

TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PLOTS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS TO THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF SUCH PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHIP TOWN APPROVAL IS OBTAINED.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN THE STALL OR GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
51. NO PERMIT SHALL BE ISSUED UNTIL THE DEVELOPER GRANTS HALF-STREET RIGHT-OF-WAY TO THE TOWN OF CONFORMANCE WITH THE TOWN'S GENERAL PLAN (IF REQUIRED).

GRADING & DRAINAGE PLAN

NORQUIST RESIDENCE

8200 N CHARLES DR., PARADISE VALLEY, AZ 85253

LOT 34 - SUNSET HILLS

A SUBDIVISION PLAT RECORDED IN BOOK 68 OF MAPS, PAGE 02, MCR,
LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 31, T.3N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2012 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONDITIONS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND WATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S)' PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2012, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE--(BUTUTHENE@ 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.288 ACRES < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.

LEGEND

⊙	BRASS CAP FLUSH
●	FOUND REBAR OR AS NOTED
○	SET 1/2" REBAR & TAG OR AS NOTED
○	CALCULATED POINT
---	PROPERTY LINE
---	EASEMENT LINE
---	MONUMENT LINE
⦿	FIRE HYDRANT
WM	WATER METER
m	CABLE TV RISER
F.M.	ELECTRIC METER
○	GAS METER
[A]	A/C UNIT
---	COMMUNICATIONS LINE
---	CATV, PHONE
---	SEWER LINE
---	GAS LINE
---	WATER LINE
---	ELECTRIC LINE
1439	EXISTING CONTOUR
22.12	EXIST. DRAINAGE FLOW
XX	EXIST. SPOT ELEVATION
XX	PALO VERDE
---	EXISTING DISTURBED AREA
---	PROPOSED DISTURBED AREA
---	FLOW LINE
---	DRAINAGE FLOW ARROW
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
TRW:XX.XX FG:XX.XX (BW:XX.XX) TF:XX.XX	TOP OF RETAINING WALL FINISH GRADE BOTTOM OF WALL TOP OF FOOTING
⊕	CATCH BASIN
---	STORM DRAIN PIPE
---	RETAINING WALL

ABBREVIATIONS

BSL	BUILDING SETBACK LINE
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
G	GUTTER, GAS
INV	INVERT
(M)	MEASURED
MCR	MARICOPA COUNTY RECORDER
MH	MANHOLE
P, PVMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
TC	TOP OF CURB
TG	TOP OF GRATE
TPV	TOWN OF PARADISE VALLEY
W	WEST, WATERLINE
WM	WATER METER

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

PROJECT DESCRIPTION

NEW GARAGE ADDITION TO EXISTING SINGLE FAMILY RESIDENCE, POOL AND SITE IMPROVEMENTS WITH ON LOT RETENTION.

DISTURBED AREA CALCULATIONS

AREA OF LOT:	46,690 S.F. (1,072 AC.)
TOTAL FLOOR AREA:	5,522 S.F.
FLOOR AREA RATIO:	11.8% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	13.30%
VERTICAL:	29.00'
HORIZONTAL:	218.00'
ALLOWABLE NET DISTURBED AREA:	19,344 S.F. (41.43%)
GROSS EXISTING DISTURBED AREA:	24,680 S.F.
GROSS PROPOSED DISTURBED AREA:	13,270 S.F.
(WITHIN EXIST. DISTURBED AREA)	
LESS TEMPORARY AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED:	350 S.F.
LESS 25% OF NEW DRIVEWAY:	372 S.F. (0.25x1,486 S.F.)
LESS BUILDING FOOTPRINT AREA:	4,426 S.F.
PROPOSED NET DISTURBED AREA:	19,332 S.F.
ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.):	2,335 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE:	1,585 S.F. (3.3%)
VOLUME OF CUT:	391 C.Y.
VOLUME OF FILL:	214 C.Y.
TOTAL CUT & FILL:	605 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. =	\$21,770
GRADING PERMIT FEE: \$622 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).	
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE 6 INCHES
PERCENT PASSING NO. 4 SIEVE 35% TO 70%
PERCENT PASSING NO. 200 SIEVE 25% MAX.
PLASTICITY INDEX 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
11. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
12. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
13. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
14. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED NEAR THE MIDDLE OF NORTHEAST PROPERTY LINE AT ELEVATION OF 1574.82.
2. GARAGE ADDITION TO EXISTING SINGLE FAMILY RESIDENCE, NEW POOL AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. EXISTING DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROVIDED FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT FOR THE PROPOSED NEW IMPROVEMENTS ONLY.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1600.27 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1588.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Palamos

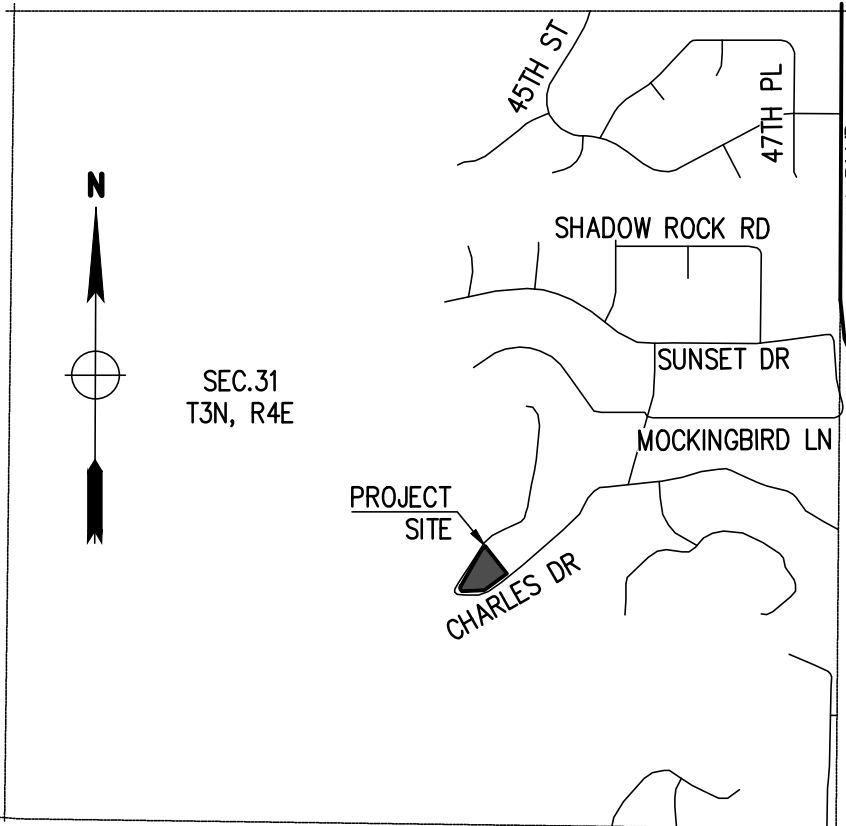
REGISTERED CIVIL ENGINEER

10/22/19

DATE:

TOWN OF PARADISE VALLEY
HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
5. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
6. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6" ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.1.6).



VICINITY MAP

N.T.S.

OWNER

NORQUIST TRUST
5939 E QUARTZ MTN RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT

BIEGNER-MURFF ARCHITECTS
347 E CAMELBACK RD.,
PHOENIX, AZ 85012
P: 602-252-5692
C: 602-380-7314

SITE DATA

APN: 168-70-014
ADDRESS: 8200 N CHARLES DR.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 46,690 S.F. (1,072 AC.)
CONSTRUCTION YEAR: 1974
OS #: 25-38

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85028
CONTACT: NICK PRODANOV, PE
P: 602-889-1984

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND MOCKINGBIRD LANE, HAVING AN ELEVATION OF 1349.97, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 26101-1.

BASIS OF BEARINGS

THE NORTH LINE OF LOT 34, THE BEARING OF WHICH IS N32°02'40"E PER PLAT IN BOOK 68 OF MAPS PAGE 2, MCR.

LEGAL DESCRIPTION

LOT 34, SUNSET HILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 68 OF MAPS, PAGE 2.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

SHEET INDEX

SHEET C-1 - COVER SHEET
SHEET C-2 - GRADING & DRAINAGE PLAN
SHEET C-3 - CROSS SECTIONS, DETAILS

GRADING AND DRAINAGE KEY-NOTES

- 1 REMOVE EXISTING DRIVEWAY AND CONSTRUCT CONCRETE DRIVEWAY OR PAVERS ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 2 INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 3 MATCH EXISTING GRADE.
- 4 PROTECT IN PLACE.
- 5 CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- 6 VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- 7 NEW RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS. WATERPROOF WALL. (BITUTHENE®3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- 8 INSTALL POOL BACKWASH PIPE TO DRAIN TO RETENTION BASIN AS REQUIRED BY THE TOWN OF PARADISE VALLEY.
- 9 REFER TO LANDSCAPE PLANS FOR NATIVE TREES AND PLANTS REMOVAL/RELOCATION AND INSTALLATION OF NEW TREES AND LANDSCAPING.
- 10 NEW GATE PER ARCHITECTURE AND LANDSCAPE PLANS AND DETAILS.
- 11 NEW POOL PER ARCHITECTURE AND LANDSCAPE PLANS AND DETAILS.
- 12 NEW 6" MAX HEIGHT PLANTER PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 13 NEW WALL DRAINAGE OPENING AT GRADE IN ACCORDANCE WITH THE TPV STD DETAIL AS SHOWN ON PLANS. SEE DETAIL SHEET C-3.
- 14 NEW LAWN PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 15 NEW STEPS PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 16 CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- 17 NEW CHECK DAM SET IN GROUT. SEE DETAIL ON SHEET C-3.
- 18 RELOCATE EXISTING ELECTRIC METER.
- 19 INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 20 INSTALL 12" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 21 INSTALL NYLOPLAST ADS INLINE DRAIN 2712AG WITH 12" X 12" ADS 1299CGP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL.
- 22 INSTALL NYLOPLAST ADS DRAIN BASIN 2812AG WITH 12" X 12" ADS 1299CGP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL OR APPROVED EQUAL.
- 23 INSTALL ZURN Z888-6 SLOTTED TRENCH DRAIN SYSTEM FLUSH WITH CONCRETE SLAB UNDER TILES. SLOPE TO DAYLIGHT TO RETENTION BASIN, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. SEE DETAIL ON THIS SHEET. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 24 INSTALL NEW 3'x2' CATCH BASIN PER MAG STD DET. 535, TYPE F AND MAG SPECIFICATIONS, OR APPROVED EQUAL.
- 25 INSTALL 4" PVC SDR-35 STORM DRAIN PIPE THROUGH WALL TO DAYLIGHT WITH VERTICAL RISER WITH 12" X 12" ADS 1299CGP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL. SEE DETAIL ON SHEET C-3.
- 26 INSTALL 12" WIDE ACO KLASSIKDRAIN K300 TRENCH DRAIN SYSTEM ON TOP OF 12" PIPE. COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT TO UNDERGROUND STORM DRAIN SYSTEM BELOW WITH BOTTOM OUTLET ADAPTERS EVERY 10'.
- 27 NEW CONCRETE LINED SWALE, 5" THICK 3,000 PSI CONCRETE REINFORCED WITH WIRE WELDED FABRIC. EARTH TONED FINISH COORDINATE COLOR WITH ARCHITECT AND OWNER. SEE DETAIL ON SHEET C-3.
- 28 NEW STORM DRAIN PIPE OUTLET TO DAYLIGHT AT FINISHED GRADE.
- 29 NEW POOL FENCE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 30 NEW POOL GATE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 31 INSTALL TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 32 INSTALL 12" PVC STORM DRAIN PIPE BELOW TRENCH DRAIN, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 33 INSTALL WYE CONNECTION INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF LAND DEVELOPMENT GROUP, LLC. UNAUTHORIZED USE, REUSE, REPRODUCTION, OR PUBLICATION OF ANY METHOD OR MANNER OR IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF LAND DEVELOPMENT GROUP, LLC IS PROHIBITED. ANY SUCH VIOLATION SHALL BE CONSIDERED A VIOLATION OF THE NATIONAL SITE FOR WHICH IT WAS PREPARED.

DATE: 10/22/19	JOB: 181249	DESIGNED BY: NP	CHECKED BY: JJ
SCALE: 1"=20'	DESIGNED BY: NP	DRAWN BY: ZA	CHECKED BY: JJ
DATE:	DATE:	DATE:	DATE:
REVISIONS:	REVISIONS:	REVISIONS:	REVISIONS:

GRADING & DRAINAGE IMPROVEMENT PLAN

LOT 34 - SUNSET HILLS
8200 N CHARLES DR.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM

Land DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
SINCE 1978
LICENSED U.S.A.

Arizona811
Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or click Arizona811.com

C-2
2 OF 3

WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT & ROOF	0.95	4,260	4,047
NATIVE HILLSIDE	0.70	20,420	14,294
TOTAL		24,680	18,341
Cw = C * AREA / TOTAL AREA			0.74

WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT & ROOF	0.95	5,083	4,829
LAWN	0.31	140	43
NATIVE HILLSIDE	0.70	19,457	13,620
TOTAL		24,680	18,492
Cw = C * AREA / TOTAL AREA			0.75

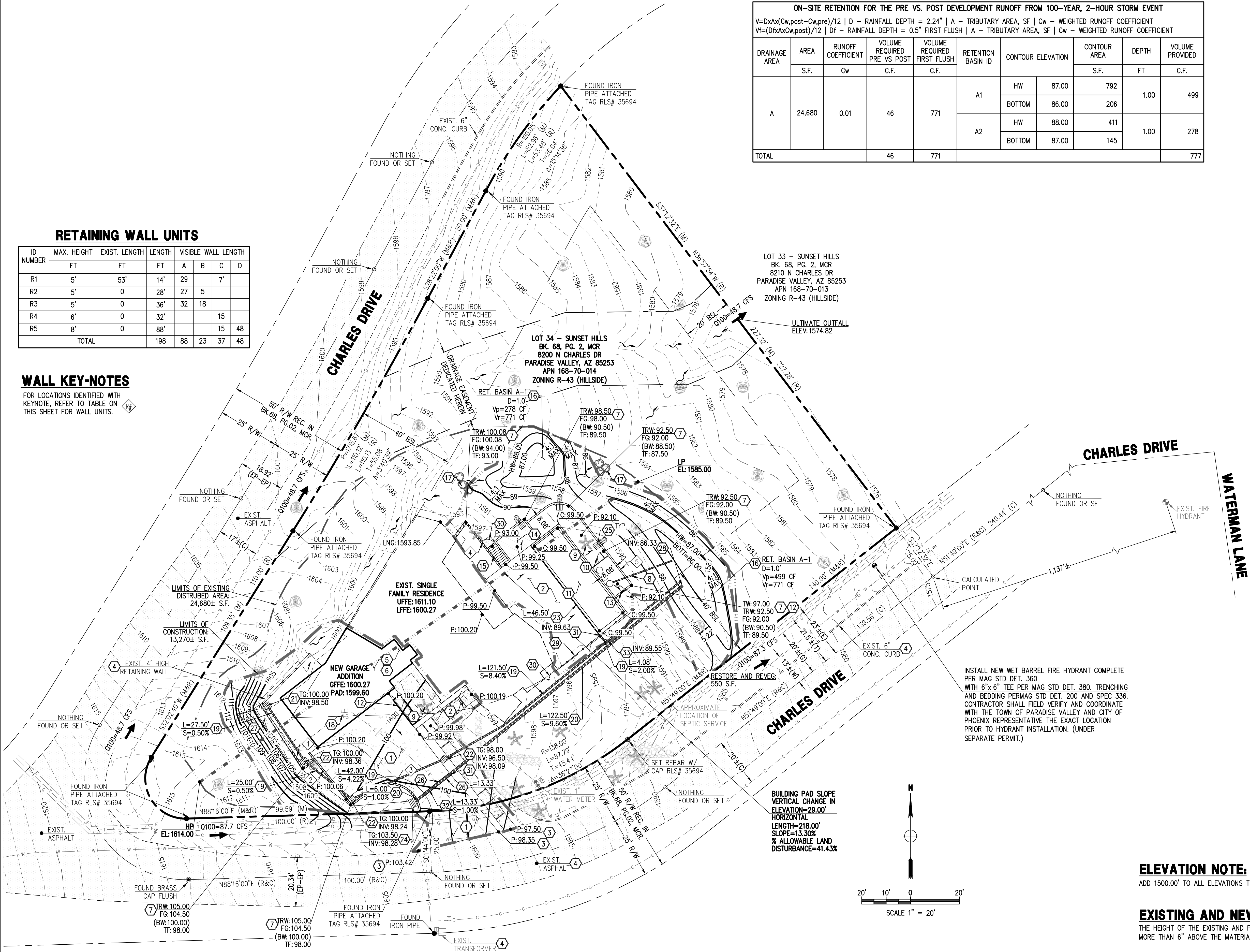
ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT										
V=DxAx(Cw,post-Cw,pre)/12 D - RAINFALL DEPTH = 2.24" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT Vf=(DfxAx(Cw,post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT										
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.				S.F.	FT	C.F.
A	24,680	0.01	46	771	A1	HW	87.00	792	1.00	499
						BOTTOM	86.00	206		
					A2	HW	88.00	411	1.00	278
						BOTTOM	87.00	145		
TOTAL			46	771	777					

RETAINING WALL UNITS

ID NUMBER	MAX. HEIGHT	EXIST. LENGTH	LENGTH	VISIBLE WALL LENGTH			
	FT	FT	FT	A	B	C	D
R1	5'	53'	14'	29	7		
R2	5'	0	28'	27	5		
R3	5'	0	36'	32	18		
R4	6'	0	32'			15	
R5	8'	0	88'			15	48
TOTAL			198	88	23	37	48

WALL KEY-NOTES

FOR LOCATIONS IDENTIFIED WITH KEYNOTE, REFER TO TABLE ON THIS SHEET FOR WALL UNITS.

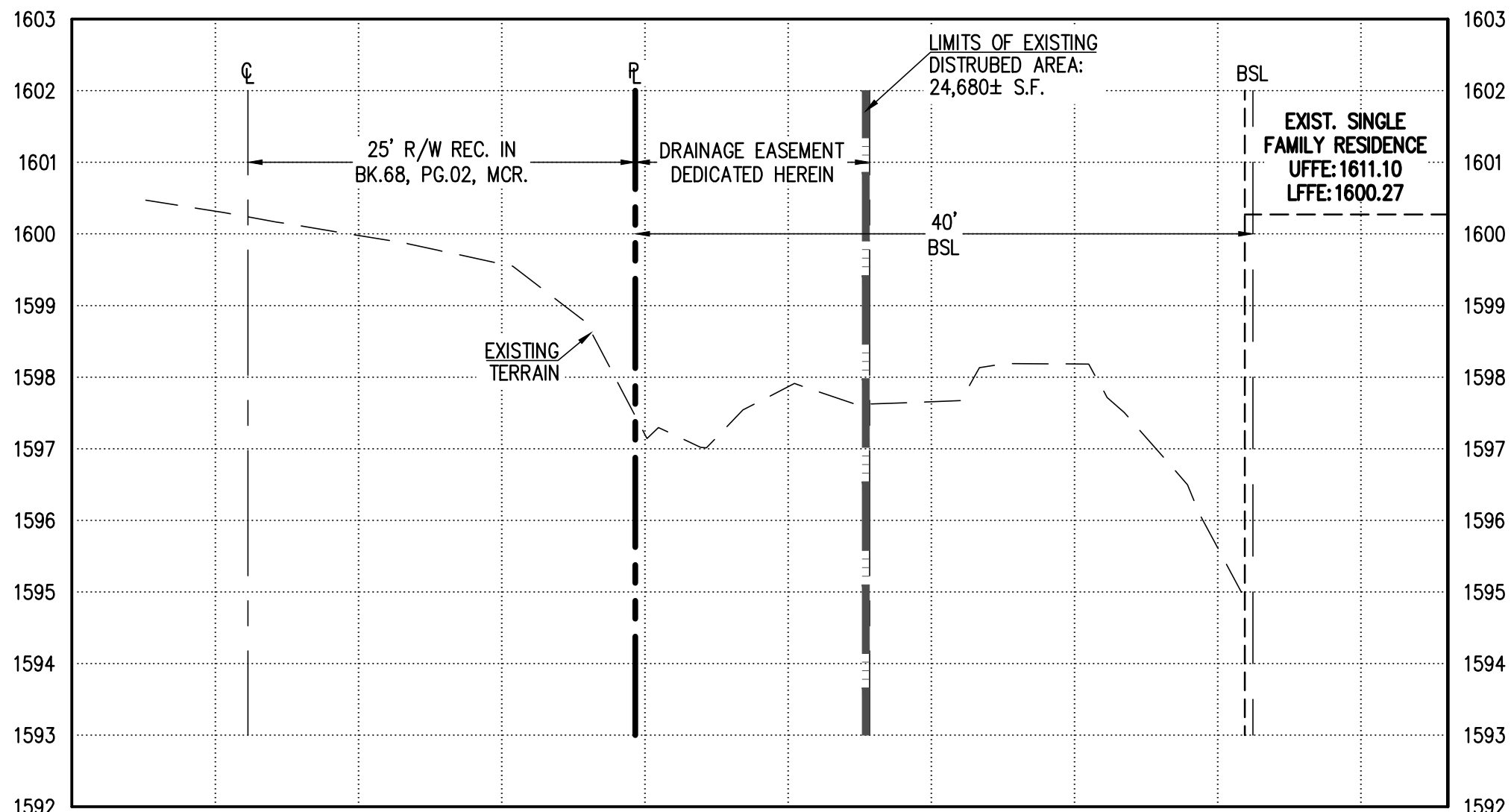


ELEVATION NOTE.

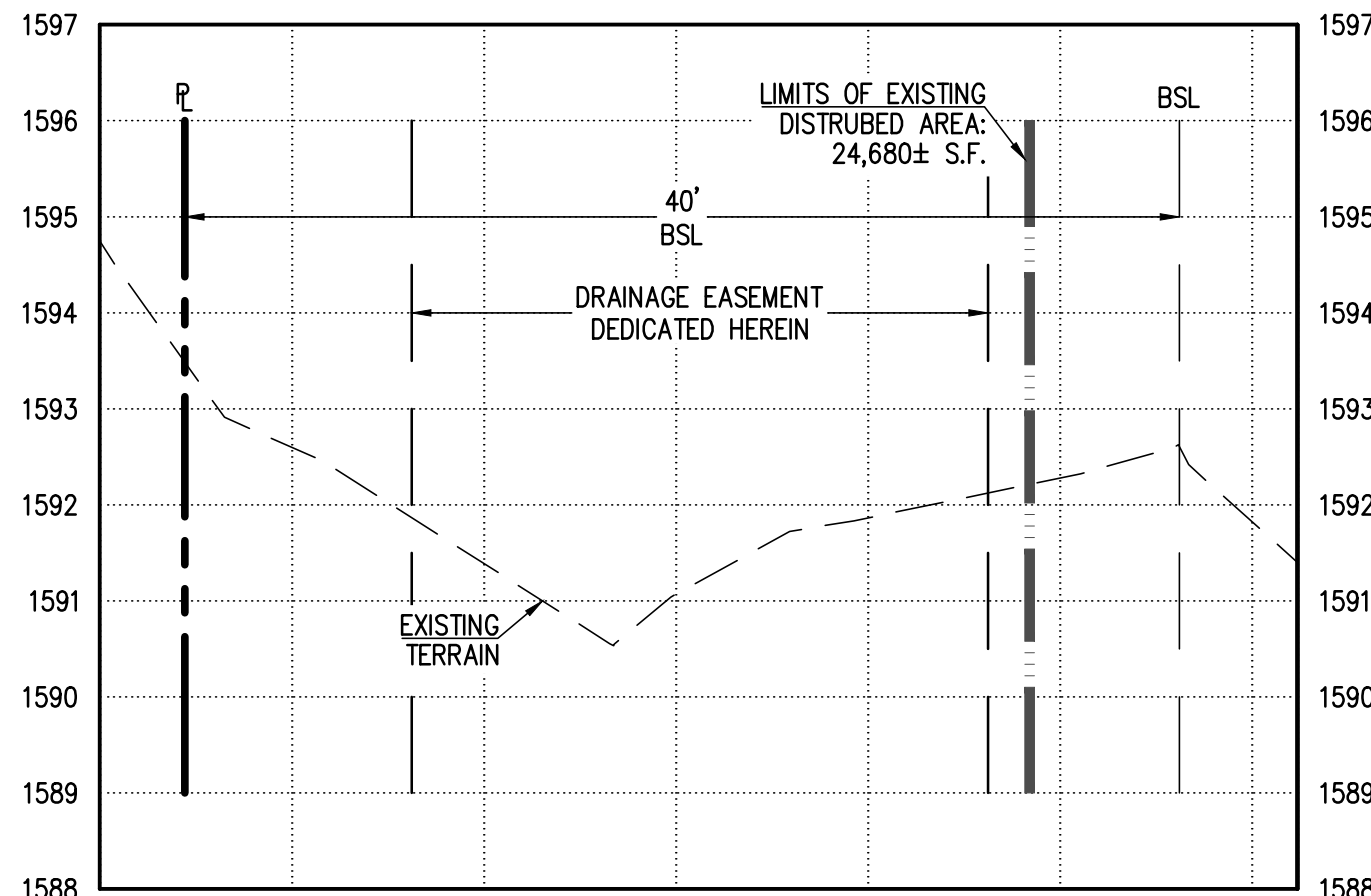
ADD 1500.00' TO ALL ELEVATIONS TO ARRIVE AT FULL DATUM.

EXISTING AND NEW RETAINING WALLS NOTE.

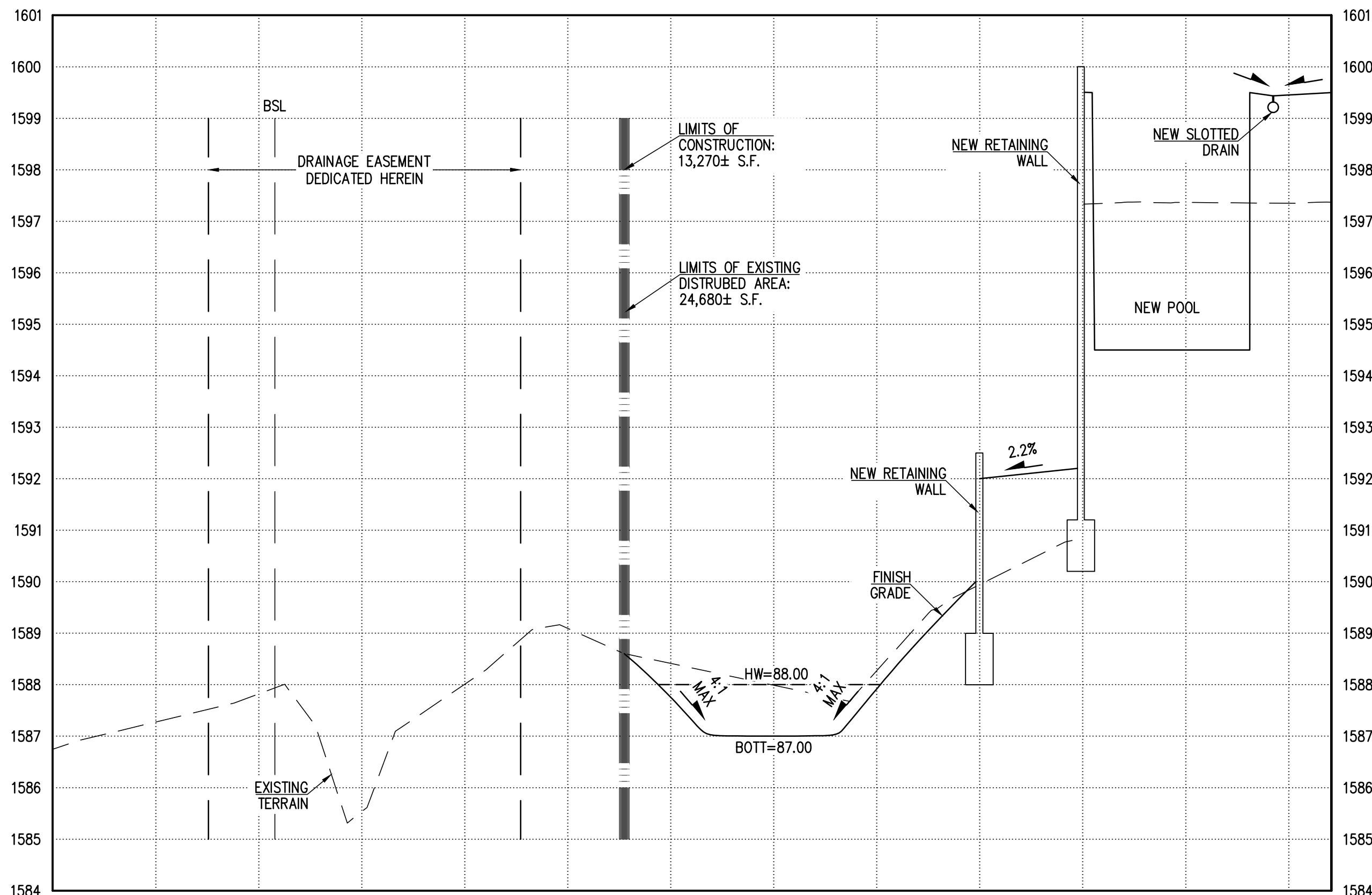
THE HEIGHT OF THE EXISTING AND PROPOSED RETAINING WALLS SHALL NOT EXTEND MORE THAN 6" ABOVE THE MATERIAL THEY RETAIN.



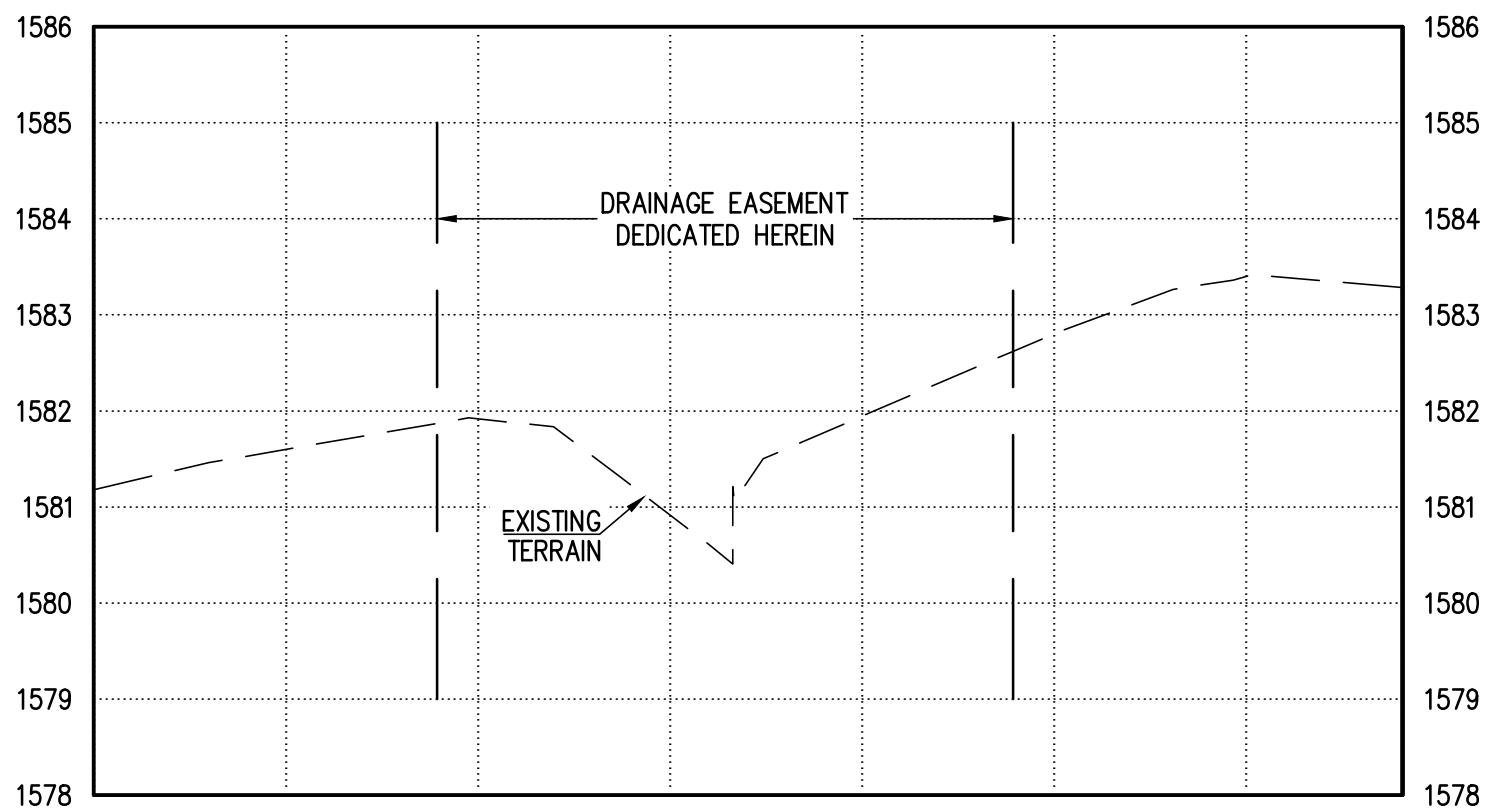
CROSS SECTION 1 - 1
SCALE HOR. 1" = 10', VER. 1" = 2'



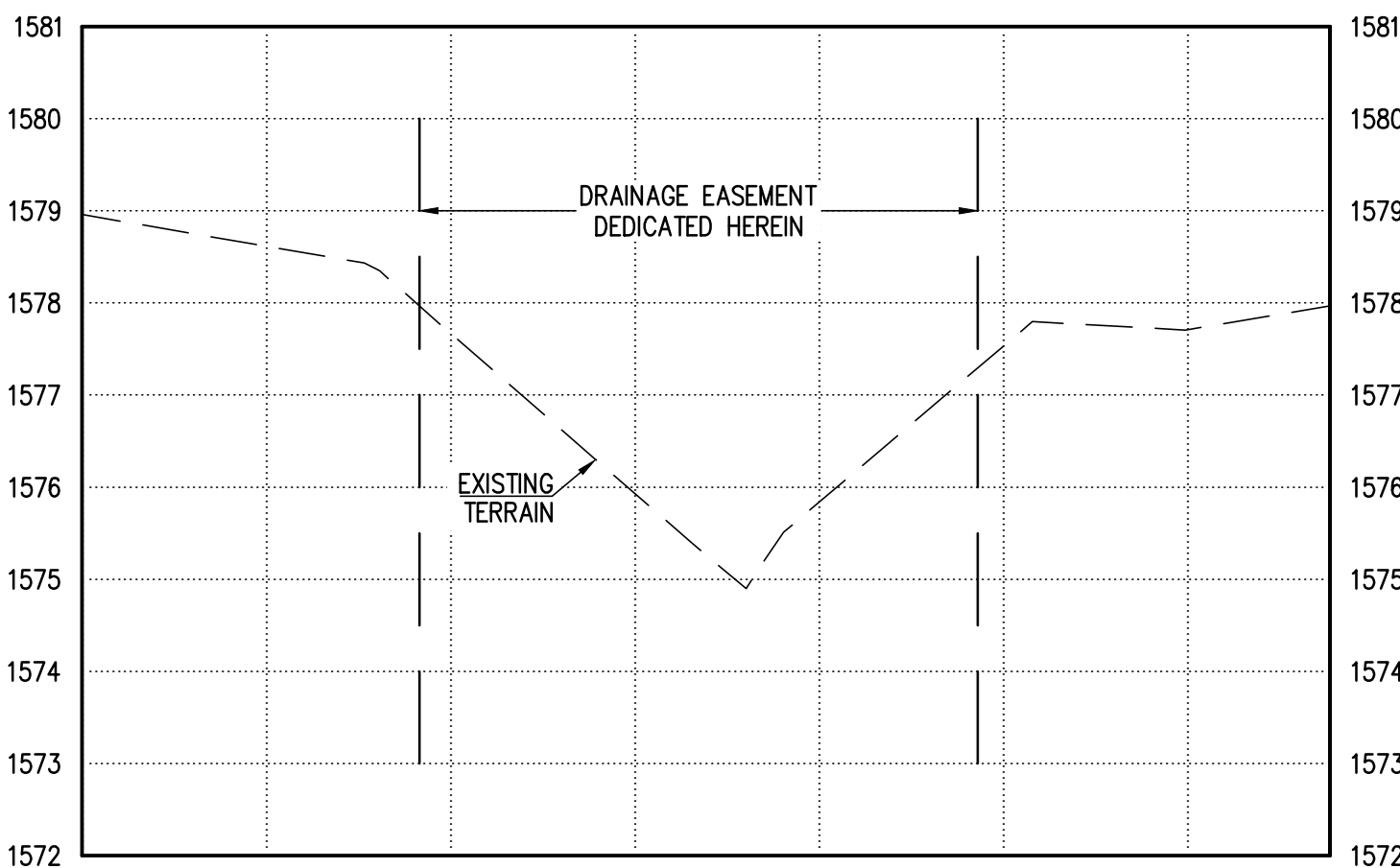
CROSS SECTION 2 - 2
SCALE HOR. 1" = 10', VER. 1" = 2'



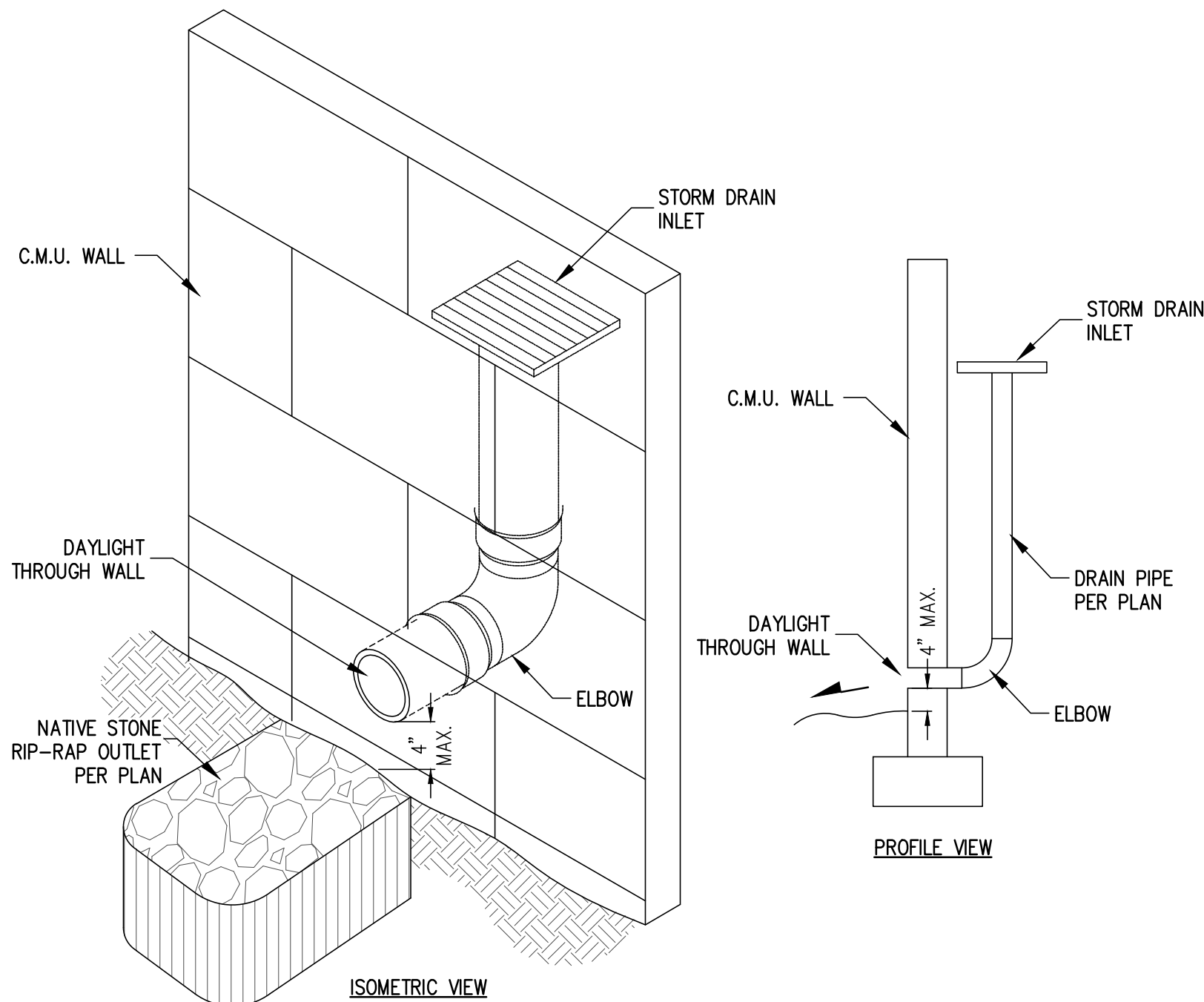
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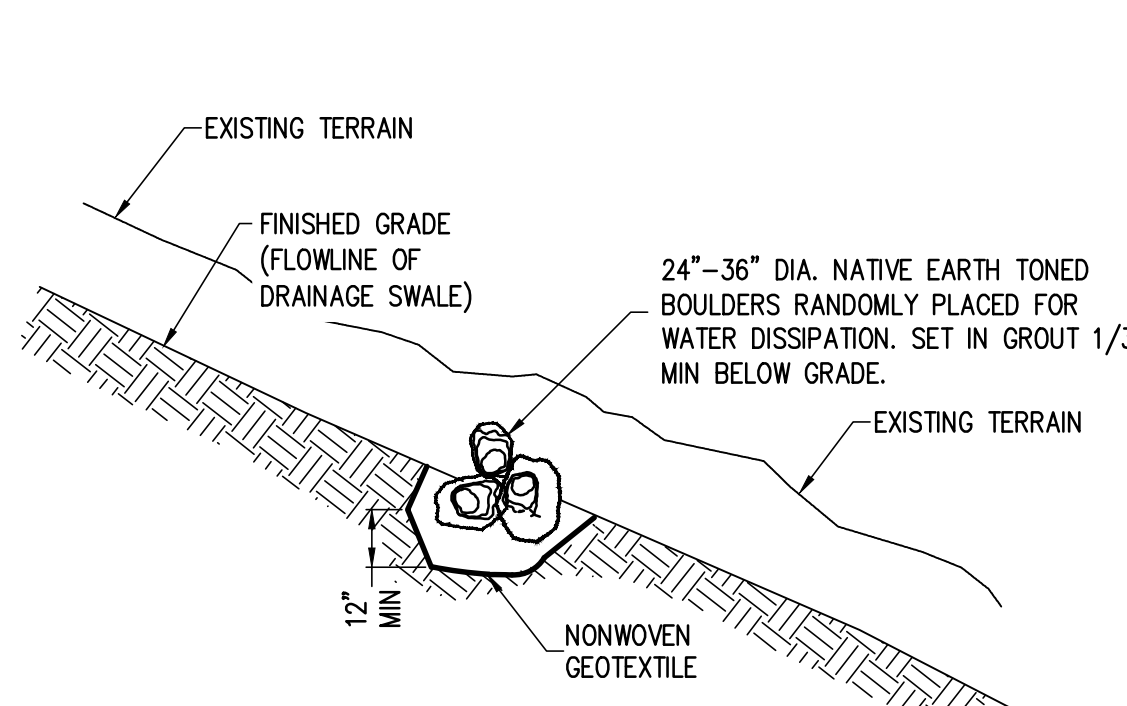
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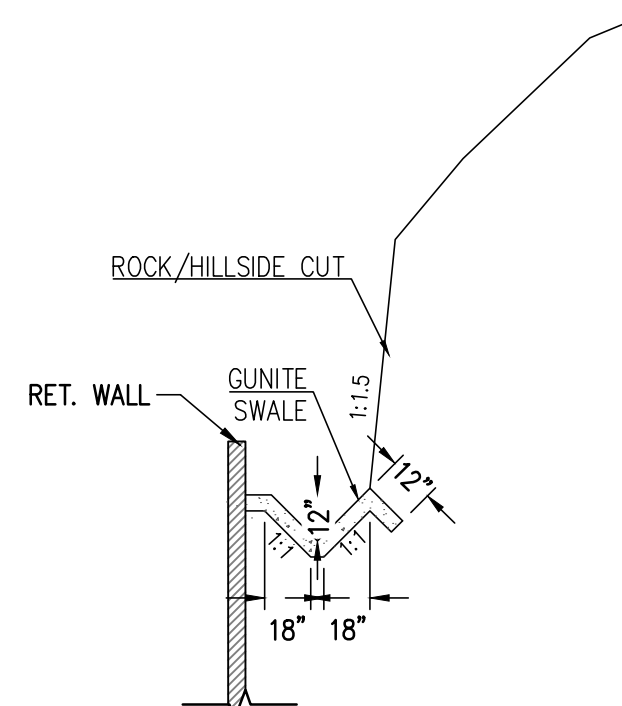
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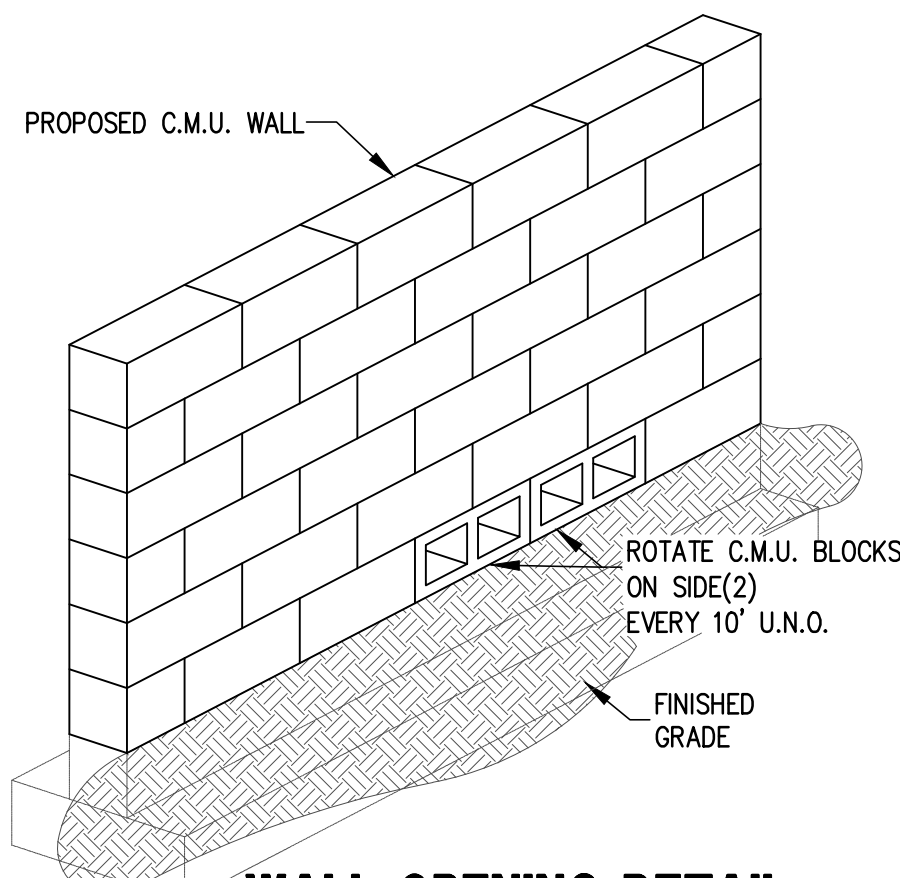
DETAIL 1 - STORM DRAIN OUTLET AT WALL DETAIL
N.T.S.



CHECK DAM DETAIL
N.T.S.



CONCRETE LINED SWALE DETAIL
N.T.S.



WALL OPENING DETAIL
N.T.S.

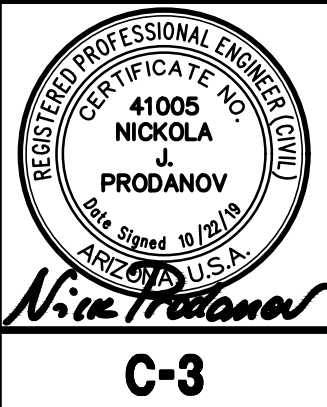
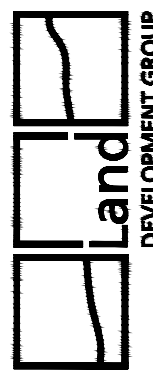


REVISIONS:	DATE:	SCALE: HOR. 1"=10', VER. 1"=2'	DATE: 10/22/19
		DESIGNED BY: NP	JOB: 181249
		DRAWN BY: ZA	VERSION: 1.1
		CHECKED BY: JJ	PLOT DATE: 10/22/19

**GRADING & DRAINAGE
CROSS SECTIONS
DETAILS**

**LOT 34 - SUNSET HILLS
8200 N CHARLES DR.,
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@DGN6.COM



NEW SITE PLAN NOTES

- EXISTING RESIDENCE TO REMAIN
- EXISTING 2 CAR GARAGE AND WORKROOM TO BE REMOVED.
- ROOF OVERHANG OF THE PROPOSED GARAGE.
- CONCRETE PORTION OF DRIVEWAY. INTEGRAL CONCRETE COLOR IS COHILLS #6082. EXISTING ASPHALT DRIVE TO BE REPLACED WITH A CONCRETE DRIVEWAY
- 2FT TALL STEEL PLANTER.
-
- INTEGRALLY COLORED CONCRETE ENTRY WALKWAY. COLOR IS COHILLS #6082
- EXISTING OUTDOOR AREA UNDER ROOF TO BE ENCLOSED AS CONDITIONED SPACE
- EXISTING RETAINING WALL TO REMAIN
- NEW RETAINING WALL. SEE RETAINING WALL SCHEDULE
- EXISTING TOPOGRAPHY SCREENS THE VIEW OF THE GARAGE FROM THE STREET (NORTH CHARLES DRIVE)
- ROOF OVERHANG OF EXISTING RESIDENCE TO REMAIN
- LINE OF NEW 3 CAR GARAGE. EXTERIOR GARAGE WALLS TO BE 4" X 16" CMU PAINTED DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31. GARAGE DOOR TO BE COOKSON DOOR 9201 PAINTED DUNN EDWARDS BLACKJACK DE 6371 LRV
- DARK ANODIZED BRONZE ALUMINUM FASCIA TO MATCH GARAGE DOOR AND WINDOW COLOR.
- EXISTING POOL TO BE REMOVED
- OUTLINE OF EXISTING PATIO TO BE ALTERED/REMOVED. EXISTING RETAINING WALLS TO BE REMOVED
- NEW POOL TO BE ADDED ALONG WITH NEW RETAINING WALLS. NO RETAINING WALL EXCEEDS 8FT IN HEIGHT.
- NEW POOL GATE AND POOL ENCLOSURE FENCE. GATE AND FENCE TO BE VERTICAL 2"x3" STEEL POST PICKETS WITH 4" CLEAR SPACE BETWEEN PICKETS IS ADDED TO PROVIDE THE 5FT REQUIRED POOL SECURITY FENCE HEIGHT WHERE REQUIRED. FENCING IS LESS THAN 80% OPEN. POOL FENCE NOT TO EXCEED 6FT HEIGHT. FENCING IS TO BE PAINTED DUNN EDWARDS BLACKJACK DE 6371 LRV 8.
- PLANTER 18" BELOW HEIGHT OF RECONFIGURED POOL. USE OF THE PLANTER NEGATES THE NEED FOR A SAFETY FENCING OR WALL.
- MECHANICAL EQUIPMENT. EQUIPMENT IS SCREENED BY THE EXISTING 5 FT RETAINING WALL AND IS NOT VISIBLE FROM ANY LOCATION OUTSIDE THE PROPERTY.
- NEW RETAINING WALL WITH GLASS RAILING
- EXISTING RETAINING WALL WITH GLASS RAILING ADDED
- NEW STAIR TO ACCESS PROPERTY FROM PATIO
- 40FT SETBACK LINE
- NEW STEPS FROM EXISTING UPPER PATIO TO POOL AREA.
- EXISTING POOL EQUIPMENT AND SCREEN WALL TO BE REMOVED. NEW POOL EQUIPMENT AREA IS LOCATED AT NOTE 26
- NEW POOL EQUIPMENT AREA AND SCREEN WALL. SEE RETAINING/SCREEN WALL LIST
- NEW SEPTIC SYSTEM
- NEW POOL FENCING TO BE 2" X 3" STEEL VERTICAL POSTS WITH A 4" CLEAR SPACE BETWEEN EACH POST TO PROVIDE THE 5FT REQUIRED POOL SECURITY FENCE HEIGHT WHERE REQUIRED. POOL FENCE NOT TO EXCEED 6FT IN HEIGHT. PICKETS ARE TO BE PAINTED DUNN EDWARDS BLACKJACK DE 6371 LRV 8. POOL ENCLOSURE SECURITY REQUIREMENT IS MET BY THE COMBINATION OF POOL FENCING AND THE HEIGHT OF THE POOL'S RETAINING WALLS. FENCING IS LESS THAN 80% OPEN.

PROJECT NARRATIVE:

8200 NORTH CHARLES DRIVE WAS GRANTED APPROVAL FOR TWO VARIANCES ON JUNE 5, 2019.

VARIANCE 1 IS FOR THE REMOVAL OF AN EXISTING NON-CONFORMING GARAGE AND THE CONSTRUCTION OF A NEW 3 CAR GARAGE THAT EXTENDS BEYOND THE FRONT AND REAR SETBACKS. THE PROPOSED GARAGE PRESENTED HERE MATCHES EXACTLY THE PROPOSAL THAT WAS GIVEN VARIANCE APPROVAL.

VARIANCE 2 GRANTED APPROVAL FOR TWO NON-CONFORMING PORTIONS OF THE EXISTING RESIDENCE TO REMAIN NON-CONFORMING SHOULD THE REMODEL PROPOSED HERE EXCEED THE 50% THRESHOLD THAT WOULD REQUIRE THE ENTIRE RESIDENCE. MEET CURRENT ZONING AND CODE REQUIREMENTS.

PROPOSED DESIGN

GARAGE REPLACEMENT AND DRIVE

WE PROPOSE TO REMOVE THE EXISTING 2 CAR GARAGE AND WORKROOM AND TO REPLACE THAT EXISTING GARAGE WITH A NEW 3 CAR GARAGE. THIS WILL INCLUDE ALTERATIONS TO THE EXISTING DRIVEWAY AND AUTOCOURT TO ACCOMMODATE ACCESS.

EXTERIOR SIDING REPLACEMENT AND REPAIRS

THE RESIDENCE WILL UNDERGO MAINTENANCE TO THE EXTERIOR WHICH WILL INCLUDE RELACING THE EXISTING WOOD SIDING WHICH EXHIBITS NUMEROUS INSTANCES OF DRY ROT.

INTERIOR REMODEL

THE RESIDENCE INTERIOR WILL UNDERGO A REMODEL THAT WILL INCLUDE A KITCHEN REMODEL, REMODELING OF RESTROOMS, AND RECONFIGURING OF THE BEDROOM AND BATHROOMS ON THE SECOND FLOOR. THE MECHANICAL SYSTEM WILL BE RECONFIGURED, REPAIRED AND BROUGHT UP TO DATE AS PART OF THE INTERIOR REMODEL.

NEW SEPTIC SYSTEM

A NEW SEPTIC SYSTEM WILL BE CONSTRUCTED TO ACCOMMODATE THE ALTERNATIONS INCLUDED IN THE INTERIOR REMODEL.

NEW POOL

THE EXISTING POOL WILL BE REMOVED AND AND NEW POOL BUILT IN THE SAME LOCATION.

RETAINING AND SCREEN WALLS

X

1- EXISTING RETAINING WALL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 29 LINEAR FEET
HEIGHT: 4" ABOVE GRADE. TOP OF WALL IS 4" ABOVE GRADE AND EXTENDS 4'6" BELOW GRADE TO THE SURFACE OF PAVED EXTERIOR WALKWAY

2. EXISTING RETAINING WALL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 23 LINEAR FEET
HEIGHT: 4" ABOVE GRADE. TOP OF WALL IS 4" ABOVE GRADE AND EXTENDS 4'6" BELOW GRADE TO THE SURFACE OF PAVED EXTERIOR WALKWAY

3. NEW RETAINING WALL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BSARNWOOD GRAY DET620 LRV 31
THIS NEW RETAINING WALL IS AN EXTENSION TO RETAINING WALL 2 WITH MATCHING HEIGHT
LENGTH: EAST SECTION : 8'-8" SOUTH SECTION: 6 FEET
HEIGHT: 4" ABOVE GRADE. TOP OF WALL IS 4" ABOVE GRADE AND EXTENDS 4'6" BELOW GRADE TO THE SURFACE OF PAVED EXTERIOR WALKWAY

4. NEW RETAINING WALL
MATERIAL: STONE FACING REUSING EXISTING FIELD STONE LRV 17
THIS NEW RETAINING WALL MATCHES THE HEIGHT OF RETAINING WALLS 1,2 AND 3
LENGTH: 27'-9"
HEIGHT: 4" ABOVE GRADE. TOP OF WALL IS 4" ABOVE GRADE AND EXTENDS 4'6" BELOW GRADE TO THE SURFACE OF PAVED EXTERIOR WALKWAY

5. NEW RETAINING WALL
MATERIAL: STONE FACING REUSING EXISTING FIELD STONE LRV 17
CURVING RETAINING WALL AT DRIVE AND AUTOCOURT
LENGTH:
HEIGHT: 4" ABOVE GRADE. TOP OF WALL IS 4" ABOVE GRADE. THE WALL HEIGHT FOLLOWS THE CHANGE IN GRADE AND GOES FROM A MAXIMUM HEIGHT OF 5 FEET (AT THE DRIVE WAY SIDE) TO A HEIGHT OF 1'6" AT THE PROPERTY LINE.

6. NEW RETAINING WALL AT POOL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 39 FEET
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 7 FEET TO 2'-6". TOP OF WALL IS LEVEL WITH FINISHED PATIO FLOOR AT POOL

7. NEW RETAINING WALL AT POOL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 46'-7"
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 7'6" TO A MINIMUM OF 7 FEET. TOP OF WALL IS LEVEL WITH FINISHED PATIO FLOOR AT POOL

8. NEW RETAINING WALL AT POOL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 10'-3"
HEIGHT: HEIGHT 7'6". TOP OF WALL IS LEVEL WITH FINISHED PATIO FLOOR AT POOL

9. NEW RETAINING WALL AT POOL EQUIPMENT AND LANDSCAPE PLANTER
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
SOUTH SEGMENT LENGTH : 8 FEET
EAST SEGMENT LENGTH: 45 FEET
NORTH SEGMENT LENGTH: 16 FEET
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 3' TO A MINIMUM OF 0'

10. RETAINING WALL AT POOL PLANTER
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
EAST SEGMENT LENGTH: 10'-6"
NORTH SEGMENT LENGTH: 15'-9"
WEST SEGMENT LENGTH: 10'6"
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 7'6" TO A MINIMUM OF 6 FEET

11. NEW RETAINING WALL AT REAR PATIO
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 24 FEET
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 6'8" TO A MINIMUM OF 5'8"

12. EXISTING RETAINING WALL AT REAR PATIO
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
LENGTH: 8'-4"
HEIGHT: HEIGHT VARIES WITH GRADE FROM A MAXIMUM OF 6'8" TO A MINIMUM OF 5'8"

13. NEW POOL EQUIPMENT SCREEN WALL
MATERIAL: PAINTED 4" X 16" CMU DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
NORTH SEGMENT IS PERFORATED METAL PAINTED DUNN EDWARDS BARNWOOD GRAY DET620 LRV 31
SOUTH SEGMENT LENGTH: 8 FEET
EAST SEGMENT LENGTH: 16 FEET
NORTH SEGMENT LENGTH: 8 FEET
HEIGHT: 5 FEET FROM THE EQUIPMENT FLOOR LEVEL. HEIGHT FROM ADJACENT GRADE VARIES FROM A MAXIMUM OF 6'-6" TO A MINIMUM OF 5 FEET

PROPERTY INFO

ADDRESS: 8200 NORTH CHARLES DRIVE
PARADISE VALLEY, AZ 85253
APN: 168-70-014
SUBDIVISION: SUNSET HILLS
LOT NUMBER: 34
ZONING R-43 HILLSIDE
SITE AREA: 46,690SF

SQUARE FOOTAGE TABLE

EXISTING STRUCTURE
EXISTING NON-LIVABLE FIRST FLOOR: 865 SF
EXISTING INTERIOR LIVING 1ST FL: 3,112 SF
EXISTING INTERIOR LIVING 2ND FL: 1,623 SF
EXISTING INTERIOR TOTAL: 5,600 SF

PROPOSAL

PROPOSED NON-LIVABLE FIRST FLOOR: 1,033 SF
PROPOSED INTERIOR LIVING 1ST FL: 3,263 SF
PROPOSED INTERIOR LIVING 2ND FL: 1,623 SF
PROPOSED INTERIOR TOTAL: 5,919 SF

LOT COVERAGE AREA UNDER ROOF

EXISTING: 6,330SF / 11.4%
PROPOSED : 5,222SF / 11.8%

REMODEL SCOPE

EXISTING BUILDING SF (INCLUDING GARAGE)
TOTAL ENCLOSED: 5,600 SF

SCOPE OF REMODEL

GARAGE: 1,033SF
KITCHEN: 261SF
LAUNDRY/POWDER: 205SF
GUEST BATH: 303SF
MASTER BATH: 589SF

TOTAL AREA TO BE REMODELED: 2,391SF
PERCENTAGE OF TOTAL SF: 43%

PARKING PLAN

PER TOWN OF PARADISE VALLEY ZONING 2 PARKING SPACES ARE REQUIRED. 3 SPACES ARE PROVIDED. ALL PARKING TO REMAIN ON SITE.

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BIEGNER-MURFF ARCHITECTS

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8200 N. Charles Drive
Paradise Valley, AZ 85253

contents: HILLSIDE REVIEW SUBMITTAL
PROPOSED SITE PLAN

job #: NORQUIST - 2019

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BOUNDARY OF EXISTING DISTURBANCE

BOUNDARY PROPOSED CONSTRUCTION

MOUNTAIN PRESERVE/
WITHIN PARADISE VALLEY
TOWN LIMITS
OWNED BY THE CITY OF
PHOENIX

SLOPE / DISTURBANCE CALCULATION
SEE GRADING AND DRAINAGE PLANS



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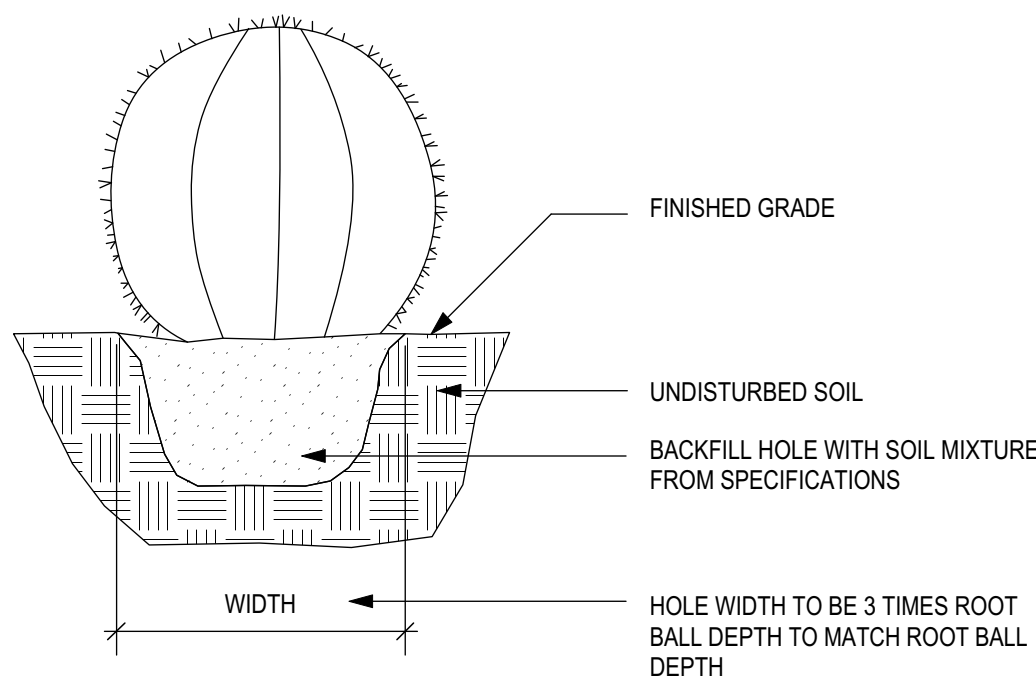


BOUNDARY OF EXISTING
DISTURBANCE

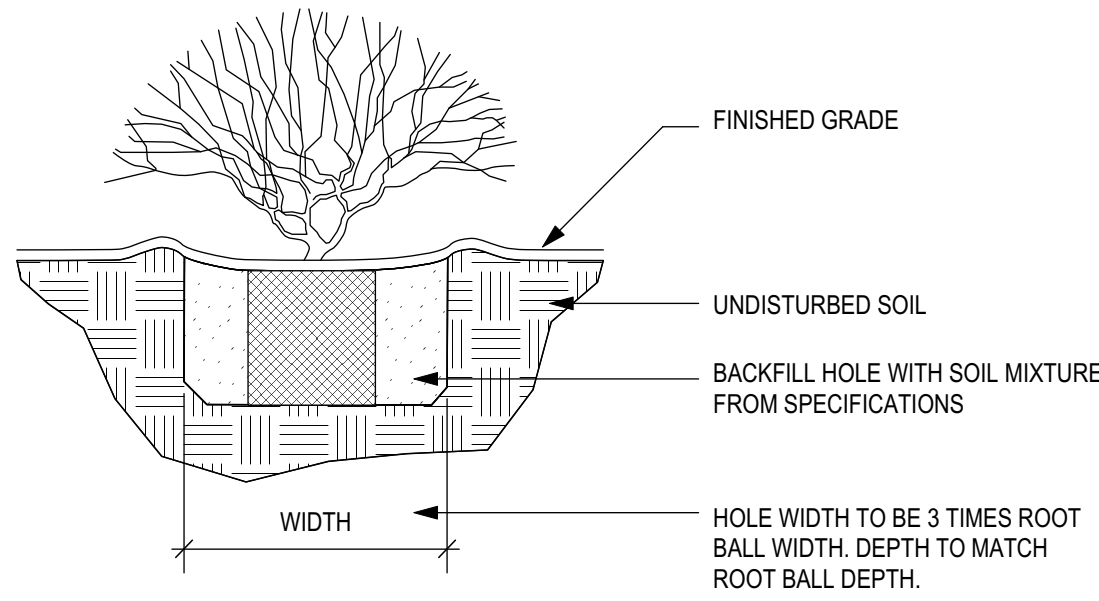
BOUNDARY OF
CONSTRUCTION

LANDSCAPE PLAN

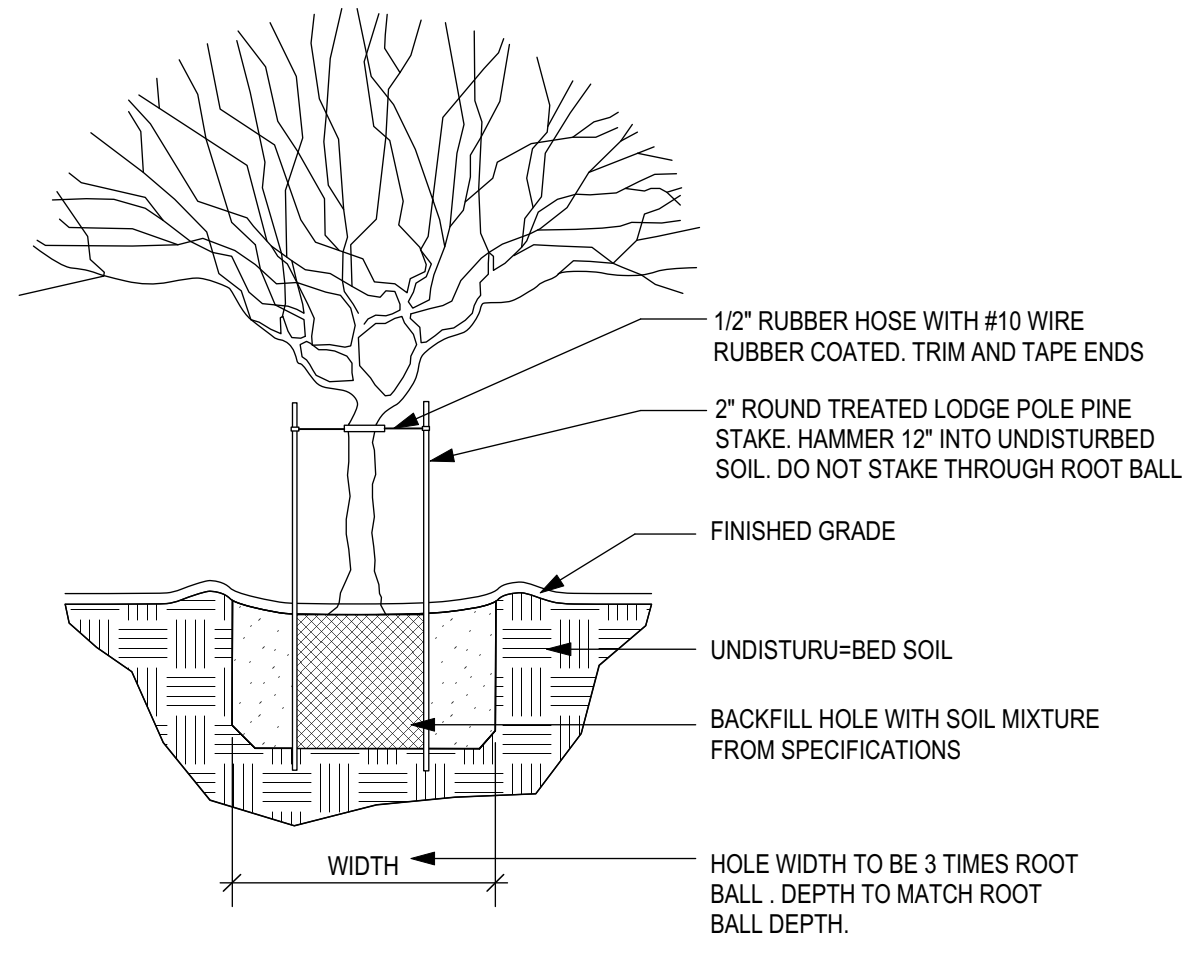
Scale: 1" = 20 ft



CACTUS PLANTING DETAIL
Scale: 3/16" = 1'-0"



SHRUB PLANTING DETAIL
Scale: 3/16" = 1'-0"



TREE PLANTING DETAIL
Scale: 3/16" = 1'-0"

- EXISTING ONE STORY HOUSE
- 3 CAR GARAGE ADDITION. EXISTING 2 CAR GARAGE WILL BE REMOVED AND THE NEW GARAGE BUILT IN ITS PLACE.
- NEW CONCRETE PATIO
- NEW POOL
- SCREENED POOL EQUIPMENT
- POURED CONCRETE DRIVE
-
- STONE CLAD RETAINING WALL
- SCREENED MECHANICAL AND TRASH AREA
- POOL FENCE
- RETENTION/PLANTER

PLANT LIST

EXISTING TO REMAIN	
TREES	
CERCIDIUM V. DESERT MUSEUM DESERT MUSEUM PALO VERDE	5@3FT BOX
OLNEYA TESOTA IRONWOOD TREE	2@3FT BOX
PARKINSONIA MICROPHYLLA FOOTHILL PALO VERDE	7@2FT BOX

SHRUBS	
BAILEYA MULTIRADIATA DESERT MARI GOLD	18@1 GAL.
CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	7@5 GAL.
ENCELIA FARINOSA BRITTLE BUSH	23@5 GAL.
ERIOGONUM FASCICULATUM ARIZONA BUCKWHEAT	14@5 GAL.
JUSTICA CALIFORNICA CHUPAROSA	3@5 GAL.
LARREA TRIDENTATA CREOSOTE BUSH	16@5 GAL.

AGAVE/ALOE	
AGAVE ARIZONICA ARIZONA AGAVE	1@5 GAL.
AGAVE BOVICORNUTA COWS HORN AGAVE	1@15 GAL.
AGAVE HARVARDIANA HARVARD AGAVE	7@5 GAL.
AGAVE PALMERII PALMER'S AGAVE	2@5 GAL.

CACTUS	
CYLINDROPUNTIA ARBUSCULA PENCIL CHOLLA	8@5 GAL.
CYLINDROPUNTIA VERSICOLOR STAGHORN CHOLLA	3@5 GAL.
ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS	35@5 GAL.
OPUNTIA CACANAPA 'ELLISIANA'	1@5 GAL.
OPTUNIA ENGELMANNII ENGELMANN PRICKLY PEAR	2@5 GAL.
OPUNTIA FICUS-INDICA INDIAN FIG CACTUS	1@15 GAL.
OPTUNIA MACROCENTRA PORCUPINE CACTUS	20@5 GAL.
OPTUNIA POLYACANTHA PLAINS PRICKLY PEAR	2@5 GAL.
OPTUNIA SANTA RITA SANTA RITA PRICKLY PEAR	2@5 GAL.

COLUMNAR CACTUS	
CLEISTOCACTUS STRAUSSII SILVER TORCH CACTUS	15@15 GAL.
ECHINOPSIS SPACHIANA GOLDEN TORCH CACTUS	1@15 GAL.
PACHYCREUS MARGINATUS MEXICAN FENCE POST	EXISTING
PACHYCREUS SCHOTTII SENITA	1@2FT BOX
STENOCERUS THURBERI ORGAN PIPE CACTUS	7@2FT BOX

YUCCA / OCOTILLO	
HESPERALOE PARVIFLORA "YELLOW" YELLOW YUCCA	9@15 GAL.
FOQUIERIA SPLENDENS OCOTILLO	2@2FT BOX
YUCCA BREVIFOLIA JOSHUA TREE	EXISTING
YUCCA FAXONIA SPANISH DAGGER	1@2FT BOX
YUCCA RIGIDA BLUE YUCCA	1@2FT BOX
YUCCA SCHOTTII ENGELMANNI MOUNTAIN YUCCA	1@2FT BOX

REVEGETATION INSTRUCTIONS

THE INTENT OF SITE RESTORATION AND REVEGETATION IS TO RETURN THE PHYSICAL CONDITION OF THE LANDSCAPE ON DEVELOPED SITES TO A STATE THAT VISUALLY AND ECOLOGICALLY MATCHES THE LOCAL UNDISTURBED DESERT LANDSCAPE AND ECOSYSTEM. SITES GENERALLY FALL UNDER 2 GENERAL CATEGORIES: UNDISTURBED DESERT LANDSCAPES WHICH SHOULD BE RESTORED TO THEIR ORIGINAL CONDITION OR RE-DEVELOPMENT SITES WHICH SHOULD BE RESTORED TO A NATURAL DESERT LANDSCAPE AND ECOSYSTEM. THE FOLLOWING STEPS ARE RECOMMENDED:

1. THE BUILDING OR DEVELOPMENT ENVELOPE SHOULD BE CLEARLY MARKED ON SITE PRIOR TO PERFORMING NATIVE PLANT INVENTORY AND ANALYSIS OR PHYSICAL SALVAGE OF EXISTING LANDSCAPE MATERIAL.

2. THE OWNER OR GENERAL CONTRACTOR SHOULD IDENTIFY A NURSERY AND STORAGE LOCATION FOR ALL SALVAGED LANDSCAPE MATERIAL EITHER ON OR OFF SITE. THE HOLDING AREA SHOULD BE LEVEL AND FREE OF DEBRIS ETC, ADEQUATE SPACE SHOULD BE PROVIDED FOR THE SEPARATE STORAGE OF BOULDERS, ROCKS, SOIL, DECOMPOSED GRANITE, ORGANIC LANDSCAPE MATERIALS, AND SALVAGED PLANT MATERIAL. AN AUTOMATIC IRRIGATION SYSTEM SHOULD BE PROVIDED FOR ALL PLANT MATERIAL. FENCING AND SECURITY SHOULD CONFORM TO CODE REQUIREMENTS AND GUIDELINES IDENTIFIED IN THE GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT.

3. PRIOR TO COMMENCEMENT OF SITE DEMOLITION AND GRADING, EXISTING LANDSCAPE MATERIAL SHOULD BE INVENTORIED, SALVAGED AND STORED IN A SECURE LOCATION. BOULDERS AND STONES LARGER THAN 3" WHICH OCCUR ON THE SURFACE OF THE LANDSCAPE SHOULD BE GATHERED AND STORED RIGHT SIDE UP. SEPARATE BOULDERS AND ROCKS WHICH WERE PARTIALLY BURIED FROM THOSE WHICH OCCUR ON THE SURFACE. ORGANIC ELEMENTS SUCH AS CACTI SKELETONS, CLUSTERS OF TWIGS AND BRANCHES, SEED PODS ET. SHOULD BE PRESERVED AS WELL.

4. FOLLOWING THE INVENTORY AND STORAGE OF ABOVE MENTIONED MATERIAL ALL PLANTS IDENTIFIED FOR SALVAGE OR DEMOLITION SHOULD BE REMOVED. PRIOR TO EXCAVATION OR DEMOLITION CAREFULLY SCRAPE THE TOP 2" TO 3" OF TOP SOIL AND DECOMPOSED GRANITE FROM AROUND THE BASE OF ALL PLANT MATERIAL TO A DISTANCE EQUAL OR GREATER TO 2 TIMES THE REQUIRED BOX SIZE FOR SALVAGE PLANT MATERIAL AND A 4' RADIUS FOR PLANTS TO BE DEMOLISHED. REMOVE AND STORE TOPSOIL AND DECOMPOSED GRANITE IN A SEPARATE PILE FROM BOULDERS AND ROCKS. FOLLOWING SALVAGE AND DEMOLITION OF ALL PLANT MATERIAL IN BUILDING ENVELOPE REMOVE THE REMAINING TOP 2" TO 3" OF TOP SOIL AND DECOMPOSED GRANITE THROUGHOUT THE LANDSCAPE AREA WITHIN THE BUILDING ENVELOPE AND STORE AS NOTED ABOVE.

5. FOLLOWING THE COMPLETION OF SITE AND BUILDING CONSTRUCTION THE LANDSCAPE CONTRACTOR SHOULD SCHEDULE A MEETING WITH THE GENERAL CONTRACTOR TO WALK THE SITE AND IDENTIFY THE LIMITS OF THE LANDSCAPE AREAS TO BE RESTORED. ALL DISTURBED LANDSCAPE AREAS ON SITE IDENTIFIED FOR RESTORATION SHOULD BE CLEARED OF CONSTRUCTION DEBRIS AND EXCESS FILL AND BROUGHT TO ROUGH GRADE PRIOR TO RESTORATION.

6. LARGE BOULDERS AND ROCKS SHOULD BE RE-PLACED IN THE LANDSCAPE WITH LANDSCAPE ARCHITECT PER PLANS AND FIELD INSTRUCTION. BOULDERS AND ROCKS WHICH WERE ORIGINALLY BURIED SHOULD BE RE-BURIED TO THEIR ORIGINAL DEPTH SO THAT THE ENTIRE SURFACE PATINA IS VISIBLE FOLLOWING FINAL APPLICATION OF TOPSOIL AND DECOMPOSED GRANITE. DO NOT PLACE ROCKS AND BOULDERS WHICH OCCURRED ON THE SURFACE UNTIL ALL PLANT MATERIAL IS INSTALLED AND TOP SOIL AND DECOMPOSED GRANITE IS PLACED.

7. AFTER ALL BURIED ROCKS AND BOULDERS ARE PLACED- BUT PRIOR TO PLACEMENT OF TOPSOIL, DECOMPOSED GRANITE, SURFACE ROCKS AND SEED MIX- INSTALL ALL IRRIGATION SYSTEM COMPONENTS AND PLANT MATERIAL CALLED OUT ON PLANS. ALL REVEGETATION PLANT MATERIAL SHOULD BE PLACED ON SITE BY CONTRACTOR PER PLAN. FOLLOWING PLACEMENT BUT PRIOR TO INSTALLATION VERIFY LOCATIONS AND LAYOUT WITH L.A. IN FIELD. SCHEDULE SITE VISIT WITH LA NOT LESS THEN 7 DAYS IN ADVANCE OF PLACEMENT DATE. NEW PLANT MATERIAL IN DISTURBED AREAS SHOULD MATCH EXISTING NATURAL LANDSCAPE IN SPECIES AND DENSITY UNLESS OTHERWISE CALLED OUT ON PLANS.

8. FOLLOWING INSTALLATION OF PLANT MATERIAL AND IRRIGATION SYSTEM REPLACE TOPSOIL AND DECOMPOSED GRANITE TO A DEPTH OF 2"-3" OVER THE ENTIRE AREA. DO NOT COVER BOULDERS OR ROCKS. LEVEL AND LIGHTLY COMPACT ALL SOIL. PLACE ALL SURFACE ROCKS AND BOULDERS REMAINING ORGANIC OR INORGANIC LANDSCAPE MATERIALS SALVAGED FROM SITE PER LANDSCAPE ARCHITECTS INSTRUCTION IN A MANNER WHICH REPLICATES THE EXISTING SURROUNDING NATURAL LANDSCAPE.

9. FOLLOWING PLACEMENT OF ALL BOULDERS, ROCK, TOP SOIL AND DECOMPOSED GRANITE LIGHTLY RAKE ALL LANDSCAPE AREAS TO RECEIVE REVEGETATION SEED MIX. INSTALL SEED MIX PER SUPPLIER SPECIFICATIONS AND INSTRUCTION. SEE PLANS FOR RECOMMENDED SUPPLIER AND SEED MIX SPECIFICATIONS.

10. CONTRACTOR SHALL PROVIDE MAINTENANCE FOR A PERIOD OF TIME REQUIRED FOR THE ESTABLISHMENT OF REVEGETATION. THE LENGTH OF THIS MAINTENANCE PERIOD WILL DEPEND ON THE PHYSICAL NATURE OF THE SITE, THE DATE OF FINAL COMPLETION AND ACCEPTANCE AND THE LANDSCAPE TYPE RESTORED. DURING THE MAINTENANCE PERIOD THE CONTRACTOR SHALL VISIT THE SITE REGULARLY TO INSURE THE APPROPRIATE AMOUNT OF WATER IS BEING DELIVERED TO PLANT MATERIAL EITHER BY AN AUTOMATIC SYSTEM OR HAND WATERING AS REQUIRED. DURING THE MAINTENANCE PERIOD INVASIVE SPECIES SHOULD BE CAREFULLY REMOVED BY HAND WITH CARE TAKEN NOT TO DISTURB EMERGING OR EXISTING PLANT MATERIAL.

11. FOLLOWING ESTABLISHMENT OF PLANT MATERIAL AND REVEGETATION SEED MIX A FINAL WALK THROUGH ON SITE SHOULD BE SCHEDULED WITH THE OWNER AND LA TO WALK THE SITE TO OFFICIALLY TERMINATE THE REQUIRED MAINTENANCE PERIOD.

AREA TO RECEIVE REVEGETATIVE
HYDROSEEDING

UPPER SONORAN DESERT MIX - SEED MIX 11 LBS/ ACRE

BOTANICAL NAME	COMMON NAME	#P. L.S.
BAILEYA MULTIRADIATA	DESERT MARI GOLD	0.5
PENSTEMON PARRYI	PARRY PENSTEMON	0.5
LARREA TRIDENTATA	CREOSOTE BUSH	3.0
AMBROSIA DUMOSA	BURROW-WEED	1.0
ATRIPLEX CANESCENS	FOURWING SALT BUSH	2.0
ERIOGONUM FASCICULATUM	ARIZONA BUCKWHEAT	1.0
ARISTIDA PURPUREA	PURPLE THREE-AWN	2.0
ENCELIA FARINOSA	BRITTLEBUSH	1.0
TOTAL		11.0

PROJECT SPECIFIC NOTES FOR REVIEWER

- NO SUPPLEMENTAL OR SURFACE IRRIGATION WILL BE USED FOR THE ESTABLISHMENT OF NATIVE HYDROSEED.
- ALL DISTURBED LANDSCAPE AREAS ARE TO HAVE GROUND SURFACES RESTORED TO A NATURAL DESERT CONDITION AS DESCRIBED IN THE REVEGETATION INSTRUCTIONS, UNLESS OTHERWISE NOTED.
- NATIVE HYDROSEED WILL BE APPLIED TO ALL LANDSCAPE AREAS ON SITE THAT HAVE BEEN DISTURBED OR DAMAGED DURING CONSTRUCTION, WHETHER THEY OCCUR WITHIN THE LIMITS OF CONSTRUCTION SHOWN ON THESE PLANS OR NOT. AREAS SHOWN TO AS BEING REVIGITATED WITH DEFINED PLANTINGS SHOULD BE EXCLUDED FROM HYDROSEED AREAS UNLESS THOSE AREAS ARE SHOWN TO ALSO RECEIVE HYDROSEEDING PER PLANS.
- CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY MATERIALS REQUIRED TO COMPLETELY REVEGETATE AREAS DISTURBED BY CONSTRUCTION, AS SHOWN ON THESE PLANS AND AS OCCURS IN THE FIELD.

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LANDSCAPE PLAN**

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V15 FROM FROM RESIDENCE LOOKING EAST



V16 FROM FROM RESIDENCE LOOKING SOUTHEAST



V17 FROM FROM RESIDENCE LOOKING SOUTH , DOWN DRIVEWAY



V18 FROM FROM RESIDENCE LOOKING SOUTHWEST



V19 FROM FROM RESIDENCE LOOKING WEST TO APEX OF NORTH CHARLES DRIVE



V20 FROM FROM RESIDENCE LOOKING NORTH WEST



V21 FROM FROM RESIDENCE LOOKING NORTH



V22 FROM FROM RESIDENCE LOOKING NORTHEAST

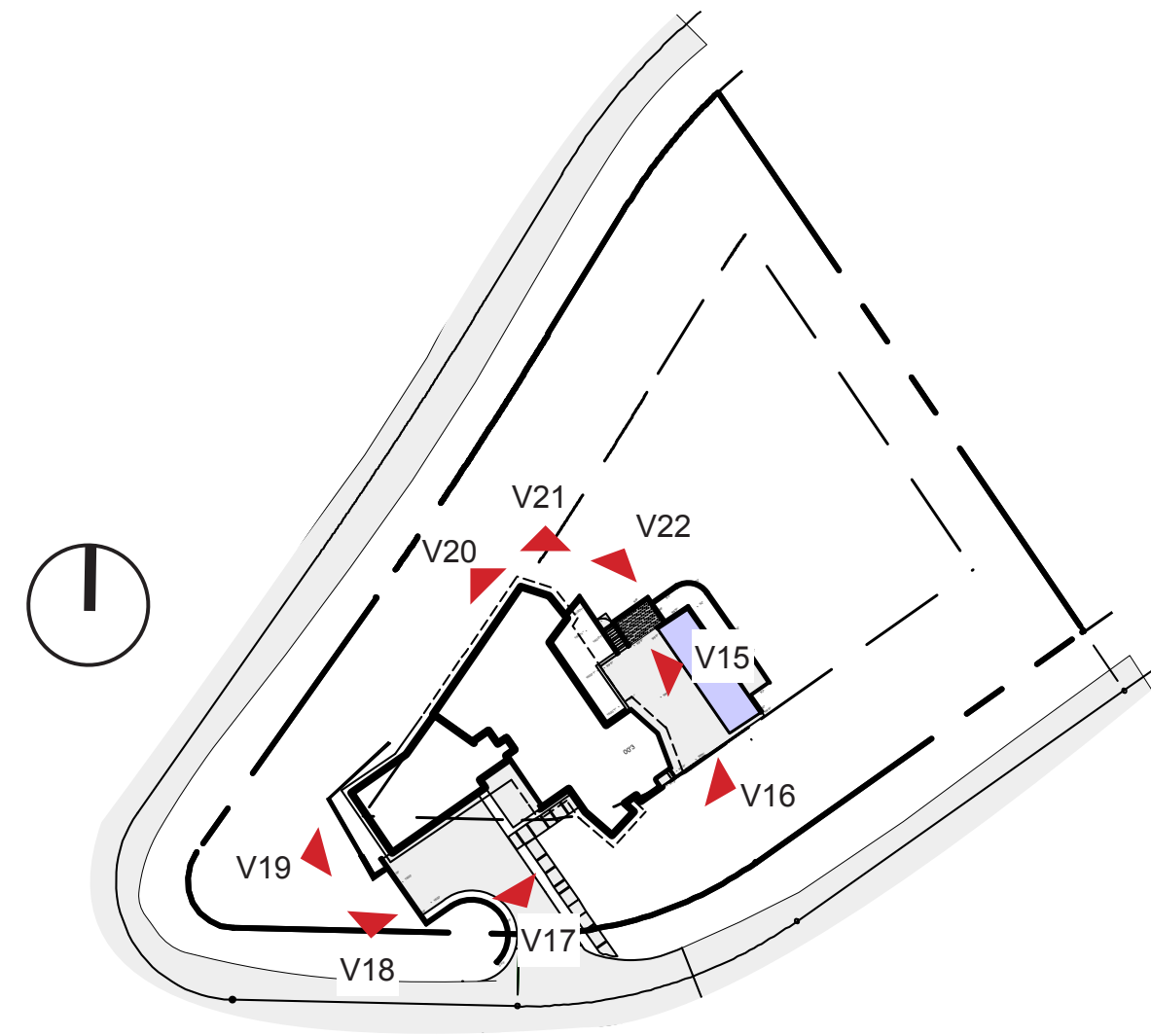


IMAGE KEY PLAN

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SITE PHOTOS LOOKING FROM SITE

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V1 VIEW OF THE RESIDENCE LOOKING NORTH FROM SOUTH MOST AND HIGHEST POINT ALONG NORTH CHARLES DRIVE



V2 AERIAL VIEW OF RESIDENCE CIRCA 1986.



V3 VIEW FROM SOUTHEAST CORNER OF LOT APPROACHING ALONG THE SOUTHERN SECTION OF NORTH CHARLES DRIVE



V4 WIDE ANGLE VIEW OF PROPERTY SEEN FROM THE SOUTHERN SECTION OF NORTH CHARLES DRIVE AT PROPERTY DRIVEWAY.



V5 VIEW OF RESIDENCE FROM SOUTHERN SECTION OF NORTH CHARLES DRIVE ADJACENT TO DRIVEWAY



V6 VIEW OF RESIDENCE FROM SOUTHERN SECTION OF NORTH CHARLES DRIVE



V7 VIEW OF RESIDENCE ENTRY FROM THE DRIVEWAY



V8 VIEW OF SOUTHEAST CORNER OF THE RESIDENCE FROM THE SOUTHERN SECTION OF NORTH CHARLES DRIVE



V9 VIEW OF THE RESIDENCE'S SOUTHWEST FACADE SEEN FROM NORTH CHARLES DRIVE



V10 WIDE ANGLE VIEW OF SOUTHWEST CORNER OF RESIDENCE LOOKING NORTH FROM NORTH CHARLES DRIVE



V11 WIDE ANGLE VIEW OF THE SOUTHWEST CORNER OF THE RESIDENCE LOOKING NORTHEAST FROM THE WESTERN MOST POINT OF THE PROPERTY ALONG NORTH CHARLES DRIVE



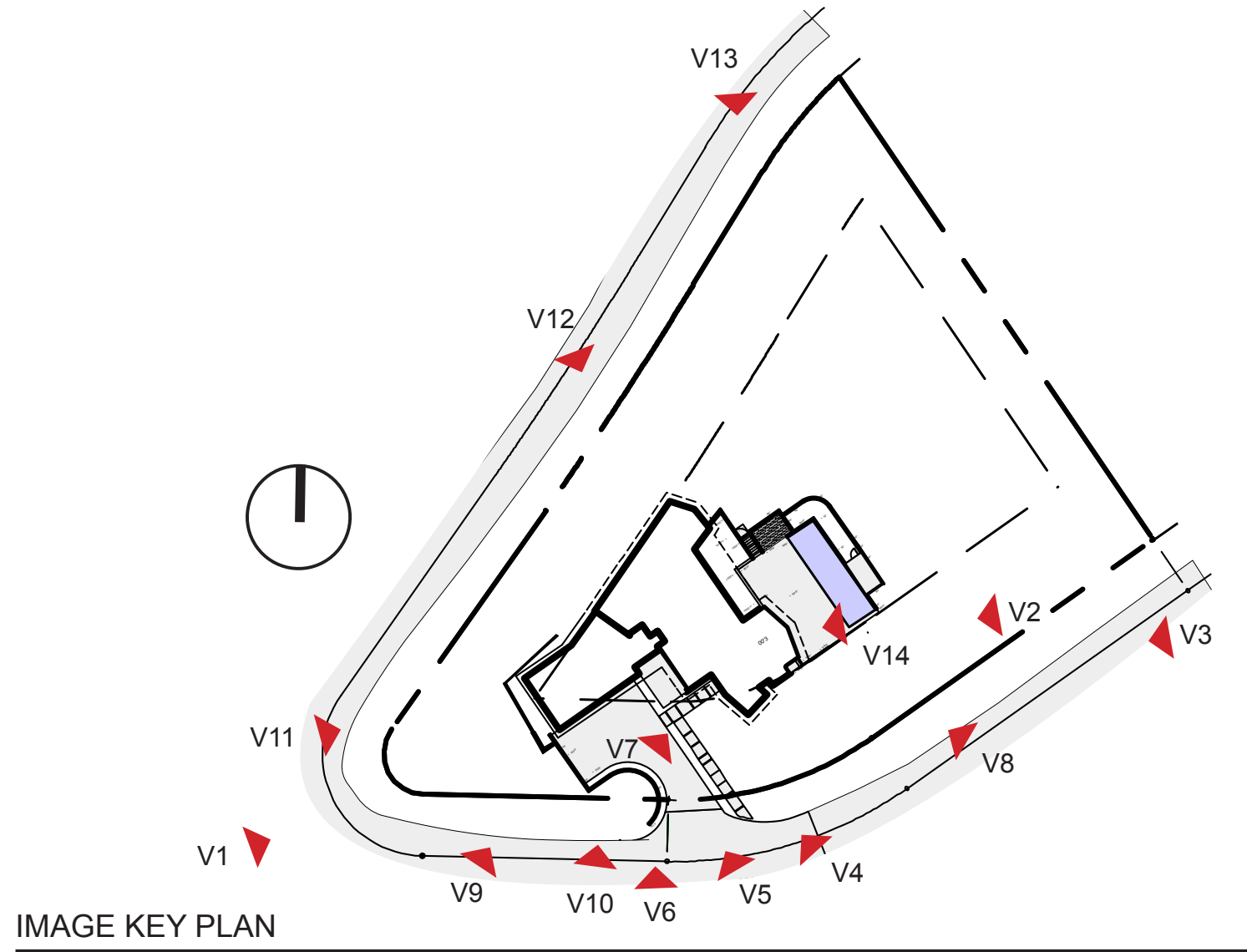
V12 VIEW OF RESIDENCE LOOKING FROM THE NORTH SECTION OF NORTH CHARLES DRIVE FROM THE MIDPOINT OF THE PARCEL'S PROPERTY LINE



V13 VIEW OF RESIDENCE LOOKING FROM THE NORTHERN SEGMENT OF NORTH CHARLES DRIVE SEEN FROM THE NORTH CORNER OF THE PROPERTY



V14 VIEW OF THE EXISTING NORTHEAST FACADE AND POOL AREA



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CHARLES DRIVE RESIDENCE

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West Elevation

1/8" = 1'-0"

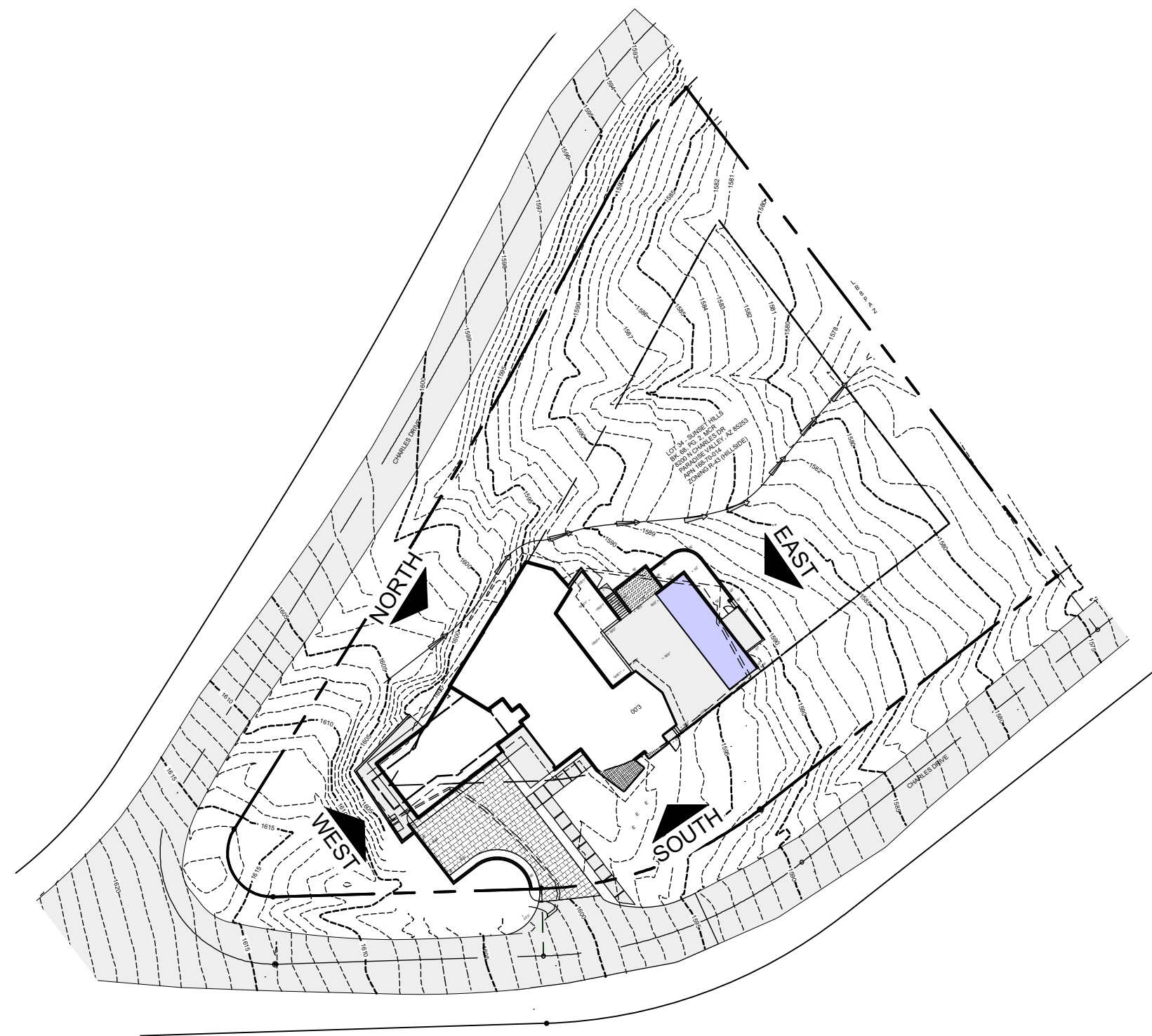


CHARLES DRIVE RESIDENCE

BIEGNER-MURFF ARCHITECTS, LLC 01.03.19

East Elevation

1/8" = 1'-0"



KEY PLAN

Scale: 1" = 50 ft

BIEGNER-MURFF ARCHITECTS

347 East Camelback Road
Phoenix, Arizona 85012
602.252.5692 tel 602.252.5693 fax

project: 8200 N. Charles Drive

8200 N. Charles Drive
Paradise Valley, AZ 85253

contents: HILLSIDE REVIEW
EAST AND WEST RENDERED
ELEVATIONS

job #: NORQUIST - 2019

revised:

date: 10.3.19

sheet No:



CHARLES DRIVE RESIDENCE

BIEGNER-MURFF ARCHITECTS, LLC 01.03.19

North Elevation

1/8" = 1'-0"



CHARLES DRIVE RESIDENCE

BIEGNER-MURFF ARCHITECTS, LLC 01.03.19

South Elevation

1/8" = 1'-0"



KEY PLAN

Scale: 1" = 50 ft

BIEGNER-MURFF ARCHITECTS

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project: 8200 N. Charles Drive

8200 N. Charles Drive
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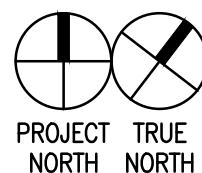
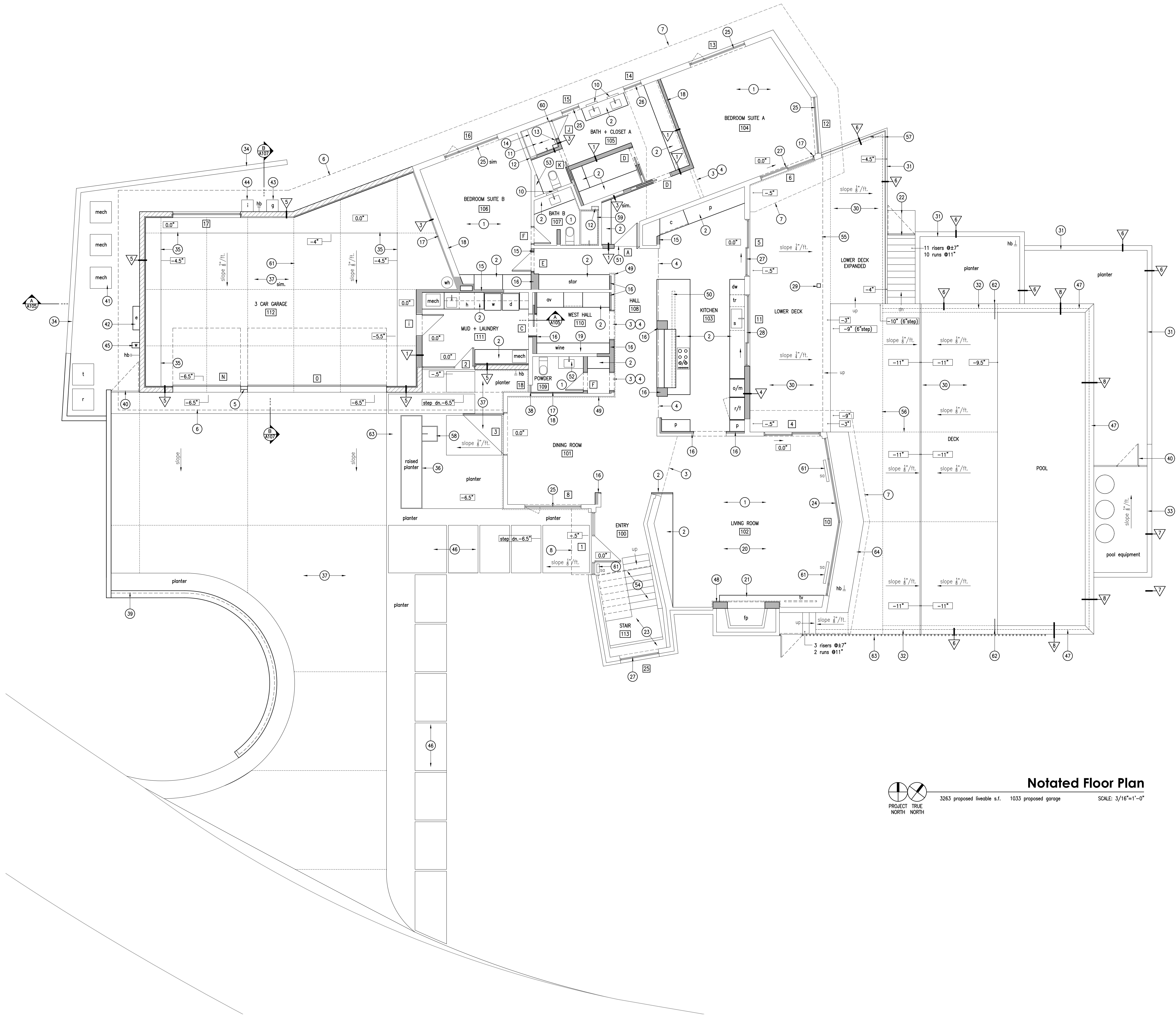
contents: HILLSIDE REVIEW
SOUTH AND NORTH RENDERED
ELEVATIONS

job #: NORQUIST - 2019

revised:

date: 10.3.19

sheet No:



3263 proposed liveable s.f. 1033 proposed garage

Notated Floor Plan

SCALE: 3/16"=1'-0"

WALL TYPE LEGEND:

- REFER TO STRUCTURAL FOR NON-BEARING PARTITION CONNECTIONS AND FRAMING NOTES FOR STUD SPACING COORDINATE SPACING WITH ARCHITECTS INTERIOR ELEVATIONS AND DETAILS. SEE DIMENSIONED FLOOR PLAN FOR MORE INFORMATION.
- a. If no wall type is shown refer to dimensioned plan for overall width.
- b. Smooth gypboard, square corner bead, level 4. Provide sample for approval.
- c. Where tile occurs:
In all wet environments: waterproof gypboard, in showers: walls to have tile on waterproofing membrane on cement board or Dens Glass and floors to have tile on waterproofing on mud on (shower pan @ floor). Confirm all conditions with architect. Refer to interior elevations for more info.
- d. Use waterproof gypboard around sinks, toilets, and showers, typ. for all wall types below.
- e. Type "X" gypboard at garage.
- f. ----- = new exterior horizontal siding (LRV 12/22).

- ▽ 2x6 wood framed wall with 8" gypboard, insulated.
- ▽ 2x4 wood framed wall with 8" gypboard, insulated.
- ▽ 2x2 furring at existing wall framed wall with 8" gypboard, insulated.
- ▽ Tooth in new masonry to match existing exterior wall.
- ▽ 4"x8"x16" wide pointed masonry wall (LRV 31) with waterproof membrane, 2x2 furring and insulation (----- where exterior horizontal siding occurs LRV 31).
- ▽ 4"x8"x16" wide pointed masonry (LRV 31) retaining wall with waterproofing and weeps (coordinate with architect).
- ▽ 4"x8"x16" wide pointed masonry (LRV 31) wall.
- ▽ 4"x8"x16" wide pointed masonry (LRV 31) at pool wall, refer to pool contractor's drawings and engineering (separate permit).

ABBREVIATIONS:

- r/f = refrigerator + freezer
dw = dishwasher
c/h = cooktop + hood
tr = undercabinet trash pull out
m/o = microwave + oven
c = coffee
p = pantry
s = kitchen sink
w+d = washer + dryer
wh = water heater
w = water service
mech = mechanical equipment
av = audio, video, IT, low voltage
tv = television
fp = fireplace
g = gas meter
hb = hose bib (confirm selection with architect)
e = electrical panels
i = irrigation controls
h = hamper
t = trash
r = recycling

LEGEND:

- NEW CONSTRUCTION
- NEW MASONRY CONSTRUCTION
- EXISTING CONSTRUCTION

GENERAL NOTES:

- A. Plan dimensions represent finished openings. Refer to interior elevations for additional dimensions.
- B. All walls and ceilings to have maximum sound insulation.
- C. Confirm all final plumbing locations in field with owners and design team.
- D. Confirm any interior blocking requirements in field with design team, refer to any product install specifications.
- E. Contractor to provide shop dwgs. as req'd, see sheet CS.
- F. Confirm all tile + slab selections, patterns, layouts and details with architect. See interior elevations.
- G. Treat any new slabs (pre-pour) for termites.
- H. Contractor to coordinate all selected and integrated appliances with millwork drawings and installation.
- I. Review/price any home water softening systems per owner's request. Confirm any equipment locations with architect.
- J. Coordinate scope and location of any equipment for and AV, IT and security scope with architect and owner's.
- K. Coordinate any future piping under patios and walkways for landscape and lighting with landscape designer.
- L. Smooth all remaining drywall at all walls and ceilings.

KEYNOTES:

1. New flooring or existing concrete refinished, see finish schedule, typ.
2. Millwork, see interior elevations.
3. Line of ceiling height change.
4. See structural for modifications to existing bearing walls.
5. Painted steel post @ garage doors.
6. Dashed line indicates new overhang.
7. Dashed line indicates existing overhang.
8. Line of steel entry canopy.
9. Garage floor steps down 4" at back and slopes 1"/ft.
10. Frame for future medicine cabinet/s and insulate.
11. New shower floor slopes to linear drain.
12. Shower niche, see interior elevations.
13. Shower controls.
14. Shower bench.
15. Framing wall to match adjacent width.
16. Frame to match dimensioned width, see A101.
17. Furr wall as required to square opening, see interior elevations.
18. Provide quiet rock or double gypboard or another form of sound abatement from adjacent noise.
19. Built in wine storage.
20. Repair and smooth drywall where beams are removed.
21. Provide allowance for new firebrick and steel surround at living room fireplace.
22. Integral colored concrete stair and gate for 5' high pool enclosure.
23. New concrete slab to match existing where indoor planter below stair was removed.
24. New window system at modified opening with new sill at finished floor and new head height.
25. New window at existing modified opening, sill lowered to finish floor. (New head height at Bedroom B).
26. New window in existing wall.
27. New door or window at existing opening.
28. New window at existing modified wall + opening.
29. New post at existing lower deck, see structural drawings.
30. New integral colored concrete sand finish pool deck @ 2 levels, thickness of concrete to vary. Field verify all heights. All edges to be 1" eased edge.
31. Painted 4x8x16 masonry retaining wall.
32. Line of painted 4x8x16 masonry retaining planter below concrete.
33. Painted 4x8x16 masonry pool equip. screen wall and concrete pad.
34. Existing retaining wall painted.
35. Garage floor to step down.
36. New 12'-0" high raised blackened steel planter with integral fountain pipe to at grade trough.
37. New integral colored concrete with sand finish at entry drive and path to laundry. Slope 1"/ft. away from house for positive drainage.
38. New frameless window with privacy glass.
39. New stone clad masonry retaining wall (6' max.).
40. New 14'-0"x5'-0" steel slab gate (and side panels at pool equip. yard) painted 1" steel plate over 1" steel tube frame with with keyed lock.
41. New mechanical equipment.
42. New electrical service.
43. New gas service.
44. Irrigation controls.
45. New water service.
46. Integral colored concrete walkway with exposed aggregate.
47. Painted masonry retaining wall at pool perimeter. Coordinate with pool engineer and sub-contractor.
48. Dashed line indicates integral colored "hopper" plaster.
49. Dashed line indicates wood wall cladding at walls.
50. Dashed line indicates cantilevered beam support at countertop.
51. Provide blocking for full height pivot door.
52. Slab surround at undermount sink w/wall mount faucet.
53. Slab ledge.
54. Refinish existing stairs and railing.
55. Line of deck above.
56. 8" wet cut joint (no tooled joints). Architect to submit screed plan for on site coordination.
57. 3'-0" high painted steel guardrail with 1" rods at 4" o.c. and 1" x 3" flat bar vertical supports and top rail.
58. Fountain.
59. Dashed line indicates full height tile at wall, horizontal reveal at top + vertical reveal where it meets gypboard.
60. Dashed line indicates full height tile at walls meeting slab jamb, head and threshold.
61. Underground supply air, see mechanical drawings.
62. Glass 3'-0" high guardrail, shop drawings required.
63. Ptd. steel 1x3's @ 4.25' o.c. in concrete footing for pool barrier fence (per Paradise Valley Pool Enclosure regulations) + self closing, self latching gates.
64. Planter at grade.

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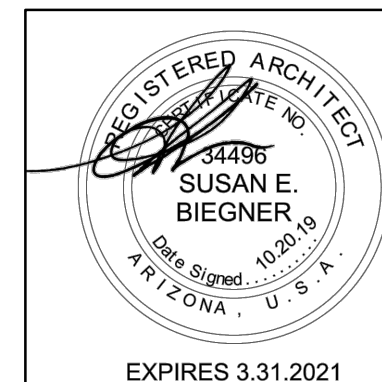
project: **8200 North Charles Drive**
Paradise Valley, Arizona 85253

contents: Notated Floor Plan

job #: 8200 North Charles Drive

date: 10.20.19

revised:



sheet No:

A102

GENERAL DEMOLITION NOTES:

- Confirm all demo with architect, owners and structural engineer in field prior to beginning.
- Confirm items to be salvaged and stored.
- Remove and/or rewire all exposed conduit and wires.
- Remove all abandoned equipment.
- Refer to engineer's drawings for more information.
- Coordinate any future sleeving under patios and walkways for landscape and lighting with landscape designer.
- Remove all security and telecommunication equipment.
- All doors and windows (and security bars + shutters) to be removed. Some heads, sills and openings will be modified to achieve proposed elevations. New lintels may be required in some locations.
- All hvac equipment, duct work and grilles to be removed.
- All exterior vertical board + batten wood siding + trim to be removed.
- All interior + exterior lighting and electrical removed.
- All wooden walkways, roofing and overspray onto vertical surfaces to be removed. Prep for new ____ roofing.
- Remove all flooring, base, trim, molding, interior doors and hardware and interior wall paneling, typ.
- Remove all building fascia and prep for new aluminum fascia.
- Confirm extent of landscape removal in field with owner and architect.
- Existing septic to be abated and removed per separate permit. Coordinate with septic sub-contractor.

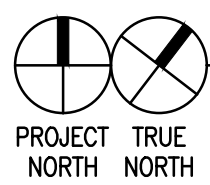
DEMOLITION KEYNOTES:

- Existing storage and mechanical pop-out removed.
- Existing built-in removed, typ.
- Existing fixtures, finishes, fittings, cabinetry and appliances (where occur) and accessories removed.
- Existing spiral stair and walkway removed.
- Finish material at deck to be removed. All railings to be removed, provide temporary guardrails for safe working conditions.
- Remove all awnings (both levels) and slots at trellis confirm if existing beams can be salvaged for new slats.
- Wood paneling at underside of overhang removed, typ.
- Existing vertical slats to be removed.
- Existing wall and openings modified for new expanded opening with existing head height and sill at floor, see plan + elevation + structural.
- Existing opening modified for new head height.
- New door or window at existing opening.
- New window at new opening.
- New window @ existing opening with sill lowered to floor.
- Remove existing fireplace and flue.
- Remove existing carpet at stair. Provide allowance to refinish treads and railings.
- Remove all drop ceilings + soffits, typ.
- Existing mechanical bulkhead at 2nd floor overhang removed, typ.
- Confirm if ceilings at north end can be raised, typ.
- Prep floor to be raised to match adjacent spaces.
- Existing false beams removed.
- Prep existing walls for new jambs, see door schedule.
- Confirm any modifications to framing for new shower for proper drainage, waterproofing and soundproofing.

LEGEND:

EXISTING REMOVED

EXISTING TO REMAIN



Second Floor Demo Plan

1622 existing s.f.

SCALE: 3/16"=1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

- Confirm blocking for window coverings, accessories, shelves, TVs, artwork etc....
- All walls and ceilings to have full sound insulation.
- Coordinate location of any equipment + wiring for any AV, security scope, IT, etc....
- Field verify alignments and locations of all mechanical supply and return grilles, lighting, smoke detectors, cable, outlets, sprinklers if occur etc.... prior to installation.
- NEC 2014 Tamper-Resistant Receptacles in Dwelling Units: In all areas specified, 125-volt, 15- and 20-ampere receptacles shall be listed as tamper-resistant receptacles.
- 3/4" sq-resistant gypboard at all lids, waterproof at all bathrooms and wet areas.
- All trim and grilles to be painted, prior to install (color/s tbd).
- 1/2" painted reglet reveals at exterior soffits.

REFLECTED CEILING PLAN KEYNOTES:

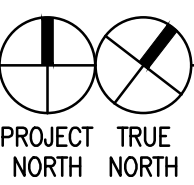
- See A103 for legend.
- Line of existing second floor overhang.
 - Line of new overhang.
 - Line of ceiling height change.
 - Provide power in vanity + medicine cabinets, coordinate with millwork shops.
 - Coordinate power with millwork shop drawings, typ.
 - Smooth integral colored stucco over DensGlass with perimeter reveal, typ.
 - To 3 way switch at stair.
 - Existing upper deck trellis.
 - New steel canopy at entry below.



Second Floor Reflected Ceiling Plan

*SEE A103 FOR LEGEND

SCALE: 3/16"=1'-0"

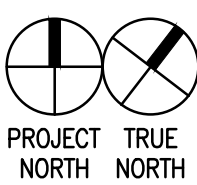


Second Floor Notated Plan

1622 s.f.

SCALE: 3/16"=1'-0"

PLAN DIMENSIONS REPRESENT FINISHED OPENINGS.
REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL DIMENSIONS.



Second Floor Dimensioned Plan

SCALE: 3/16"=1'-0"

GENERAL FLOOR PLAN NOTES:

- Plan dimensions represent finished openings. Refer to interior elevations for additional dimensions.
- All walls and ceilings to have maximum sound insulation.
- Confirm all final plumbing locations in field with owners and design team.
- Confirm any interior blocking requirements in field with design team, refer to any product install specifications.
- Contractor to provide shop depts. as req'd, see sheet CS.
- Confirm all tile + slab selections, patterns, layouts and details with architect. See interior elevations.
- Treat any new slabs (pre-pour) for termites.
- Contractor to coordinate all selected and integrated appliances with millwork drawings and installation.
- Review/price any home water softening systems per owner's request. Confirm any equipment locations with architect.
- Coordinate scope and location of any equipment for and AV, IT and security scope with architect and owner's.
- Coordinate any future piping under patios and walkways for landscape and lighting with landscape designer.
- Smooth all remaining drywall at walls/ceilings, level 4.

FLOOR PLAN KEYNOTES:

- Build up lower floor to match adjacent spaces. New flooring at all areas, see finish schedule.
- Millwork, see interior elevations.
- New light weight concrete at existing deck.
- Repair and smooth drywall at ceiling where beams are removed.
- Line of ceiling height change.
- Refinish existing stairs and railing.
- Dashed line indicates existing overhang.
- Upper deck existing trellis.
- Prep wall as required for new waterproofing + sheathing where mechanical room was removed, new siding.
- Frame for future medicine cabinet/s and insulate.
- Shower floor slopes to center square drain.
- Shower niche, see interior elevations.
- Shower bench, see interior elevations.
- Shower controls.
- New smooth stucco on densglass with 1/2" reveal at building face.
- Frame to match adjacent wall thickness. Sheath, insulate and waterproof as required.
- New window at existing opening with raised head height.
- New window at existing opening.
- New window at existing opening with sill lowered to floor.
- New door or window at existing expanded opening.
- New window at new opening, match adjacent opening.
- Provide quiet rock or double gypboard another form of sound abatement from adjacent noise.
- Confirm if existing fireplace surround can be reworked or removed completely.
- 3'-0" high painted steel guardrail with 1/2" rods at 4" o.c. and 1/2" x 3" flat bar vertical supports and top rail.
- Dashed line indicates wood wall cladding at walls.
- Dashed line indicates new full height tile flush with adjacent gypboard with vertical reveal between. Slab surround at curb below.
- Dashed line indicates new full height tile flush with adjacent gypboard with vertical reveal between. Slab surround at curb below.

WALL TYPE LEGEND: Wall type number

REFER TO STRUCTURAL FOR NON-BEARING PARTITION CONNECTIONS AND FRAMING NOTES FOR STUD SPACING COORDINATE SPACING WITH ARCHITECTS INTERIOR ELEVATIONS AND DETAILS. SEE DIMENSIONED FLOOR PLAN FOR MORE INFORMATION.

- If no wall type is shown refer to dimensioned plan for overall width.
- Smooth gypboard, square corner bead, level 4. Provide sample for approval.
- Where tile occurs: In all wet environments: waterproof gypboard, in showers: walls to have tile on waterproofing membrane on cement board or Dens Glass and floors to have tile on waterproofing on mud on (shower pan @ floor). Confirm all conditions with architect. Refer to interior elevations for more info.
- Use waterproof gypboard around sinks, toilets, and showers, typ. for all wall types below.
- exterior vertical wall cladding.

2x6 wood framed wall with 1/2" gypboard, insulated.

2x4 wood framed wall with 1/2" gypboard, insulated.

2x4 wood framed wall with waterproof gypboard, waterproof membrane and tile at shower side

2x wood framed wall with sheathing, and waterproof membrane, gypboard, insulated. Match existing wall width.

LEGEND:

NEW CONSTRUCTION

NEW MASONRY CONSTRUCTION

EXISTING CONSTRUCTION

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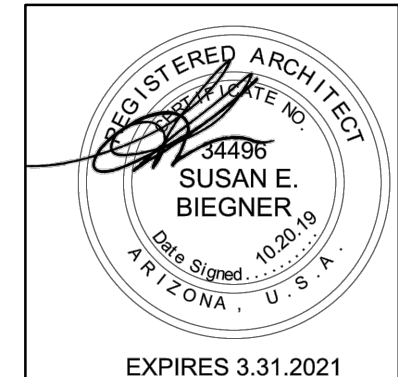
project: **8200 North Charles Drive**
Paradise Valley, Arizona 85253

contents: Second Floor Plans

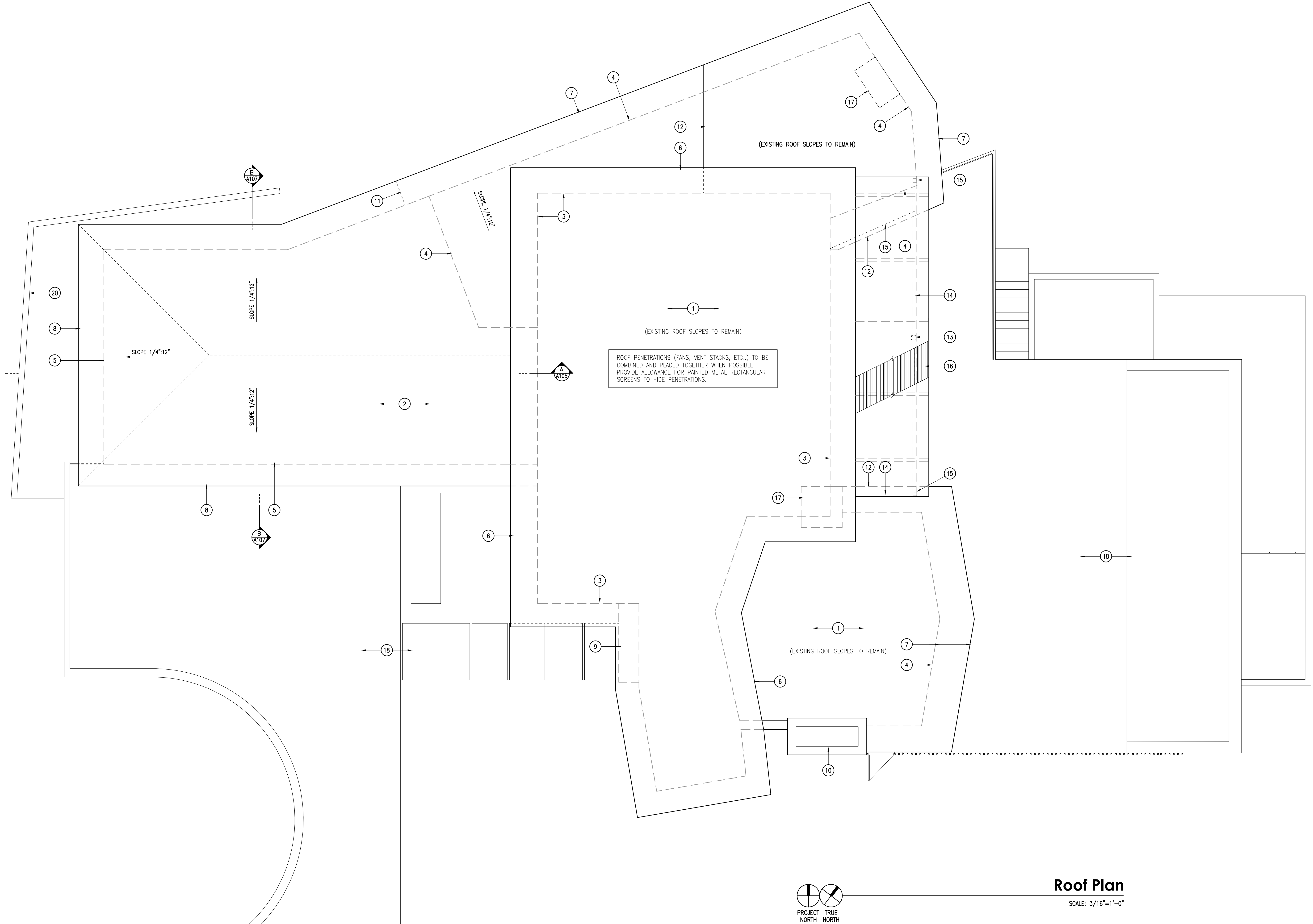
job #: 8200 North Charles Drive

date: 10.20.19

revised:

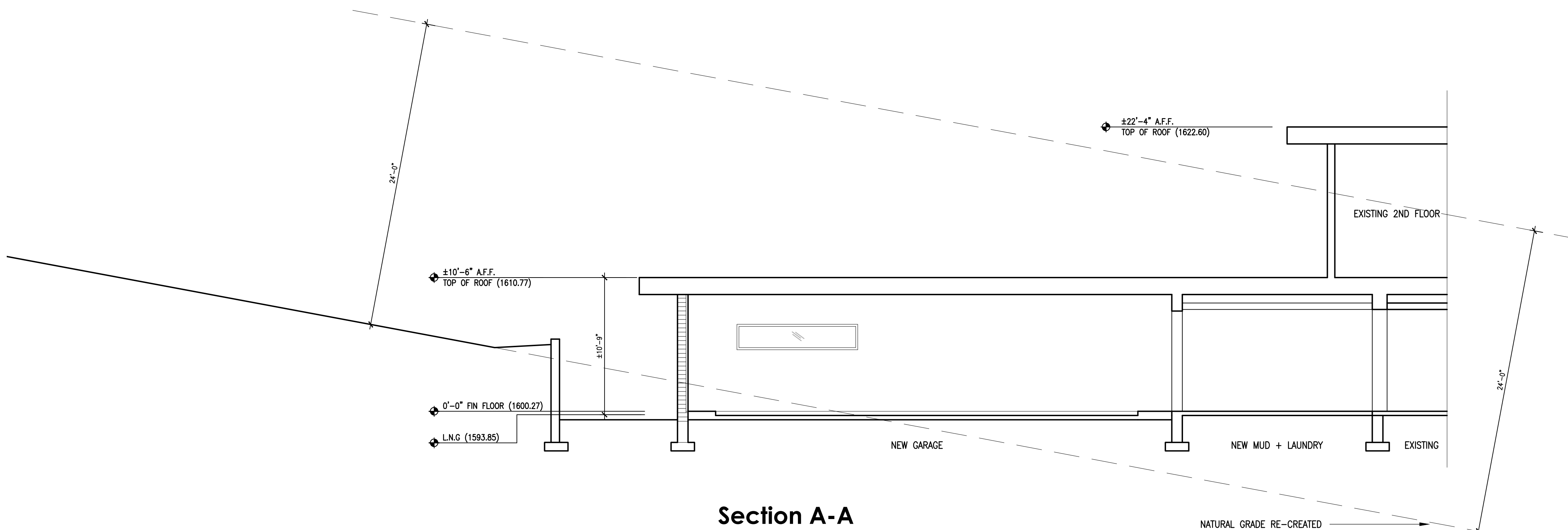


sheet No: **A104**



Roof Plan

SCALE: 3/16"=1'-0"



Section A-A

SCALE: 3/16"=1'-0"

- GENERAL ROOF PLAN NOTES:**
- A. Patch and repair all existing roof leaks.
 - B. Open cell spray foam sprayed directly to underside of roof deck shall achieve minimum thermal rating or R-20. Product applied shall be Icynene Classic Max (ESR-1826) or equivalent.
 - C. Contractor to confirm all roof slopes + transitions prior to ordering materials. Provide positive drainage, typ.
 - D. Waterproof hi-flex epdm membrane with EWR flashing (fr-40) at all transitions over hi-flex epdm ba-90 bonding adhesive. (Metal counterflashing + Lexcom termination bars where required). Ballast (pea-gravel) on new garage area.
- ROOF PLAN KEYNOTES:**
- 1. New membrane roof at existing roof framing and sheathing, see general notes above.
 - 2. New membrane roof with pea gravel at proposed roof framing and sheathing, see general notes above.
 - 3. Line of second story of building below.
 - 4. Line of first story of existing building below.
 - 5. Line of garage addition below.
 - 6. New dark anodized aluminum fascia at overhang at existing second story.
 - 7. New dark anodized aluminum fascia at overhang at existing first floor.
 - 8. New dark anodized aluminum fascia at new overhang at new garage addition.
 - 9. Line of steel entry canopy below.
 - 10. Existing fireplace.
 - 11. Line where existing roof meets new roof, see structural.
 - 12. Line where existing roofs step up.
 - 13. New support post below, see structural.
 - 14. New steel guard railing at existing deck.
 - 15. Existing trellis post.
 - 16. Existing trellis.
 - 17. Re-frame roof as required where existing fireplace chimney stack is removed.
 - 18. Hardscape below (not all indicated).

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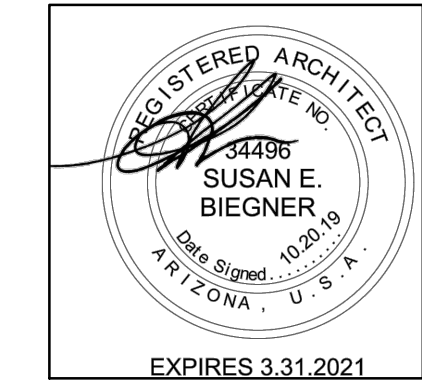
project: **8200 North Charles Drive**
Paradise Valley, Arizona 85253

contents: Roof, Section, Pool + Deck Isometrics

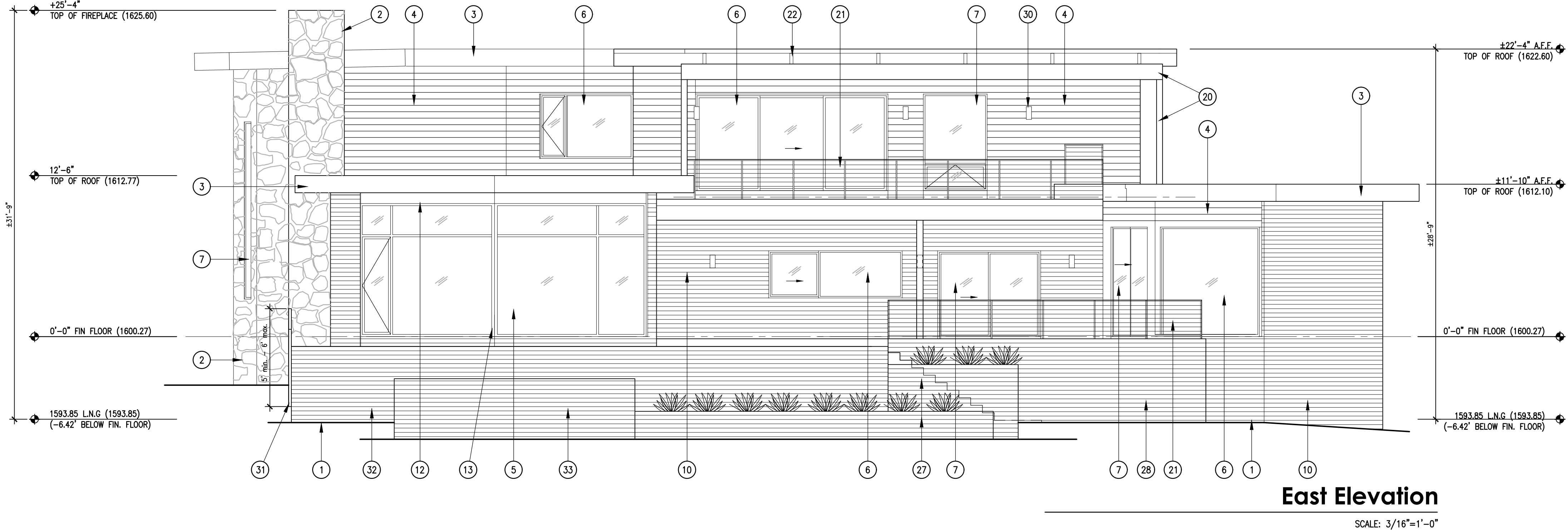
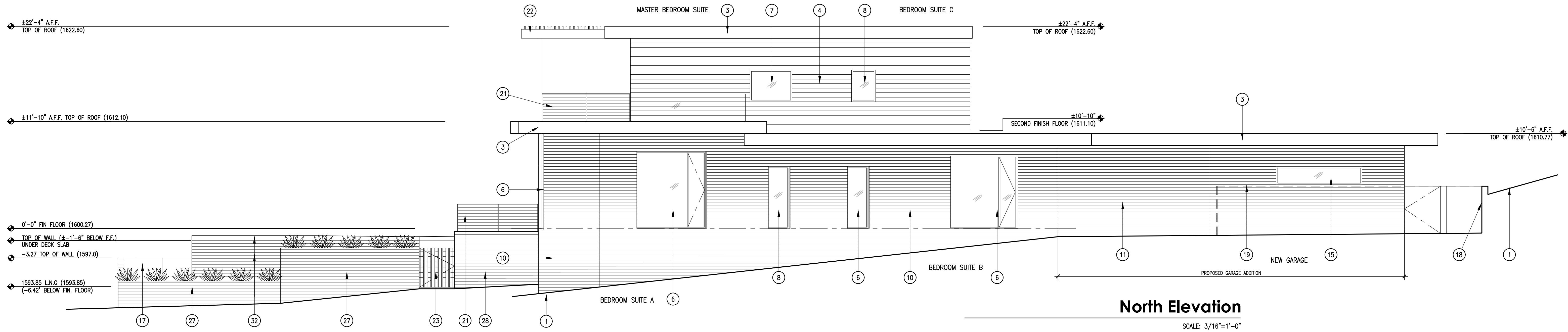
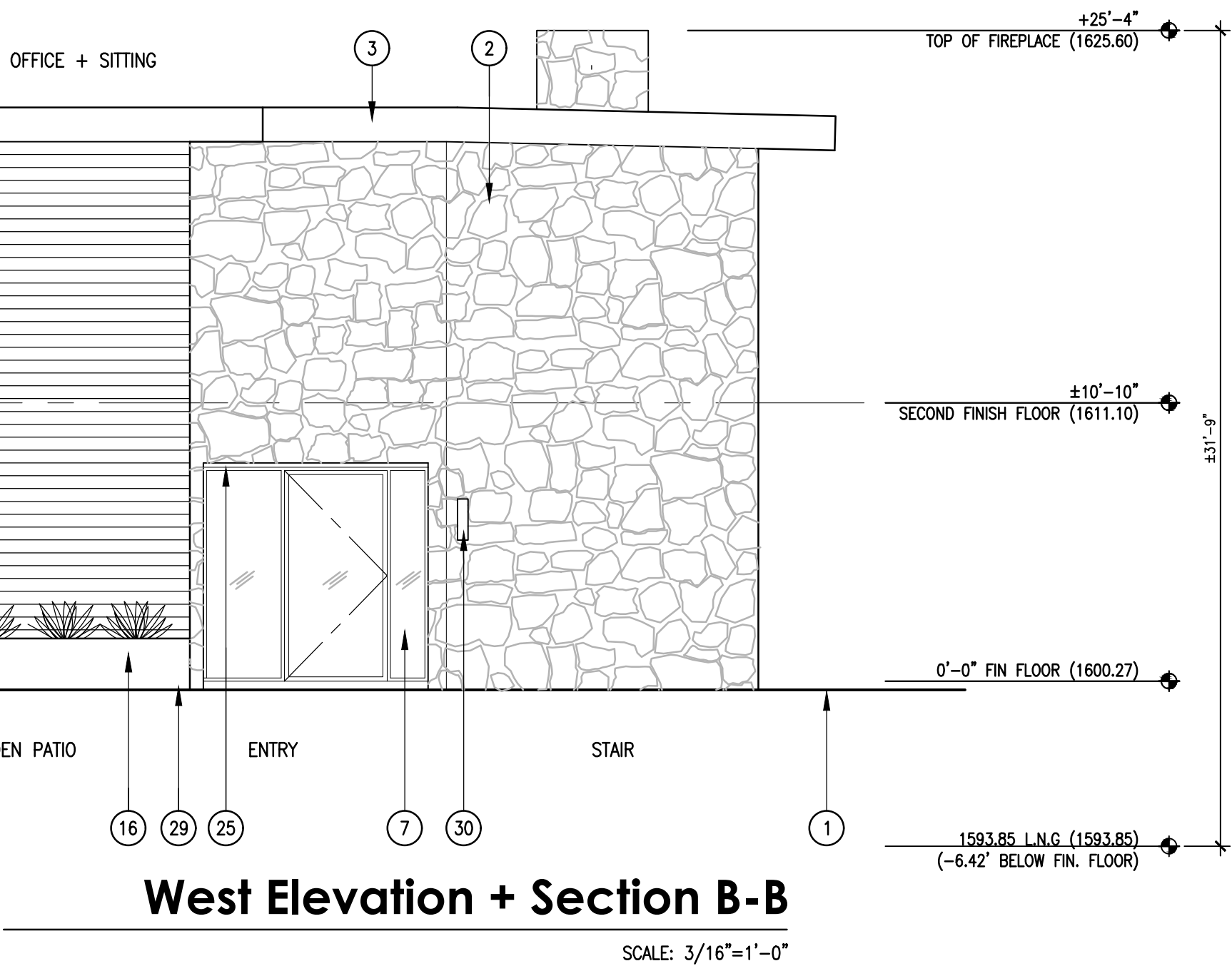
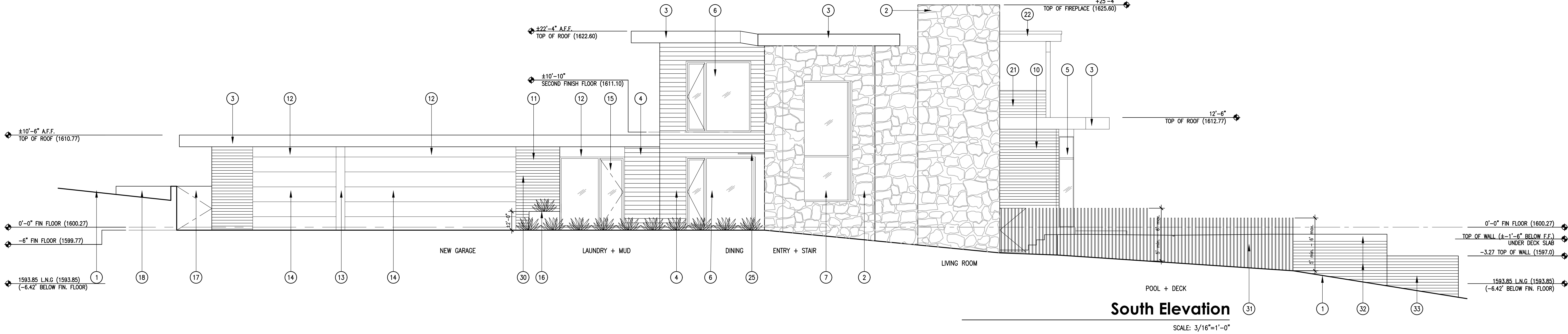
job #: 8200 North Charles Drive

date: 10.20.19

revised:



sheet No: **A105**



- GENERAL ELEVATION NOTES:**
- A. Slope grading, landings and driveway away from building to achieve positive drainage.
 - B. All sills and thresholds to slope away from house, typ.
 - C. Provide minimum R38 insulation at roof framing and min R19 at walls, typ., see wall schedules.
 - D. Refer to door and window schedule and plan for location of operable units.
 - E. Insulation not shown typ, see CS for min. insulation requirements. See interior elevations for more info on base, trim, millwork, etc..
 - F. Provide shop drawings for approval of all seams in fascias and planters.
 - G. See general notes on sheet CS for more information.
 - H. See roof plan and structural for more information.
 - I. Provide on site samples of fascia + metal siding.
 - J. All sills and thresholds to slope away from house, typ.

- ELEVATION KEYNOTES:**
- 1. Finished grade.
 - 2. Existing stone veneer.
 - 3. New dark anodized aluminum fascia @ existing + new overhangs.
 - 4. New horizontal wood siding.
 - 5. New dark anodized window system at modified opening with new sill at finished floor and new head height.
 - 6. New dark anodized window at existing modified opening.
 - 7. New dark anodized door/window at existing opening.
 - 8. New opening + dark anodized window at existing wall.
 - 9. New dark anodized door at existing modified opening with new head height.
 - 10. Existing painted masonry (tooth in new masonry as required).
 - 11. New painted masonry wall to match exist., see wall types.
 - 12. Painted steel lintel.
 - 13. Painted steel post.
 - 14. Painted aluminum garage doors, see door schedule.
 - 15. New dark anodized door/window at new addition.
 - 16. New blackened steel raised planter.
 - 17. Gate (and side panels at pool equip. yard) painted 1/2" steel plate over 1" steel tube frame with with keyed lock.
 - 18. Existing masonry retaining wall modified and painted.
 - 19. Dash line indicates existing retaining wall.
 - 20. Beam and posts at upper deck.
 - 21. 3'-0" high painted steel guardrail with 1/2" rods at 4' o.c. and vertical supports at ±4'-0".
 - 22. Existing trellis patched and repaired.
 - 23. New sand finished, integral colored concrete stair and painted steel pool barrier gate to match pool fence.
 - 24. Step up at garage.
 - 25. Painted steel canopy at entry door.
 - 26. Interior door, see door schedule A110.
 - 27. New raised, painted masonry retaining planter. Confirm all waterproofing and weeps with architect.
 - 28. Painted masonry retaining wall for expanded deck at ground floor. Confirm all waterproofing and weeps with architect. Set top of wall below deck slab. Slab to vary in thickness for positive drainage. Review all conditions in field.
 - 29. Planter at grade.
 - 30. Wall mount light, verify final location in field.
 - 31. Pld. steel 1x3's @ 4.25' o.c. in concrete footing for pool barrier fence (per Paradise Valley Pool Enclosure regulations) + self closing, self latching gates.
 - 32. New pld. masonry retaining wall for pool and deck. Confirm all waterproofing and weeps with architect. Set top of wall below deck slab. Slab to vary in thickness for positive drainage. Review all conditions in field.
 - 33. New pld. masonry pool equipment and screen walls.

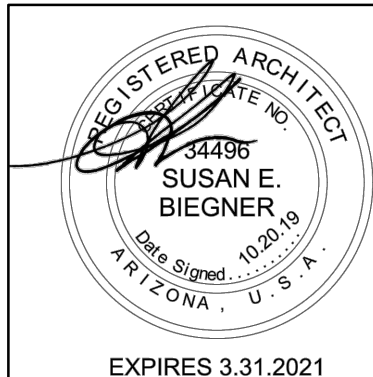
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project: **8200 North Charles Drive**
Paradise Valley, Arizona 85253

contents: Proposed Elevations
job #: 8200 North Charles Drive
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