



PURSUANT TO A.R.S. § 9-463.01 (c), AND SECTIONS 6-4 (E) (J), 8-7-1 (E), SET PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING ST THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF T PLANTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONST SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY S SUCH EASEMENTS AT ALL TIMES.

1. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
2. THIS SUBDIVISION WILL BE DEVELOPED IN FULL COMPLIANCE WITH THE R-43 PARADISE VALLEY ZONING DISTRICT AND OTHER APPLICABLE CODES AND ORDINANCES.
3. THE ELEVATION OF ANY PAD FOR A BUILDING OR STRUCTURE WITHIN THE BASE FLOOD LIMITS OF AN AREA OF SPECIAL HAZARD MUST BE IN ACCORDANCE WITH CURRENT PARADISE VALLEY FLOOD REGULATIONS
4. CC&R'S AS RECORDED IN MCR BOOK 57 PAGE 1, BOOK 376 PAGE 28, DOCKET 1180 PAGE 129, DOCKET 1191 PAGE 13, DOCKET 1344 PAGE 390 AND RECORDING 89-526840. NO NEW CC&R'S FOR THIS PLAT.
5. NO POWER POLES ON SITE.
6. NO FENCES OR SIGNS ARE PROPOSED WITH THIS PLAT.
7. THE OWNER OF LOT 2 SHALL INSTALL A FIRE HYDRANT IN EITHER TRACT A, TRACT B OR THE ADJOINING TOWN RIGHT-OF-WAY PER THE TOWN OF PARADISE VALLEY STANDARDS PRIOR TO FINAL BUILDING INSPECTION OR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR LOT 2.
8. THE OWNER OF LOT 2 SHALL OWN AND MAINTAIN TRACT 'B'.
9. TRACT A IS A PRIVATE ROADWAY AND CONTAINS AN EASEMENT FOR PUBLIC AND PRIVATE UTILITIES SUCH AS WATER AND SEWER LINES, NATURAL GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, DRAINAGE, REFUSE COLLECTION AND EMERGENCY, AND SIMILAR SERVICE TYPE VEHICLES.

CULLUM HOMES, INC.
8408 E SHEA BLVD, #D-100
SCOTTSDALE, AZ 85260
(480) 949-2700

A.P.N. 169-03-078
EXISTING ZONING R-43
NUMBER OF LOTS 2
GROSS AREA 120532.79 SF 2.767 ACRES
NET AREA 120532.79 SF 2.767 ACRES

B.S.B.	BUILDING SETBACK
P.U.E.	PUBLIC UTILITIES EASEMENT
MCR	MARICOPA COUNTY RECORDER
D.E.	DRAINAGE EASEMENT
(C)	CALCULATED VALUE
(R)	RECORDED VALUE MCR BOOK 376 PAGE 28
(M)	MEASURED VALUE
ROW	RIGHT-OF-WAY
DE	DRAINAGE EASEMENT
VE	VISIBILITY EASEMENT
DKT	DOCKET
○	REBAR WITH CAP
	RPLS # 50988 TO BE SET
●	FOUND 5/8"Ø STEEL PIN
●	FOUND 1/2"Ø REBAR
◎	FOUND COTTON PICKER SPINDLE
◎	FOUND IRON PIPE ADD TAG 50988
△	FOUND 3" BRASS CAP

_____ PARENT PARCEL BOUNDARY
 _____ LOT BOUNDARY
 — — — — PUBLIC UTILITY EASEMENT
 - - - - - DRAINAGE EASEMENT
 5' LANDSCAPE BUFFER

LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF MAPS, PAGE 28,
RECORDS OF MARICOPA COUNTY, ARIZONA.

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF PHOENIX SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

WATER	CITY OF PHOENIX
SANITARY SEWER	TOWN OF PARADISE VALLEY/SEPTIC
ELECTRIC	ARIZONA PUBLIC SERVICE
TELEPHONE	CENTURYLINK, COX COMMUNICATIONS
NATURAL GAS	SOUTHWEST GAS
CABLE TV	CENTURYLINK, COX COMMUNICATIONS

STATE OF ARIZONA)
COUNTY OF MARICOPA) SS

KNOW ALL MEN BY THESE PRESENTS:

CULLUM HOMES INC., AN ARIZONA CORPORATION, AS LEGAL OWNER OF SAID REAL PROPERTY, HAS SUBDIVIDED UNDER THE NAME OF "LAVITT MANOR II", A SUBDIVISION OF LOT 1, LAVITT MANOR ACCORDING TO BOOK 376 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA SITUATED IN SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS PLAT AND HEREBY DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS LOT PLAT, AND HEREBY DEDICATES AND GRANTS TO THE TOWN OF PARADISE VALLEY THE STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAT AND INCLUDED IN THE ABOVE-DESCRIBED PREMISES. EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN.

IN WITNESS WHEREOF:

CULLUM HOMES INC., AS OWNERS, HAVE HEREUNTO AFFIXED THEIR SIGNATURE THIS ____DAY OF _____, 2019,

CULLUM HOMES INC.

[illegible]

BEFORE ME THIS _____ DAY OF _____, 2019, THE FOLLOWING PERSONS
 APPEARED BEFORE, THE UNDERSIGNED NOTARY PUBLIC, _____, WHO
 ACKNOWLEDGED (A) THEMSELVES TO BE AN OFFICER OF CULLUM HOMES, INC., AND ACKNOWLEDGED
 (B) THEMSELVES TO BE THE LEGAL OWNERS OF THE PROPERTY PLATTED HEREON; AND AND
 ACKNOWLEDGED (B) THAT THEY, AS LEGAL OWNERS, EXECUTED THIS INSTRUMENT FOR THE PURPOSES
 HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

TITLE REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO.
Z1826800-001-KJV-JAG

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA THIS _____ DAY OF _____ 2019,

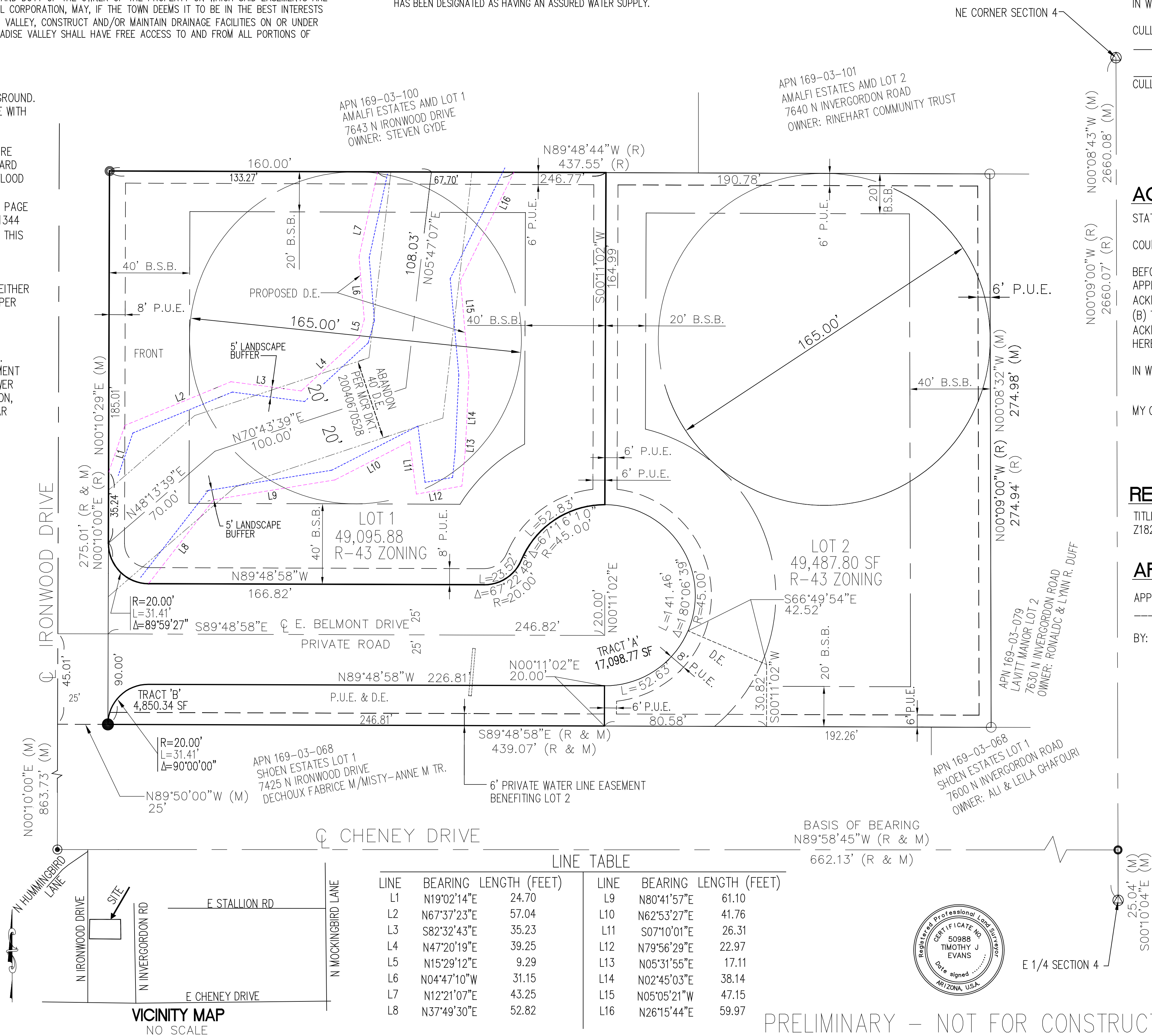
BY: _____ ATTEST: _____
MAYOR DATE TOWN CLERK DATE

TOWN ENGINEER _____ DATE _____ PLANNING DIRECTOR _____ DATE _____

THE CENTER LINE OF CHENEY DRIVE AS RECORDED
IN MCR BOOK 376 OF MAPS, PAGE 28, HAVING A
BEARING OF NORTH 89 DEGREES 58 MINUTES 45
SECONDS WEST.

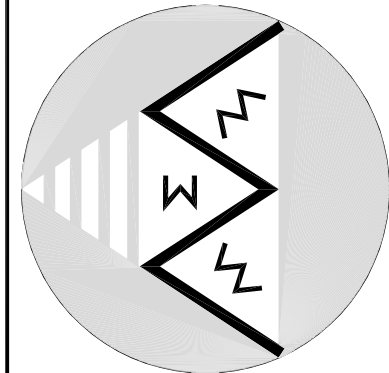
I, TIMOTHY J EVANS, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ARIZONA, THAT THIS MAP, CONSISTING OF ONE (1) SHEET, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF JULY, 2018, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT ALL MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN, THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

BY
TIMOTHY J EVANS
REGISTRATION NUMBER 50988
2185 S. BANNING ST.
GILBERT, ARIZONA 85295
(480) 244-5036
EMAIL: TIMEVANS@EVANS-PRO.COM



PRELIMINARY – NOT FOR CONSTRUCTION OR RECORDING

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.



LAVITT MANOR II

A REPLAT OF LAVITT

7525 N IRONWOOD DR
PARADISE VALLEY, AZ

DRAWN BY: KM	DATE: 8-21-19
--------------	---------------

CHECKED BY:	DRM	PROJECT NO:	18029
		SCALE:	AS NOTED

AS NOTED
SCALE: F.

REPLAT

DRAWING NO

1

1. All work under the encroachment permits shall be done, at minimum, in accordance with latest revision of the Maricopa Association of Governments Uniform Standard Specification and Details (MAG Specification and Details), Town of Paradise Valley Supplement to the MAG Specification and Details, and Manual of Uniform Traffic Control Devices.

3. The Town of Paradise Valley shall be notified 24 hours prior to starting the different phases of construction for scheduling inspections.

5. No paving construction shall be started until all underground utilities within the roadway are completed.

7. Gutters shall be water tested in the presence of the Town Engineering Department to insure proper drainage prior to final approval by the Town Engineering Department.

9. The contractor shall uncover all existing lines being tied into to verify their locations. The contractor shall locate or have located all existing underground pipelines, telephone and electric conduits, and structures in advance of construction and will observe all possible precautions to avoid damage to same. Call Blue Stake at 1-800-STAKE-IT.

11. Earthwork shall be performed according to MAG Standards and any Geotechnical reports done for the property.

1. ON-LOT RETENTION FOR EACH LOT WILL BE REQUIRED AT TIME OF LOT DEVELOPMENT PER PARADISE VALLEY REQUIREMENTS.
2. LOTS 3 AND 4 AND TRACTS 1 AND 2 SHALL PROVIDE RETENTION FOR INCREASED RUNOFF FROM STREET IMPERVIOUS SURFACES PER THE RETENTION TABLE THIS DRAWING. RETENTION AT LOTS 3 AND 4 MAY BE RELOCATED IF APPROVED BY THE TOWN OF PARADISE VALLEY.
3. LOT OWNERS WILL BE REQUIRED TO PASS UPSTREAM HISTORIC RUNOFF ACROSS THEIR PROPERTY.
4. LOTS 2, 3, AND 4 MAY REQUIRE A SEWER LIFT PUMP.
5. EACH LOT OWNER SHALL PROVIDE CUSTOM GRADING PLANS WITH FINISH FLOORS ESTABLISHED AT THAT TIME.
6. LOT 1 PROPERTY OWNER SHALL OWN TRACT 1 AND IS RESPONSIBLE FOR TRACT 1 MAINTENANCE AND REPAIR.
LOT 2 PROPERTY OWNER SHALL OWN TRACT 2 AND IS RESPONSIBLE FOR TRACT 2 MAINTENANCE AND REPAIR.
7. WATER SYSTEM MAY NOT HAVE ADEQUATE FIRE OR DOMESTIC PRESSURE, INDIVIDUAL LOT OWNERS SHALL PROVIDE ANY REQUIRED BOOSTER PUMPS AND STORAGE SYSTEMS AS REQUIRED BY PARADISE VALLEY AT TIME OF HOUSE PERMIT.
8. NO RUNOFF WILL BE ALLOWED TO ENTER THE BERNEIL CHANNEL FROM THIS SITE.
9. RETENTION BASINS MAY OVERFLOW INTO BERNEIL CHANNEL.



WATER
SANITARY SEWER
ELECTRIC
TELEPHONE
NATURAL GAS
CABLE TV

CITY OF PHOENIX
TOWN OF PARADISE VALLEY/SEPTIC
ARIZONA PUBLIC SERVICE
CENTURYLINK, COX COMMUNICATIONS
SOUTHWEST GAS
CENTURYLINK, COX COMMUNICATIONS



CULLUM HOMES, INC.
8408 E SHEA BLVD, #D-100
SCOTTSDALE, AZ 85260
(480) 949-2700

ZONING _____ R-43
 LOT AREA _____ 120532.79 SF 2.767 ACRES
 _____ 120532.79 SF 2.767 ACRES
 A.P.N. _____ 176-11-281 PARENT LOT

LOTS SHALL PROVIDE RUNOFF RETENTION AT THE TIME OF DEVELOPMENT PER PARADISE VALLEY'S STORM DRAINAGE MANUAL IN EFFECT AT THAT TIME, RETENTION SHOWN IS FOR TRACTS AND STREET PAVING ONLY, VOLUME DOES NOT COUNT TOWARD FUTURE LOT DEVELOPMENT.

SHEET C1 PAVING, GRADING & DRAINAGE COVER
SHEET C2 PAVING, GRADING & DRAINAGE
SHEET C3 SECTIONS & DETAILS
SHEET C4 WASH EXHIBIT

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS
AS SHOWN OR AS NOTED HEREON WERE MADE UNDER
MY SUPERVISION AND ARE CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

REGISTRATION NUMBER

BY: TOWN ENGINEER,
TOWN OF PARADISE VALLEY

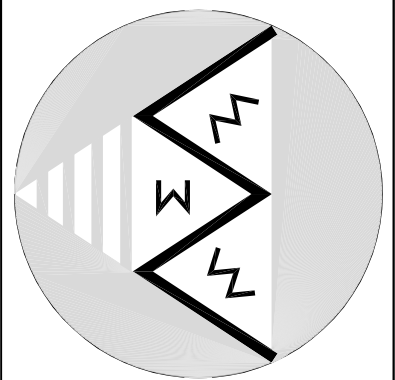
1/2" REBAR AT INTERSECTION OF INVERGODON
ROAD AND CHENEY DRIVE
ELEVATION: 1372.241 (NAVD '88)
GDAC # 22515-T1



SUBMITTED BY:
DAVID R MONTGOMERY
REGISTERED CIVIL ENGINEER

NO.	DATE	DESCRIPTION	BY
4	7-23-19	REVISE SECTIONS	DRM
3	5-6-19	REVISE LOT 1 BSG	DRM
2	1-24-19	P.V. REDLINES	DRM

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.
16716 E. PARKVIEW AVE. SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com



LAVITT MANOR II

REPLAT

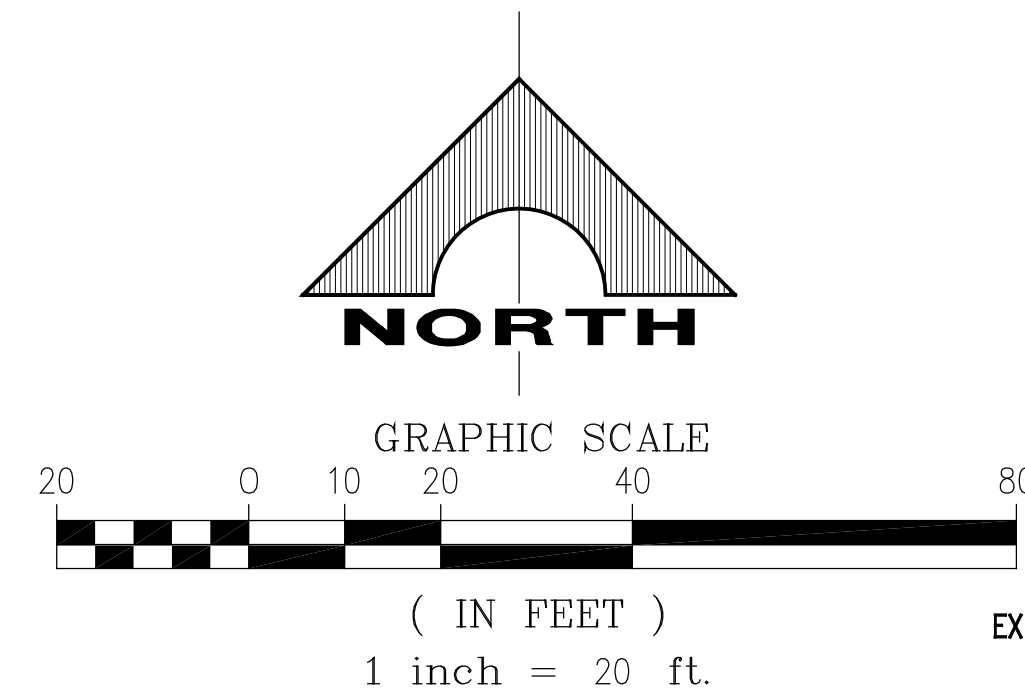
7525 N IRONWOOD DR
PARADISE VALLEY, AZ

DRAWN BY: KM	DATE: 7-23-19
CHECKED BY: DRM	PROJECT NO: 18029
	SCALE: AS NOTED

PAVING, GRADING & DRAINAGE
COVER

DRAWING NO:

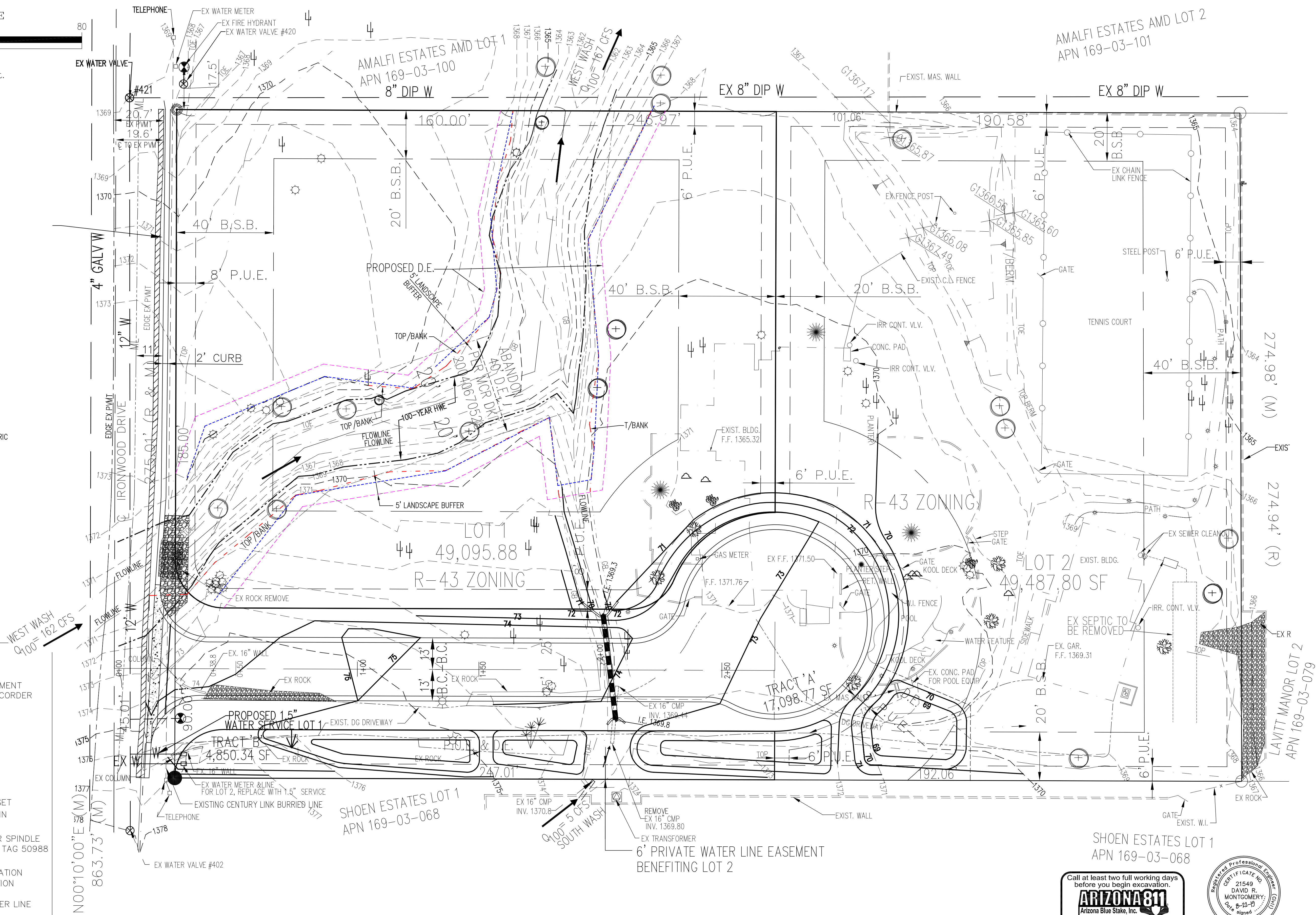
C1of4



PAVING GRADING DRAINAGE LAVITT MANOR II

SET ON 4" SAND OVER FABRIC FILTER
AASHTO M288 CLASS II NON-WOVEN FILTER FABRIC
INSTALL PER MFG'S INSTRUCTIONS

- LEGEND**
- B.S.B. BUILDING SETBACK
 - P.U.E. PUBLIC UTILITIES EASEMENT
 - MCR MARICOPA COUNTY RECORDER
 - (C) CALCULATED VALUE
 - D.E. DRAINAGE EASEMENT
 - EX EXISTING
 - (R) RECORDED VALUE
 - (M) MEASURED VALUE
 - ROW RIGHT-OF-WAY
 - DE DRAINAGE EASEMENT
 - VE VISIBILITY EASEMENT
 - REBAR WITH CAP
 - RPLS # 50988 TO BE SET
 - FOUND 5/8" STEEL PIN
 - FOUND 1/2" REBAR
 - FOUND COTTON PICKER SPINDLE
 - FOUND IRON PIPE ADD TAG 50988
 - FOUND 3" BRASS CAP
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - TOP OF BANK
 - 100-YEAR HIGH WATER LINE
 - LOT BOUNDARY
 - EASEMENT
 - LANDSCAPE BUFFER



AMALFI ESTATES AMD LOT 2
APN 169-03-101

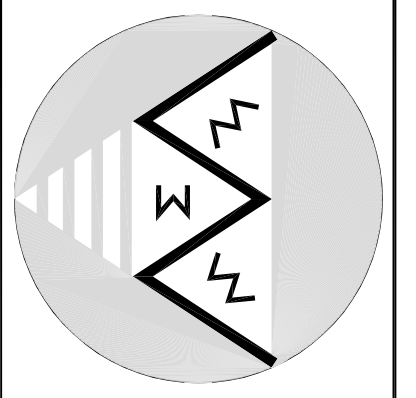
SHOEN ESTATES LOT 1
APN 169-03-068

Call at least two full working days
before you begin excavation.
ARIZONA811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



COPYRIGHT © 2019 BY MONTGOMERY ENGINEERING & MANAGEMENT, L.L.C.

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.
16716 E. PARKVIEW AVE., SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com



**LAVITT MANOR II
REPLAT**

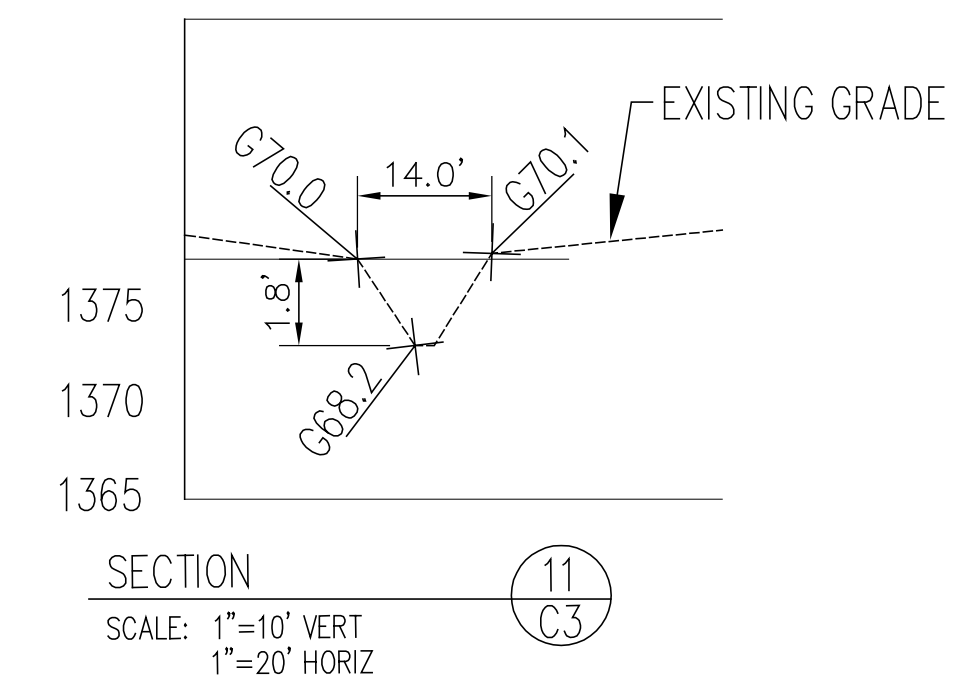
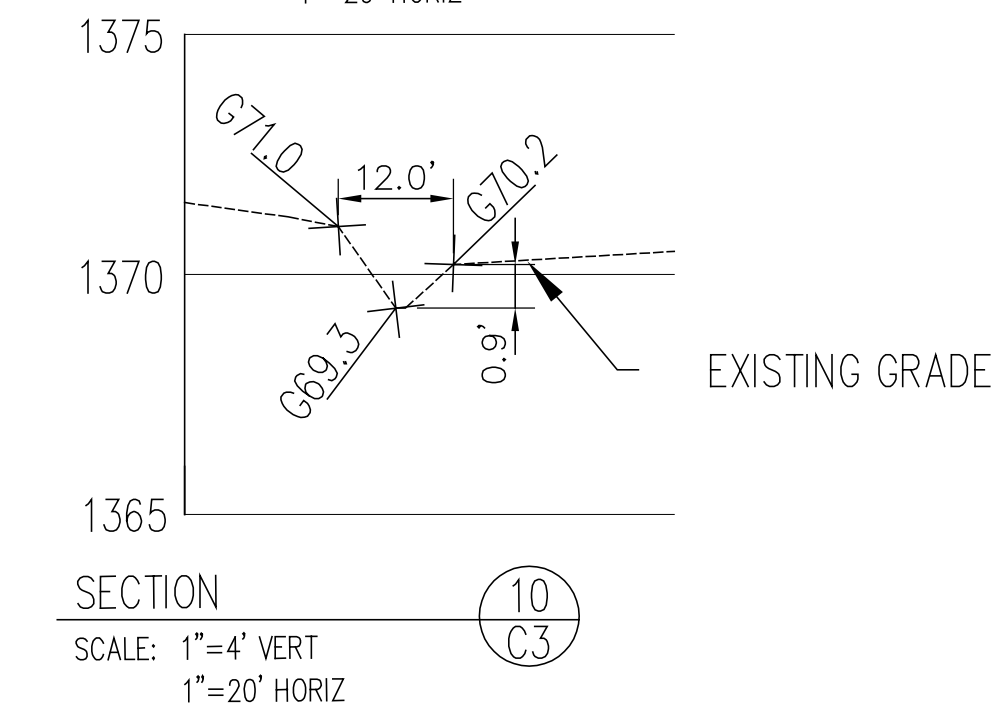
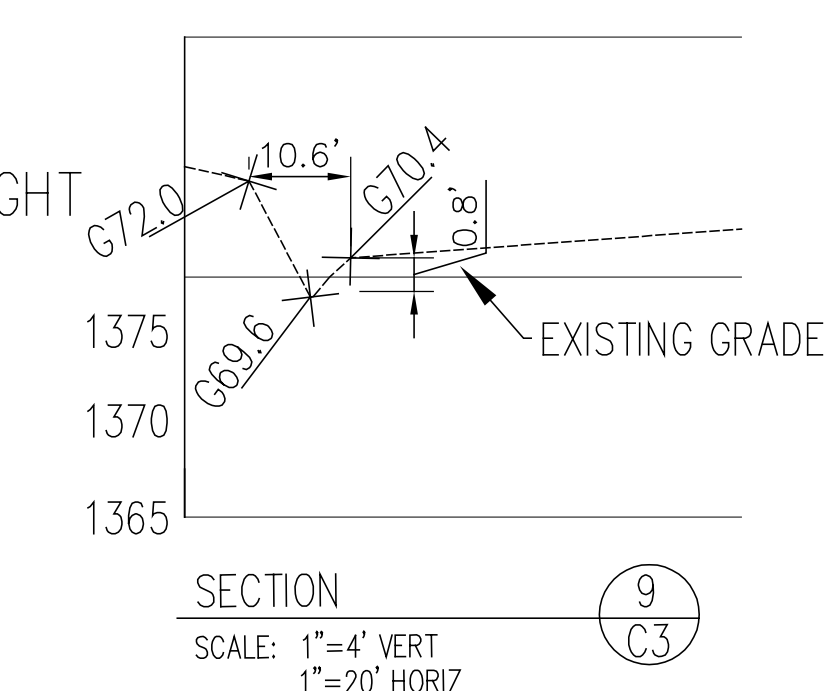
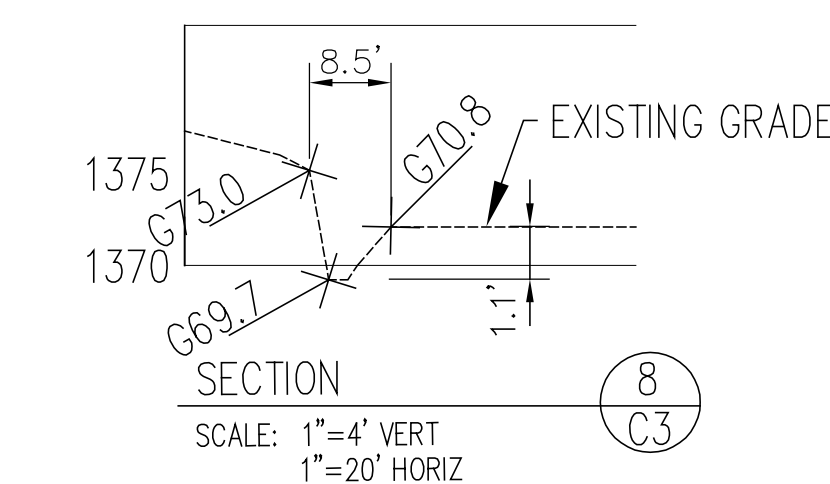
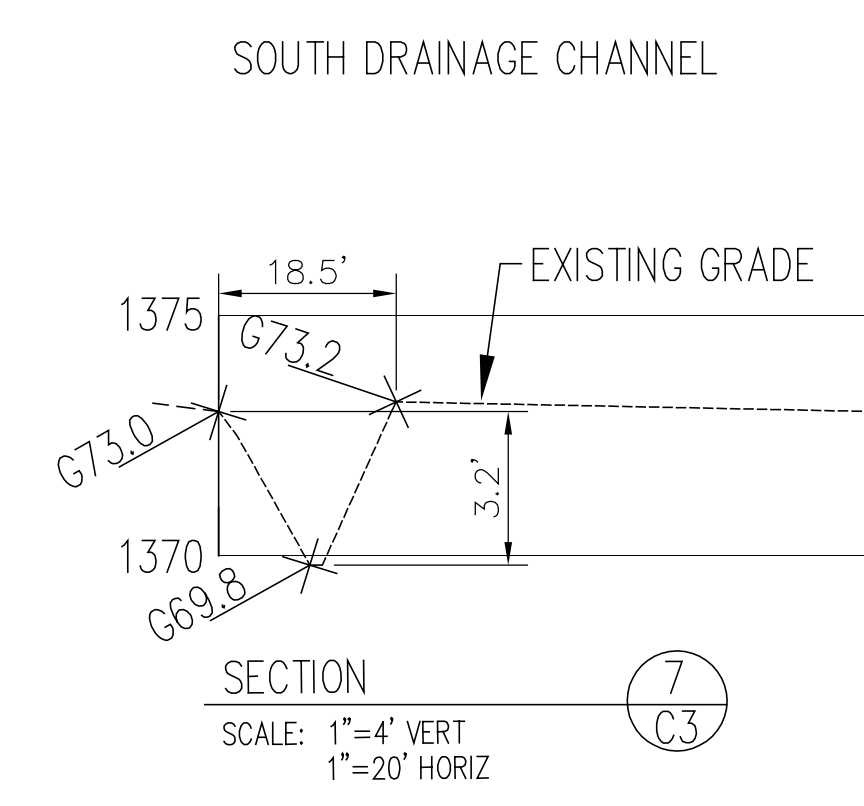
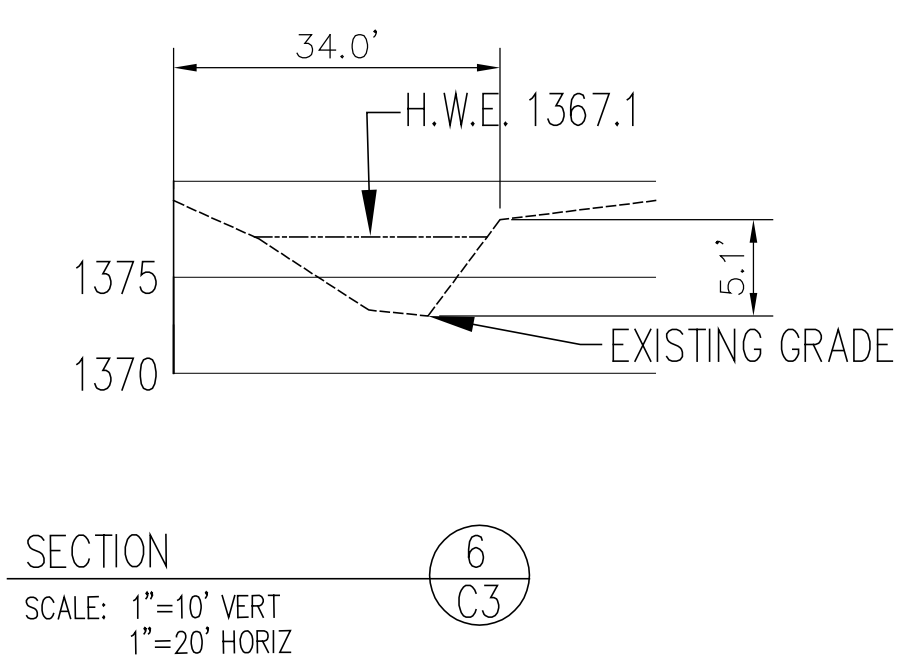
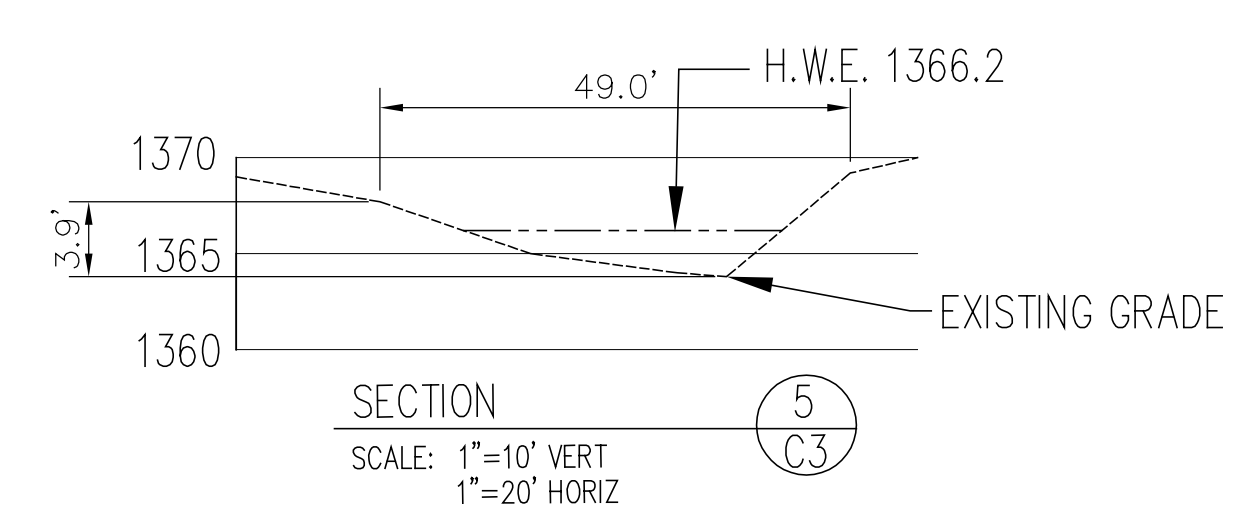
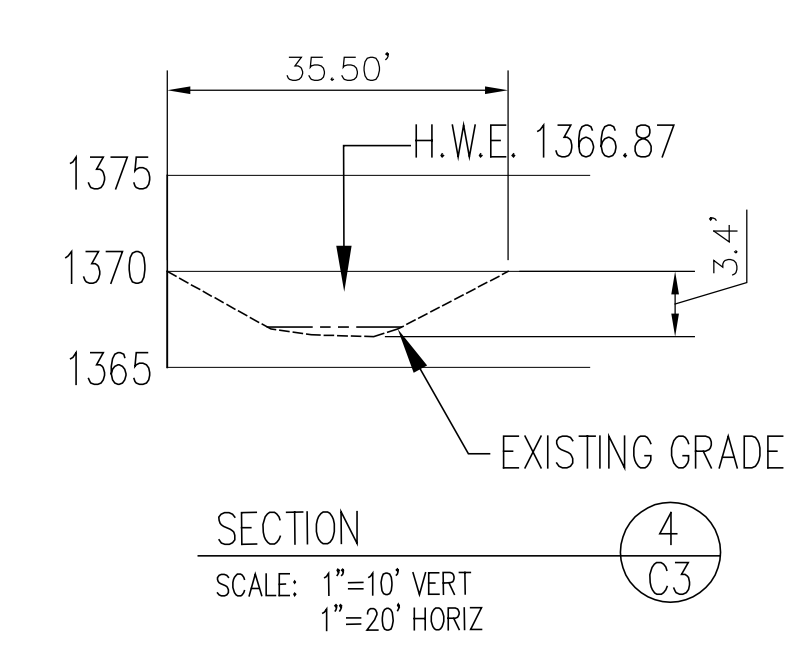
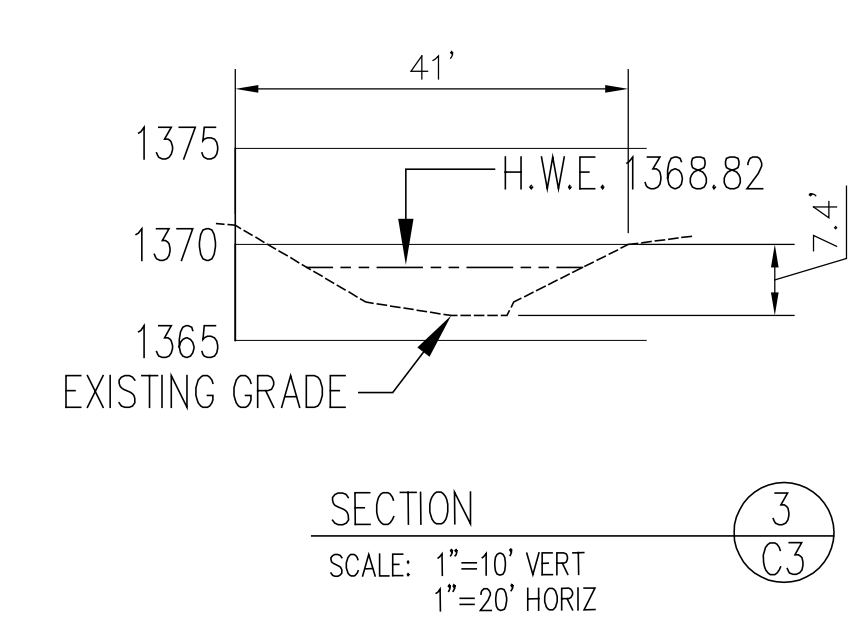
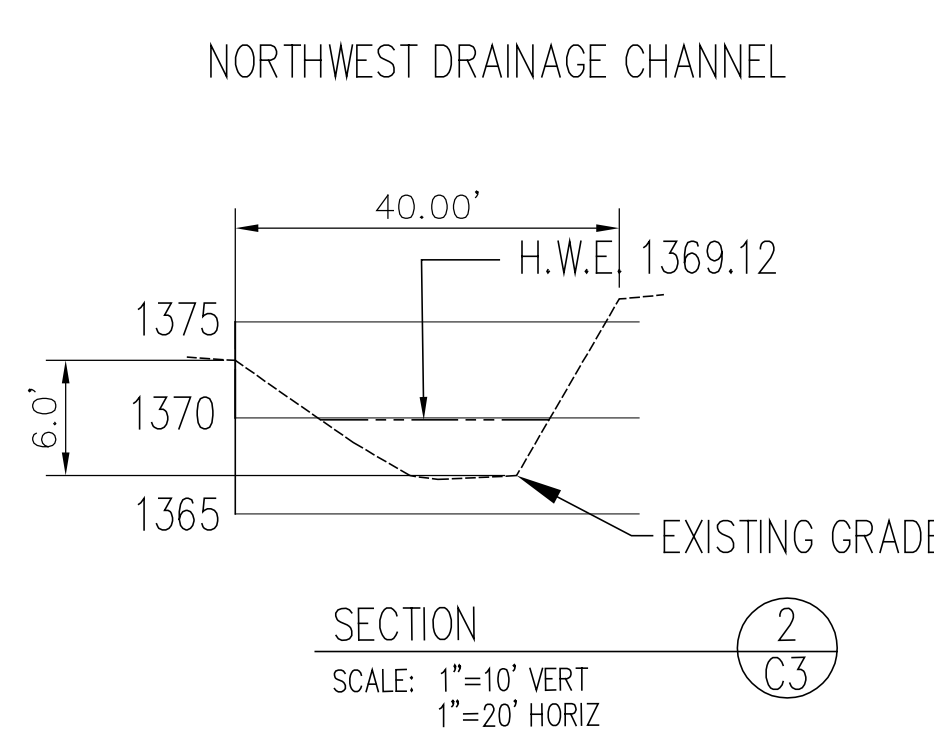
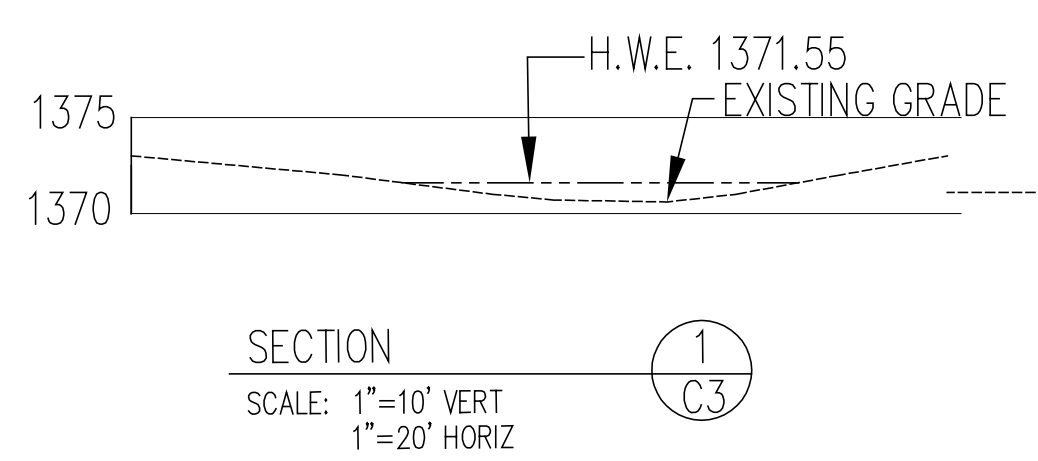
7525 N IRONWOOD DR
PARADISE VALLEY, AZ

DRAWN BY:	KM	DATE:	7-23-19
CHECKED BY:	DRM	PROJECT NO:	18029
SCALE:	AS NOTED	PAVING, GRADING & DRAINAGE	

DRAWING NO:
C20f4

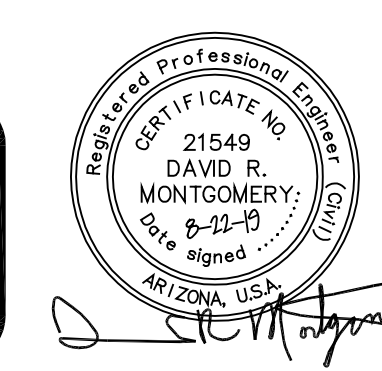
NO.	DATE	REVISIONS	DESCRIPTION
5	8-21-19	ADD LANDSCAPE BUFFER	DRM
4	7-23-19	REVISE SECTIONS	DRM
			BY:

PAVING GRADING PLAN
LAVITT MANOR II



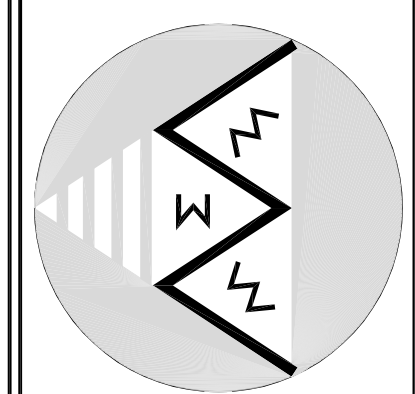
5 OF 5 > 2' VERT HEIGHT
5 OF 5 > 12" LENGTH
D.E. REQUIRED

4 OF 5 < 2' VERT HEIGHT
NO EASEMENT REQUIRED



COPYRIGHT © 2019 BY MONTGOMERY ENGINEERING & MANAGEMENT, L.L.C.

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.
16716 E. PARKVIEW AVE., SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com



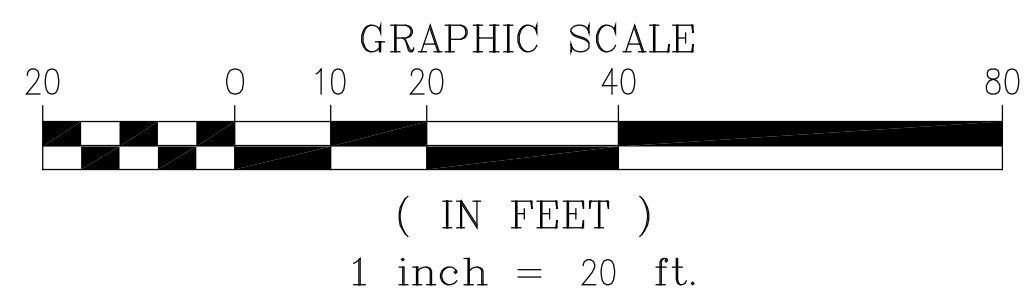
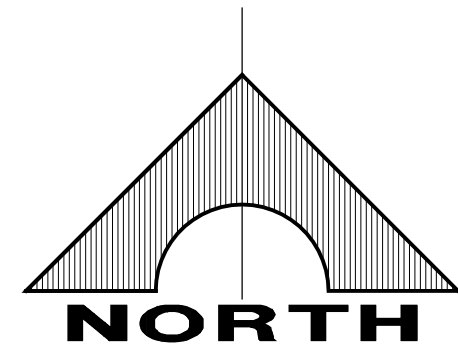
LAVITT MANOR II
REPLAT

7525 N IRONWOOD DR
PARADISE VALLEY, AZ

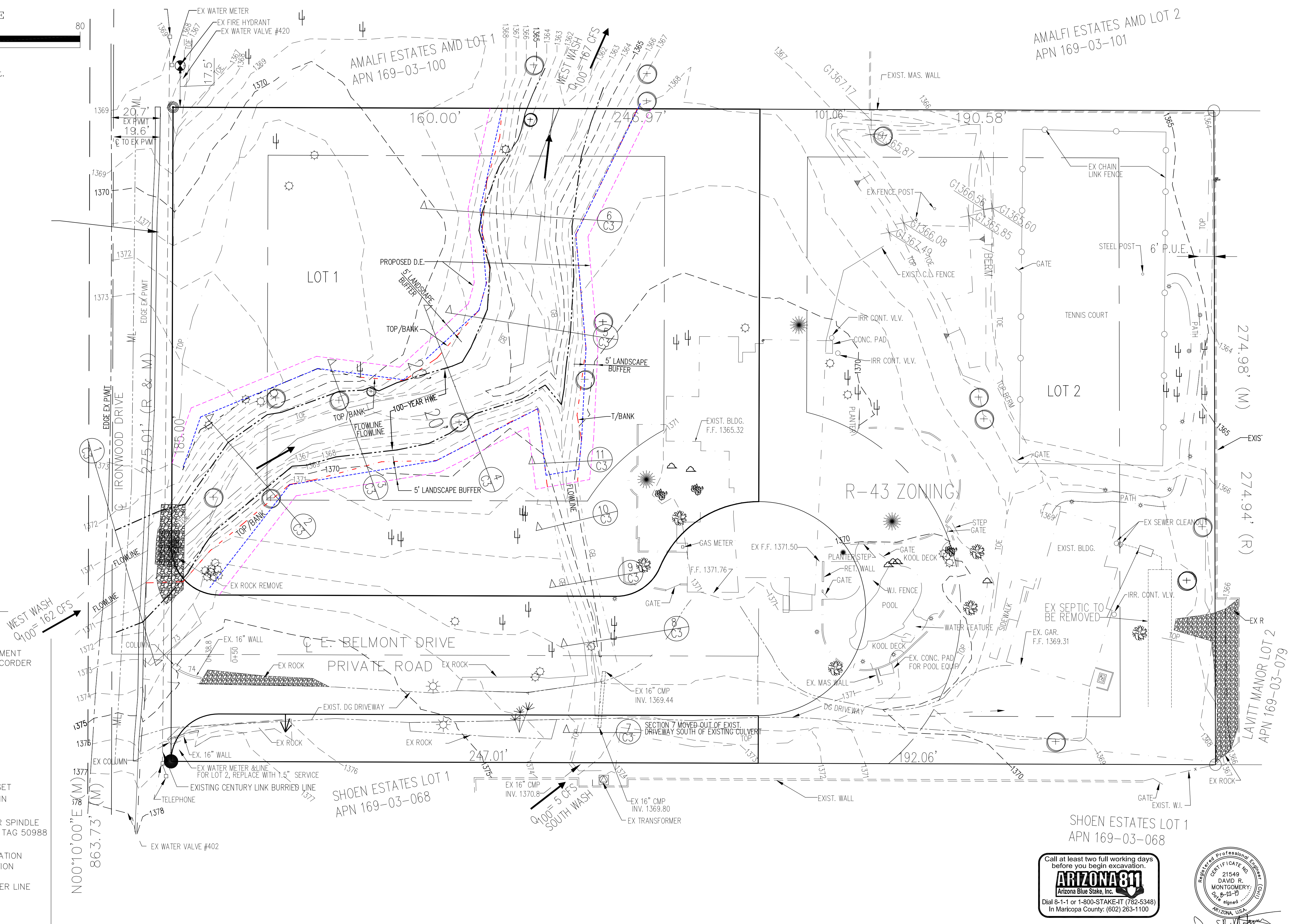
DRAWN BY: KM	DATE: 7-23-19
CHECKED BY: DRM	PROJECT NO: 18029
	SCALE: AS NOTED

DRAWING NO:
C3of4

NO.	DATE	DESCRIPTION
5	8-14-19	ADD SECTION TEXT
4	7-23-19	REVISE SECTIONS
3	5-6-19	REVISE LOT 1 BSB
2	1-24-19	P.V. REDLINES
1	12-5-18	MOVE STREET
BY:		



WASH EXHIBIT LAVITT MANOR II



LEGEND

- B.S.B. BUILDING SETBACK
P.U.E. PUBLIC UTILITIES EASEMENT
M.C.R. MARICOPA COUNTY RECORDER
(C) CALCULATED VALUE
D.E. DRAINAGE EASEMENT
EX EXISTING
(R) RECORDED VALUE
(M) MEASURED VALUE
ROW RIGHT-OF-WAY
DE DRAINAGE EASEMENT
VE VISIBILITY EASEMENT
GB GRADE BREAK
- REBAR WITH CAP
● RPLS # 50988 TO BE SET
● FOUND 5/8" Ø STEEL PIN
● FOUND 1/2" Ø REBAR
● FOUND COTTON PICKER SPINDLE
● FOUND IRON PIPE ADD TAG 50988
● FOUND 3" BRASS CAP
- PROPOSED SPOT ELEVATION
○ EXISTING SPOT ELEVATION
- TOP OF BANK
--- 100-YEAR HIGH WATER LINE
--- LOT BOUNDARY
--- EASEMENT
--- LANDSCAPE BUFFER

AMALFI ESTATES AND LOT 2
APN 169-03-101

LOT 1

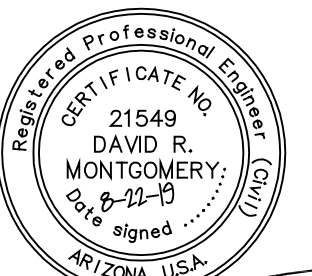
LOT 2

R-43 ZONING

SHOEN ESTATES LOT 1
APN 169-03-068

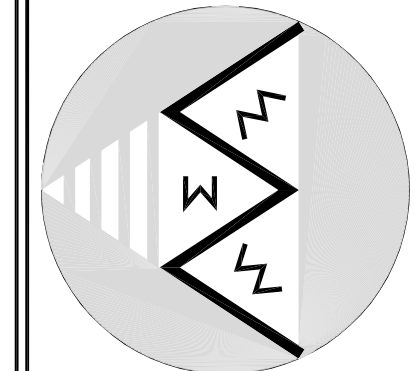
SHOEN ESTATES LOT 1
APN 169-03-068

LAVITT MANOR LOT 2
APN 169-03-079



COPYRIGHT © 2019 BY MONTGOMERY ENGINEERING & MANAGEMENT, L.L.C.

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.



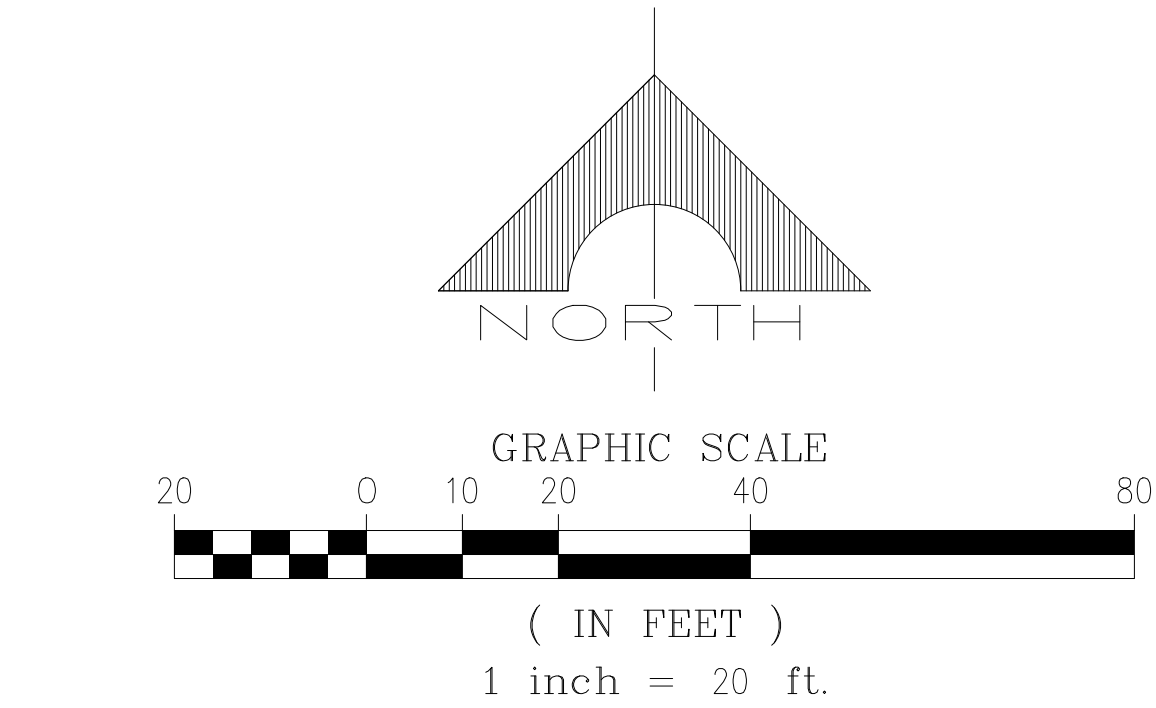
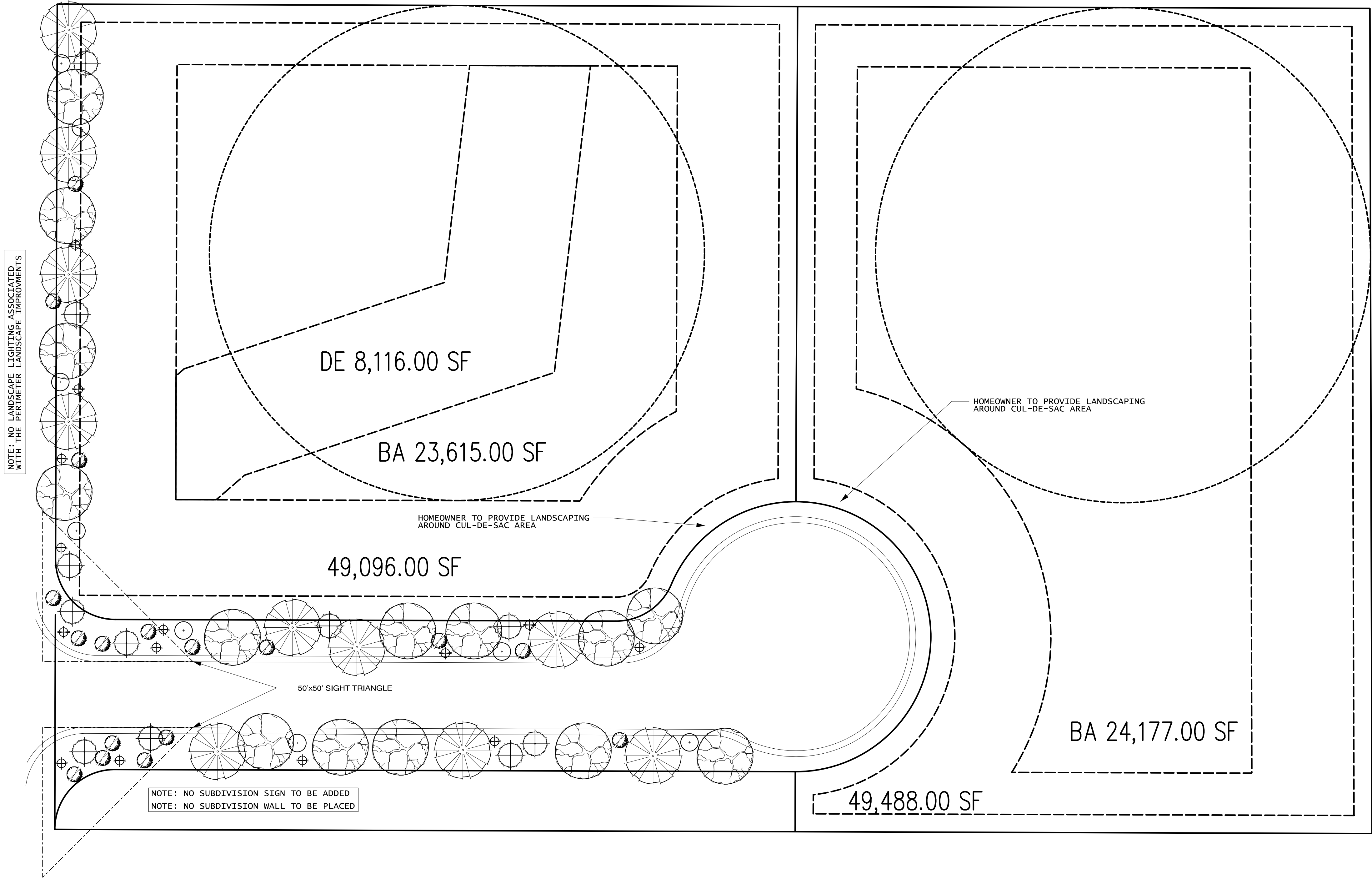
LAVITT MANOR II
REPLAT

7525 N IRONWOOD DR
PARADISE VALLEY, AZ

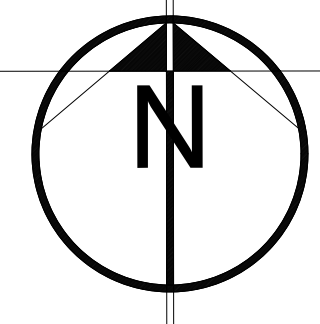
DRAWN BY:	KM	DATE:	7-23-19
CHECKED BY:	DRM	PROJECT NO:	18029
SCALE:	AS NOTED	WASH EXHIBIT	

DRAWING NO:
C40f4

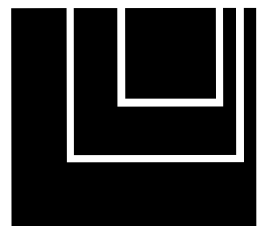
NO.	DATE	DESCRIPTION
5	8-21-19	ADD LANDSCAPE BUFFER
4	7-23-19	REVISE SECTIONS
3		
2		
1		



LANDSCAPE LEGEND			
NEW PLANTS			
SYMBOL	PLANT NAME	QUANTITY	SIZE
	BLUE PALO VERDE/ CERCIDIUM FLORIDUM	14	15g
	MEXICAN BIRD/ CAESALPINA MEXICANA	8	15g
	FOOTHILL PALO VERDE/ PARKINSONIA MICROPHYLLA	10	15g
	GLOBE MALLOW/ SPHAERALCEA AMBIGUA	14	5g
	CREOSOTE BUSH/ LARREA TRIDENTATA	17	5g
	YELLOW BELLS/ TECOMA STANS	11	5g



1/20"=1'-0"



CULLUM
HOMES

www.cullumhomes.com

LAVITT MANOR
7525 N. IRONWOOD DRIVE
PARADISE VALLEY, AZ

LANDSCAPE PLAN