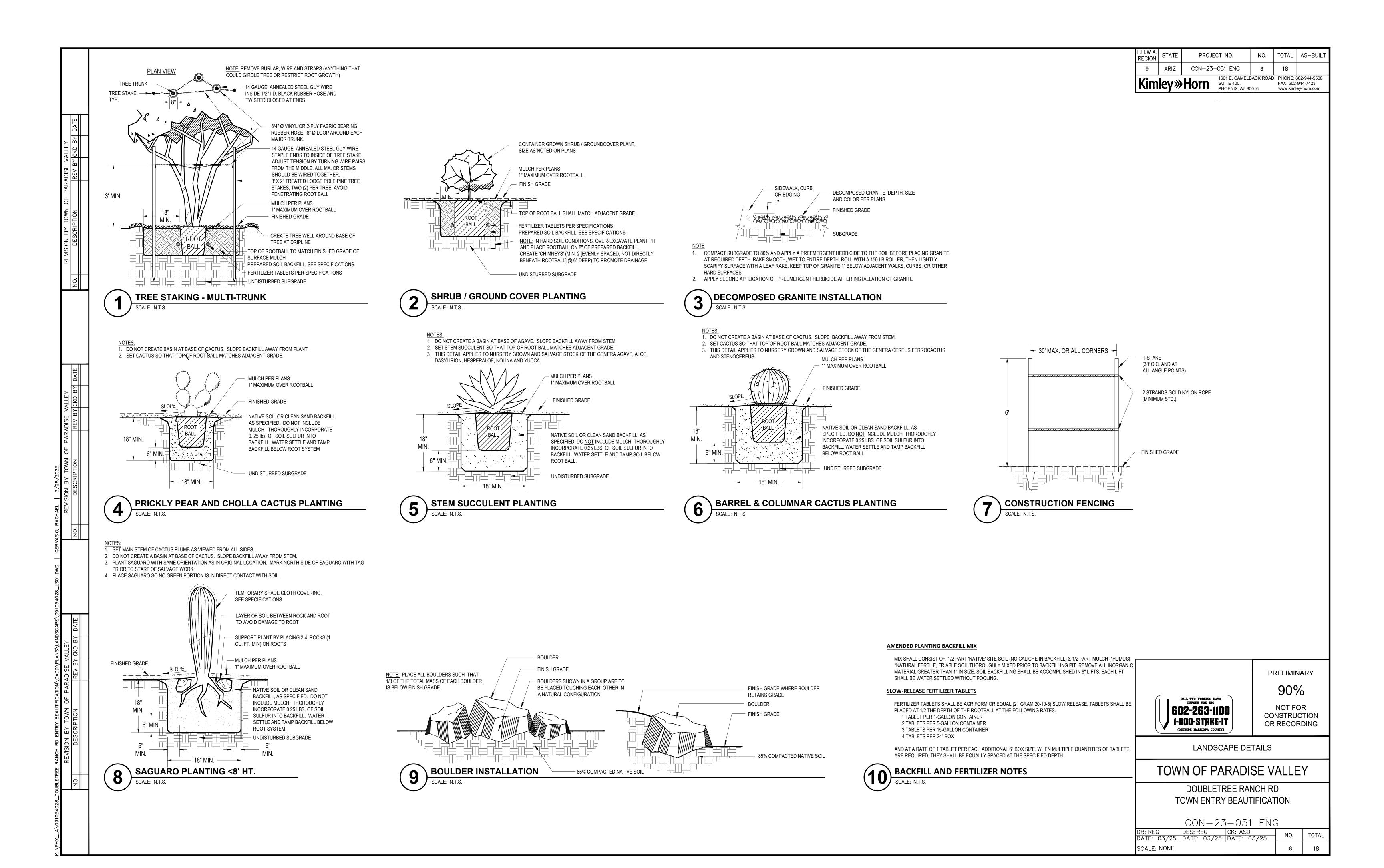
TOWN OF PARADISE VALLEY

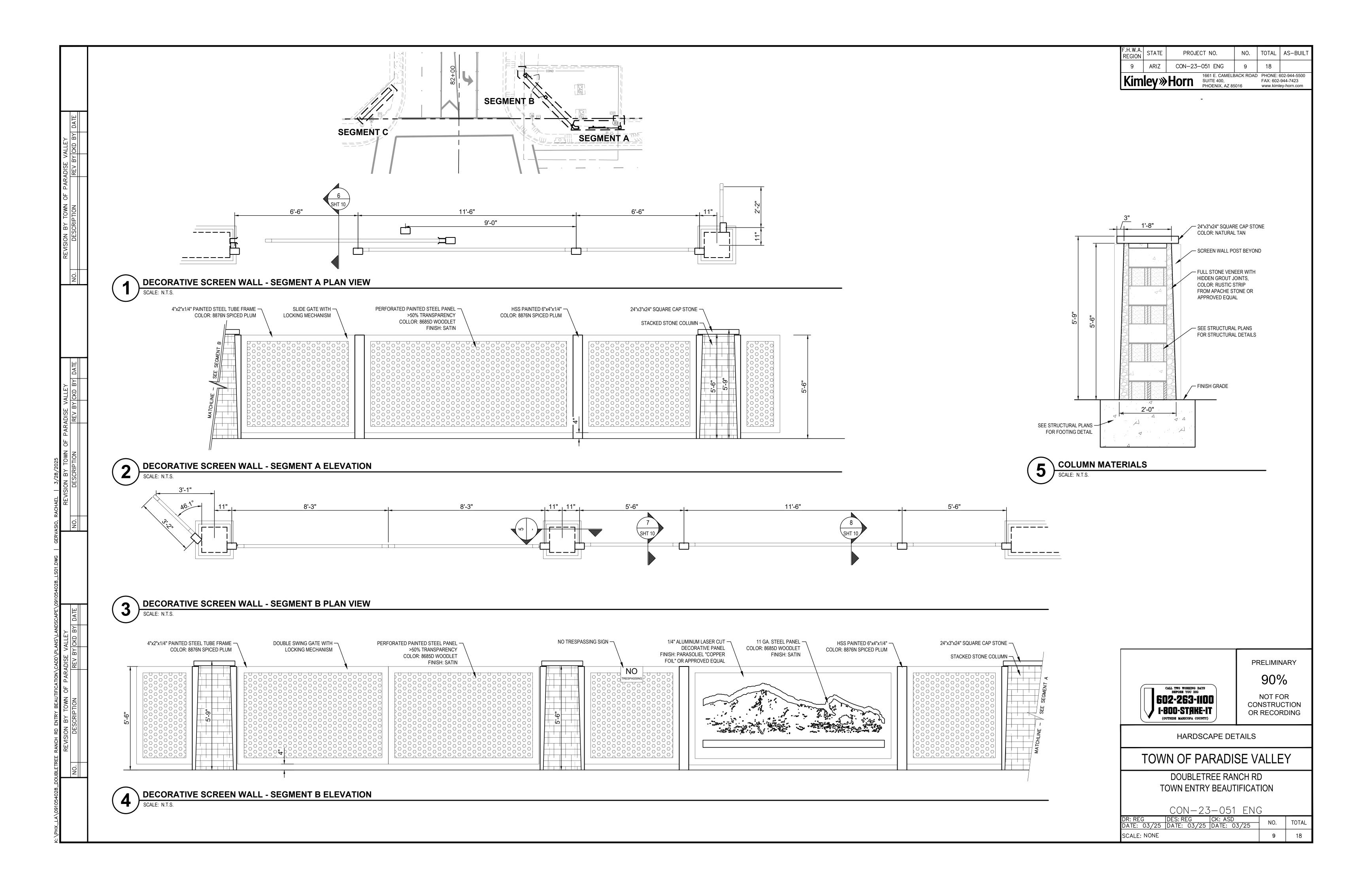
DOUBLETREE RANCH RD TOWN ENTRY BEAUTIFICATION

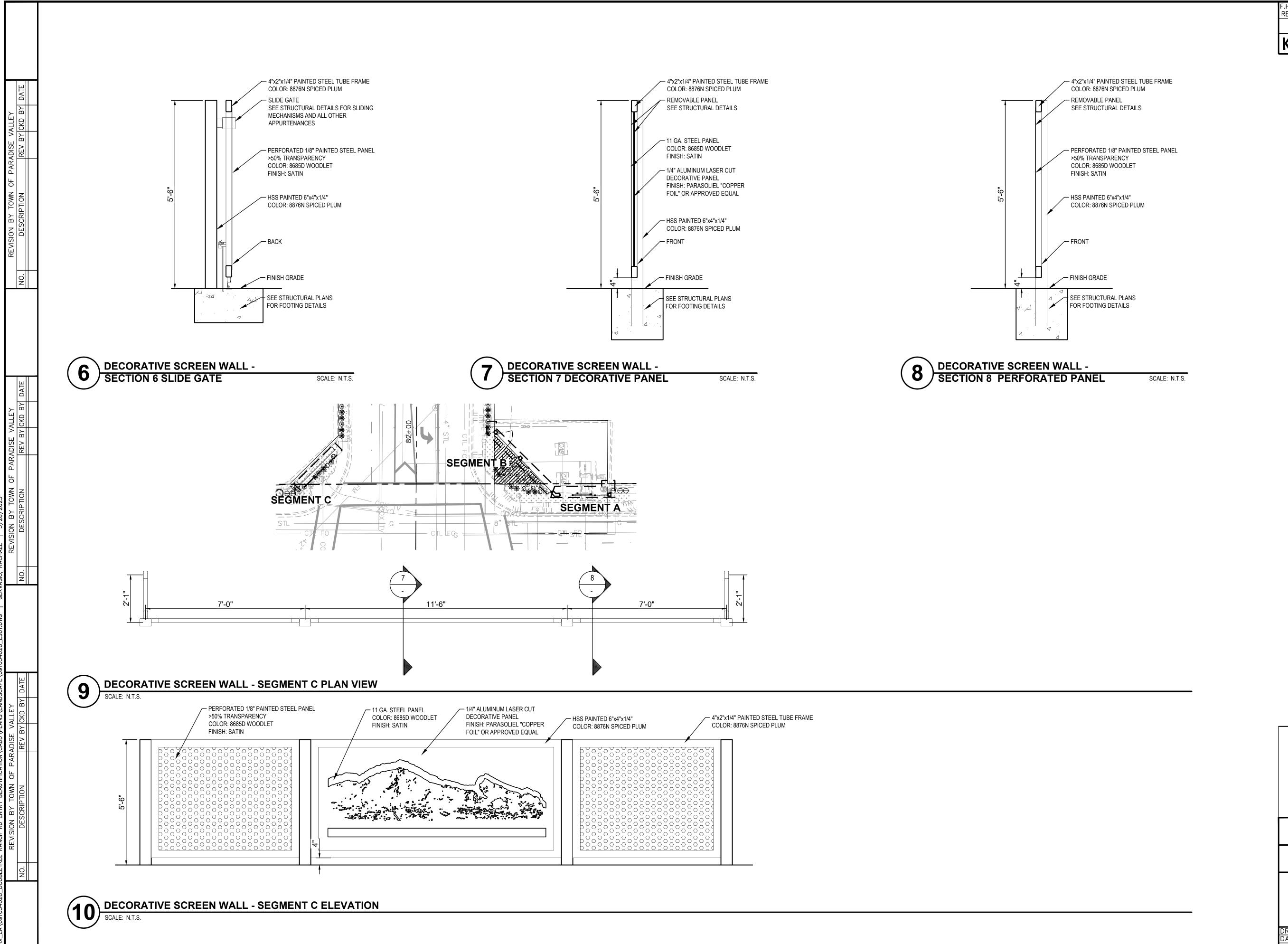
CON-23-051 ENG

DR: REG DES: REG CK: ASD DATE: 03/25 DATE: 03/25 TOTAL NO. CALE: NONE









F.H.W.A. REGION STATE PROJECT NO. NO. | TOTAL | AS-BUIL CON-23-051 ENG Kimley» Horn

1661 E. CAMELBACK ROAD PHONE: 602-944-5500 SUITE 400, PAX: 602-944-7423 www.kimley-horn.com

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HARDSCAPE DETAILS

#### TOWN OF PARADISE VALLEY

DOUBLETREE RANCH RD TOWN ENTRY BEAUTIFICATION

CON-23-051 ENG DR: REG DES: REG CK: ASD DATE: 03/25 DATE: 03/25 NO. SCALE: NONE

		<u>G</u>	ENERAL IRRIGATION NOTES
		1.	CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALIRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT APPROVE BY THE TOWN OF PARADISE VALLEY OR OWNER'S REPRESENTATIVE PRIOR TO STARTING INSTALLATION.
	BY DATE	2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AL NECESSARY COMPONENTS AND COMPLETING THE INSTALLATION OF FULLY AUTOMATIC AND OPERATIVE IRRIGATION SYSTEM, AS INDICATE ON THE PLANS, PRIOR TO THE START OF ANY PLANTING OPERATIONS.
OF PARADISE VALLEY	REV BY CKD	3.	SYSTEM DESIGN REQUIRES A MINIMUM STATIC PRESSURE OF 65 PS CONTRACTOR SHALL FIELD VERIFY PRESSURE PRIOR TO ORDERING MATERIAL OR STARTING IRRIGATION AND NOTIFY CONSULTANT AN TOWN OF PARADISE VALLEY REPRESENTATIVE OF ANY DIFFERENCE FROM PRESSURE INDICATED. IF CONTRACTOR FAILS TO NOTIFIC CONSULTANT AND THE TOWN OF PARADISE VALLEY REPRESENTATIVE HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
REVISION BY TOWN	NO. DESCRIPTION	4.	ALL PIPING AND WIRING PLACED UNDER PAVED AREAS SHALL BE PE THE MOST CURRENT VERSION OF MAG SPECIFICATIONS AND DETAIL SECTION 440.12.3,C. SLEEVE INSTALLATIONS SHALL BE COMPLETE PRIOR TO THE START OF ANY PAVING OPERATIONS (SEE ENGINEERIN PAVING PLANS). WHERE NECESSARY, VERIFY EXISTING SLEEV LOCATIONS AND DETERMINE CONDITION AND COMPATIBILITY WIT DESIGN PRIOR TO THE START OF ANY OTHER WORK; SLEEVIN BENEATH EXISTING PAVEMENTS SHALL BE INSTALLED BY BORIN UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
	Z	5.	THE IRRIGATION SYSTEM LAYOUT SHOWN ON THE DRAWINGS GENERALLY SCHEMATIC. ALL VALVES, COMPONENTS, PIPING, FITTING AND EQUIPMENT SHALL BE LOCATED WITHIN LANDSCAPE AREA UNLESS SLEEVED OR OTHERWISE SHOWN OR APPROVED BY THOWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ERSPONSIBLE FOR PROVIDING AND INSTALLING NEW IRRIGATION SYSTEM COMPONENTS AND CONNECTION WHICH WILL PROVIDE FULL AUTOMATIC OPERATION AND 100% COMPLETE COVERAGE TO ALT PLANTS AS INDICATED ON THE PLANS WITHOUT RUN-OFF OF OVERTHROW ONTO ANY PAVED SURFACES.
,	BY DATE	6.	REFER TO DETAILS AND MANUFACTURER'S DIRECTIONS FO INSTALLATION PROCEDURES.
PARADISE VALLEY	REV BY CKD I	7.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PIPIN NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING, FITTING AND RISERS TO EACH PLANT EMITTER AS SPECIFIED AND AS DETAILE WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.
TOWN OF	NOI		EXISTING IRRIGATION SYSTEM NOTES
REVISION BY TO	DESCRIPTION	1.	THE CONTRACTOR SHALL VERIFY FUNCTIONALITY AND VIABILITY OF EXISTING IRRIGATION SYSTEM (INCLUDING AVAILABLE PRESSUR PRIOR TO THE COMMENCEMENT OF WORK. EXISTING IRRIGATION COMPONENTS AND EQUIPMENT INCLUDING UNDERGROUND PIPING SHALL BE PROTECTED IN PLACE OR FIELD ADJUSTED BASED ON SITH IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL IRRIGATION PIPING PRIOR TO THE COMMENCEMENT OF THE COMMENCEMENT.
	NO	2.	WORK.  IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EVALUATE THE
		2.	FEASIBILITY OF ALL ADJUSTMENTS AND ADDITIONS TO THE EXISTIN IRRIGATION SYSTEM. UPGRADE THE EXISTING CONTROLLER TO RUEXISTING AND ADDED STATIONS, WITH PRIOR APPROVAL FROM THE TOWN OF PARADISE VALLEY.
	ATE	3.	CONTRACTOR SHALL EVALUATE THE CONDITION OF EXISTING SPRAAND DRIP EMISSION DEVICES. REPAIR OR REPLACE DAMAGED CONTRACT COMPONENTS OF LIKE MAKE AND MODEL. SUBMIT CLUSHEETS OF PROPOSED IRRIGATION EQUIPMENT TO THE TOWN OF PARADISE VALLEY FOR APPROVAL.
VALLEY	BY CKD BY DA	4.	EXISTING DRIP TUBING AND EMISSION DEVICES SHALL BE ADJUSTED T ACCOMMODATE PLANTING IMPROVEMENTS. DRIP TUBING SHALL LA DIRECTLY ON FINISH GRADE AND BE COMPLETELY COVERED BY ROC MULCH.
ARADISE	REV	5.	IRRIGATION SYSTEM IMPROVEMENTS SHALL BE MADE TO THE FOLLOWING SPECIFICATIONS:
BY TOWN OF P	SCRIPTION		A. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO AVOID RUNOF ONTO HARDSCAPE FROM LOW HEAD DRAINAGE, OVERSPRAY AN OTHER SIMILAR CONDITIONS WHERE WATER FLOWS ONT ADJACENT PROPERTY, NONIRRIGATED AREAS, WALKS, ROADWA OR STRUCTURES.
REVISION	DE		B. LAWN SPRAYHEADS SHALL BE SET BACK FROM HARDSCAPE MINIMUM OF 6 INCHES
			C. DESIGN SPRAYHEAD STATIONS WITH CONSIDERATION FOR WORS

#### IRRIGATION LEGEND

	ATTOM ELGEND	
MATERIA	LS AND EQUIPMENT	
<u>SYM</u>	MANUFACTURER / MODEL / DESCRIPTION	QTY
$\boxtimes$	Water Meter - 1" Service	1
A	Solar Controller - LEIT 4006 6-Station, with MKIT 4000 Mounting Kit. Install Per Manufacturer's Specifications. LEMA 1600 HE Solenoid with 30-921 Adapter per Remote Control Valve.	1
$\infty$	Backflow Preventer and Enclosure 1" FEBCO 8257A, Guardshack GS-2	1
•	Rain Bird XCZLF-100-PRF Low Flow Control Zone Kit with 1" PR RBY Filter	2
	Flush End Cap	4
Not Shown	Bowsmith Multi-Outlet Emitter ML200 Series:  Trees - Bowsmith ML220  Shrubs, Accents, Groundcover - Bowsmith ML210	30
	Irrigation Restoration	187 SY
SLEEVE	SCHEDULE	
<u>SYM</u>	SIZE & DESCRIPTION	QTY
$\times$	Schedule 40 PVC 2" Lateral Sleeve, Spears or Equal "X" Indicates Quantity	<b>7</b> 8 LF

- IRRIGATION PIPE ROUTING AND EQUIPMENT ARE DIAGRAMMATICALLY SHOWN AND SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH AND DISTURBANCE OF EXISTING UTILITY LOCATIONS AND EXISTING PLANT MATERIAL
- EXISTING PLANTS TO REMAIN SHALL CONTINUE TO BE WATERED WITH EXISTING IRRIGATION SYSTEM WHERE APPLICABLE. WHERE NOT FEASIBLE, CONTRACTOR SHALL PROVIDE WATER WITH NEW PIPE LATERALS.
- EXISTING PLANT MATERIAL SHALL BE CONTINUOUSLY WATERED DURING CONSTRUCTION THROUGH HAND WATERING OR OTHER MEANS.
- CONTRACTOR SHALL MAINTAIN FUNCTIONALITY OF THE EXISTING SYSTEM OUTSIDE OF THE PROJECT LIMITS. COORDINATE WITH THE TOWN OF PARADISE VALLEY AND THE PROPERTY OWNERS FOR TIE-INS AND TEMPORARY INTERRUPTIONS TO SERVICE.

## STING IRRIGATION SYSTEM NOTES

- THE RESPONSIBILITY OF THE CONTRACTOR TO EVALUATE THE SIBILITY OF ALL ADJUSTMENTS AND ADDITIONS TO THE EXISTING BATION SYSTEM. UPGRADE THE EXISTING CONTROLLER TO RUN TING AND ADDED STATIONS. WITH PRIOR APPROVAL FROM THE OF PARADISE VALLEY.
- TRACTOR SHALL EVALUATE THE CONDITION OF EXISTING SPRAY DRIP EMISSION DEVICES. REPAIR OR REPLACE DAMAGED OR EQUATE COMPONENTS OF LIKE MAKE AND MODEL. SUBMIT CUT ETS OF PROPOSED IRRIGATION EQUIPMENT TO THE TOWN OF ADISE VALLEY FOR APPROVAL.
- TING DRIP TUBING AND EMISSION DEVICES SHALL BE ADJUSTED TO COMMODATE PLANTING IMPROVEMENTS. DRIP TUBING SHALL LAY CTLY ON FINISH GRADE AND BE COMPLETELY COVERED BY ROCK
- BATION SYSTEM IMPROVEMENTS SHALL BE MADE TO THE OWING SPECIFICATIONS:
- ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO AVOID RUNOFF ONTO HARDSCAPE FROM LOW HEAD DRAINAGE, OVERSPRAY AND OTHER SIMILAR CONDITIONS WHERE WATER FLOWS ONTO ADJACENT PROPERTY, NONIRRIGATED AREAS, WALKS, ROADWAY, OR STRUCTURES.
- AWN SPRAYHEADS SHALL BE SET BACK FROM HARDSCAPE A MINIMUM OF 6 INCHES
- C. DESIGN SPRAYHEAD STATIONS WITH CONSIDERATION FOR WORST WIND CONDITIONS. CLOSE SPACING AND LOW-ANGLE NOZZLES ARE REQUIRED IN HIGH AND FREQUENT WIND AREAS.
- D. SPACING OF SPRINKLER HEADS SHALL NOT EXCEED MANUFACTURER'S MAXIMUM RECOMMENDATIONS FOR PROPER COVERAGE. THE PLAN DESIGN SHALL SHOW A MINIMUM OF 0.75 (75%) DISTRIBUTION UNIFORMITY.

- E. ONLY IRRIGATION HEADS WITH MATCHED PRECIPITATION RATES SHALL BE CIRCUITED ON THE SAME VALVE.
- F. SPRINKLERS, DRIPPERS, VALVES, ETC., MUST BE OPERATED WITHIN MANUFACTURER'S SPECIFICATIONS.

#### **DRIP IRRIGATION DESIGN**

- A. THE DRIP SYSTEM SHOULD BE SIZED TO ACCOMMODATE MATURE-SIZE PLANTS
- B. FIELD INSTALLED BELOW GROUND PIPE CONNECTIONS SHALL BE THREADED PVC OR GLUED PVC. THE END OF MICROTUBING MUST BE SECURED BY A STAKE. THE MAXIMUM LENGTH OF MICROTUBING SHOULD NOT EXCEED 12 FEET.
- C. PLANTS WITH WIDELY DIFFERING WATER REQUIREMENTS SHALL BE VALVED SEPARATELY. AS AN EXAMPLE, SEPARATE TREES FROM SHRUBS. MULTIPLE EMITTER POINT SOURCES OF WATER FOR LARGE SHRUBS AND TREES MUST PROVIDE CONTINUOUS BANDS OF MOISTURE FROM THE ROOTBALL OUT TO THE MATURE DRIP LINE PLUS 20 PERCENT OF THE PLANT DIAMETER.

PIPE SCHEDULE		
SYM	SIZE & DESCRIPTION	QTY
	Copper Service Pipe: 2" Type 'K' Copper Hard Tube	-
	Mainline: 1.5" SCH 40 PVC Solvent Weld Pipe with SCH 80 PVC Fittings	<b>15</b> LF
— т ——	Tree Drip Lateral: SCH 40 PVC Solvent Weld Pipe with SCH 40 PVC Fittings (Size Below)	<b>531</b> LF
—— s ——	Shrub Drip Lateral: SCH 40 PVC Solvent Weld Pipe with SCH 40 PVC Fittings (Size Below)	1,017 LF
	LATERAL PIPE SIZING         GPM FLOW       PIPE SIZE         0 - 8.0       3/4"         8.1 - 13.0       1"	
VALVE ZO	NE —	
VALVE	DRIP-TREES A02 1" 0.0 GPM  VALVE FLOW  VALVE SIZE	



SCALE: NONE

**PRELIMINARY** NOT FOR

18

NO. | TOTAL | AS-BUIL

1661 E. CAMELBACK ROAD PHONE: 602-944-550

PROJECT NO.

CON-23-051 ENG

Kimley» Horn SUITE 400, PHOENIX, AZ 85016

REGION

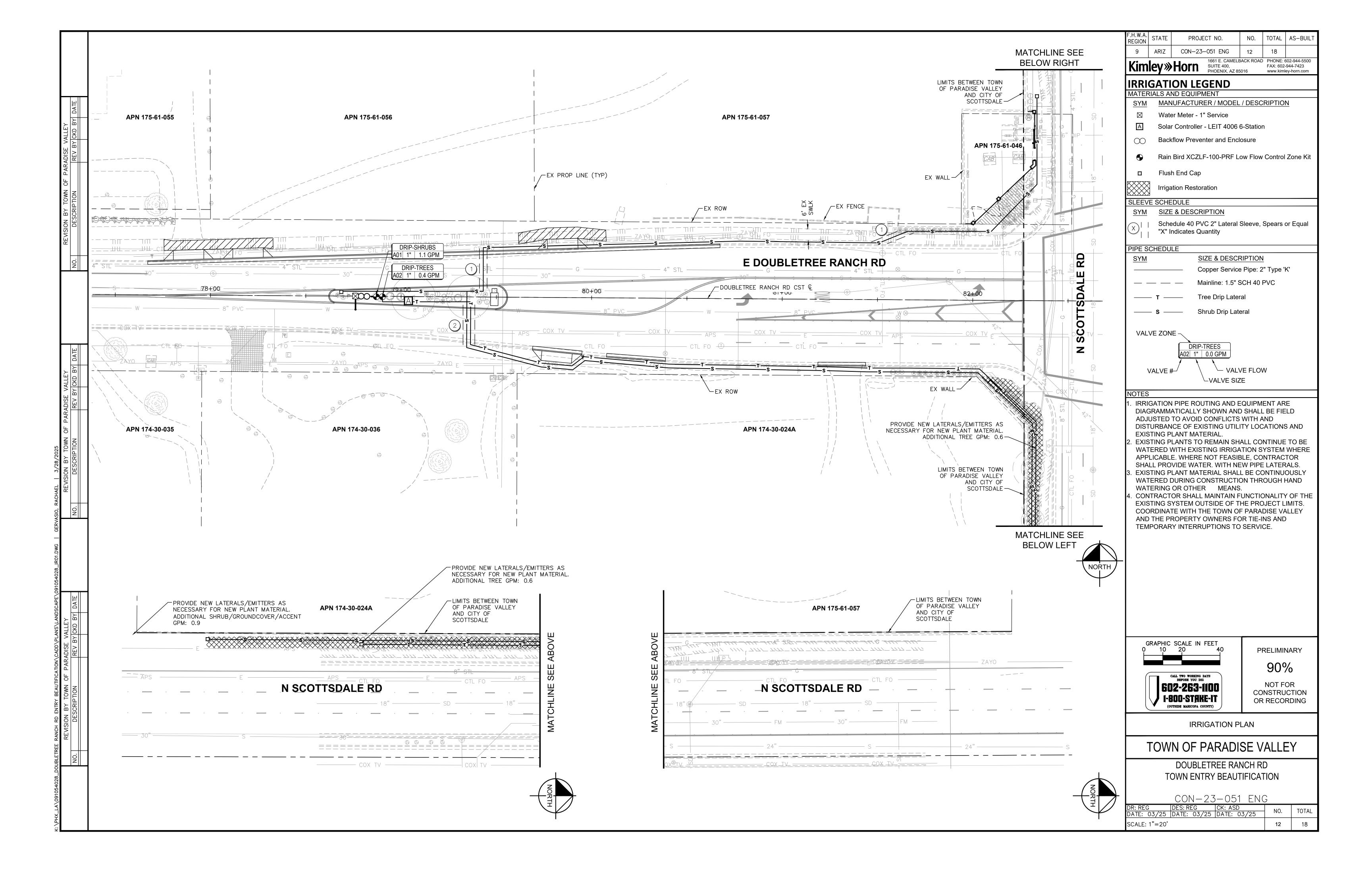
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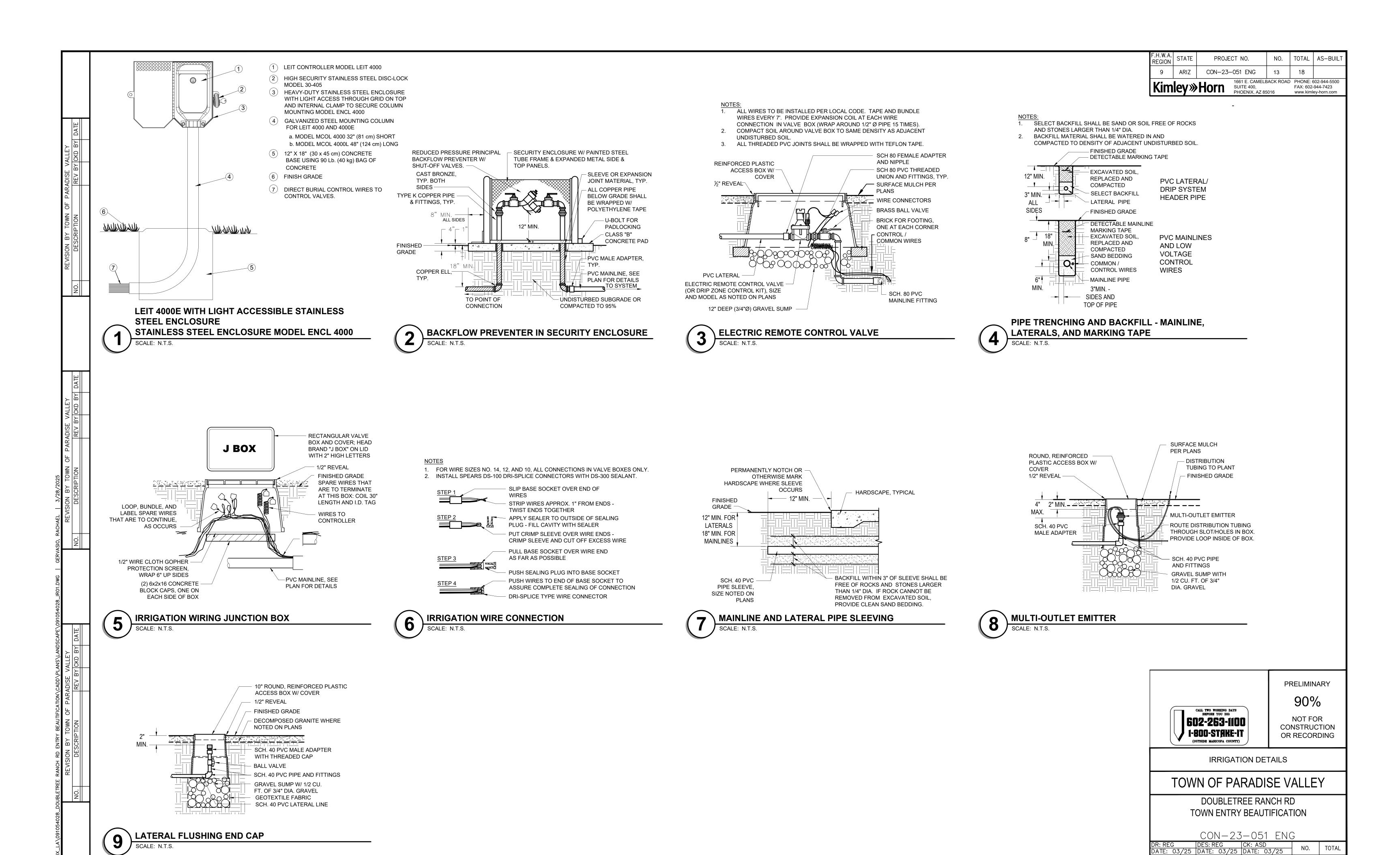
**IRRIGATION COVER SHEET** 

TOWN OF PARADISE VALLEY

DOUBLETREE RANCH RD TOWN ENTRY BEAUTIFICATION

CON-23-051 ENG DR: REG DES: REG CK: ASD DATE: 03/25 DATE: 03/25 TOTAL NO.





SCALE: NONE

13

1. LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0". REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM ALLOWABLE LENGTH MAY BE LESS. 2. LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE. - LAYOUT 4 EMISSION POINTS 2 @ 2' AND 2 @ 4' FROM TRUNK CANOPY DISTRIBUTION TUBING > MULTI-OUTLET EMITTER IN ACCESS BOX, TYP. SIX OUTLETS PER TREE, TYP. PVC LATERAL AND SCH 40 FITTINGS **\ EMITTER DISTRIBUTION TUBING LAYOUT - TREES** 

NOTES:

1. LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0". REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM ALLOWABLE LENGTH MAY BE LESS.

2. LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE.

SCH. 40 PVC LATERAL AND FITTINGS

6"

TYP.

CENTER OF SHRUB
OR GROUNDCOVER

6"
TYP.

MULTI-OUTLET EMITTER IN ACCESS
BOX TYP. ONE OUTLET PER EACH
SHRUB OR GROUNDCOVER, TYP.

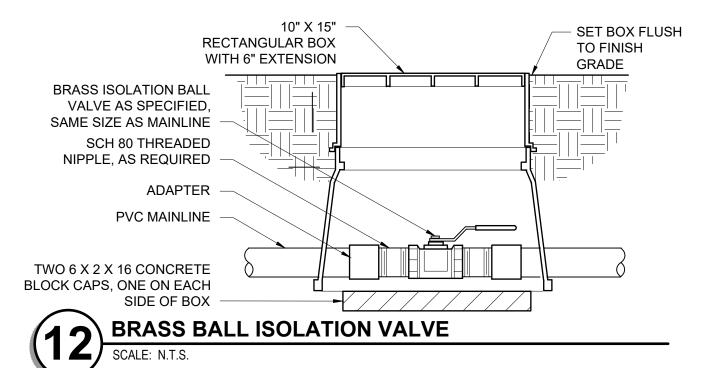
EMITTER DISTRIBUTION TUBING LAYOUT - SHRUBS
SCALE: N.T.S.

F.H.W.A. REGION STATE PROJECT NO. NO. TOTAL AS—BUILT

9 ARIZ CON—23—051 ENG 14 18

Kimley» Horn

1661 E. CAMELBACK ROAD PHONE: 602-944-5500 FAX: 602-944-7423 www.kimley-horn.com



CALL TWO WORKING DAYS
BEFORE YOU DIG

602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PRELIMINARY

90%

NOT FOR CONSTRUCTION OR RECORDING

IRRIGATION DETAILS

#### TOWN OF PARADISE VALLEY

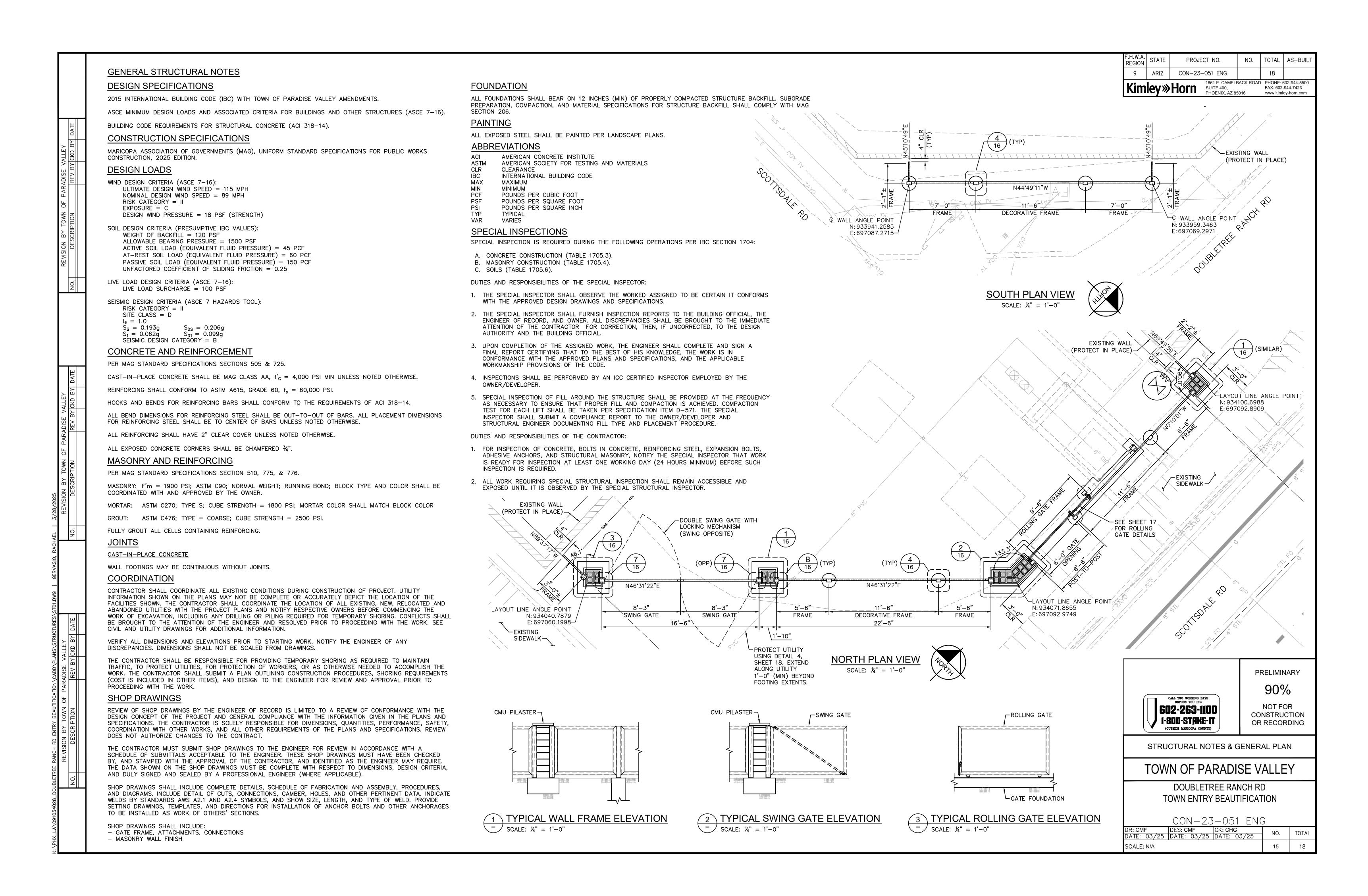
DOUBLETREE RANCH RD
TOWN ENTRY BEAUTIFICATION

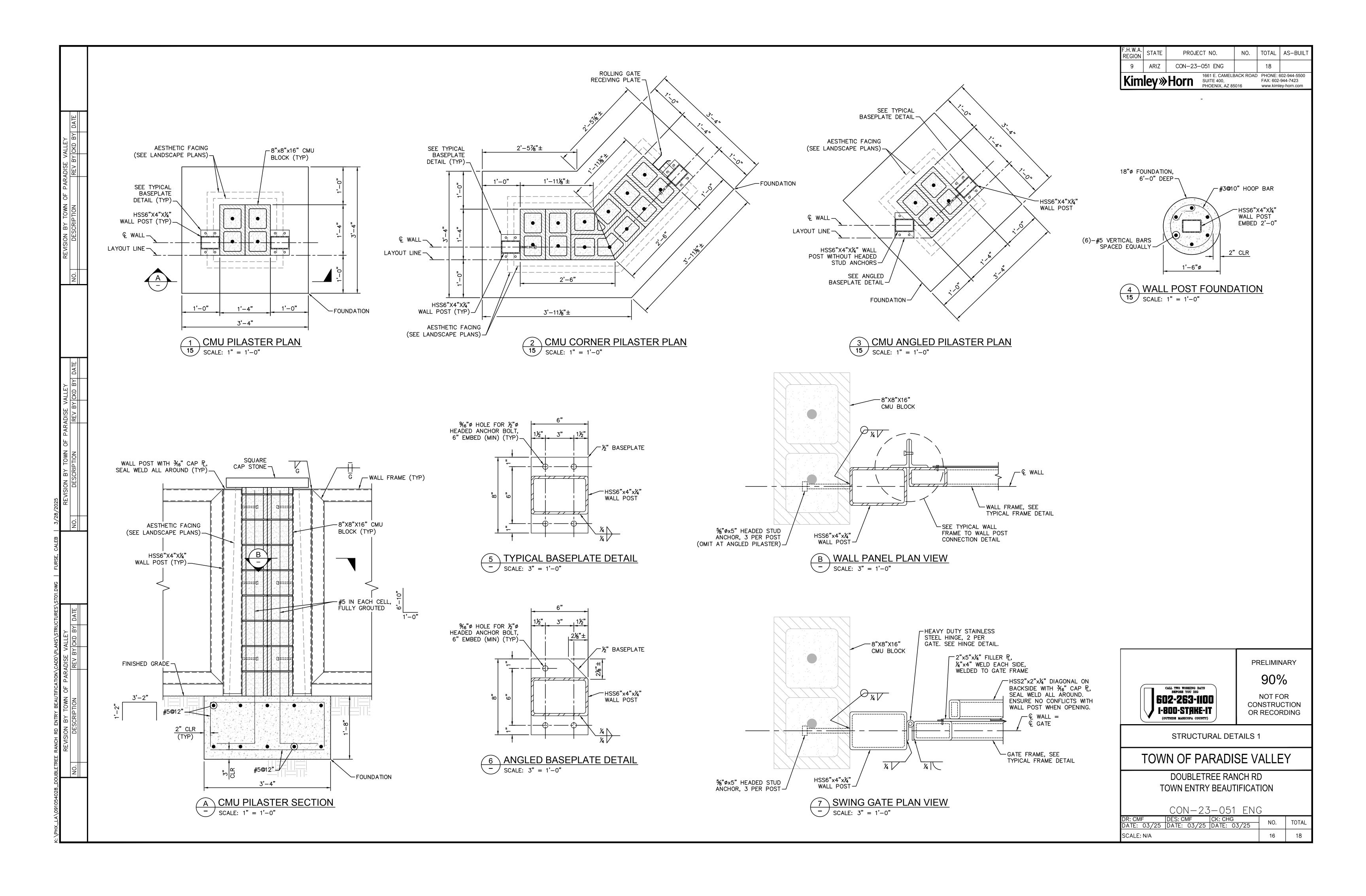
CON-23-051 ENG

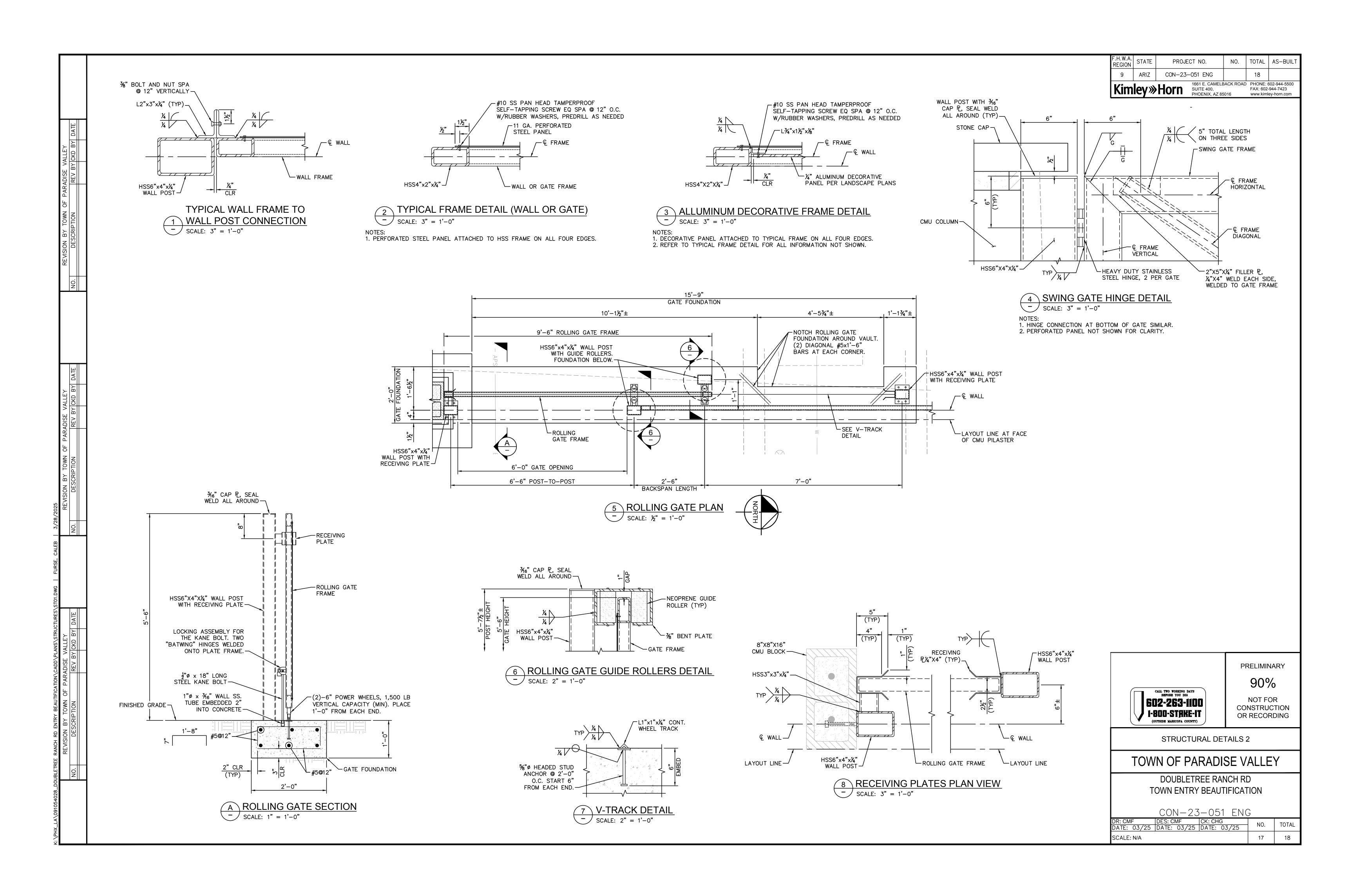
DR: REG DES: REG CK: ASD NO. TOTA

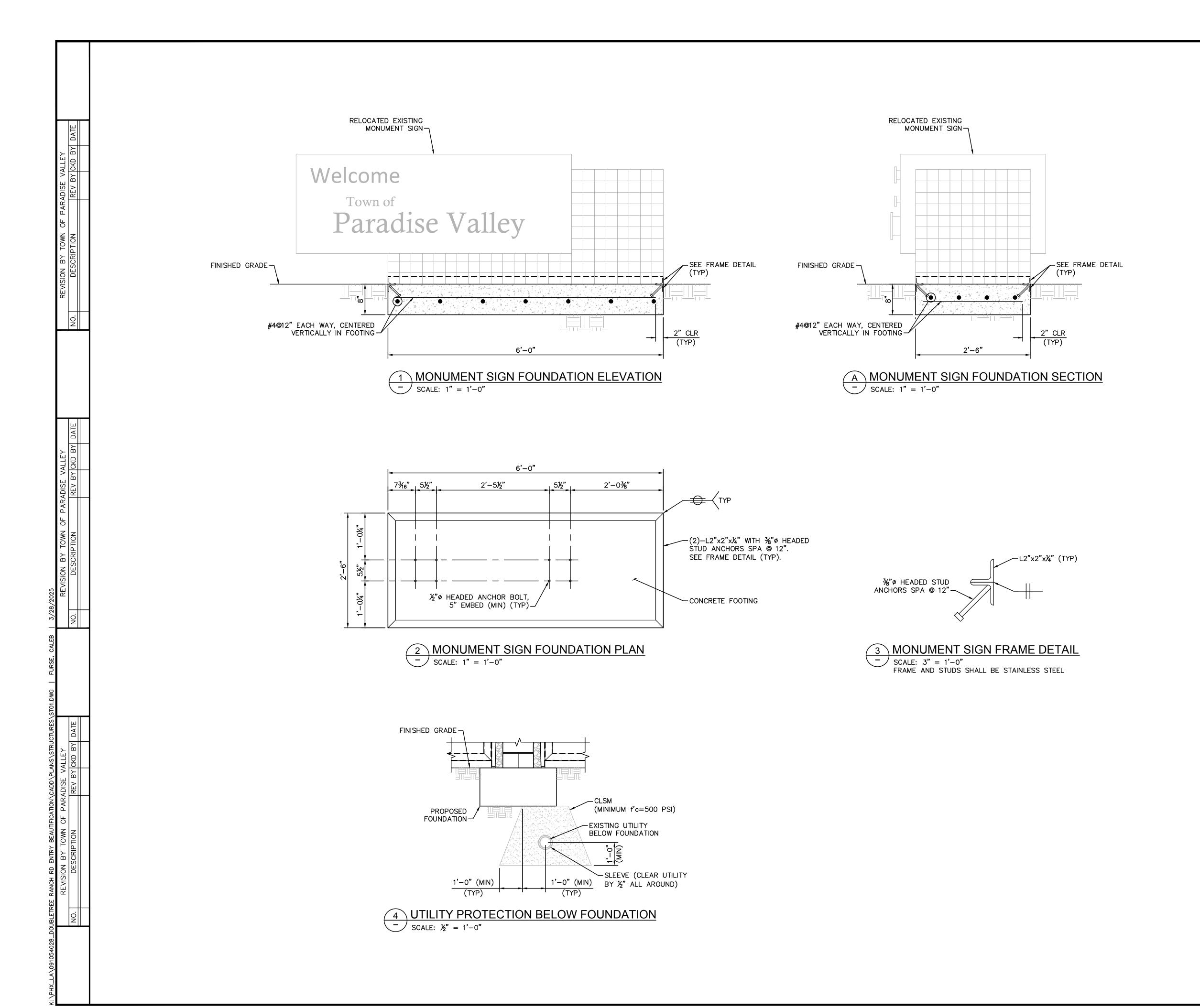
DATE: 03/25 DATE: 03/25 NO. TOTA

SCALE: NONE 14 18









F.H.W.A. REGION STATE PROJECT NO. NO. TOTAL AS—BUILT

9 ARIZ CON—23—051 ENG 18

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PRELIMINARY
90%

NOT FOR CONSTRUCTION

OR RECORDING

STRUCTURAL DETAILS 3

#### TOWN OF PARADISE VALLEY

DOUBLETREE RANCH RD
TOWN ENTRY BEAUTIFICATION

CON-23-051 ENG

 DR: CMF
 DES: CMF
 CK: CHG

 DATE: 03/25
 DATE: 03/25
 DATE: 03/25

 SCALE: N/A
 18
 18