

## TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- FAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE, AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPAKTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTES MUST POST A 6 SQUARE FOOT ("2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE'S NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHNESS TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
- NO PERMIT SHALL BE ISSUED UNTIL THE DEVELOPER GRANTS HALF-STREET RIGHT-OF-WAY TO THE TOWN OF CONFORMANCE WITH THE TOWN'S GENERAL PLAN (IF REQUIRED).

# GRADING & DRAINAGE PLAN

## NORQUIST RESIDENCE

8200 N CHARLES DR., PARADISE VALLEY, AZ 85253

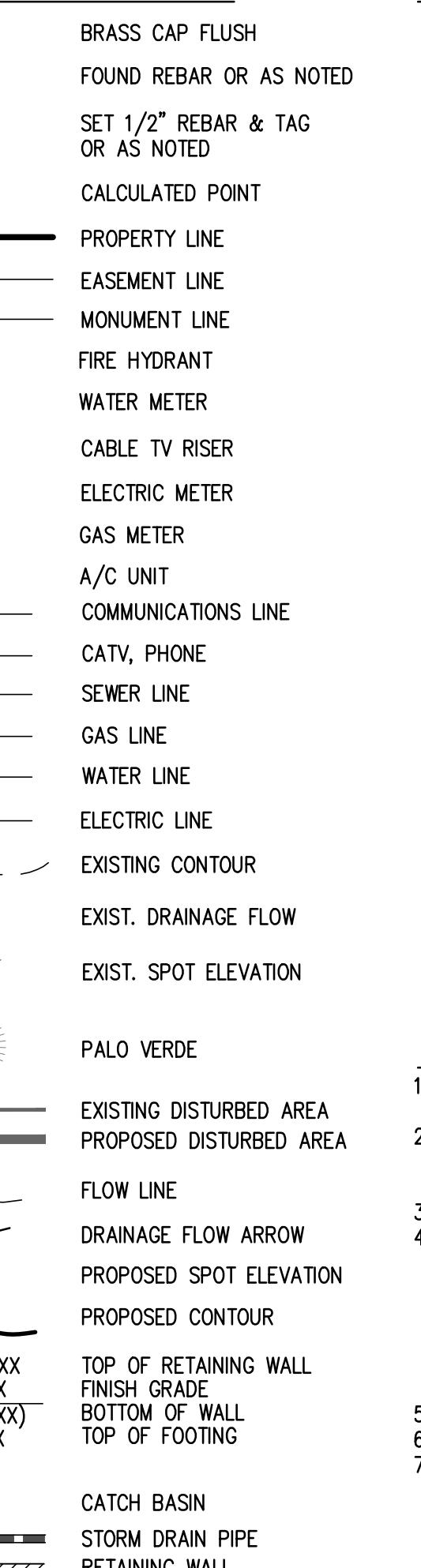
### LOT 34 - SUNSET HILLS

A SUBDIVISION PLAT RECORDED IN BOOK 68 OF MAPS, PAGE 02, MCR,  
LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 31, T.3N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

#### ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2012 IBC SEC. 1803 AND APPENDIX J.
- 5X MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
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- NO PERMIT SHALL BE ISSUED UNTIL THE DEVELOPER GRANTS HALF-STREET RIGHT-OF-WAY TO THE TOWN OF CONFORMANCE WITH THE TOWN'S GENERAL PLAN (IF REQUIRED).

#### LEGEND



#### DISTURBED AREA CALCULATIONS

AREA OF LOT:	46,690 S.F. (1.072 AC.)
TOTAL FLOOR AREA:	5,522 S.F.
FLOOR AREA RATIO:	11.8% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	13.30%
VERTICAL:	29.00'
HORIZONTAL:	218.00'
ALLOWABLE NET DISTURBED AREA:	19,344 S.F. (41.43%)
GROSS EXISTING DISTURBED AREA:	24,680 S.F.
GROSS PROPOSED DISTURBED AREA:	13,270 S.F.
(WITHIN EXIST. DISTURBED AREA)	
LESS TEMPORARY AREAS OF DISTURBANCE:	
TO BE RESTORED AND REVEGETATED:	550 S.F.
LESS 25% OF NEW DRIVEWAY:	372 S.F. (0.25x1,486 S.F.)
LESS BUILDING FOOTPRINT AREA:	4,426 S.F.
PROPOSED NET DISTURBED AREA:	19,332 S.F.
ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.):	2,335 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE:	1,585 S.F. (3.3%)
VOLUME OF CUT:	391 C.Y.
VOLUME OF FILL:	214 C.Y.
TOTAL CUT & FILL:	605 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. =	\$21,770
GRADING PERMIT FEE: \$622 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).	
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

#### TOWN OF PARADISE VALLEY HILLSIDE NOTES

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ON SITE AND OFF SITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUD

## GRADING AND DRAINAGE KEY-NOTES

- ① REMOVE EXISTING DRIVEWAY AND CONSTRUCT CONCRETE DRIVEWAY OR PAVERS ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ② INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ③ MATCH EXISTING GRADE.
- ④ PROTECT IN PLACE.
- ⑤ CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- ⑥ VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- ⑦ NEW RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS. WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑧ INSTALL POOL BACKWASH PIPE TO DRAIN TO RETENTION BASIN AS REQUIRED BY THE TOWN OF PARADISE VALLEY.
- ⑨ REFER TO LANDSCAPE PLANS FOR NATIVE TREES AND PLANTS REMOVAL/RELOCATION AND INSTALLATION OF NEW TREES AND LANDSCAPING.
- ⑩ NEW GATE PER ARCHITECTURE AND LANDSCAPE PLANS AND DETAILS.
- ⑪ NEW POOL PER ARCHITECTURE AND LANDSCAPE PLANS AND DETAILS.
- ⑫ NEW 6' MAX HEIGHT PLANTER PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ⑬ NEW WALL DRAINAGE OPENING AT GRADE IN ACCORDANCE WITH THE TPV STD DETAIL AS SHOWN ON PLANS. SEE DETAIL SHEET C-3.
- ⑭ NEW LAWN PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ⑮ NEW STEPS PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ⑯ CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- ⑰ NEW CHECK DAM SET IN GROUT. SEE DETAIL ON SHEET C-3.
- ⑱ RELOCATE EXISTING ELECTRIC METER.
- ⑲ INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- ⑳ INSTALL 12" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- ⑳ INSTALL NYLOPLAST ADS INLINE DRAIN 2712AG WITH 12" X 12" ADS 1299CP GRATE WITH WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑳ WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑳ INSTALL NYLOPLAST ADS DRAIN BASIN 2812AG WITH 12" X 12" ADS 1299CP GRATE WITH WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑳ WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑳ INSTALL ZURN Z888-6 SLOTTED TRENCH DRAIN SYSTEM FLUSH WITH CONCRETE SLAB UNDER TILES, SLOPES TO DAYLIGHT TO RETENTION BASIN, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. SEE DETAIL ON THIS SHEET. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- ⑳ INSTALL NEW 3'X2' CATCH BASIN PER MAG STD DET. 535, TYPE F AND MAG SPECIFICATIONS, OR APPROVED EQUAL.
- ⑳ INSTALL 4" PVC SDR-35 STORM DRAIN PIPE THROUGH WALL TO DAYLIGHT WITH VERTICAL RISER WITH 12" X 12" ADS 1299CP GRATE WITH WATERPROOF WALL (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ⑳ COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT TO UNDERGROUND STORM DRAIN SYSTEM BELOW WITH BOTTOM OUTLET ADAPTERS EVERY 10'.
- ⑳ NEW CONCRETE LINED SWALE, 5" THICK 3,000 PSI CONCRETE REINFORCED WITH WIRED WELDED FABRIC. EARTH TONED FINISH COORDINATE COLOR WITH ARCHITECT AND OWNER. SEE DETAIL ON SHEET C-3.
- ⑳ NEW STORM DRAIN PIPE OUTLET TO DAYLIGHT AT FINISHED GRADE.
- ⑳ NEW POOL FENCE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ⑳ NEW POOL GATE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- ⑳ INSTALL TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- ⑳ INSTALL 12" PVC STORM DRAIN PIPE BELOW TRENCH DRAIN, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- ⑳ INSTALL WYE CONNECTION INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.

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WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
		C	SF
PAVEMENT & ROOF	0.95	4,260	4,047
NATIVE HILLSIDE	0.70	20,420	14,294
TOTAL	24,680	18,341	
Cw = C * AREA / TOTAL AREA	0.74		

WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
		C	SF
PAVEMENT & ROOF	0.95	5,083	4,829
LAWN	0.31	140	43
NATIVE HILLSIDE	0.70	19,457	13,620
TOTAL	24,680	18,492	
Cw = C * AREA / TOTAL AREA	0.75		

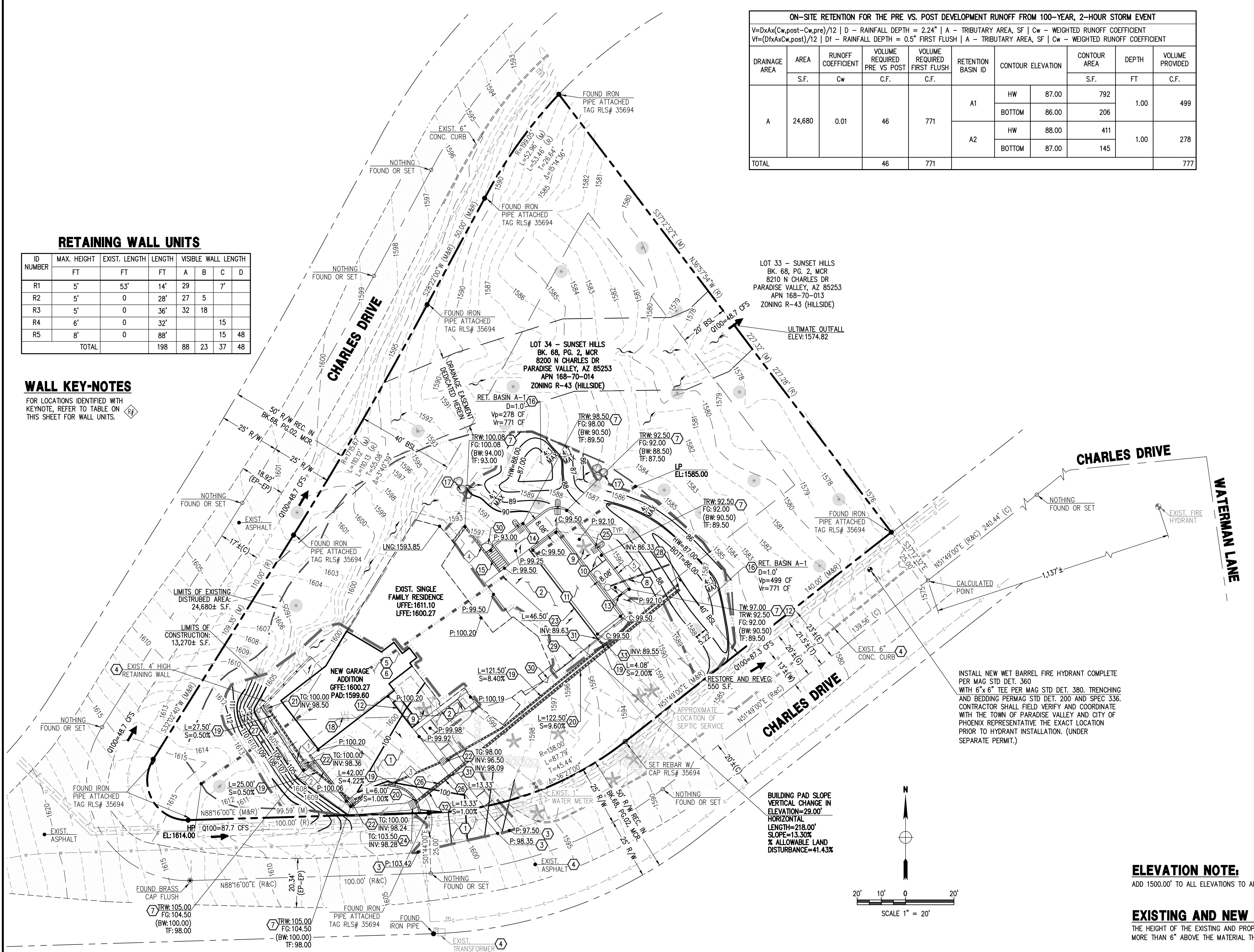
ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT							
DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT Cw	VOLUME REQUIRED PRE VS POST C.F.	VOLUME REQUIRED FIRST FLUSH C.F.	RETENTION BASIN ID	CONTOUR ELEVATION	DEPTH
A	24,680	0.01	46	771	A1	HW 87.00	792
						BOTTOM 86.00	206
A	24,680	0.01	46	771	A2	HW 88.00	411
						BOTTOM 87.00	145
TOTAL				46	771		777

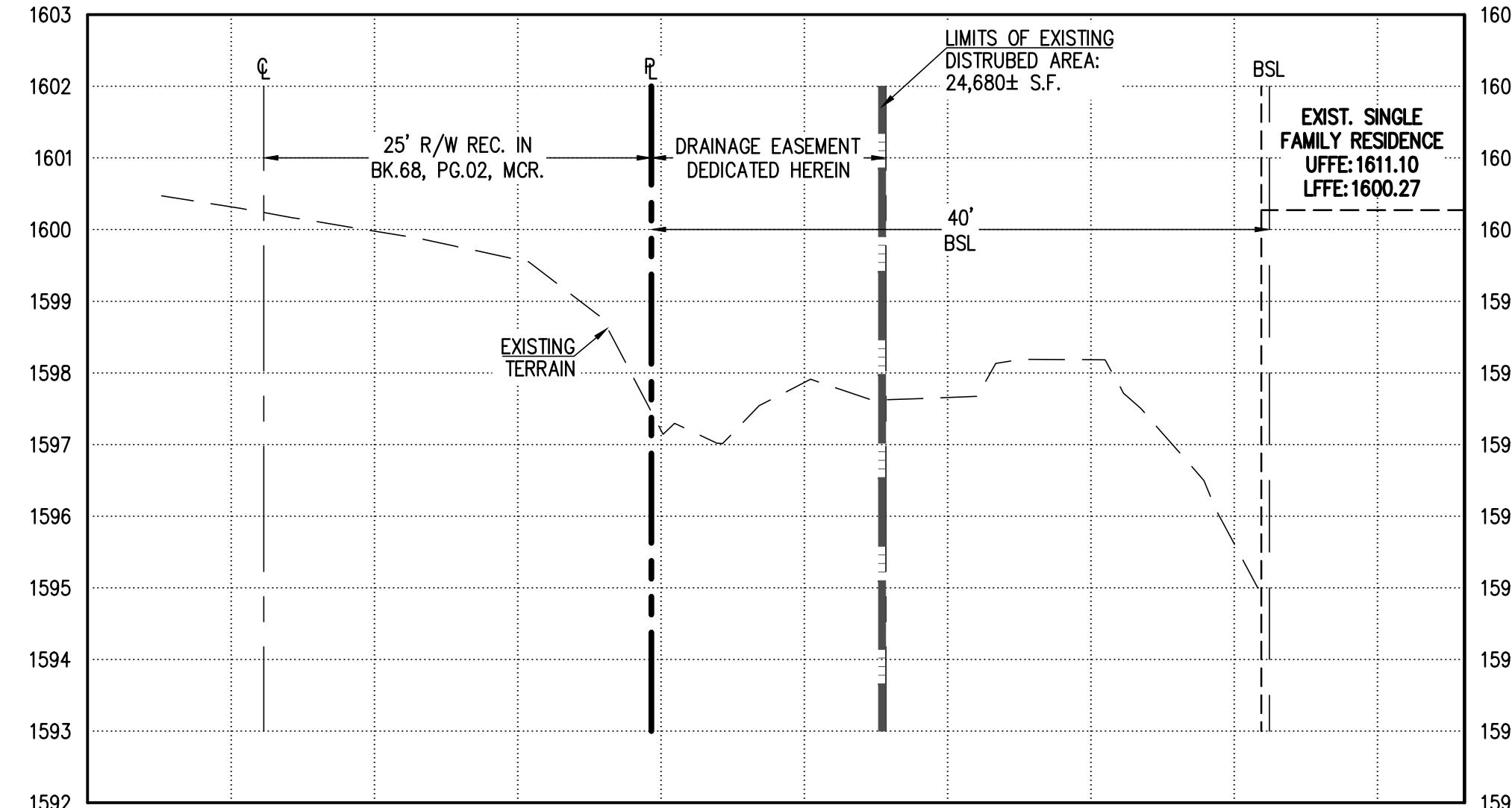
## RETAINING WALL UNITS

ID NUMBER	MAX. HEIGHT FT	EXIST. LENGTH FT	LENGTH FT	VISIBLE WALL LENGTH FT	A	B	C	D
R1	5'	53'	14'	29				
R2	5'	0	28'	27	5			
R3	5'	0	36'	32	18			
R4	6'	0	32'			15		
R5	8'	0	88'			15	48	
TOTAL		198	88	23	37	48		

## WALL KEY-NOTES

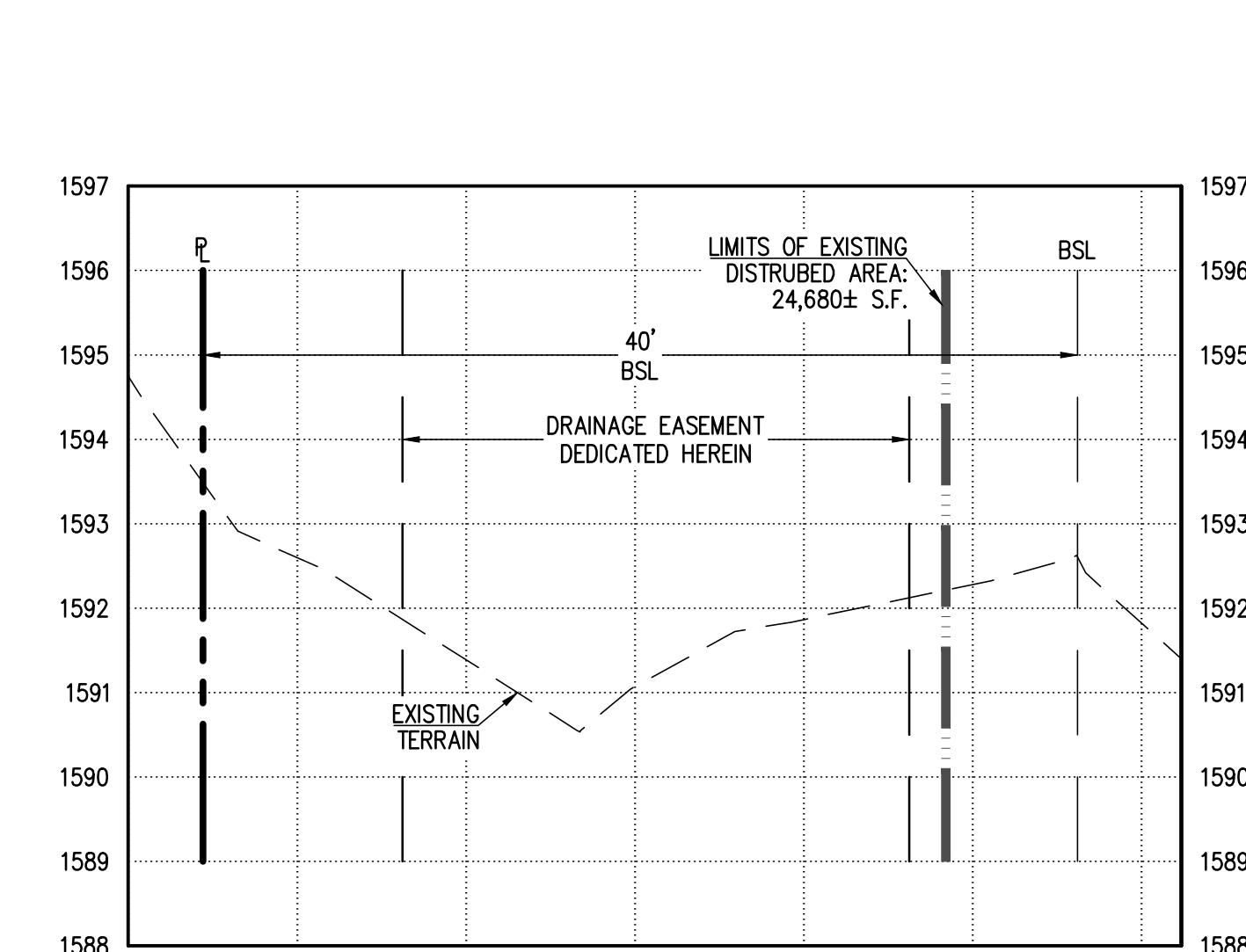
FOR LOCATIONS IDENTIFIED WITH KEYNOTE, REFER TO TABLE ON THIS SHEET FOR WALL UNITS.





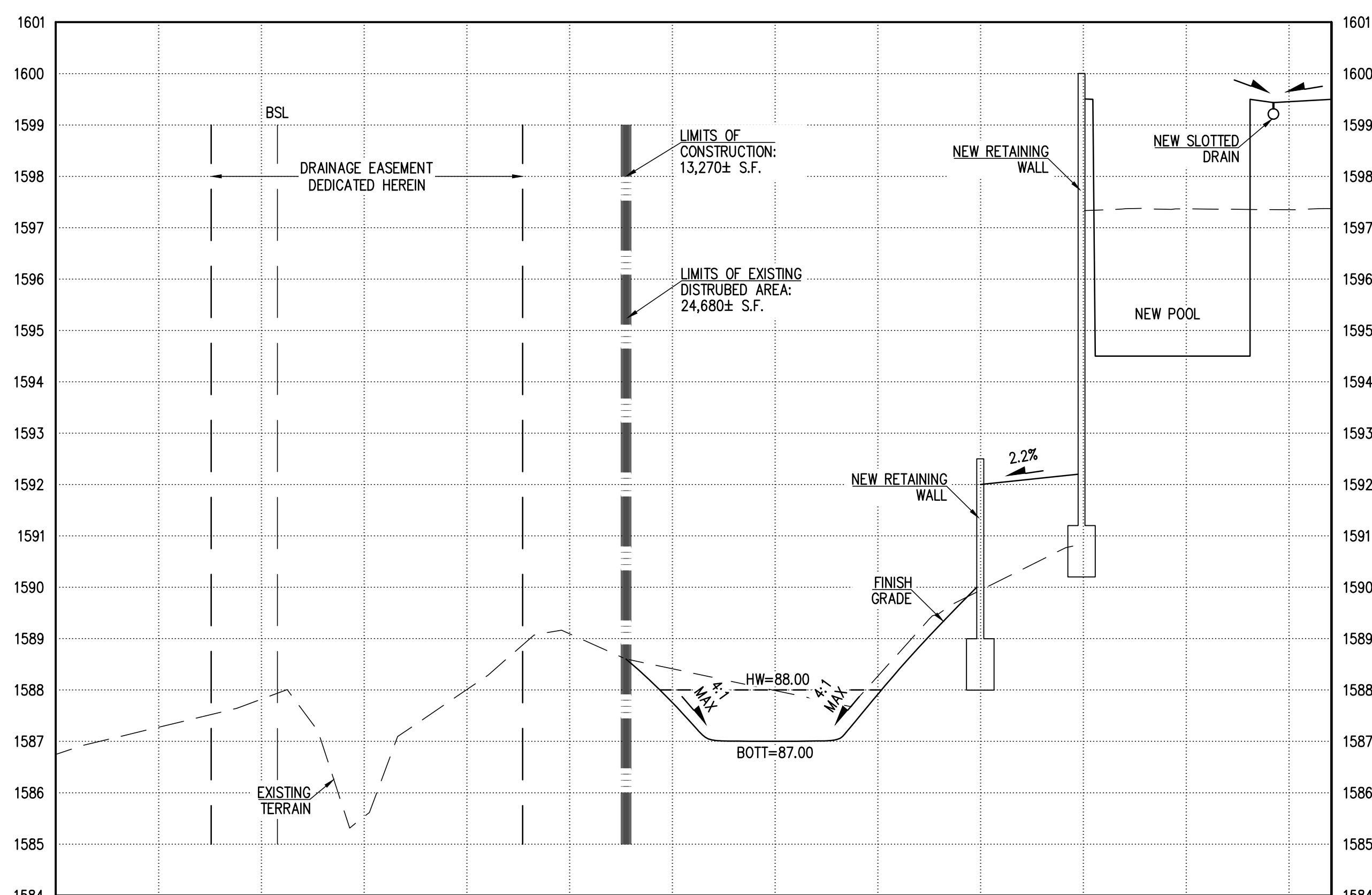
**CROSS SECTION 1 - 1**

SCALE HOR. 1" = 10', VER. 1" = 2'



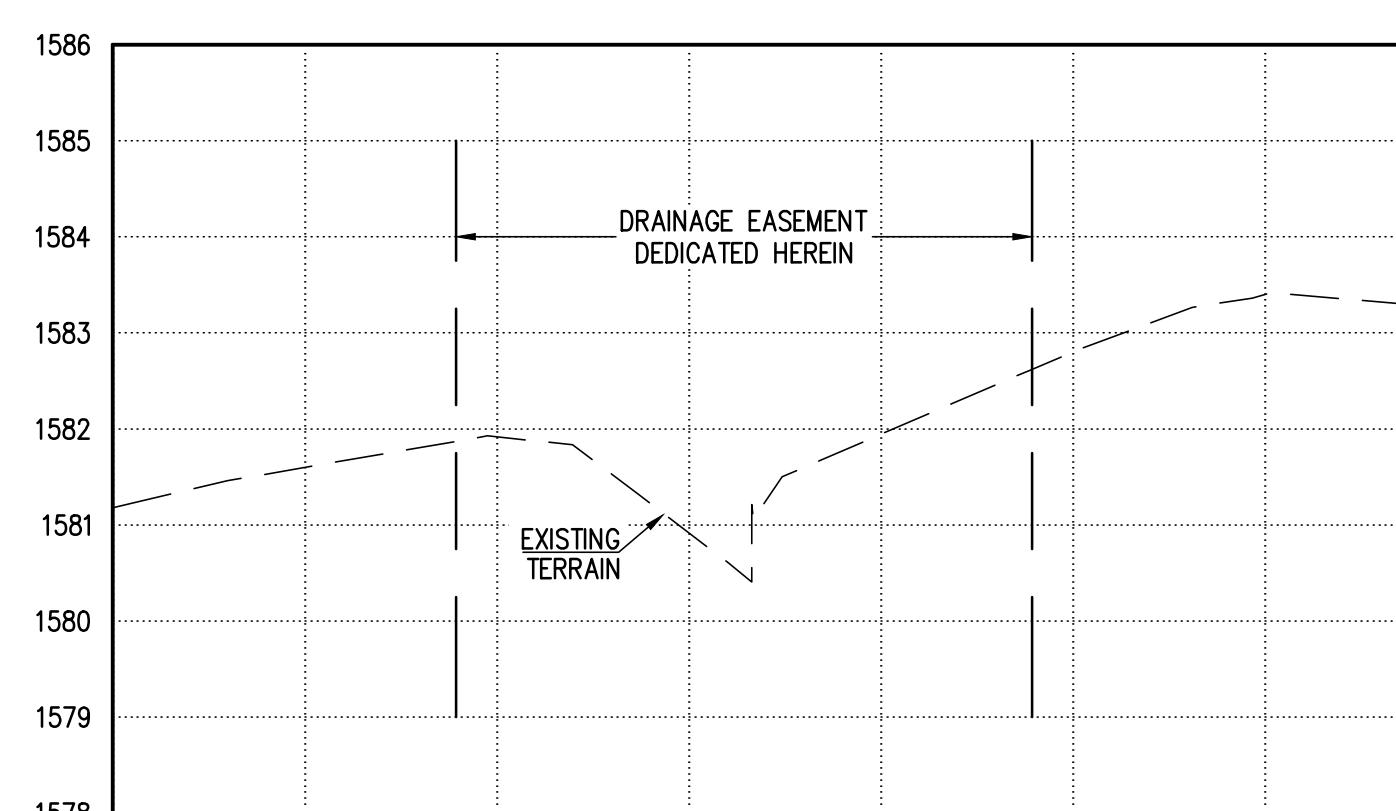
**CROSS SECTION 2 - 2**

SCALE HOR. 1" = 10', VER. 1" = 2'



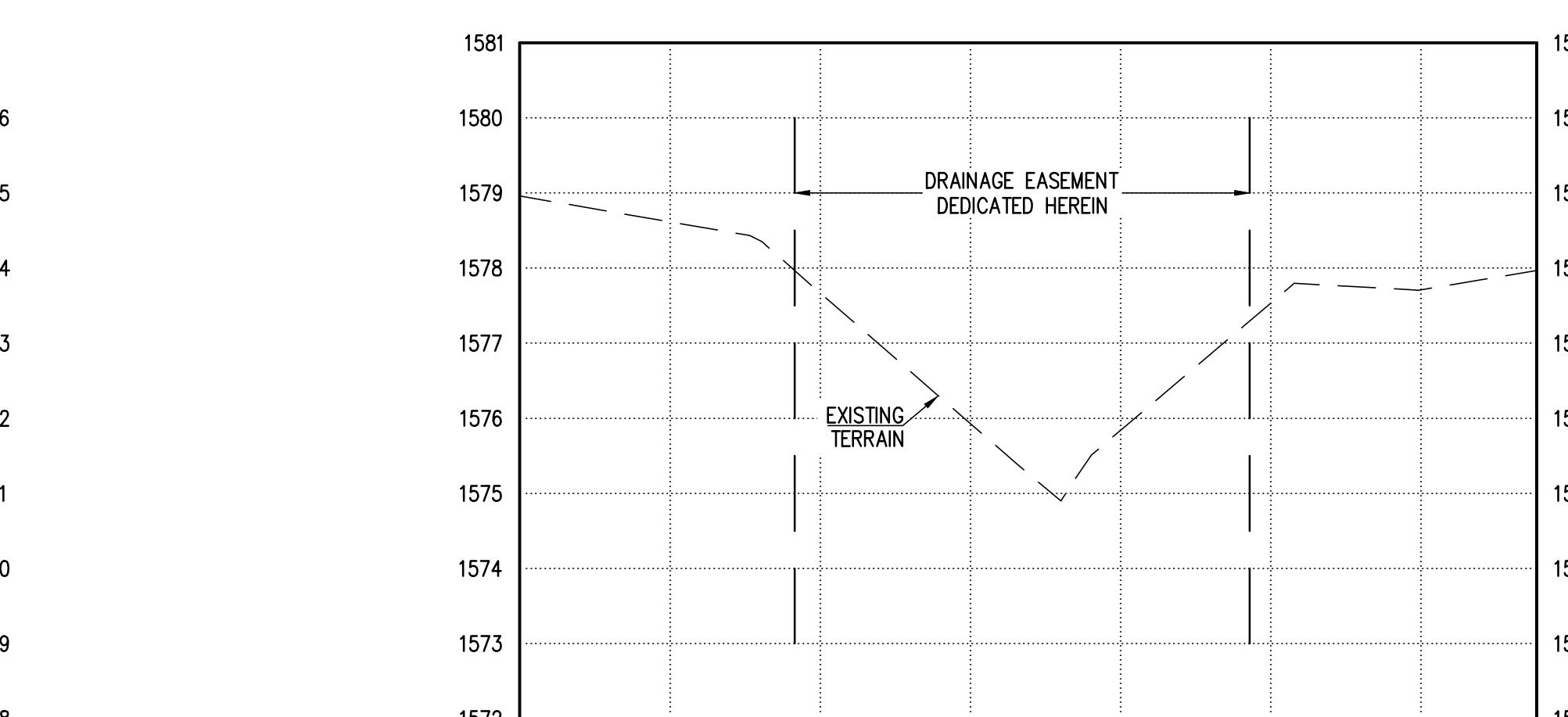
**CROSS SECTION 3 - 3**

SCALE HOR. 1" = 10', VER. 1" = 2'



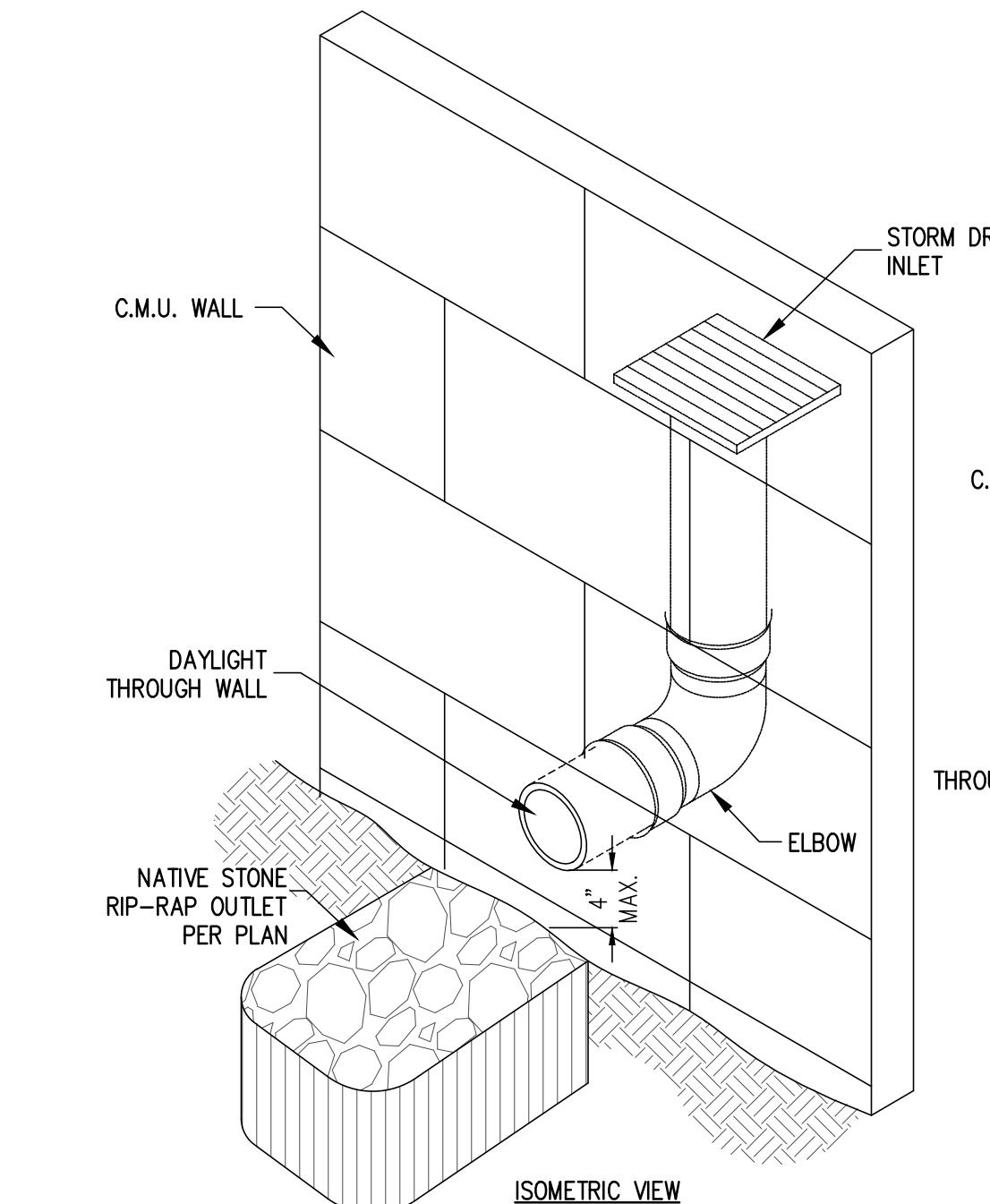
**CROSS SECTION 4 - 4**

SCALE HOR. 1" = 10', VER. 1" = 2'



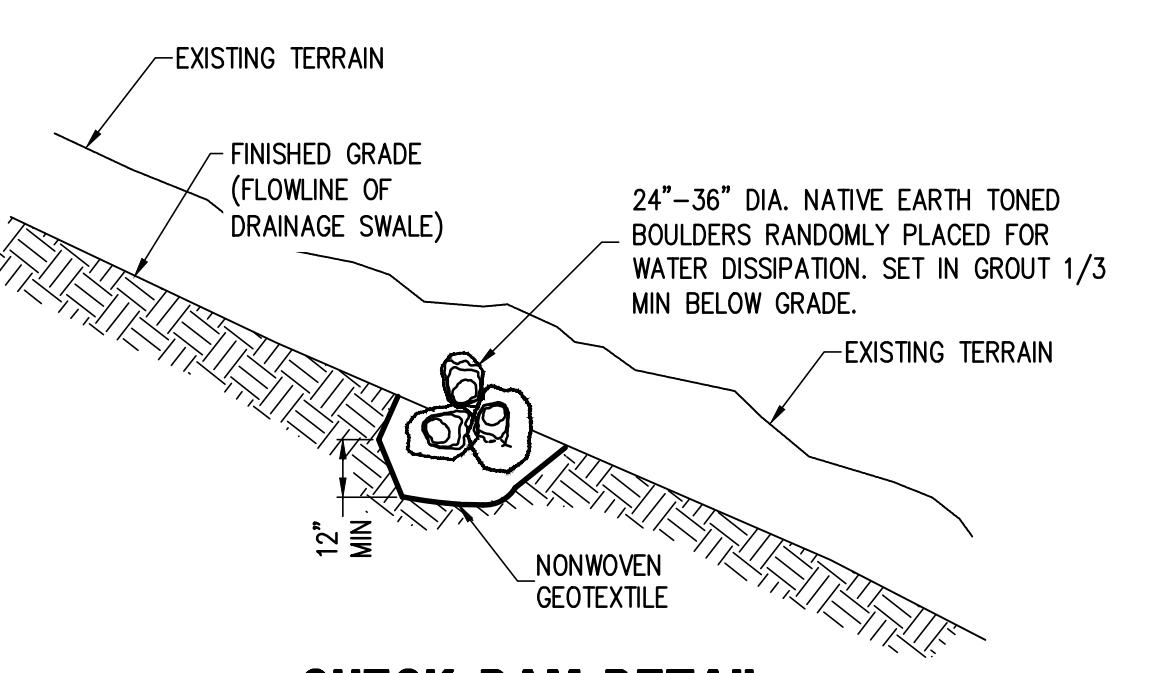
**CROSS SECTION 5 - 5**

SCALE HOR. 1" = 10', VER. 1" = 2'



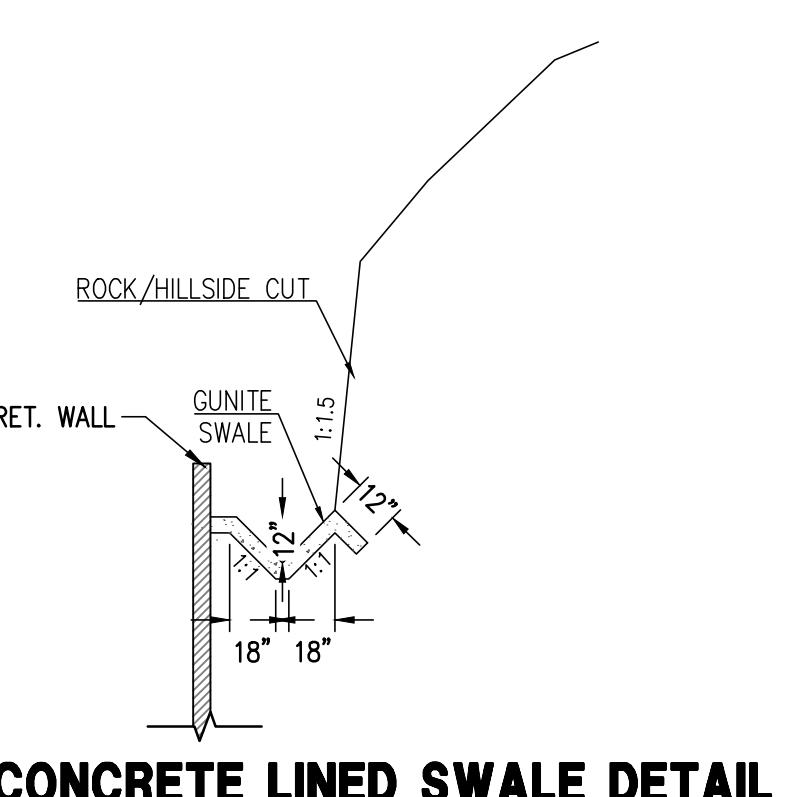
**DETAIL 1 - STORM DRAIN OUTLET AT WALL DETAIL**

N.T.S.



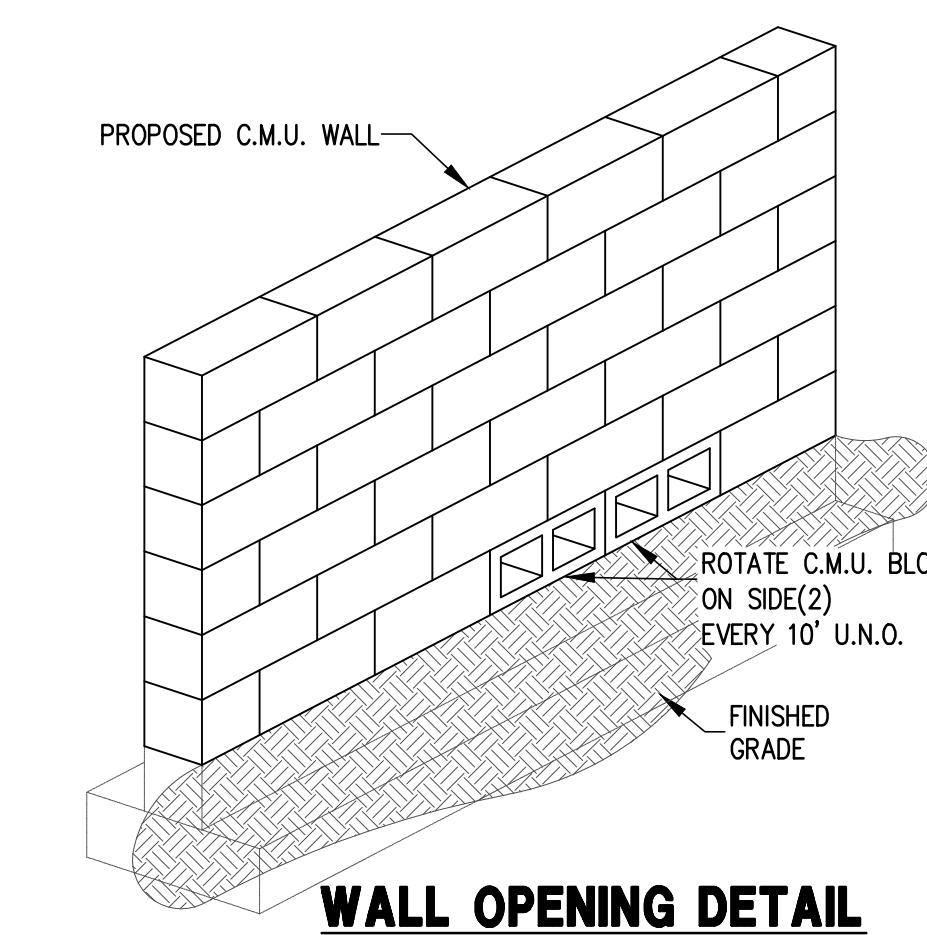
**CHECK DAM DETAIL**

N.T.S.



**CONCRETE LINED SWALE DETAIL**

N.T.S.



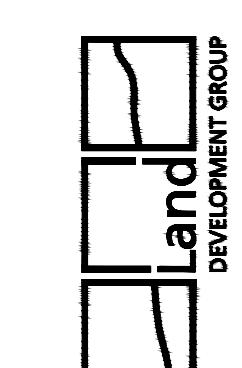
**WALL OPENING DETAIL**

N.T.S.



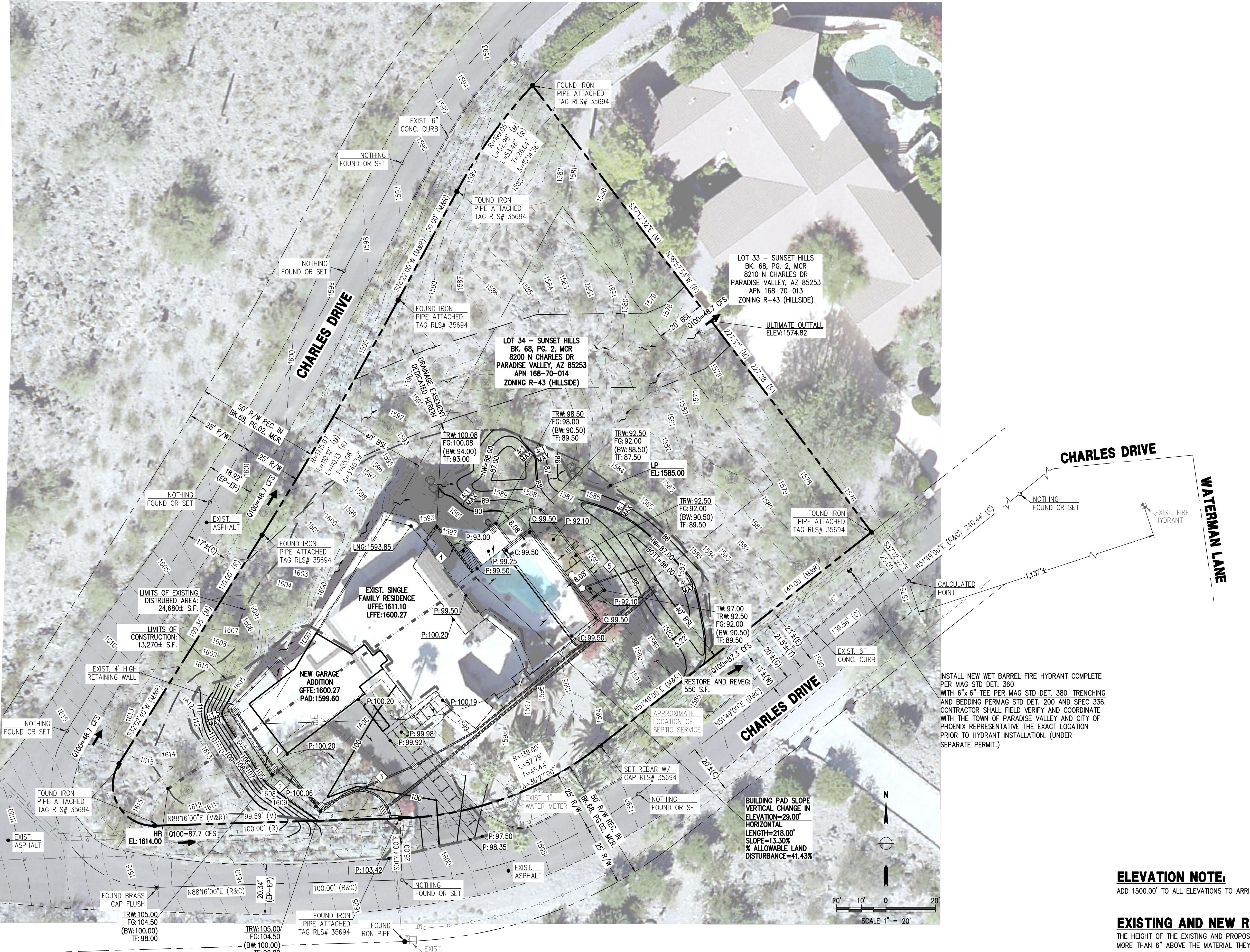
ARIZONA 811  
BLUE PLATE, INC.

Call 811 or click [Arizona811.com](http://Arizona811.com)



C-3  
3 OF 3

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P. 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX@LDG.COM  
REVISIONS: DATE: SCALE: HOR. 1"=10' VER. 1"=2' DATE: 10/22/19  
DESIGNED BY: NP DRAWN BY: ZA CHECKED BY: JI  
JOB: 1811249 VERSION: 1.1 PLOT DATE: 10/22/19



## **ELEVATION NOTE:**

---

ADD 1500.00' TO ALL ELEVATIONS TO ARRIVE AT FULL DATUM.

## **EXISTING AND NEW RETAINING WALLS NOTE:**

THE HEIGHT OF THE EXISTING AND PROPOSED RETAINING WALLS SHALL NOT EXTEND MORE THAN 6" ABOVE THE MATERIAL THEY RETAIN.

Contact Arizona 811 at least two full working days before you begin excavation

VERSION:	DRW L. SCROLL.	DESIGNED BY: NP	JOB: 1811249
		DRAWN BY: ZA	VERSION: 1.1
		CHECKED BY: JI	PLOT DATE: 10/22/19
THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND AS SUCH SHALL REMAIN PROPERTY OF LAND DEVELOPMENT GROUP, LLC. UNAUTHORIZED USE, REUSE, REPRODUCTIONS, OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF LAND DEVELOPMENT GROUP, LLC IS PROHIBITED. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED.			

**LOT 34 - SUNSET HILLS  
8200 N CHARLES DR.,  
PARADISE VALLEY, AZ 85253**

A circular professional engineer certificate seal. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER (CIVIL)" at the top and "ARIZONA U.S.A." at the bottom. The inner circle contains "CERTIFICATE NO." above the name "NICKOLA J. PRODANOV". Below the name is the date "10/22/19". The date "10/22/19" is also written in the bottom left corner of the inner circle.

**AE**  
1 OF 1





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**BIEGNER-MURFF ARCHITECTS**  
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project: **8200 N. Charles Drive**  
8200 N. Charles Drive  
Paradise Valley, AZ 85253

contents: HILLSIDE REVIEW SUBMITTAL  
CONSTRUCTION STAGING PLAN

job #: NORQUIST - 2019

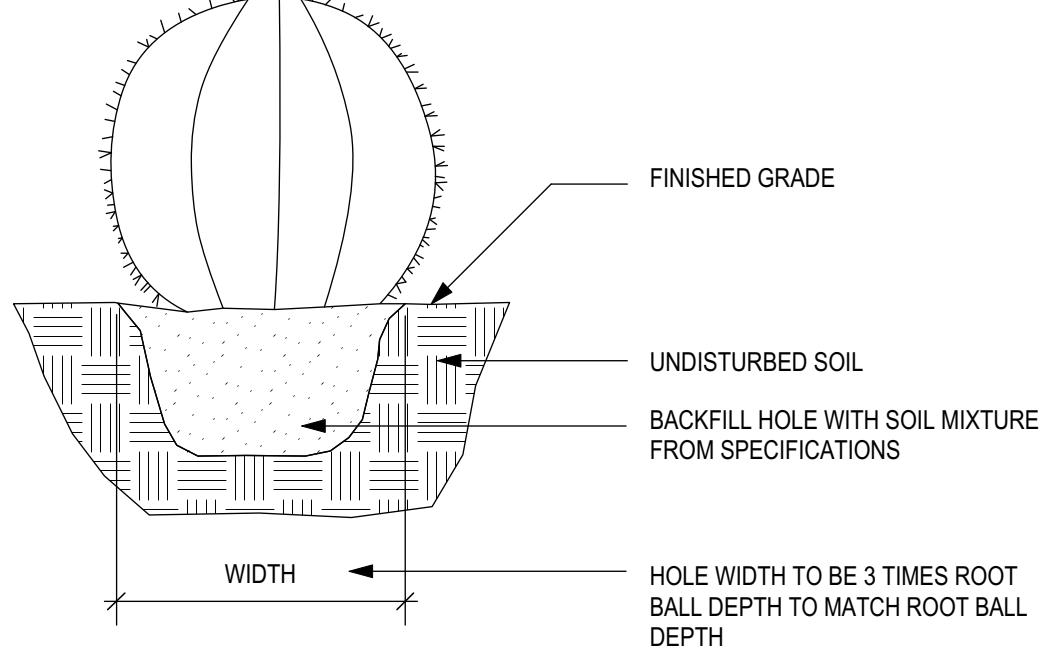
date: 10.22.19

revised:

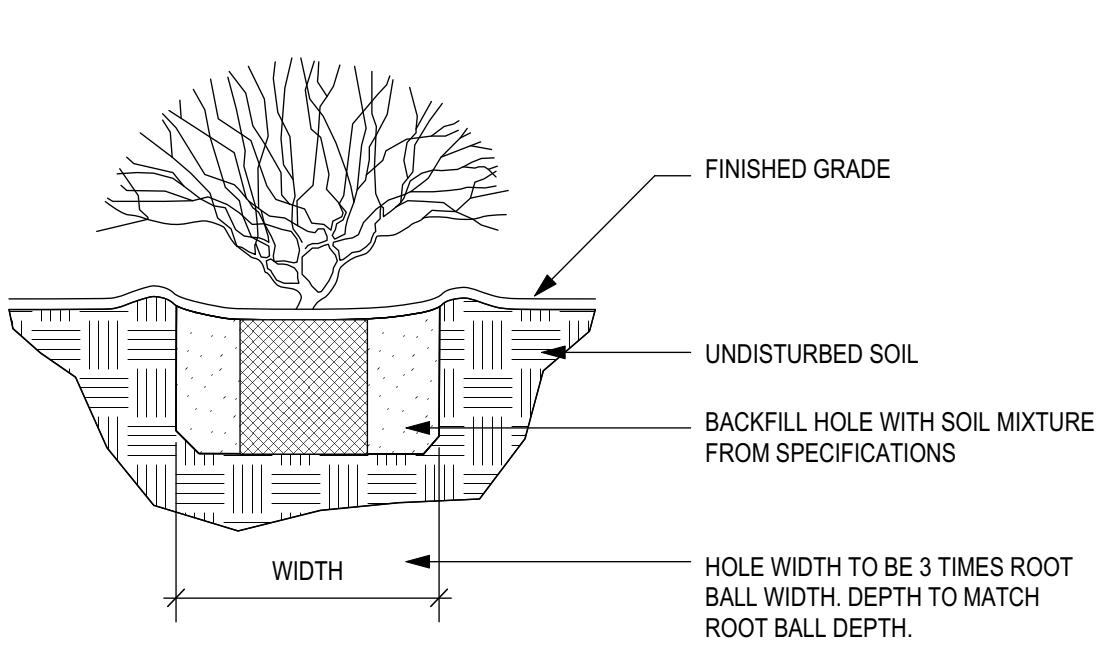
sheet No:



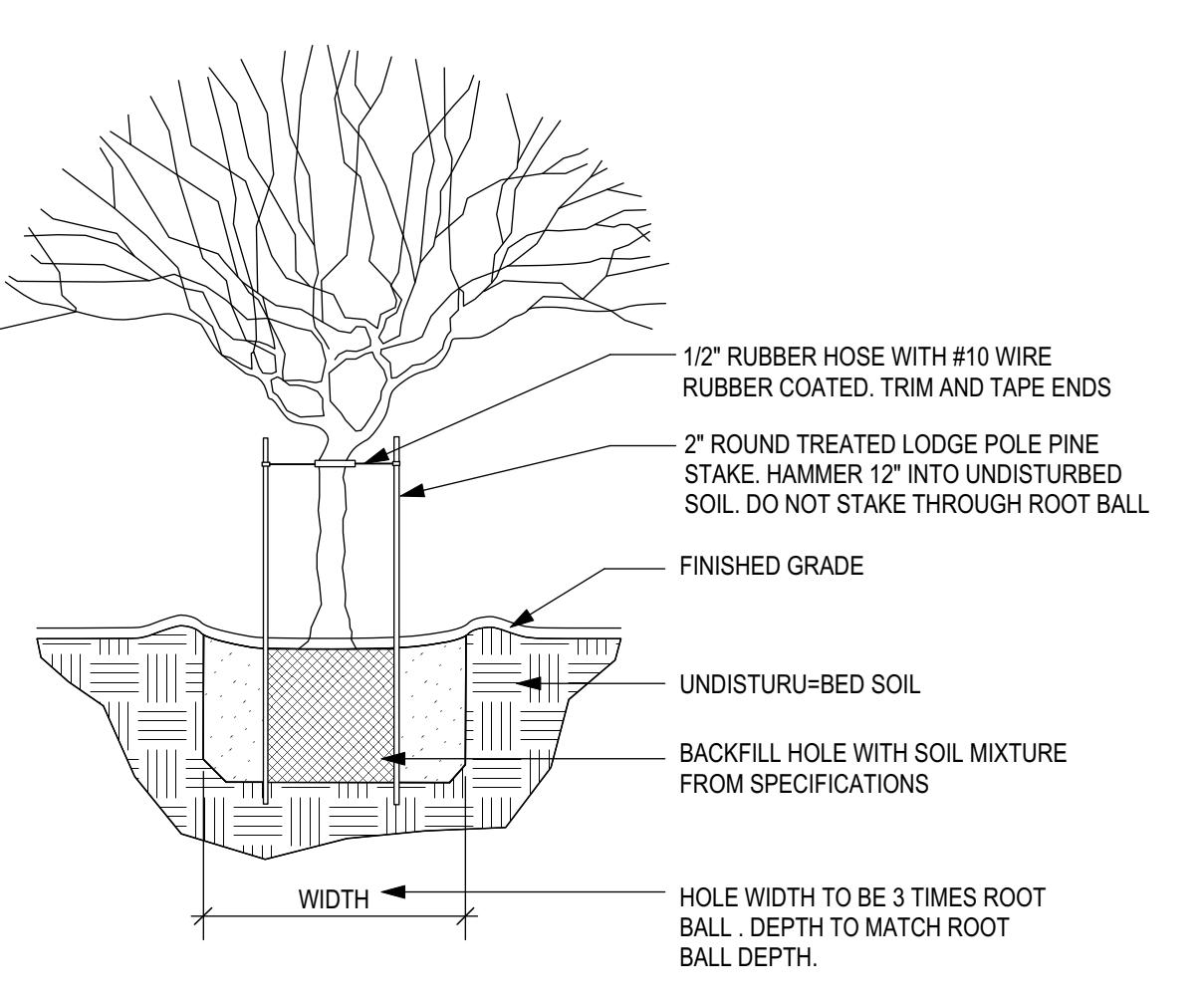
1 LANDSCAPE PLAN  
Scale: 1" = 20 ft



CACTUS PLANTING DETAIL  
Scale: 3/16" = 1'-0"



SHRUB PLANTING DETAIL  
Scale: 3/16" = 1'-0"



TREE PLANTING DETAIL  
Scale: 3/16" = 1'-0"

PLANT LIST		
EXISTING TO REMAIN		
TREES		
CERCIDium V. DESERT MUSEUM DESERT MUSEUM PALO VERDE 5@3FT BOX		
OLNEYA TESOTA IRONWOOD TREE 2@3FT BOX		
PARKINSONIA MICROPHYLLA FOOTHILL PALO VERDE 7@2FT BOX		
SHRUBS		
BAILEYA MULTIRADIATA DESERT MARIGOLD 18@1 GAL.		
CALLANDRA ERIOPHYLLA PINK FAIRY DUSTER 7@5 GAL.		
ENCelia FARINOSA BRITTLE BUSH 23@5 GAL.		
ERIOGONUM FASCICULATUM ARIZONA BUCKWHEAT 14@5 GAL.		
JUSTICA CALIFORNICA CHUPAROSA 3@5 GAL.		
LARREA TRIDENTATA CREOSOTE BUSH 16@5 GAL.		
AGAVE/ALOE		
AGAVE ARIZONICA ARIZONA AGAVE 1@5 GAL.		
AGAVE BOVICORNUTA COWS HORN AGAVE 1@15 GAL.		
AGAVE HARVARDIANA HARVARD AGAVE 7@5 GAL.		
AGAVE PALMERII PALMER'S AGAVE 2@5 GAL.		
CACTUS		
CYLINDROPUNTIA ARBUSCULA PENCIL CHOLLA 8@5 GAL.		
CYLINDROPUNTIA VERSICOLOR STAGHORN CHOLLA 3@5 GAL.		
ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS 35@5 GAL.		
OPUNTIA CACANAPA 'ELLISIANA'		
OPUNTIA ENGELMANNII ENGELMANN PRICKLY PEAR 2@5 GAL.		
OPUNTIA FICUS-INDICA INDIAN FIG CACTUS 1@15 GAL.		
OPUNTIA MACROCENTRA PORCUPINE CACTUS 20@5 GAL.		
OPUNTIA POLYACANTHA PLAINS PRICKLY PEAR 2@5 GAL.		
OPUNTIA SANTA RITA SANTA RITA PRICKLY PEAR 2@5 GAL.		
COLUMNAR CACTUS		
CLEISTOCACTUS STRAUSSII SILVER TORCH CACTUS 15@15 GAL.		
ECHINOPSIS SPACHIANA GOLDEN TORCH CACTUS 1@15 GAL.		
PACHYCEREUS MARGINATUS MEXICAN FENCE POST		
PACHYCEREUS SCHOTTII SENITA 1@2FT BOX		
STENOCEREUS THURBERI ORGAN PIPE CACTUS 7@2FT BOX		
YUCCA / OCOTILLO		
HESPERALOE PARVIFLORA "YELLOW" YELLOW YUCCA 9@15 GAL.		
FOUQUIERIA SPLENDENS OCOTILLO 2@2FT BOX		
YUCCA BREVIFOLIA JOSHUA TREE EXISTING		
YUCCA FAXONIA SPANISH DAGGER 1@2FT BOX		
YUCCA RIGIDA BLUE YUCCA 1@2FT BOX		
YUCCA SCHOTTII ENGELMANNII MOUNTAIN YUCCA 1@2FT BOX		
AREA TO RECEIVE REVEGETATION HYDROSEEDING		
UPPER SONORAN DESERT MIX - SEED MIX 11 LBS/ ACRE		
BOTANICAL NAME COMMON NAME # L.S.		
BAILEYA MULTIRADIATA DESERT MARIGOLD 0.5		
PENSTEMON PARRYI PARRY PENSTEMON 0.5		
LARREA TRIDENTATA CREOSOTE BUSH 3.0		
AMBROSIA DUMOSA BURROW-WEED 1.0		
ATRIPLEX CANESCENS FOURWING SALTBUCH 2.0		
ERIOGONUM FASCICULATUM ARIZONA BUCKWHEAT 1.0		
ARISTIDA PURPUREA PURPLE THREE-AWN 2.0		
ENCelia FARINOSA BRITTLEBUSH 1.0		
TOTAL 11.0		

PROJECT SPECIFIC NOTES FOR REVIEWER

1. NO SUPPLEMENTAL OR SURFACE IRRIGATION WILL BE USED FOR THE ESTABLISHMENT OF NATIVE HYDROSEED.
2. ALL DISTURBED LANDSCAPE AREAS ARE TO HAVE GROUND SURFACES RESTORED TO A NATURAL DESERT CONDITION AS DESCRIBED IN THE REVEGETATION INSTRUCTIONS, UNLESS OTHERWISE NOTED.
3. NATIVE HYDROSEED WILL BE APPLIED TO ALL LANDSCAPE AREAS ON SITE THAT HAVE BEEN DISTURBED OR DAMAGED DURING CONSTRUCTION, WHETHER THEY OCCUR WITHIN THE LIMITS OF CONSTRUCTION SHOWN IN THESE PLANS OR NOT. AREAS SHOWN TO BE ASING REVEGETATED WITH DEFINED PLANTINGS SHOULD BE EXCLUDED FROM HYDROSEED AREAS UNLESS THOSE AREAS ARE SHOWN TO ALSO RECEIVE HYDROSEEDING PER PLANS.
4. CONTRACTOR IS TO FURNISH AND INSTALL ALL NECESSARY MATERIALS REQUIRED TO COMPLETELY REVEGETATE THE AREAS DISTURBED BY CONSTRUCTION, AS SHOWN ON THESE PLANS AND AS OCCURS IN THE FIELD.

sheet No:

BIEGNER-MURFF ARCHITECTS

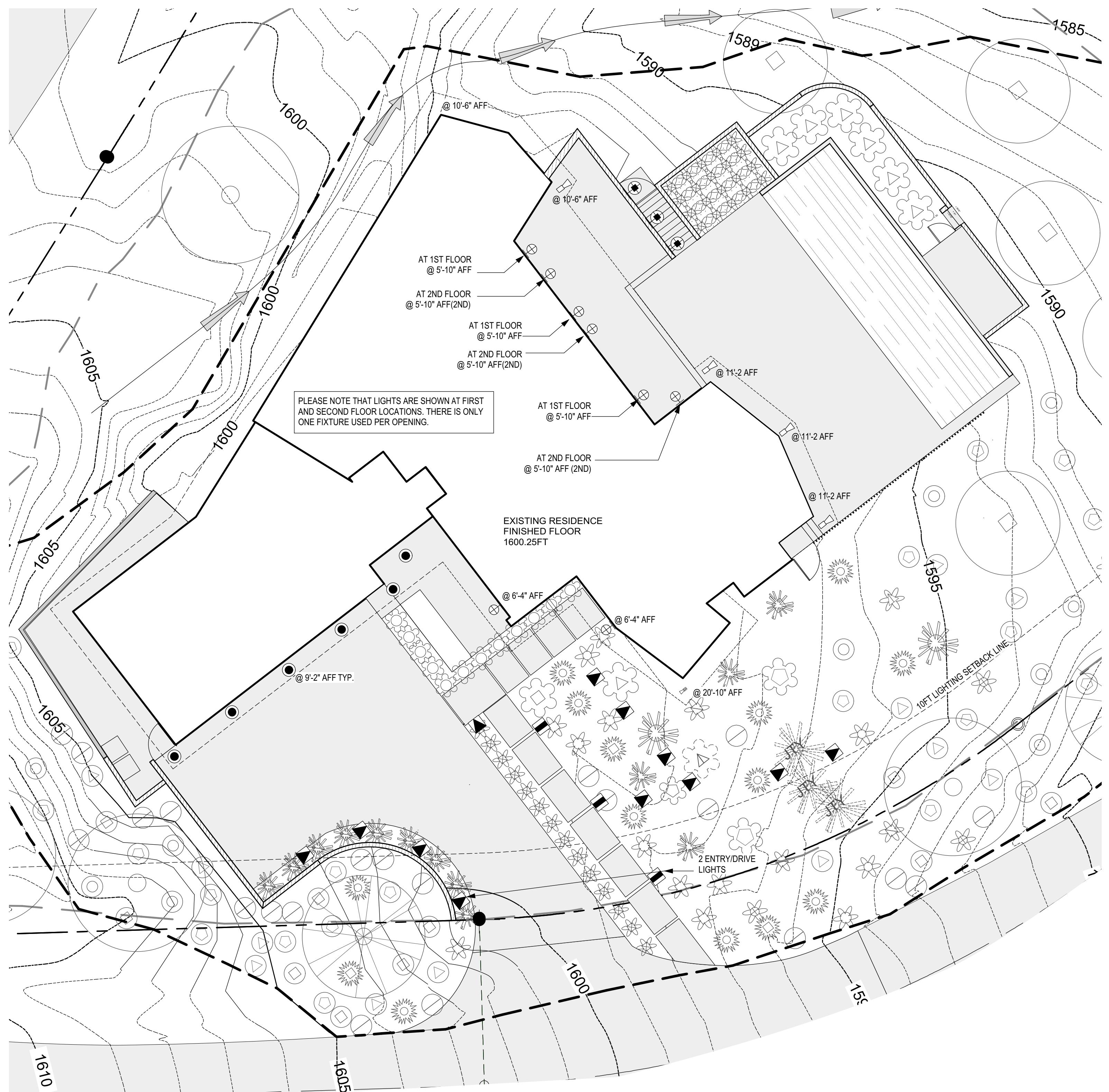
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project:  
8200 N. Charles Drive  
8200 N. Charles Drive  
Paradise Valley, AZ 85253

contents:  
HILLSIDE REVIEW  
LANDSCAPE PLAN

job #: NORQUIST - 2019

revised:  
10.22.19



2 EXTERIOR LIGHTING PLAN

Scale: 1" = 10 ft

#### EXTERIOR LIGHTING SCHEDULE

- **4" RECESSED DOWN LIGHT**  
MOUNTED AT UNDERSIDE OF SOFFIT. FIXTURE HEIGHT IS 9'-2" ABOVE FINISHED FLOOR.  
LIGHTLINE LIGHTING  
4" RECESSED FIXTURE RA4S-12G-DTW IN BLACK  
12 WATT LED @ 750 LUMENS MAX. (DIMMABLE), 3000K COLOR TEMP  
6 LIGHTS
- **WALL LIGHT**  
DOWNWARD ILLUMINATING WALL LIGHT  
SEE PLAN FOR FIXTURE MOUNTING HEIGHTS  
LIGHTHEADED LIGHTING  
C3W-807 XICATO 3" LED PIPE LIGHT IN BLACK  
700 LUMEN DIMMABLE FIXTURE, 3000K COLOR TEMP  
8 LIGHTS
- **DIRECTIONAL LIGHT AT ROOF EAVE**  
FIXTURE IS MOUNTED AT THE UNDERSIDE OF THE ROOF EAVES. THE FIXTURE IS TO BE DIRECTED DOWNWARD TO ILLUMINATE THE ADJACENT GROUND SURFACES. FIXTURE HEIGHT VARIES BY LOCATION - SEE PLAN  
COOPER LIGHTING  
CAMBRIA 203 IN BLACK  
8 WATT LED AT 240 LUMENS AT 20FT, 3000K COLOR TEMP  
4 LIGHTS
- **STEP LIGHT**  
FIXTURE IS INSET INTO THE WALL ADJACENT TO THE STAIRS TO THE REAR OF THE PROPERTY.  
MOUNTING HEIGHT IS 1 FT ABOVE THE ADJACENT STAIR LEVEL.  
HEVI-LITE  
HL-157-BK-8LED-PL-12 - IN BLACK  
3 WATT LED AT 140 LUMENS, 2700K COLOR TEMP  
3 LIGHTS
- **LANDSCAPE DIRECTIONAL LIGHTS (UPLIGHTS)**  
HEVI-LITE  
HL-310-LED IN BLACK  
3 WATT LED AT 140 LUMENS, 2700K COLOR TEMP  
19 ALLOWED / 12 LIGHTS PROPOSED
- **LANDSCAPE PATH LIGHT (DOWNWARD ILLUMINATION)**  
HINKLEY LIGHTING  
1518BZ-LED IN BRONZE  
3.8 WATT LED AT 250 LUMENS, 2700K COLOR TEMP.  
3 LIGHTS

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OR ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

#### BIEGNER-MURFF ARCHITECTS

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Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project: 8200 N. Charles Drive  
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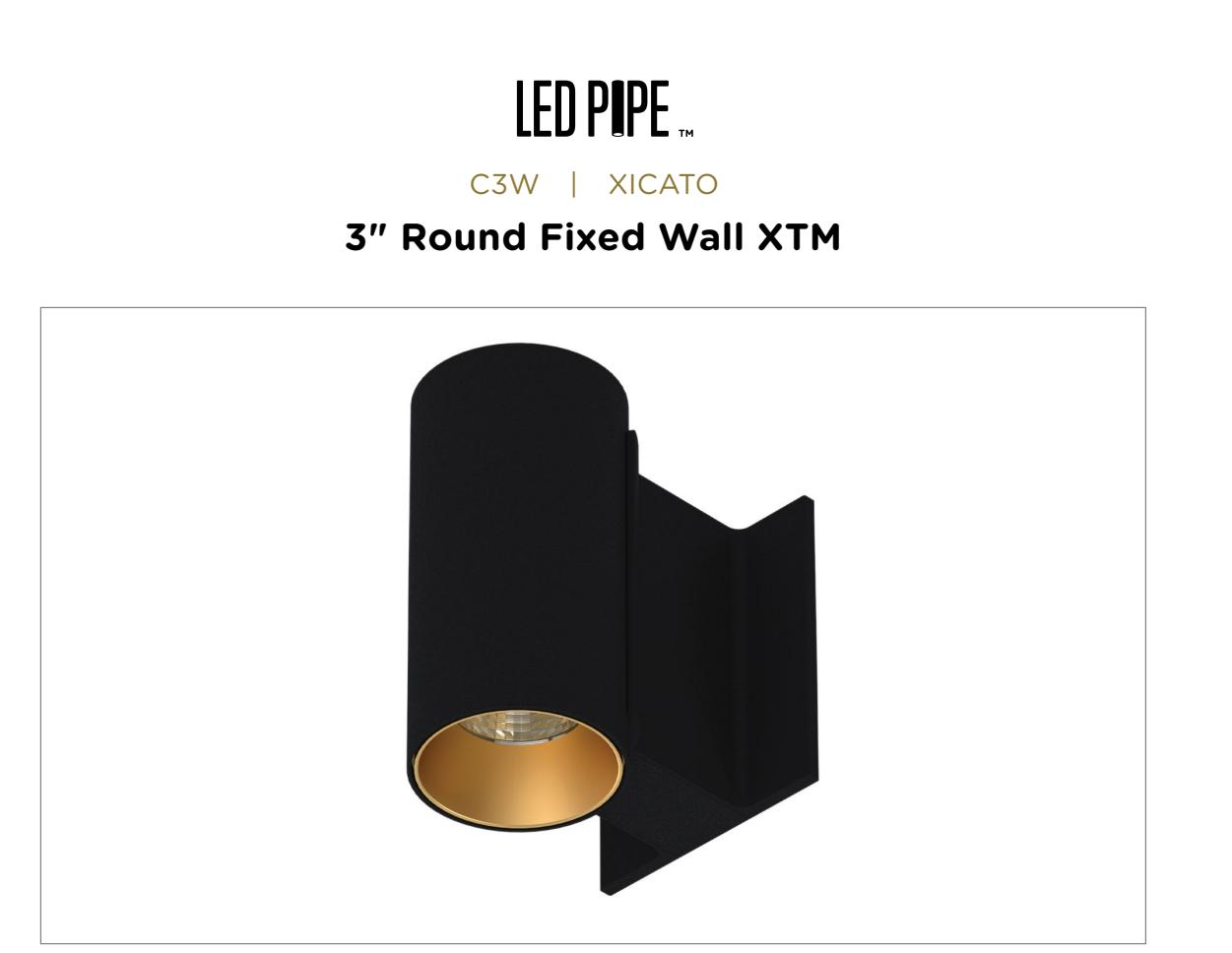
contents: HILLSIDE REVIEW SUBMITTAL  
EXTERIOR LIGHTING PLAN

job #: NORQUIST - 2019

revised:

date: 10.22.19

sheet No:



Our LED Pipe™ family of cylinders provide architects and lighting designers with almost limitless design possibilities. Whether you need light a space with a single cylinder, or a series of them, focus attention on a specific architectural detail or make a dramatic statement, you can solve almost any lighting problem with a LED Pipe.

- Lumen output: 7000-15000
- Damp location listed
- Single media ready
- Machine aluminum
- Powder coated finishes
- Color consistency of <2 SDCM (MacAdam Ellipse)
- L70 @ 50,000 hours

#### DETAILS

Trim Class: 3"

Category: Cylinder

Shape: Round

Mount Type: Wall Mount



Intertek



5



LIGHTHEADED

C3WR-3in-Round-Wall-Led-Pipe-XTM-Specs • Subject to change without notice • REV 2019.05.30 • 1/3

info@lightheadedlighting.com • www.lightheadedlighting.com  
P.604.464.5644 T.1800.464.9544 F.604.464.0888

LIGHTHEADED

- Lumen output: 7000-15000
- Damp location listed
- Single media ready
- Machine aluminum
- Powder coated finishes
- Color consistency of <2 SDCM (MacAdam Ellipse)
- L70 @ 50,000 hours

#### OPTIONS

None

Trim and lens are diffused with internal half shield for reduced lamp glare.

90° Linear spread lens

90° Prismatic lens

90° Prismatic lens for above lenses

Mounting Accessories

HL-45PH - Aluminum Pour Housing

HL-45PH - Aluminum Octagonal Box w/Mud Ring

See fixture accessories for more information.

#### RATING:

Wet/damp/dry location.



Intertek

MADE IN THE USA

ORDER SPECIFICATION:

Fixture

Finish

Lamp

Voltage

Options/Access

Project:

HEVI LITE, INC.

9714 Vinal Ave, Chatsworth, CA 91311

Tel.: (818) 341-8091 • Fax: (818) 998-1986

Web Site: <http://www.hevilite.com>

Approved:

NOTE:

CATALOG NUMBER:

HL-157

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#### SPECIFICATIONS

DESCRIPTION

Cambria 203 is a small, low voltage dimmable LED and halogen MR16 luminaire. It is available with a fully adjustable side swivel stem (203, 203-FL), an adjustable center rear swivel (203-CRS) or a stationary rear flush mount (203-FM). Side and rear swivels 203 and 203-FL provide 180° and 360° lighting effects. Model 203, 203-CRS and 203-FL are available with a standard lens, longer lens and a diffused lens. The diffused lens is up to three at once - to create multiple lighting effects. The Lumière exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision-machined brass, 6061-T6 aluminum, C860 brass, 2322 bronze\*, C110 copper brass, 303/24 stainless steel.

FINISH:

AA - Anodized Satin Aluminum

AB - Brushed Brass

BK - Powder Coat Black

BR - Powder Coat Bronze

FL - Flood, 30°

FR - Flood, 40°

HL - Flood, 25°

MR - Flood, 30°

SP - Spot, 12°

SP - Spot, 24°

SL - Side, 12°

SL - Side, 24°

SR - Side, 30°

SR - Side, 40°

SR - Side, 25°

SR - Side, 36°

SR - Side, 48°

SR - Side, 60°

SR - Side, 72°

SR - Side, 84°

SR - Side, 96°

SR - Side, 108°

SR - Side, 120°

SR - Side, 132°

SR - Side, 144°

SR - Side, 156°

SR - Side, 168°

SR - Side, 180°

SR - Side, 192°

SR - Side, 204°

SR - Side, 216°

SR - Side, 228°

SR - Side, 240°

SR - Side, 252°

SR - Side, 264°

SR - Side, 276°

SR - Side, 288°

SR - Side, 300°

SR - Side, 312°

SR - Side, 324°

SR - Side, 336°

SR - Side, 348°

SR - Side, 360°

SR - Side, 372°

SR - Side, 384°

SR - Side, 396°

SR - Side, 408°

SR - Side, 420°

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SR - Side, 444°

SR - Side, 456°

SR - Side, 468°

SR - Side, 480°

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SR - Side, 528°

SR - Side, 540°

SR - Side, 552°

SR - Side, 564°

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SR - Side, 720°

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SR - Side, 744°

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SR - Side, 972°

SR - Side, 984°

SR - Side, 996°

SR - Side, 1008°

SR - Side, 1020°

SR - Side, 1032°

SR - Side, 1044°

SR - Side, 1056°

SR - Side, 1068°

SR - Side, 1080°

SR - Side, 1092°

SR - Side, 1104°

SR - Side, 1116°

SR - Side, 1128°

SR - Side, 1140°

SR - Side, 1152°

SR - Side, 1164°

SR - Side, 1176°

SR - Side, 1188°

SR - Side, 1196°

SR - Side, 1208°

SR - Side, 1216°

SR - Side, 1224°

SR - Side, 1232°



V15 FROM FROM RESIDENCE LOOKING EAST



V16 FROM FROM RESIDENCE LOOKING SOUTHEAST



V17 FROM FROM RESIDENCE LOOKING SOUTH , DOWN DRIVEWAY



V18 FROM FROM RESIDENCE LOOKING SOUTHWEST



V19 FROM FROM RESIDENCE LOOKING WEST TO APEX OF NORTH CHARLES DRIVE



V20 FROM FROM RESIDENCE LOOKING NORTH WEST



V21 FROM FROM RESIDENCE LOOKING NORTH



V22 FROM FROM RESIDENCE LOOKING NORTHEAST

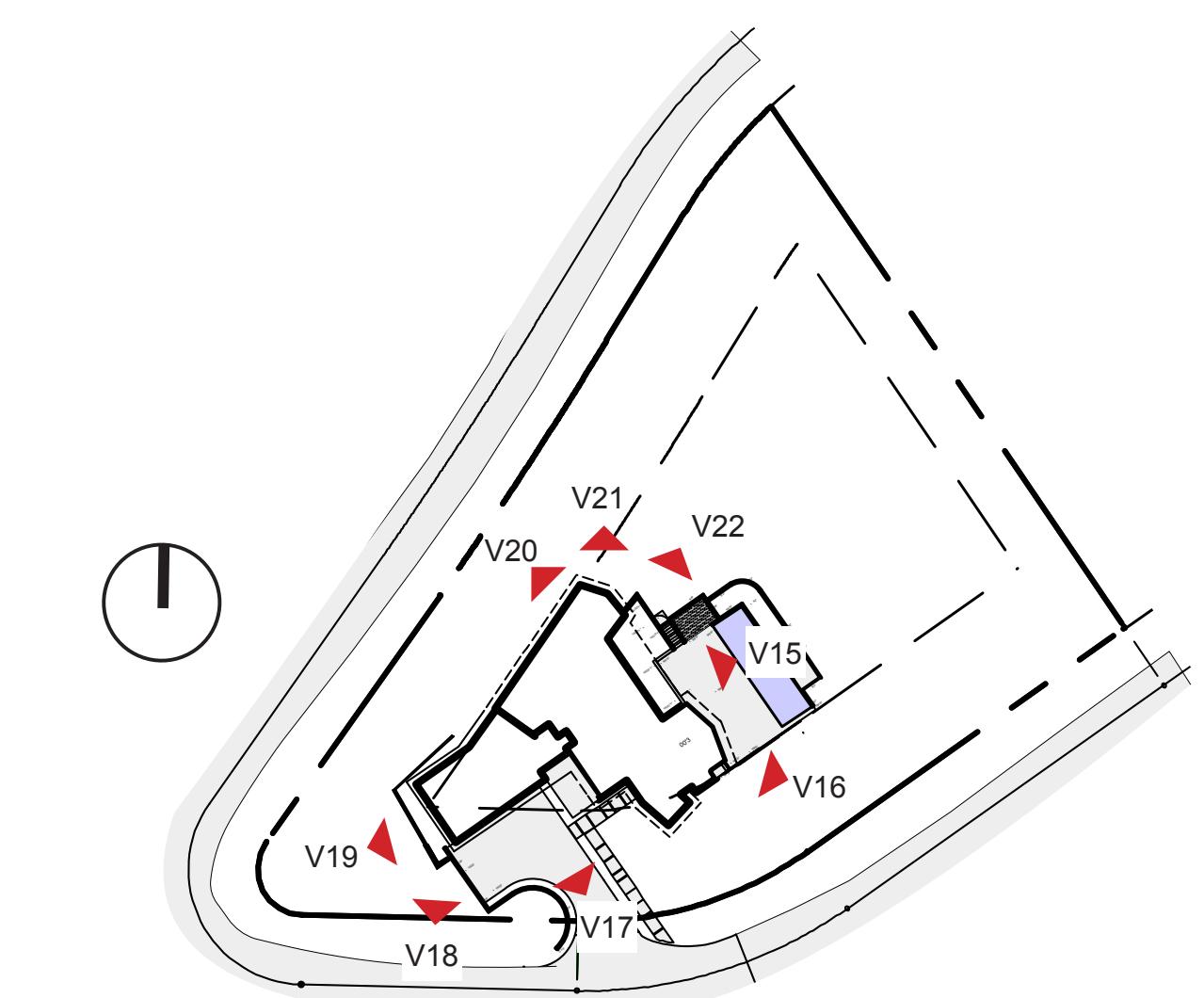


IMAGE KEY PLAN

**BIEGNER-MURFF ARCHITECTS**  
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project: **8200 N. Charles Drive**  
8200 N. Charles Drive  
Paradise Valley, AZ 85253

contents: HILLSIDE SUBMITTAL  
SITE PHOTOS LOOKING FROM SITE

job #: NORQUIST - 2019

revised:

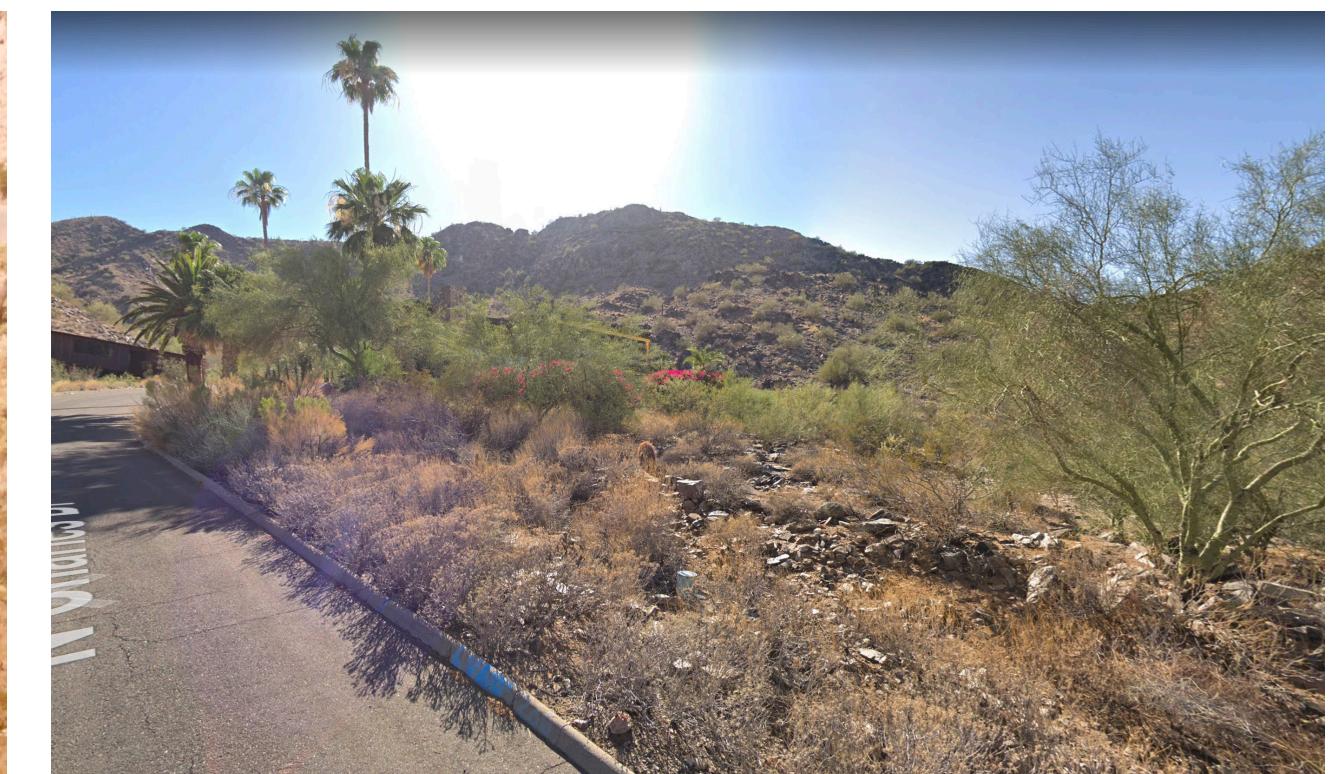
date: 9.23.19



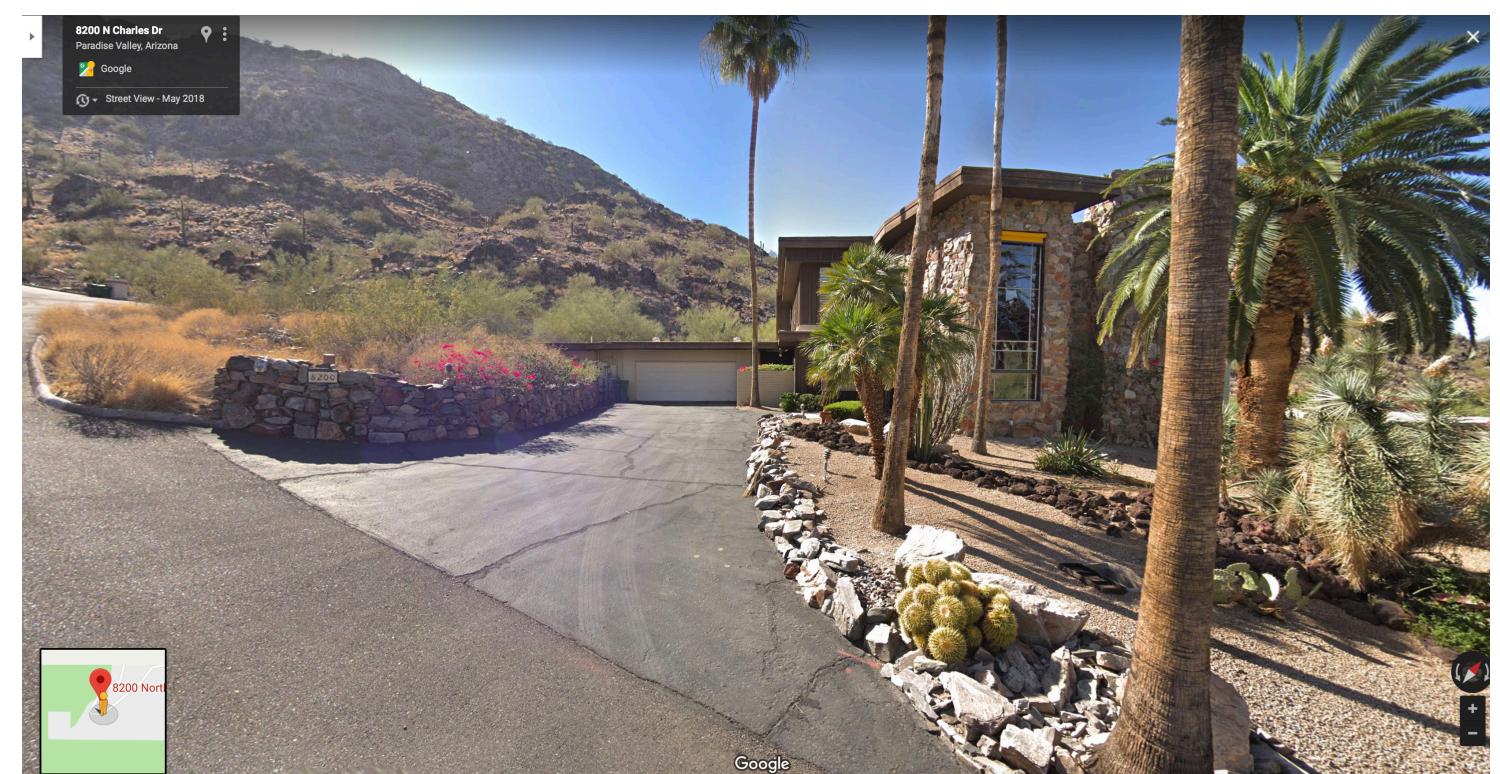
V1 VIEW OF THE RESIDENCE LOOKING NORTH FROM SOUTH MOST AND HIGHEST POINT ALONG NORTH CHARLES DRIVE



V2 AERIAL VIEW OF RESIDENCE CIRCA 1986.



V3 VIEW FROM SOUTHEAST CORNER OF LOT APPROACHING ALONG THE SOUTHERN SECTION OF NORTH CHARLES DRIVE



V4 WIDE ANGLE VIEW OF PROPERTY SEEN FROM THE SOUTHERN SECTION OF NORTH CHARLES DRIVE AT PROPERTY DRIVEWAY.



V5 VIEW OF RESIDENCE FROM SOUTHERN SECTION OF NORTH CHARLES DRIVE ADJACENT TO DRIVEWAY



V6 VIEW OF RESIDENCE FROM SOUTHERN SECTION OF NORTH CHARLES DRIVE



V7 VIEW OF RESIDENCE ENTRY FROM THE DRIVEWAY



V8 VIEW OF SOUTHEAST CORNER OF THE RESIDENCE FROM THE SOUTHERN SECTION OF NORTH CHARLES DRIVE



V9 VIEW OF THE RESIDENCE'S SOUTHWEST FACADE SEEN FROM NORTH CHARLES DRIVE



V10 WIDE ANGLE VIEW OF SOUTHWEST CORNER OF RESIDENCE LOOKING NORTH FROM NORTH CHARLES DRIVE



V11 WIDE ANGLE VIEW OF THE SOUTHWEST CORNER OF THE RESIDENCE LOOKING NORTHEAST FROM THE WESTERN MOST POINT OF THE PROPERTY ALONG NORTH CHARLES DRIVE



V12 VIEW OF RESIDENCE LOOKING FROM THE NORTH SECTION OF NORTH CHARLES DRIVE FROM THE MIDPOINT OF THE PARCEL'S PROPERTY LINE



V13 VIEW OF RESIDENCE LOOKING FROM THE NORTHERN SEGMENT OF NORTH CHARLES DRIVE SEEN FROM THE NORTH CORNER OF THE PROPERTY



V14 VIEW OF THE EXISTING NORTHEAST FACADE AND POOL AREA

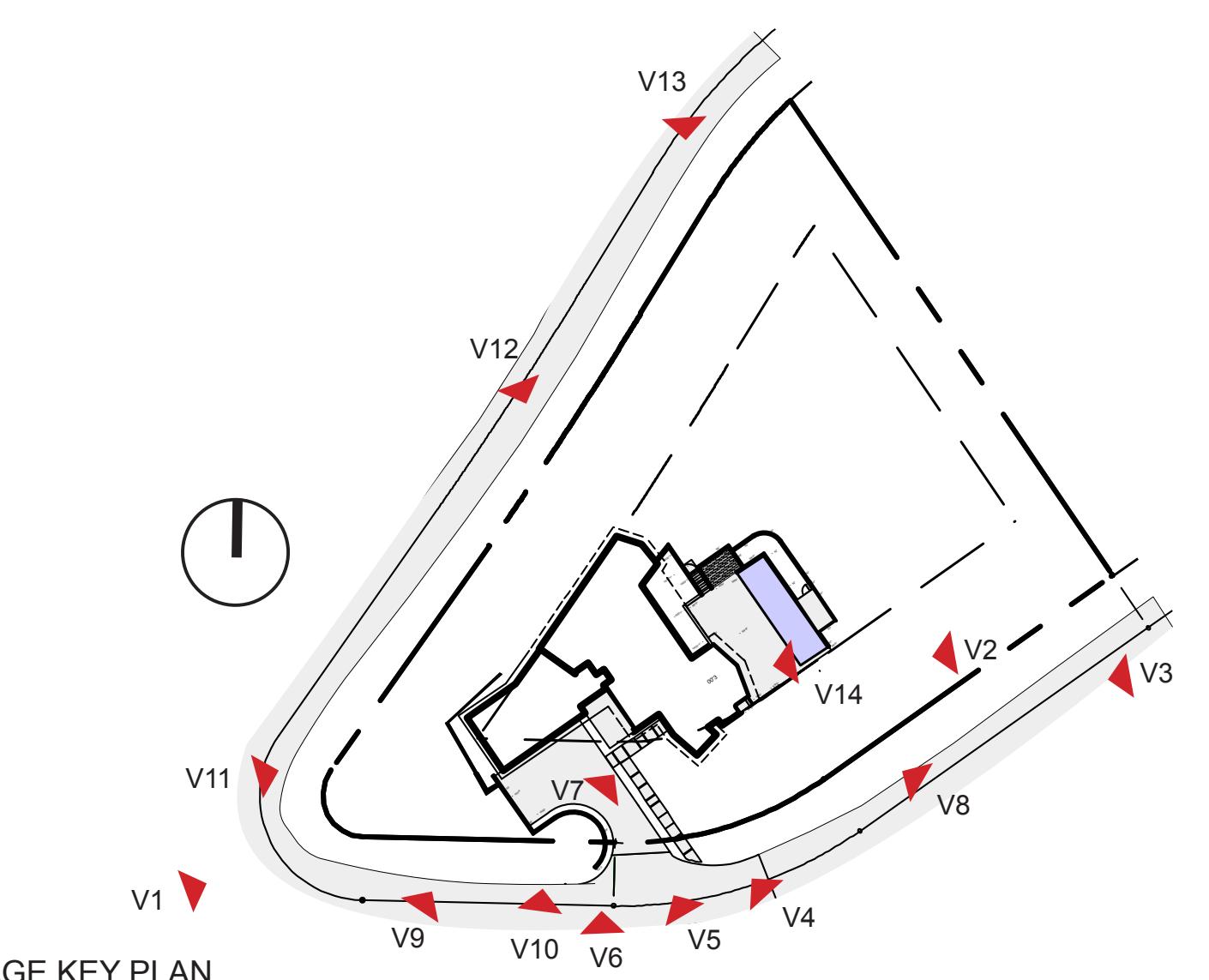


IMAGE KEY PLAN

## BIEGNER-MURFF ARCHITECTS

347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project: 8200 N. Charles Drive

8200 N. Charles Drive  
Paradise Valley, AZ 85253

contents: HILLSIDE SUBMITTAL  
SITE PHOTOS LOOKING TO SITE

job #: NORQUIST - 2019

revised:

date: 9.23.19



CHARLES DRIVE RESIDENCE

BIEGNER-MURFF ARCHITECTS, LLC

01.03.19

West Elevation

1/8" = 1'-0"



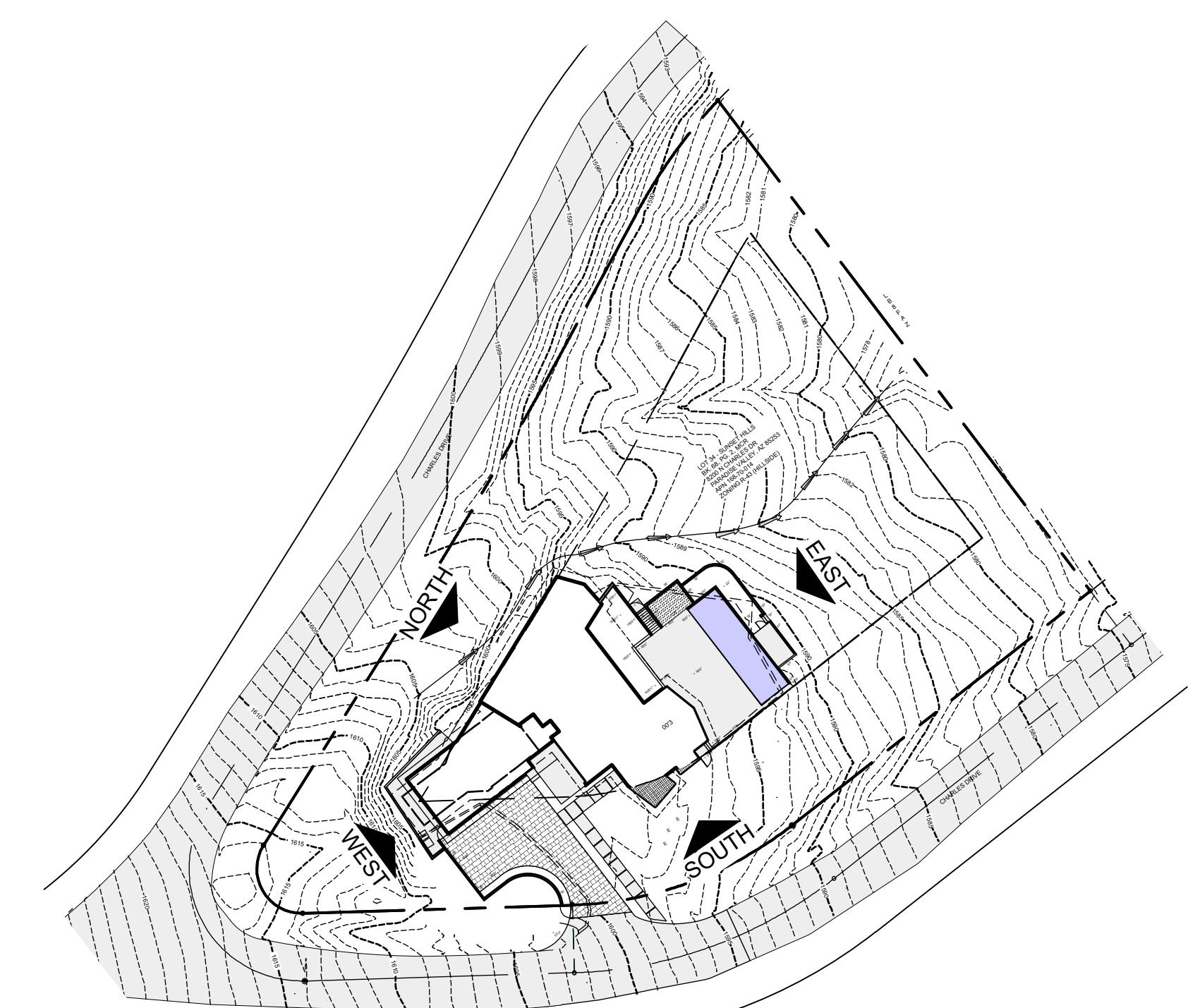
CHARLES DRIVE RESIDENCE

BIEGNER-MURFF ARCHITECTS, LLC

01.03.19

East Elevation

1/8" = 1'-0"



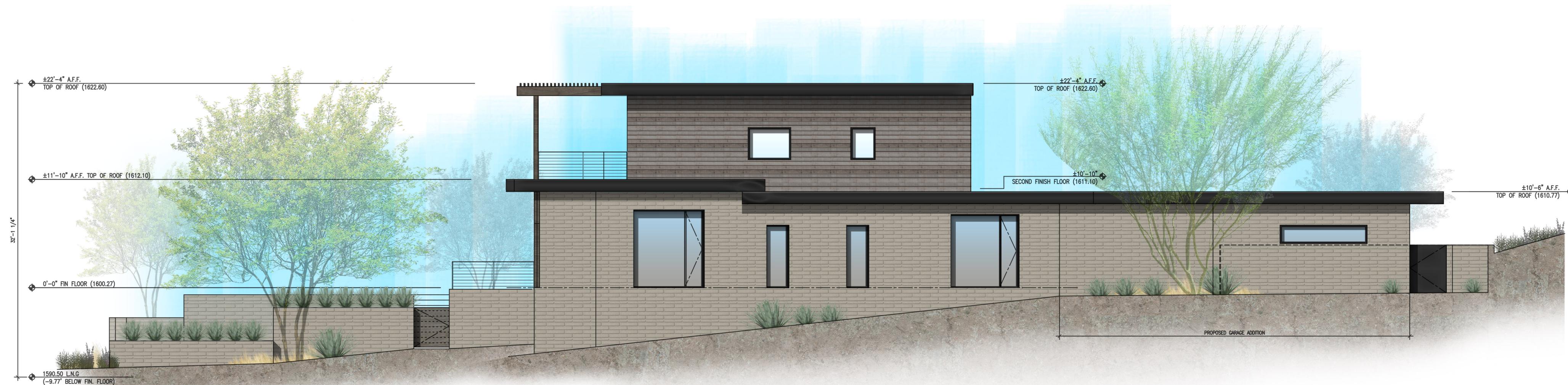
KEY PLAN  
Scale: 1" = 50 ft

BIEGNER-MURFF ARCHITECTS  
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.252.5693 fax

project:  
8200 N. Charles Drive  
8200 N. Charles Drive  
Paradise Valley, AZ 85253

contents:  
HILLSIDE REVIEW  
EAST AND WEST RENDERED  
ELEVATIONS  
job #: NORQUIST - 2019

revised:  
  
date: 10.3.19



# CHARLES DRIVE RESIDENCE

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BIEGNER-MURFF ARCHITECTS, LLC 01.0

## North Elevation

$$1/8" = 1'-0"$$



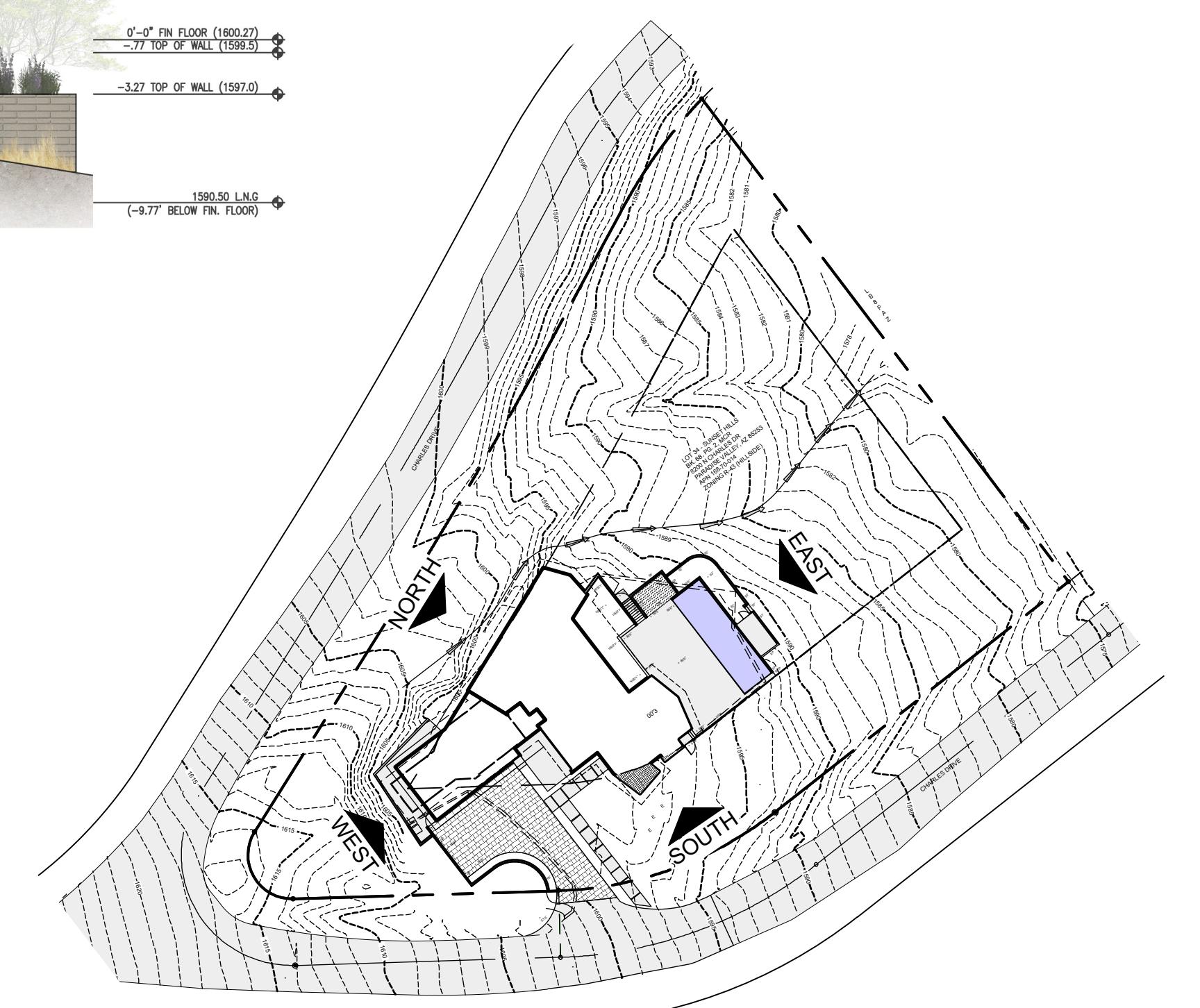
## CHARLES DRIVE RESIDENCE

## CHARLES DR

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## South Elevation

## IT Elevation



## KEY PLAN

Scale: 1" = 50 ft

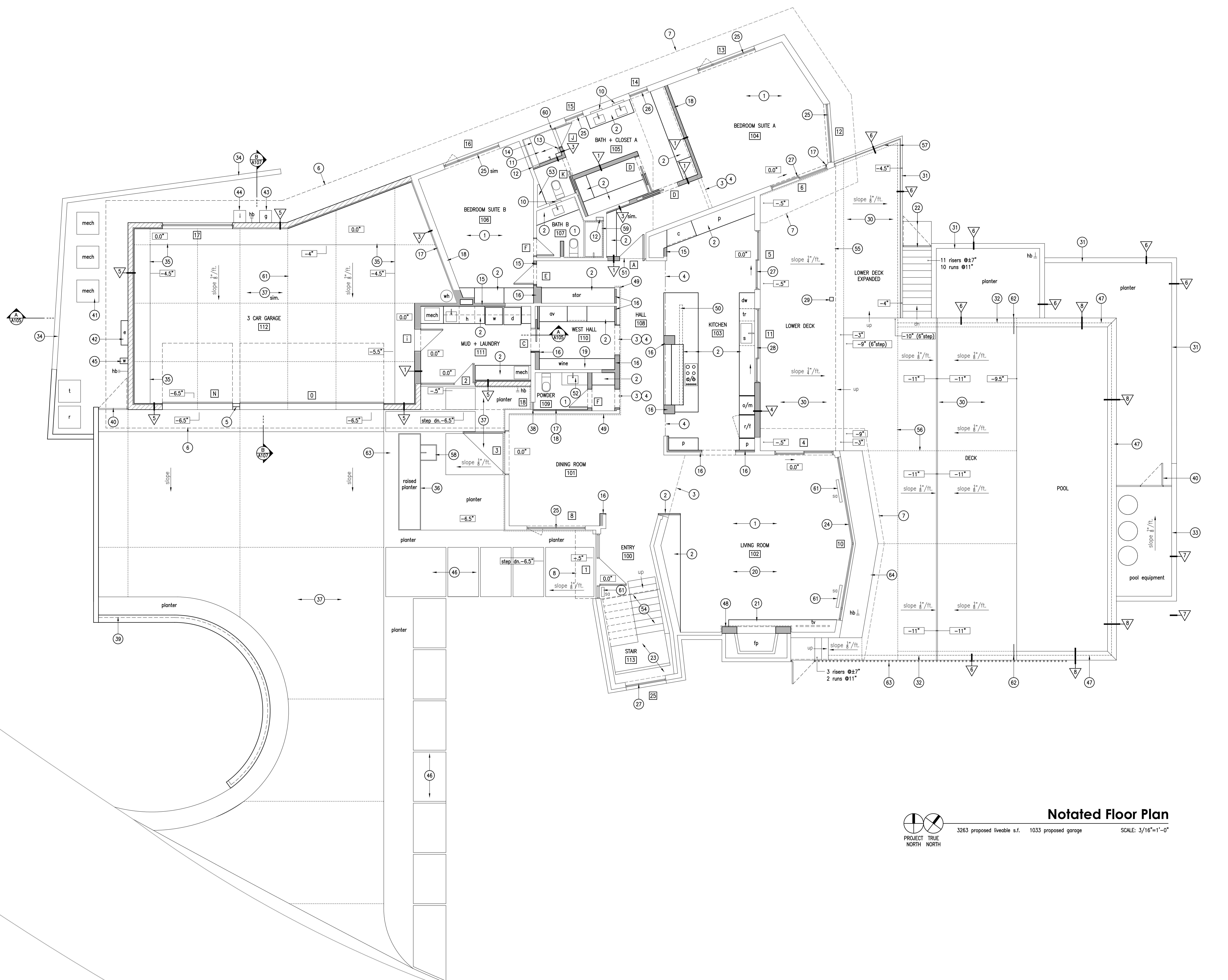
**IEGNER-MURFF ARCHITECTS**  
7 East Camelback Road  
Phoenix, Arizona 85012  
(602) 252-5602 tel. (602) 252-5603 fax

ect: **8200 N. Charles Drive**  
8200 N. Charles Drive

tents: HILLSIDE REVIEW  
SOUTH AND NORTH RENDERED  
ELEVATIONS  
# : NORQUIST - 2019

and:

10.3.19



WALL TYPE LEGEND: Wall type number

REFER TO STRUCTURAL FOR NON-BEARING PARTITION CONNECTIONS AND FRAMING NOTES FOR STUD SPACING COORDINATE SPACING WITH ARCHITECTS INTERIOR ELEVATIONS AND DETAILS. SEE DIMENZED FLOOR PLAN FOR MORE INFORMATION.

a. If r/f wall type is shown refer to dimensioned plan for overall width.

b. Smooth gypsum, square corner bead, level 4. Provide sample for approval.

c. Where tile occurs.

d. Confer any interior blocking requirements in field with design team, refer to any product install specifications.

e. Contractor to provide shop dwgs. as req'd., see sheet CS.

f. Coordinate all wall, slab, columns, beams, layouts and details with architect. See interior elevations.

g. Treat any new slabs (pre-pour) for termites.

h. Contractor to coordinate all selected and integrated applications with millwork drawings and installation.

i. Review/price any home water softening system per owner's request. Confirm any equipment locations with architect.

j. Coordinate scope and location of any equipment for and AW, IT and security scope with architect and owner's.

k. Coordinate any future piping under patios and walkways for landscape and lighting with landscape designer.

l. Smooth oil remaining drywall at all walls and ceilings.

GENERAL NOTES:

A. Plan dimensions represent finished openings. Refer to interior elevations for additional dimensions.

B. All walls and ceilings to have maximum sound insulation.

C. Confirm all final plumbing locations in field with owners and design team.

D. Confer any interior blocking requirements in field with design team, refer to any product install specifications.

E. Contractor to provide shop dwgs. as req'd., see sheet CS.

F. Coordinate all wall, slab, columns, beams, layouts and details with architect. See interior elevations.

G. Treat any new slabs (pre-pour) for termites.

H. Contractor to coordinate all selected and integrated applications with millwork drawings and installation.

I. Review/price any home water softening system per owner's request. Confirm any equipment locations with architect.

J. Coordinate scope and location of any equipment for and AW, IT and security scope with architect and owner's.

K. Coordinate any future piping under patios and walkways for landscape and lighting with landscape designer.

L. Smooth oil remaining drywall at all walls and ceilings.

KEYNOTES:

1. New flooring or existing concrete refinished, see finish schedule, typ.

2. Millwork, see interior elevations.

3. Line of ceiling height change.

4. Set back required for coordination to existing bearing walls.

5. Pointed steel post 9" wide doors.

6. Dashed line indicates new overhang.

7. Dashed line indicates existing overhang.

8. Line of steel entry canopy.

9. Garage floor steps 4" at back and slopes 4" ft.

10. Frame for future medicine cabinet/s and insulate.

11. New shower floor slopes to linear drain.

12. Shower tile, see interior elevations.

13. Shower controls.

14. Shower bench.

15. Framing wall to match adjacent width.

16. Frame to match dimension width, see A101.

17. Furr wall as required to square opening, see interior elevations.

18. Provides quiet rock or double gypsum or another form of sound abatement from adjacent noise.

19. Built in wine storage.

20. Repair and smooth drywall where beams are removed.

21. Provide allowance for new firebrick and steel surround at living room fireplace.

22. Integral colored concrete slab and gate for 5' high pool enclosure.

23. New concrete slab to match existing where indoor planter below stair was removed.

24. New window system of modified opening with new sill at finished floor and new head height.

25. New window at existing modified opening, sill lowered to finish floor. (New head height at Bedroom B).

26. New window in existing wall.

27. New door or window at existing opening.

28. New window at existing modified opening, see structural drawings.

29. New integral colored concrete slab finish pool deck @ 2 levels, thickness of concrete to vary. Field verify all heights. All edges to be 4" eased edge.

30. Pointed 4x8x16 masonry retaining wall.

31. Line of pointed 4x8x16 masonry retaining planter below concrete.

32. Line of pointed 4x8x16 masonry retaining planter below concrete.

33. Pointed 4x8x16 masonry pool equip. screen wall and planter post.

34. Existing retaining wall point.

35. Garage floor to step down.

36. New 4x2'-0" high raised blockened steel planter with integral fountain pipe to at grade trough.

37. New integral colored concrete with sand finish at entry door and pool laundry. Slope 4" ft. away from house for proper drainage.

38. New frameless window with privacy glass.

39. New stone clad masonry retaining wall (6' max).

40. New 4x4'-0" x 5'-0" steel slab gate (and side panels at pool equip. yard) pointed 3" steel plate over 1" steel tube frame with keyed lock.

41. New mechanical equipment.

42. New electrical service.

43. New water service.

44. Irrigation controls.

45. New water service.

46. Integral colored concrete walkway with exposed aggregate.

47. Pointed masonry retaining wall at pool perimeter. Coordinate with pool engineer and sub-contractor.

48. Dashed line indicates integral colored "Hopper" planter.

49. Dashed line indicates wood cladding on walls.

50. Dashed line indicates cantilevered beam support at countertop.

51. Provide blocking for full height pivot door.

52. Slab surround at undermount sink w/wall mount faucet.

53. Slab ledge.

54. Refinishing existing stairs and railing.

55. Line of new cleavage.

56. If wet cast joint (no toolled joints). Architect to submit screed plan for site coordination.

57. 3'-0" high pointed steel guardrail with 4" rods of 4" and 3" x 3" flat bar vertical supports and top rail.

58. Fountain.

59. Dashed line indicates full height tile at wall, horizontal return of top + vertical return where it meets gypsum.

60. Double height of full height tile of walls meeting slab jamb, head and threshold.

61. Underground supply pipe, see mechanical drawings.

62. Glass 3'-0" high quad rail, shop drawings required.

63. Ptd. steel 1x3's @ 4.25" o.c. in concrete footing for pool barrier fence (per Paradise Valley Pool Enclosure regulations) + self closing, self latching gates.

64. Planter at grade.

This set of plans has been reviewed for compliance with the Town of Paradise requirements prior to issuance of permit. The Town neither accepts nor assumes any liability for errors or omissions. This compliance approval shall not prevent the Town Engineer from requiring corrections or errors or omissions in the plans to be found in violation of laws or ordinances.

All native plants impacted by construction shall be relocated on site. See landscape Plan and Native Plant Inventory & Salvage.

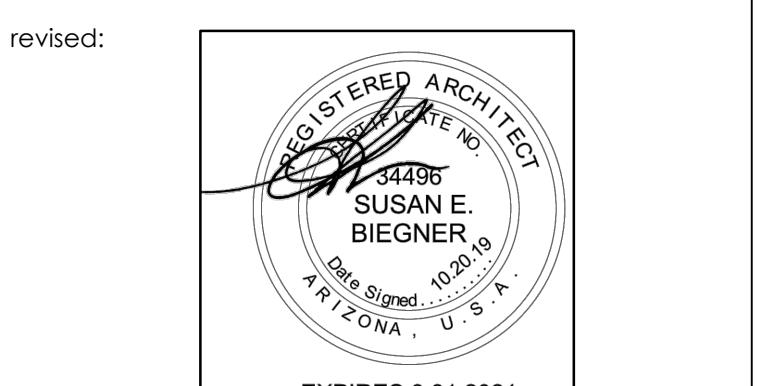
BIEGNER-MURFF ARCHITECTS  
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.380.7314 cell

project: 8200 North Charles Drive  
Paradise Valley, Arizona 85253

contents: Notated Floor Plan

job #: 8200 North Charles Drive

date: 10.20.19



**GENERAL DEMOLITION NOTES:**

- Confirm all dems with architect, owners and structural engineer in field prior to demolishing.
- Coordinate with sub-contractors and stored.
- Remove and/or rewire all exposed conduit and wires.
- Remove all abandoned equipment.
- Refer to engineer's drawings for more information.
- Remove all security and intercommunication equipment.
- All doors and windows (and security bars + shutters) to be removed. Some heads, sill and openings will be modified to achieve proposed elevations. New lintels may be required in some locations.
- All hvac equipment, duct work and grilles to be removed.
- All exterior vertical board + batten wood siding + trim to be removed.
- All interior exterior lighting and electrical removed.
- All wooden walkways, roofing and over-spray onto vertical surfaces to be removed. Prep for new roofing.
- Remove all flooring, base, trim, molding, interior doors and hardware and interior wall paneling, typ.
- Remove all building fascia and prep for new aluminum fascia.
- Confirm extent of landscape removal in field with owner and architect.
- Existing septic to be abated and removed per separate permit. Coordinate with septic sub-contractor.

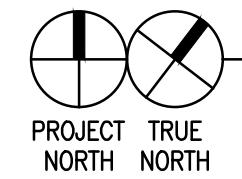
**DEMOLITION KEYNOTES:**

- Existing storage and mechanical pop-out removed.
- Existing built-ins removed, typ.
- Existing fixtures, finishes, fittings, cabinetry and appliances (where occur) and accessories removed.
- Existing spiral stair and walkway removed.
- Finish material at deck to be removed. All railings to be removed, provide temporary guardrails for safe working conditions.
- Remove all railings (both levels) and slats of trellis confirm if existing beams can be salvaged for new slats.
- Wood paneling at underside of overhang removed, typ.
- Existing vertical slats to be removed.
- Existing opening modified for new head height.
- New door or window at existing opening.
- New window at new opening.
- New window @ existing opening with sill lowered to floor.
- Remove existing fireplace and fire.
- Remove existing carpet at stair. Provide allowance to re-tread and railing.
- Remove all drop ceilings + soffits, typ.
- Existing mechanical bulkhead at 2nd floor overhang removed, typ.
- Confirm if ceilings at north end can be raised, typ.
- Prep floor to be raised to match adjacent spaces.
- Existing false beams removed.
- Prep existing walls for new jamb, see door schedule.
- Confirm any modifications to framing for new shower for proper drainage, waterproofing and soundproofing.

**LEGEND:**

EXISTING REMOVED  
EXISTING TO REMAIN

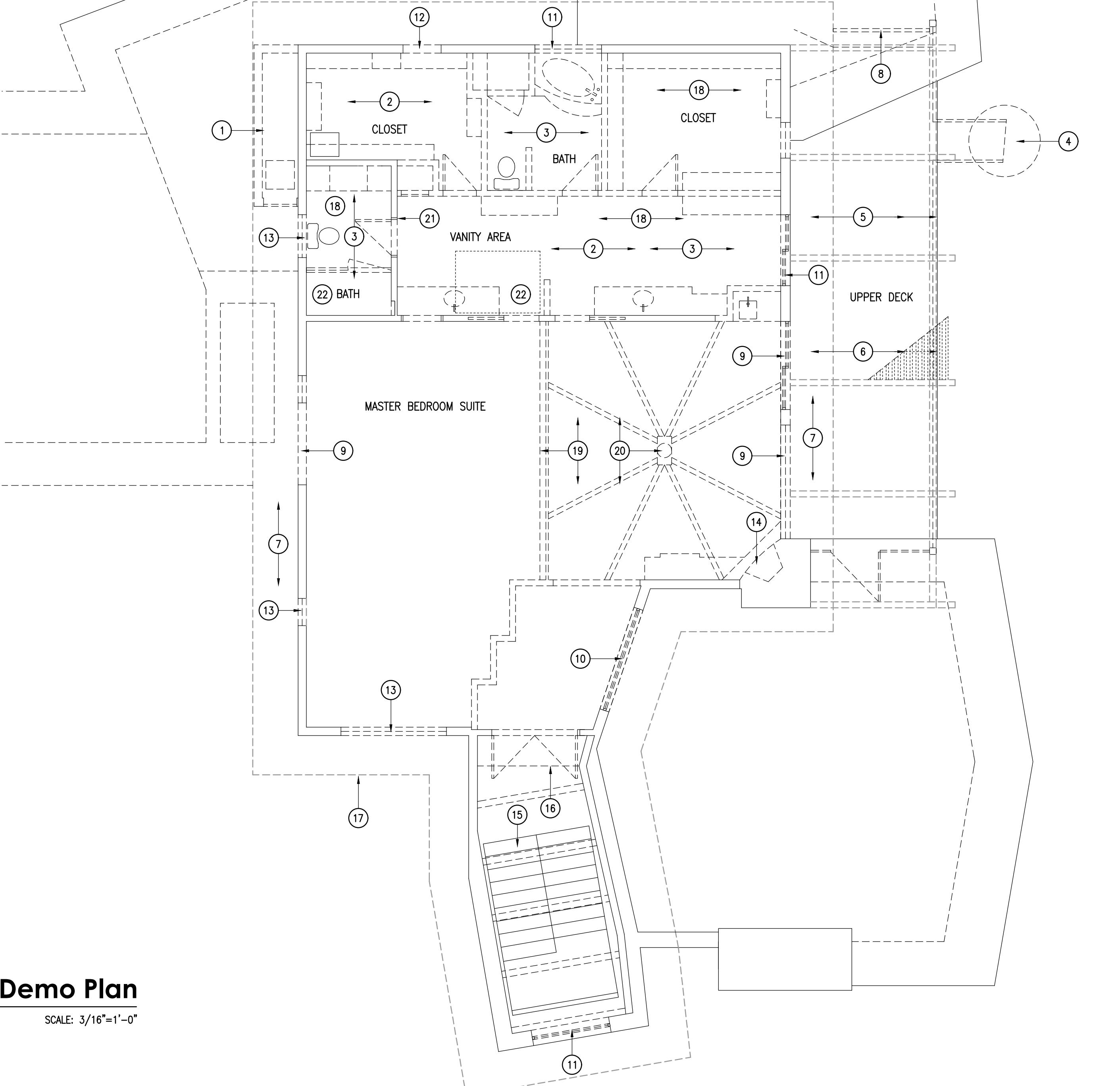
**Second Floor Demo Plan**



PROJECT TRUE  
NORTH NORTH

1622 existing s.f.

SCALE: 3/16"=1'-0"

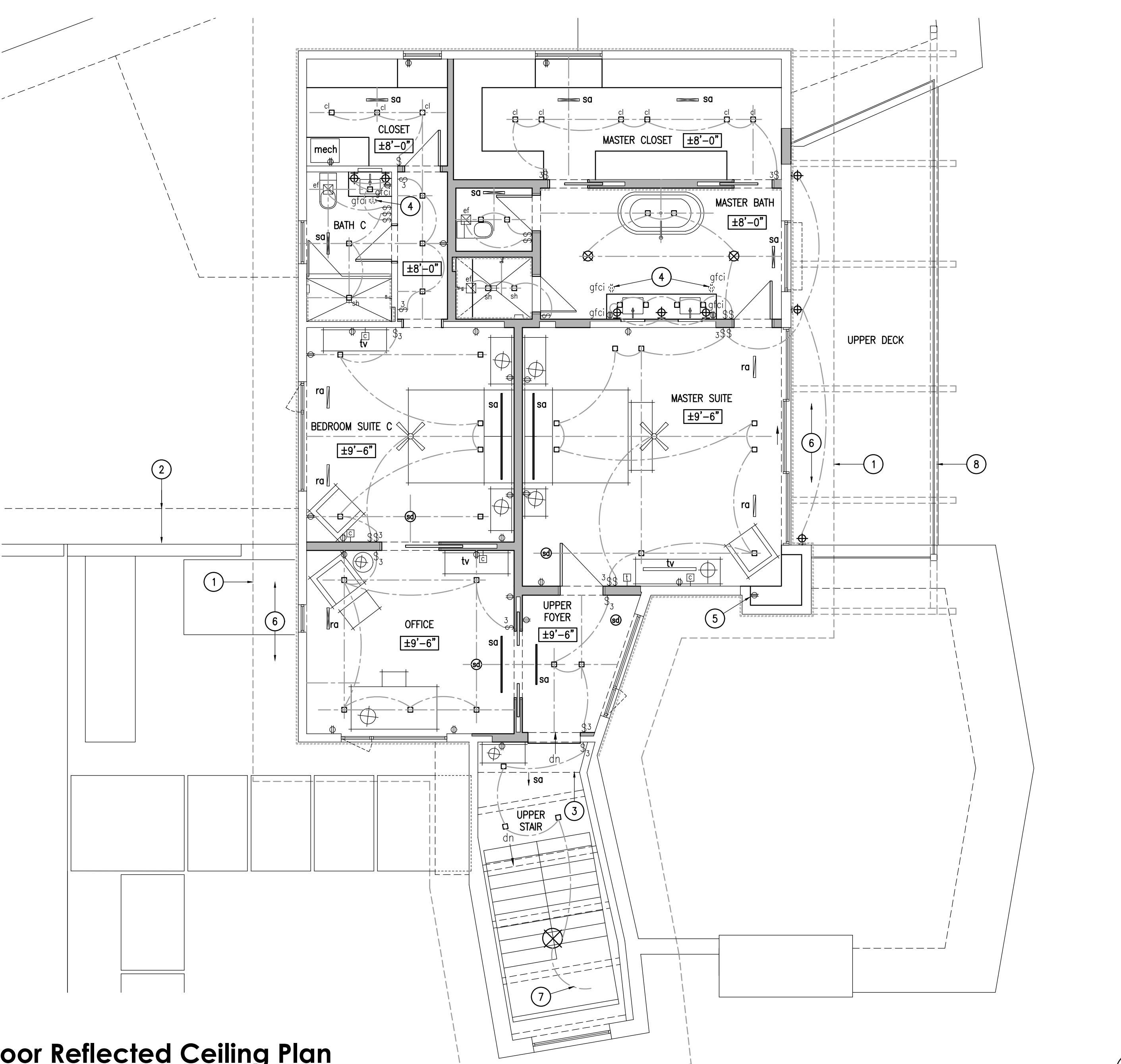


**REFLECTED CEILING PLAN GENERAL NOTES:**

- Confirm blocking for window coverings, accessories, shelves, TVs, artwork etc..
- All walls and ceilings to have full sound insulation.
- Coordinate location of any equipment + wiring for any AV, security scope, IT, etc..
- Field verify alignments and locations of all mechanical supply and return grilles, lighting, smoke detectors, cable, outlets, sprinklers if occur etc... prior to installation.
- NEC 2014: Temper-Resistant Receptacles in Dwelling Units in all locations specified, 125-volt, 15-and 20-ampere receptacles shall be listed as temper-resistant receptacles.
- 5% sqg-resistant gypsum board at all lids, waterproof at all bathrooms and wet areas.
- All trim and grilles to be painted, prior to install (color/s tbd).
- 1" pointed reglet reveals at exterior soffit.

**REFLECTED CEILING PLAN KEYNOTES:**

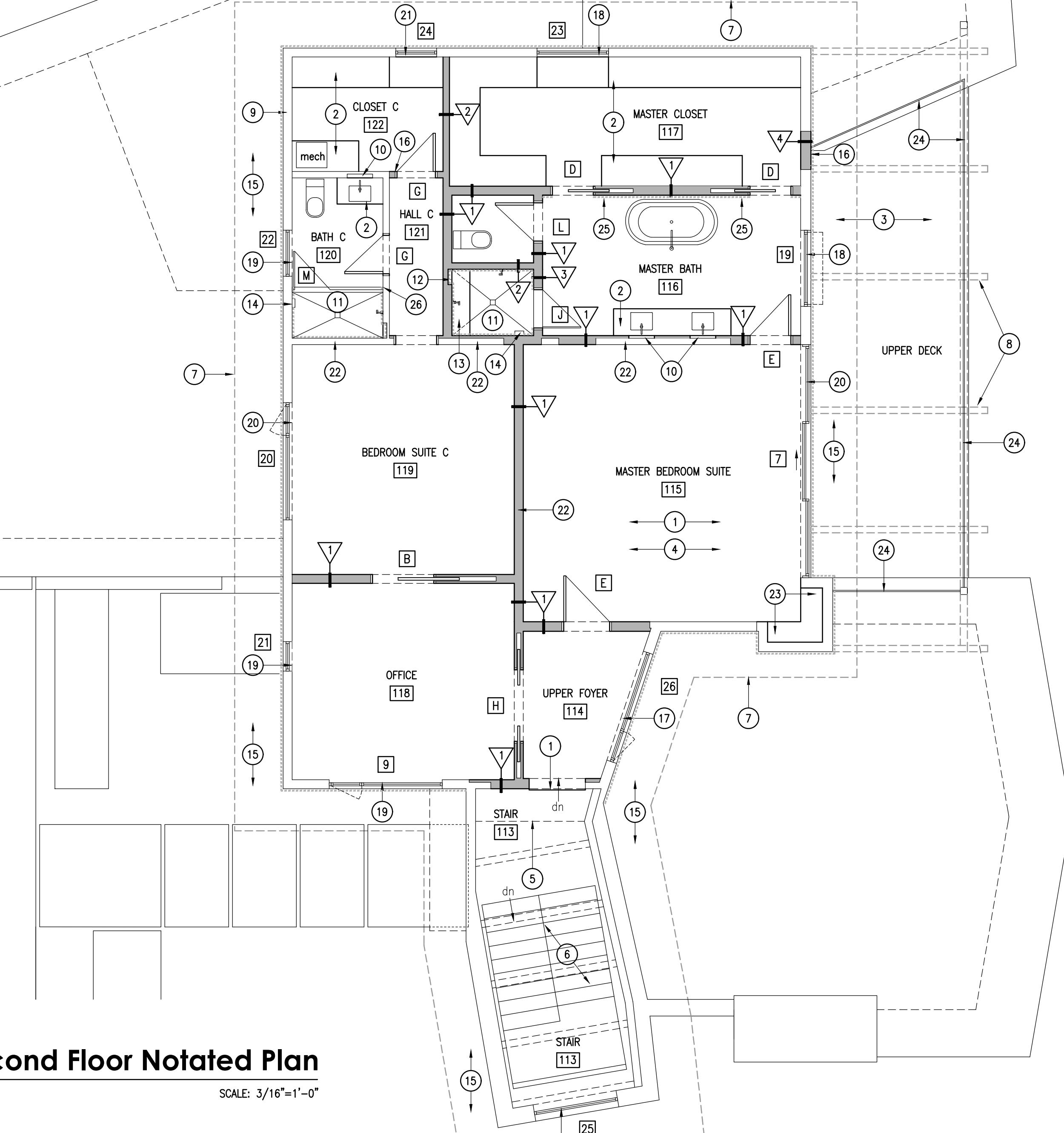
- See A103 for legend.
- Line of existing second floor overhang.
- Line of new overhang.
- Line of ceiling height change.
- Provide power in vanity + medicine cabinets, coordinate with millwork shop.
- Coordinate power with millwork shop drawings, typ.
- Smooth integral colored stucco over DensGlass with perimeter reveal, typ.
- To 3 way switch at stair.
- Existing upper deck trellis.
- New steel canopy at entry below.



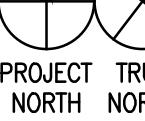
**Second Floor Reflected Ceiling Plan**  
PROJECT TRUE  
NORTH NORTH

\*SEE A103 FOR LEGEND

SCALE: 3/16"=1'-0"



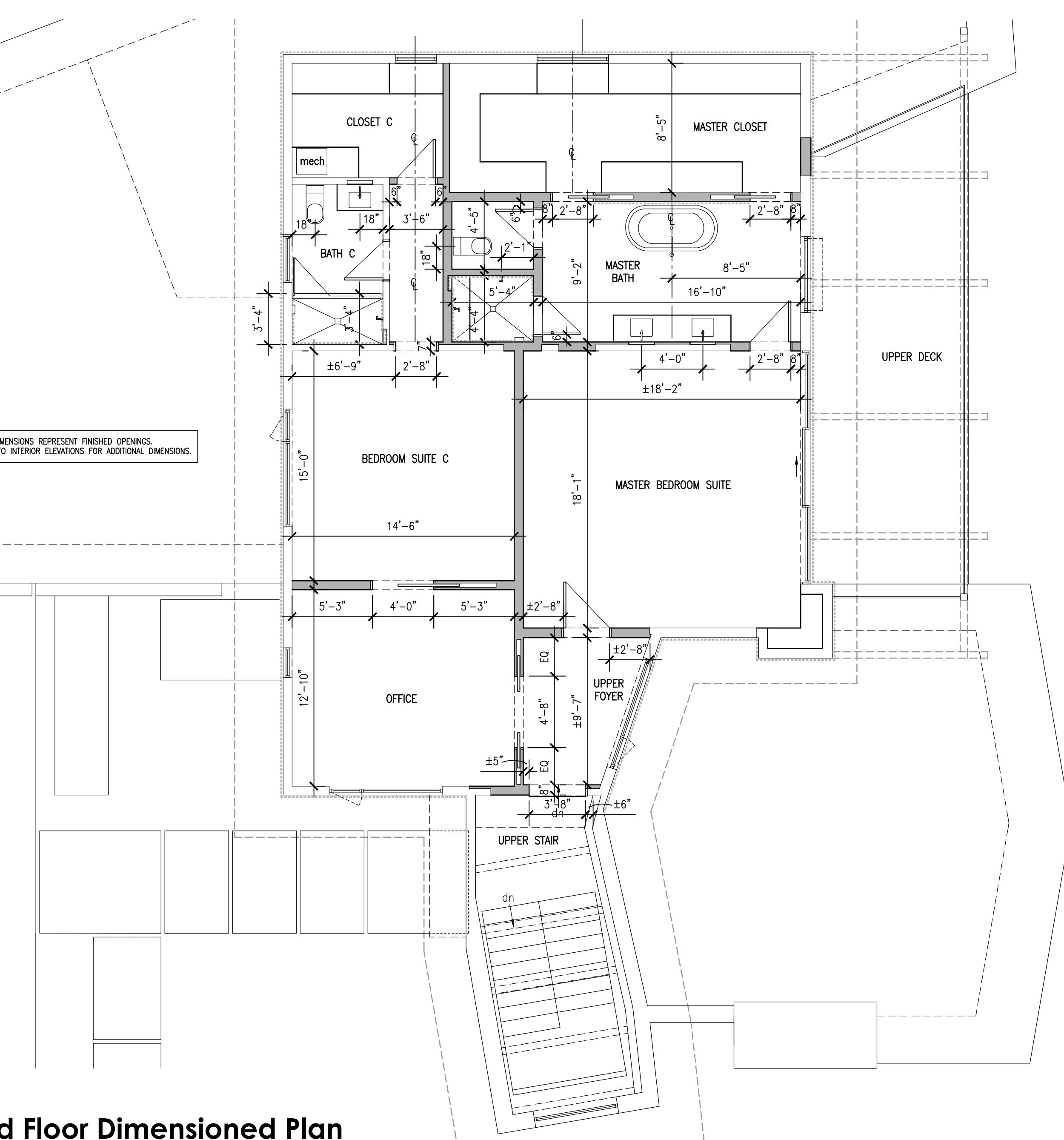
**Second Floor Notated Plan**



PROJECT TRUE  
NORTH NORTH

1622 s.f.

SCALE: 3/16"=1'-0"



**Second Floor Dimensioned Plan**  
PROJECT TRUE  
NORTH NORTH

SCALE: 3/16"=1'-0"

**GENERAL FLOOR PLAN NOTES:**

- Plan dimensions represent finished openings. Refer to interior elevations for additional dimensions.
- All walls and ceilings to have maximum sound insulation.
- Confirm all final plumbing locations in field with owners and design team.
- Confirm any interior blocking requirements in field with design team, refer to any product install specifications.
- Contractor to provide shop drawgs, as req'd., see sheet CS.
- Confirm all tile + slab selections, patterns, layouts and details with architect. See interior elevations.
- Treat all exterior walls (green) for termites.
- Contractor to coordinate all sealants and integrated applications with millwork drawings and installation.
- Review/price any new water softening systems per owner's request. Confirm any product locations with architect.
- Coordinate scope and location of any equipment for and AV, and security scope with architect and owner's.
- Coordinate any future piping under patios and walkways for landscape and lighting with landscape designer.
- Smooth all remaining drywall at walls/ceilings, level 4.

**FLOOR PLAN KEYNOTES:**

- Build up lower floor to match adjacent spaces. New flooring at all areas, see finish schedule.
- Millwork, see interior elevations.
- New light weight concrete at existing deck.
- Repair and smooth drywall at ceiling where beams are removed.
- Line of ceiling height change.
- Refinish existing stairs and railing.
- Dashed line indicates existing overhang.
- Upper deck existing trellis.
- Prep wall as required for new waterproofing + sheathing where mechanical room was removed, new siding.
- For future medicine cabinet/s, see interior elevations.
- Shower floor slopes to center square drain.
- Shower niche, see interior elevations.
- Shower bench, see interior elevations.
- 14" smooth stucco.
- 15" smooth stucco on densglass with 1" reveal at building face.
- Trim to match adjacent wall thickness. Sheath, insulate and waterproof as required.
- New window at existing with raised head height.
- New window at existing opening.
- New window at existing opening with sill lowered to floor.
- New door or window at existing expanded opening.
- New open window at existing match adjacent opening.
- Provide quiet rock double gypsum board another form of sound abatement from adjacent noise.
- Confirm if existing fireplace surround can be reworked or removed completely.
- 3'-0" high pointed steel gridwall with 1" rods of 4" o.c. and 1" x 3" flat bar vertical supports and top rail.
- Dashed line indicates wood paneling cladding at walls.
- Dashed line indicates full height tile flush with adjacent gypsum board with vertical reveal between. Slab surround at curb below.
- Dashed line indicates new full height tile flush with adjacent gypsum board with vertical reveal between. Slab surround at curb below.

**WALL TYPE LEGEND:**

Wall type number  
REFER TO STRUCTURAL FOR NON-BEARING PARTITION  
COORDINATE SPACING WITH ARCHITECT'S INTERIOR ELEVATIONS  
AND DETAILS. SEE DIMENED FLOOR PLAN FOR MORE  
INFORMATION.

a. If no wall type is shown refer to dimensioned plan for overall width.  
b. Smooth gypsum, square corner bead, level 4. Provide gypsum board.

c. Where tile occurs:  
In all wet environments: waterproof gypsum board, in showers: walls to have tile on waterproofing membrane on cement board or Dens Glass and floors to have tile on waterproofing membrane on mud or shower pan @ floor. Confirm all conditions with architect. Refer to interior elevations for more info.

d. Use waterproof gypsum board around sinks, toilets, and showers, typ. for all wall types below.  
e. exterior vertical wall cladding.

2x6 wood framed wall with 1" gypsum board, insulated.  
2x4 wood framed wall with 1" gypsum board, insulated.  
2x4 wood framed wall with waterproof gypsum board, waterproof membrane and tile at shower side.  
2x2 wood framed wall with sheathing, and waterproof gypsum board, gypsum, insulated. Match existing wall width.

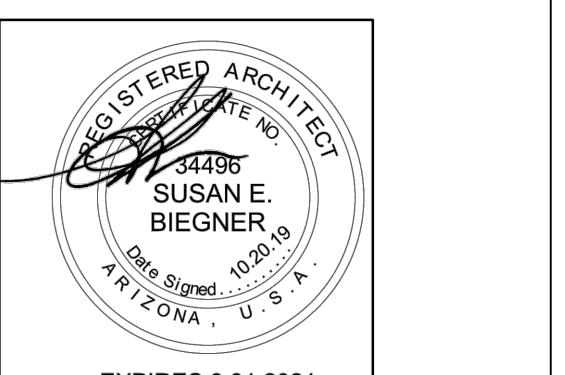
**LEGEND:**  
NEW CONSTRUCTION  
NEW MASONRY CONSTRUCTION  
EXISTING CONSTRUCTION

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**BIEGNER-MURFF ARCHITECTS**  
347 East Camelback Road  
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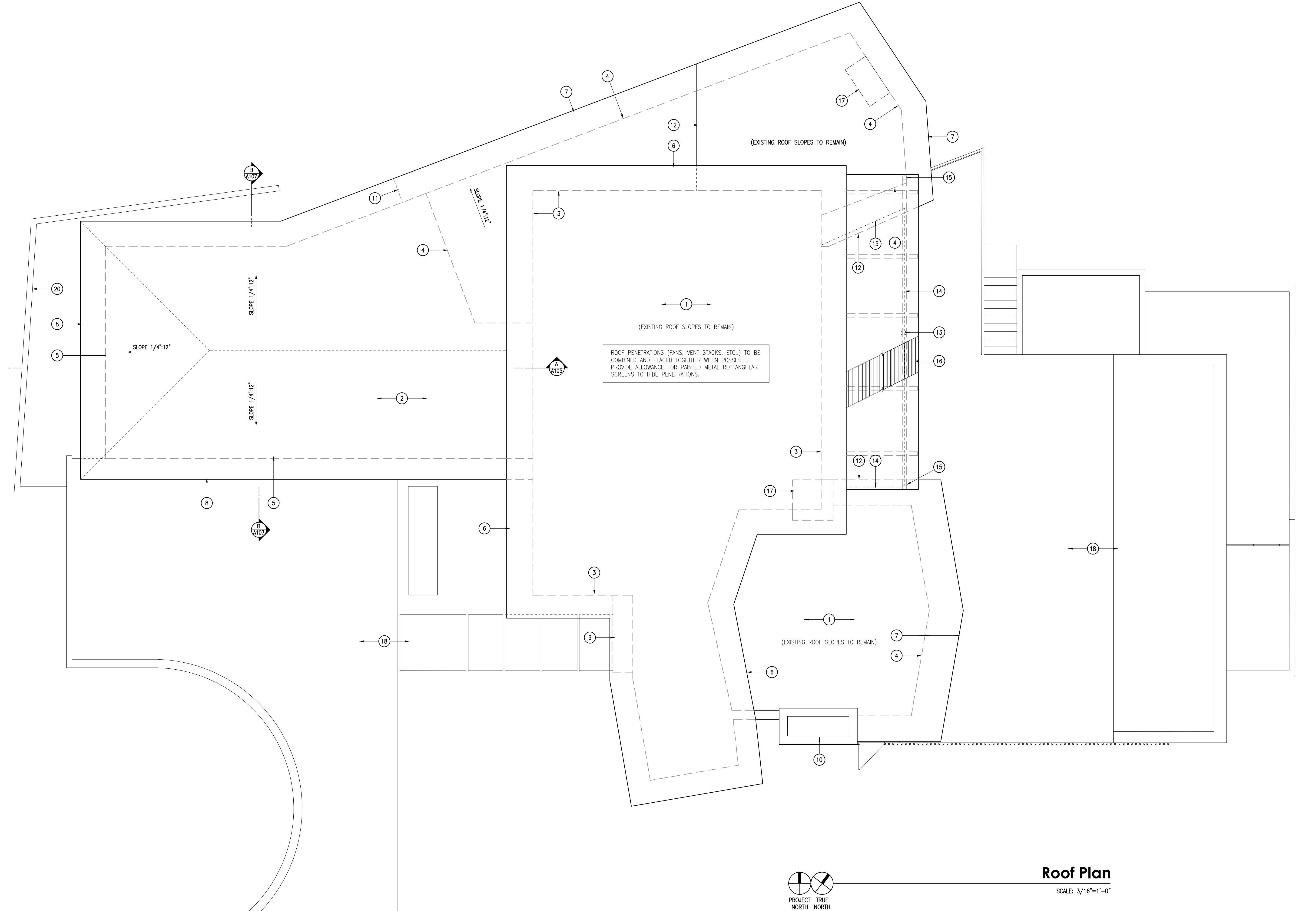
project: 8200 North Charles Drive  
Paradise Valley, Arizona 85253  
contents: Second Floor Plans  
job #: 8200 North Charles Drive  
date: 10.20.19  
revised:



EXPIRES 3.31.2021

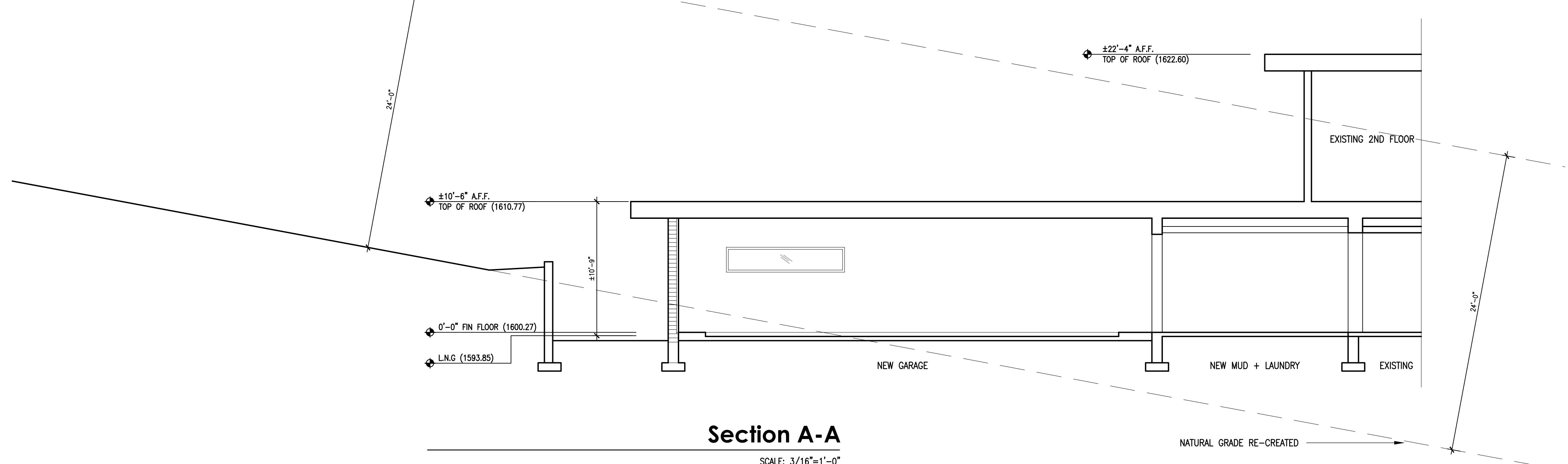
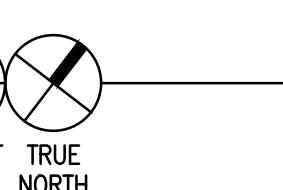
sheet No:

A104



Roof Plan

SCALE: 3/16"=1'-0"



This set of plans has been reviewed for compliance with the Town of Paradise Valley requirements prior to issuance of permit. The Town neither accepts nor assumes any liability for errors or omissions. This compliance approval shall not prevent the Town Engineer from requiring corrections or errors or omissions in the plans to be found in violation of laws or ordinances.

All native plants impacted by construction shall be relocated on site. See landscape Plan and Native Plant Inventory & Salvage.

**BIEGNER-MURFF ARCHITECTS**  
347 East Camelback Road  
Phoenix, Arizona 85012  
602.252.5692 tel 602.380.7314 cell

project: **8200 North Charles Drive**

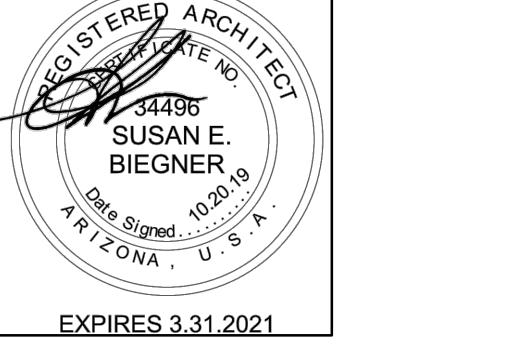
Paradise Valley, Arizona 85253

contents: Roof, Section, Pool + Deck Isometrics

job #: 8200 North Charles Drive

date: 10.20.19

revised:



A105

sheet No:

