

PROJECT NARRATIVE



December 28, 2021
To: George Burton
Town of Paradise Valley

5th Submittal

From: Ryan Weed, P.E.

Project Name: Casa Blanca Association
Project Number: 1.01.0287301
Re: Wall Replacement

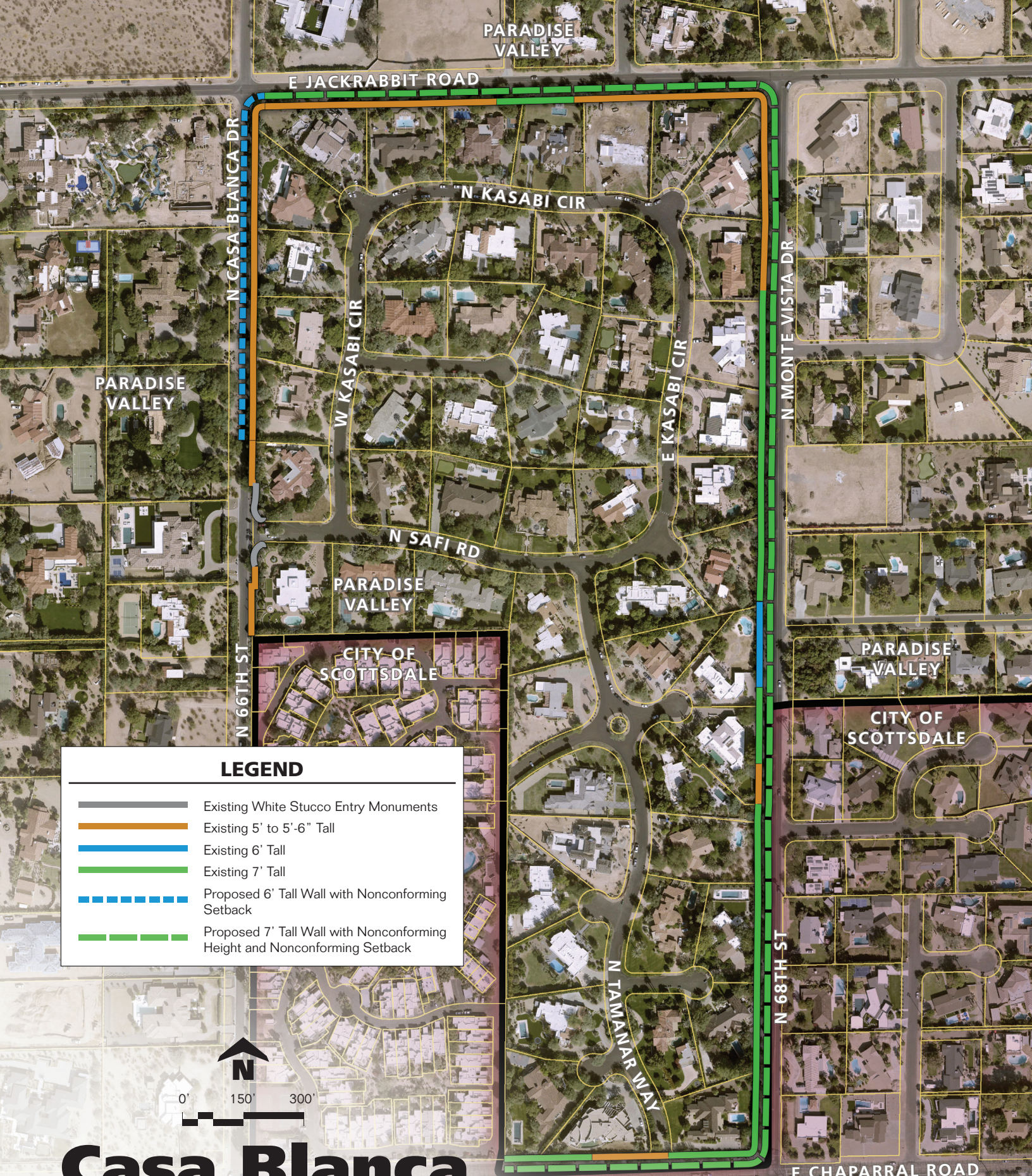
Coe & Van Loo Consultants, Inc. (CVL) is under contract with the Casa Blanca Club Association. The association formally requests the Town of Paradise Valley accept these submittal materials for review.

Proposed Wall

The association desires to remove and replace the existing masonry block wall which is located along Chaparral Road, Monte Vista Road, Jackrabbit Road, and Casa Blanca Road. The existing wall is starting to show age and is cracking in several locations. The association has elected to replace the wall. Portions of the existing wall, as shown on Exhibit A, are nonconforming in height and setback. The replacement wall will match the current setback and height of the existing wall in most locations. In a few locations the existing wall is less than 6' in height. In these locations the wall is planned to be increased, as shown on the Site Plan. The exact style or character of the wall has been determined, please see Exhibit B which depicts the wall theme and color. This theme closely matches the existing wall color and style. The wall height will vary slightly as the wall follows the existing terrain, vary in height from 6' to 7'. Existing landscape, trees, and shrubs are present adjacent to the wall. All landscape which is damaged or destroyed as a part of the wall construction will be replaced in-kind. The proposed wall and existing wall are both located outside of the AASHTO visibility triangle. The existing entry monument, meandering white stucco wall will remain as existing and not be reconstructed. This project will be permitted with the homeowners association and not individual property owners.

Rational for the Project

This association project has wide support from its members. Raising the wall height in several locations will go a long way to helping reduce vehicular noise from cut through traffic. Monte Vista Road, Chaparral Road, and Jack Rabbit Road are used by adjacent communities to reach 64th Street and Camelback Road. The general plan identifies Monte Vista Road, Chaparral Road, and Jack Rabbit Road as collector roadways. A wall height of 7' along a collector roadway is not unusual and frequently used to help reduce vehicular noise. The City of Scottsdale adjacent zoning of R1-18 allows an 8' tall wall on side and rear yards; R-4 zoning allows an 8' tall wall except for the front yard, R-4R zoning allows an 8' tall wall, except in front yards. For this project, the significant density of the existing landscape material between the existing roadways and planned wall for this project helps to reduce the significance of the wall height and screens the wall from view.



LEGEND

- Existing White Stucco Entry Monuments
- Existing 5' to 5'-6" Tall
- Existing 6' Tall
- Existing 7' Tall
- Proposed 6' Tall Wall with Nonconforming Setback
- Proposed 7' Tall Wall with Nonconforming Height and Nonconforming Setback

Casa Blanca

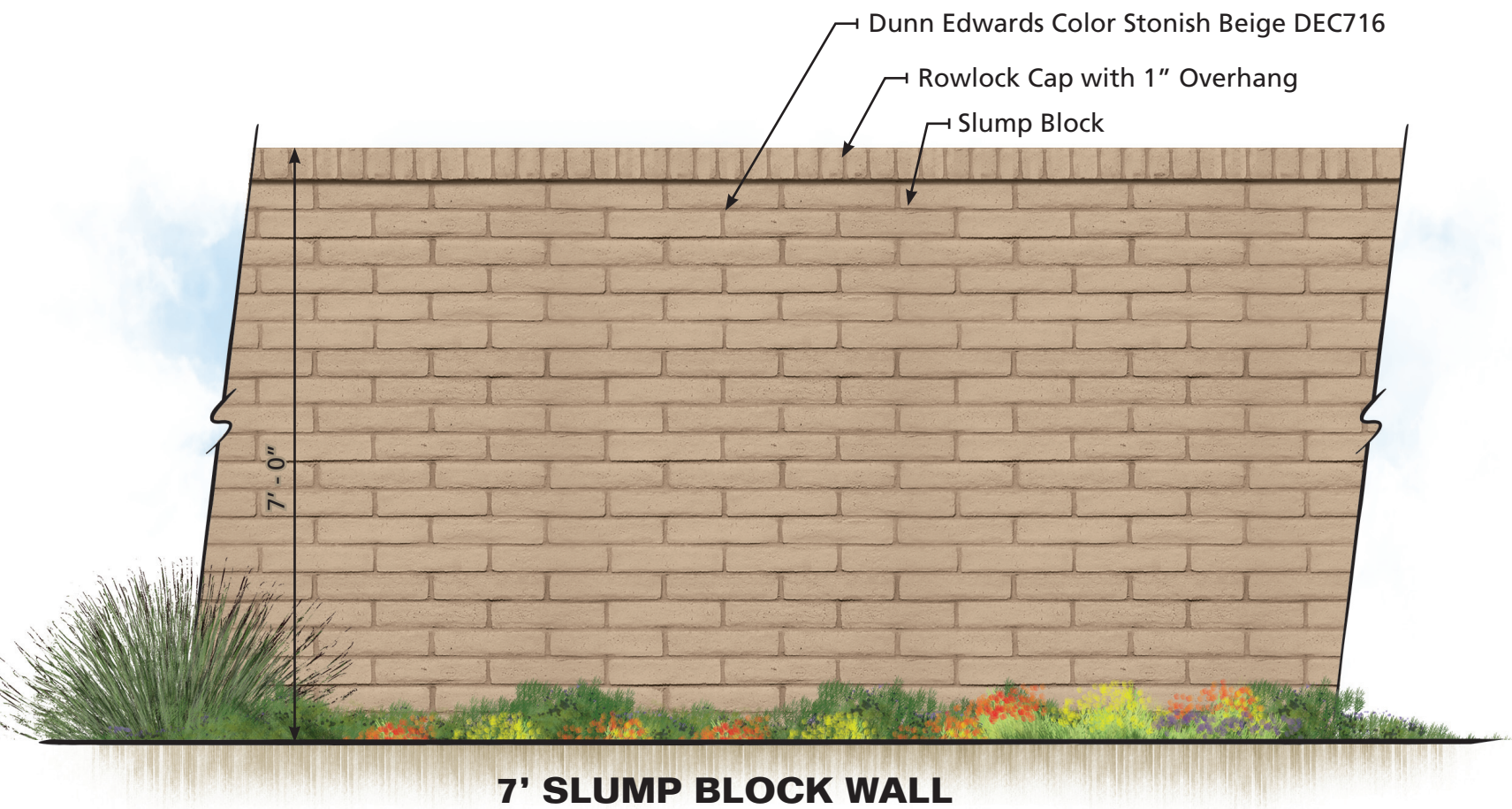
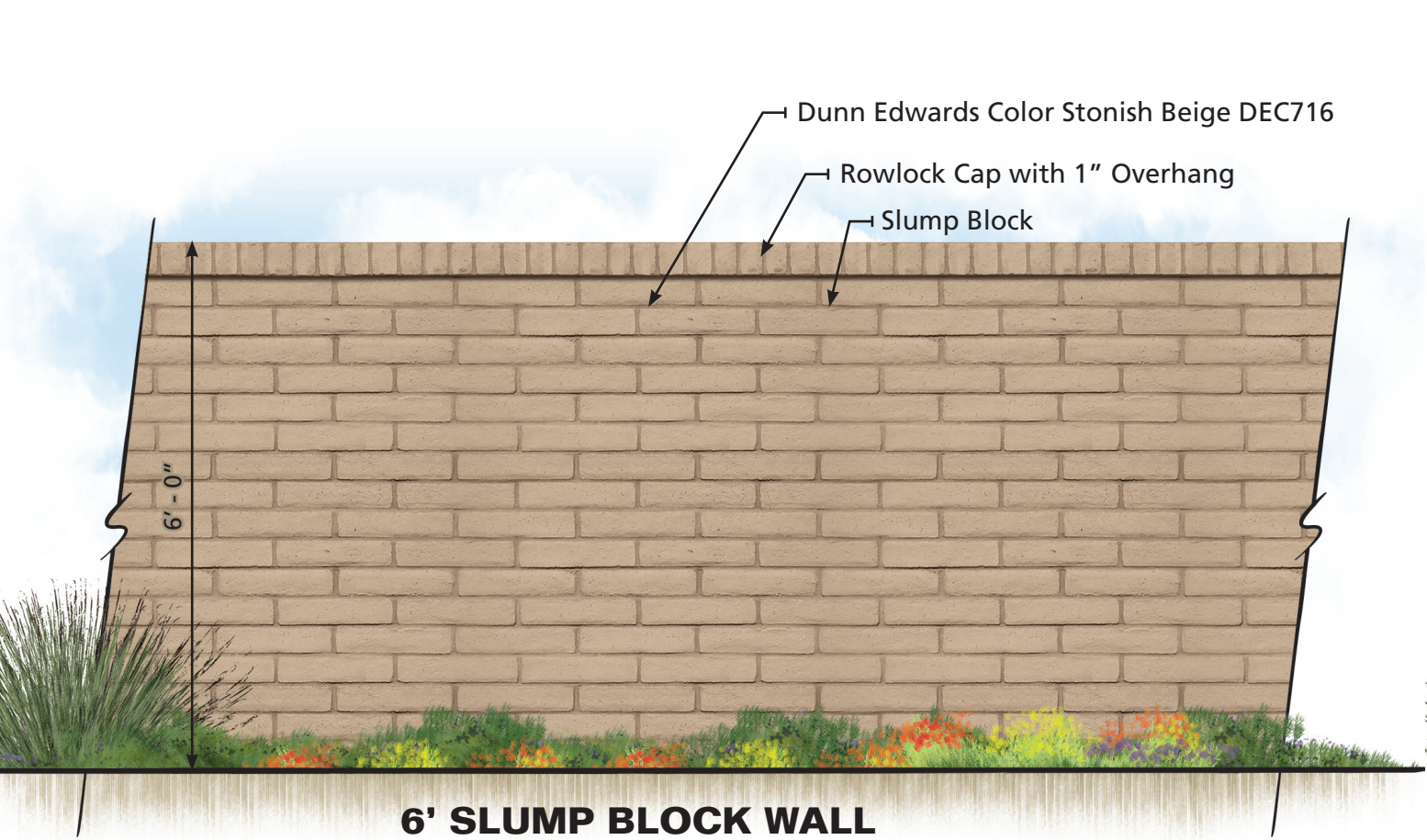
Existing Wall Conditions

Exhibit A

Casa Blanca

Wall Elevation

Exhibit B





CONSTRUCTION NOTES:

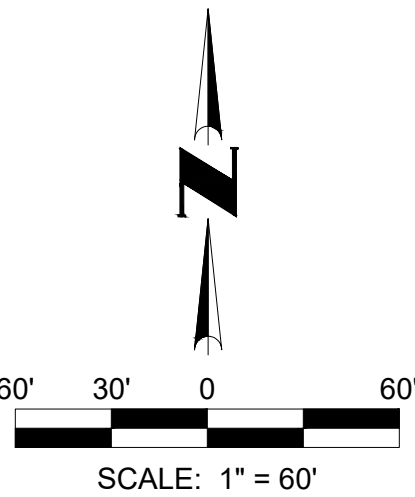
- 1 CONTRACTOR TO REMOVE EXISTING MASONRY WALL.
- 2 CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 7'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.
- 3 CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 6'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.

QUANTITIES:

TOTAL WALL TO BE REMOVED	5,648 LF
TOTAL NEW WALL TO BE BUILT	5,648 LF

LEGEND

- INDICATES PROPERTY LINE
- INDICATES EXISTING FENCE
- INDICATES NEW FENCE (LENGHT & HEIGHT PER PLAN)
- INDICATES RIGHT OF WAY
- INDICATES PROPERTY LINE



NO.	REVISION	DATE

Coe & Van Loo Consultants, Inc.

PARADISE VALLEY EXISTING BLOCK FENCE
CASA BLANCA PARADISE VALLEY, ARIZONA

W1 SHEET OF 03

CVL Contact: RYAN WEED
CVL Project #: 1010287302

© 2021 Coe & Van Loo Consultants, Inc.
All rights reserved to reproduction in any format

Call at least two full working days before you begin excavation.

ARIZONA

Arizona Blue State, Inc.
Dist. 5-1-1 or 1-800-57-TALK-11 (112-5246)
In Maricopa County: (602) 263-1100

CONSTRUCTION NOTES:

- 1
- CONTRACTOR TO REMOVE EXISTING MASONRY WALL.
- 2
- CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 7'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.
- 3
- CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 6'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.

QUANTITIES:

TOTAL WALL TO BE REMOVED 5,648 LF
TOTAL NEW WALL TO BE BUILT 5,648 LF

LEGEND

- INDICATES PROPERTY LINE
- INDICATES EXISTING FENCE
- INDICATES NEW FENCE (LENGHT & HEIGHT PER PLAN)
- R/W INDICATES RIGHT OF WAY
- P INDICATES PROPERTY LINE



DATE

REVISION

NO.

Coe & Van Loo Consultants, Inc.

PARADISE VALLEY EXISTING BLOCK FENCE

CASA BLANCA

PARADISE VALLEY, ARIZONA



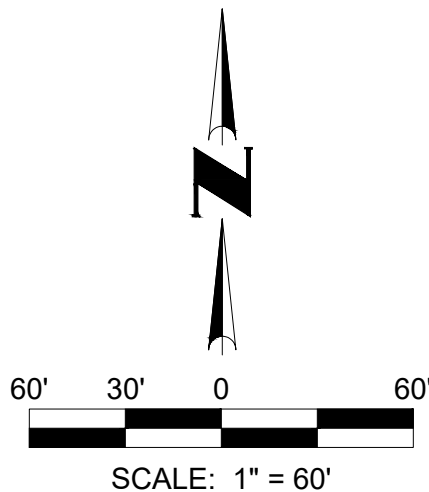
W2 SHEET OF 03

CVL Contact: RYAN WEED

CVL Project #: 1010287302

© 2021 Coe & Van Loo Consultants, Inc. All rights reserved to reproduction in any format

PROJECT NO. XXXXXX



Printed By: CherM Print Date: December 22, 2021 Filename: N:\010287301\Cadd\WallIDS P\WALL.dwg



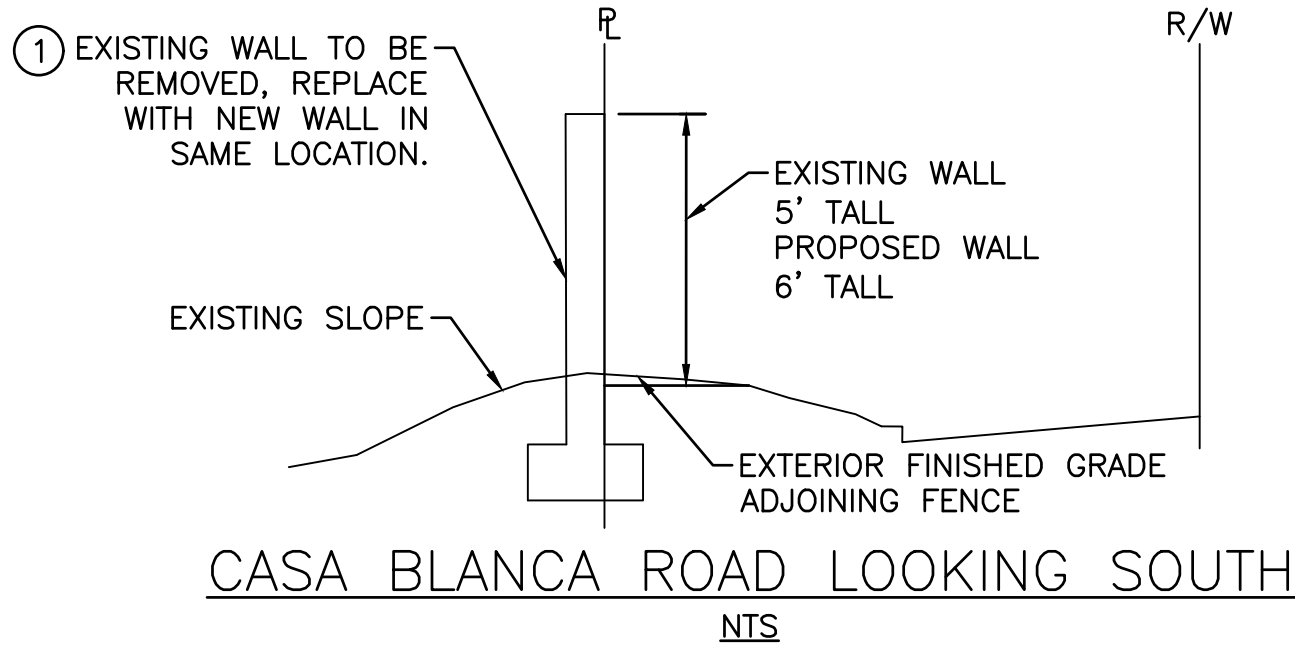
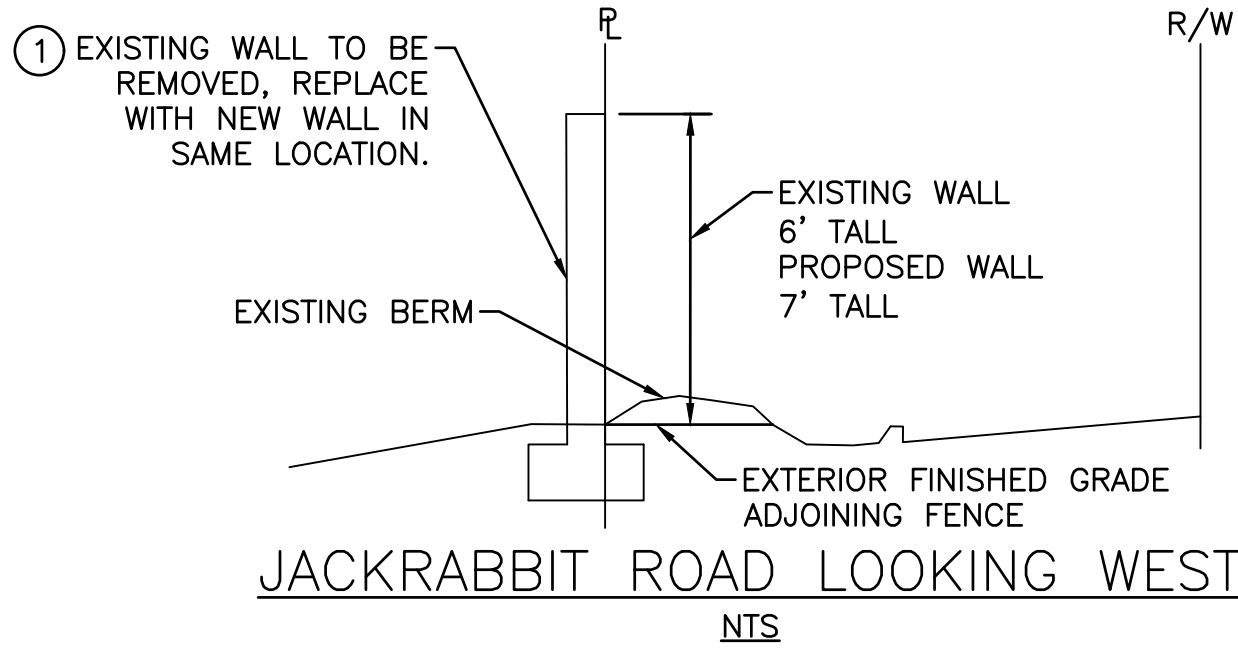
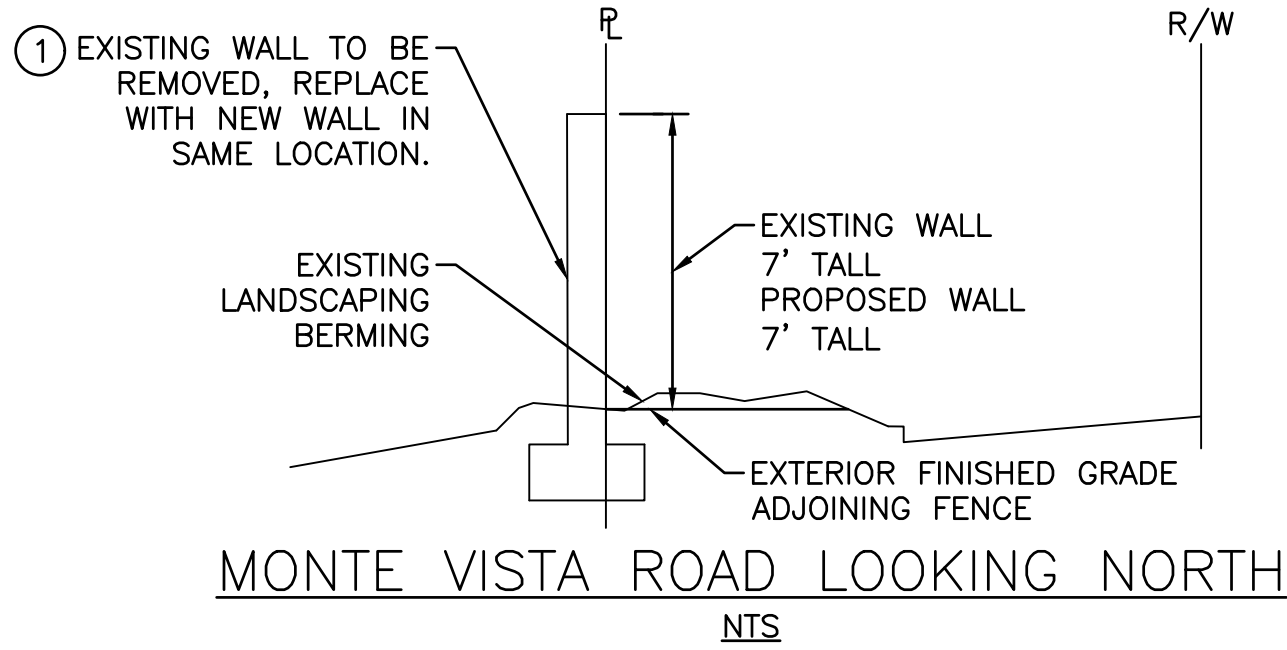
CONSTRUCTION NOTES:

- 1 CONTRACTOR TO REMOVE EXISTING MASONRY WALL.
- 2 CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 7'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.
- 3 CONTRACTOR TO CONSTRUCT A NEW SLUMP BLOCK WALL. THE WALL IS TO MATCH THE HEIGHT OF THE EXISTING WALL. HEIGHT TO BE 6'. LINEAL FOOTAGE OF THE WALL IS SHOWN ON THIS PLAN. CONTRACTOR TO PAINT WALL DUNN EDWARDS COLOR SPANISH BEIGE DEC716.

QUANTITIES:

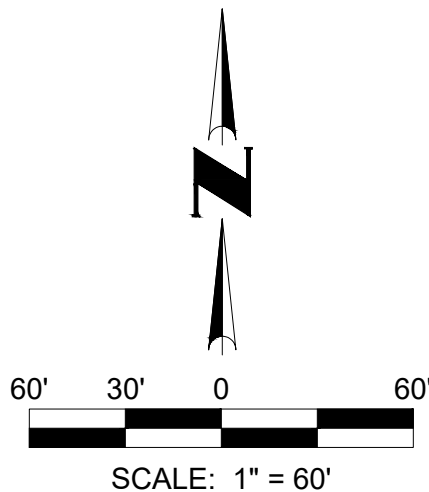
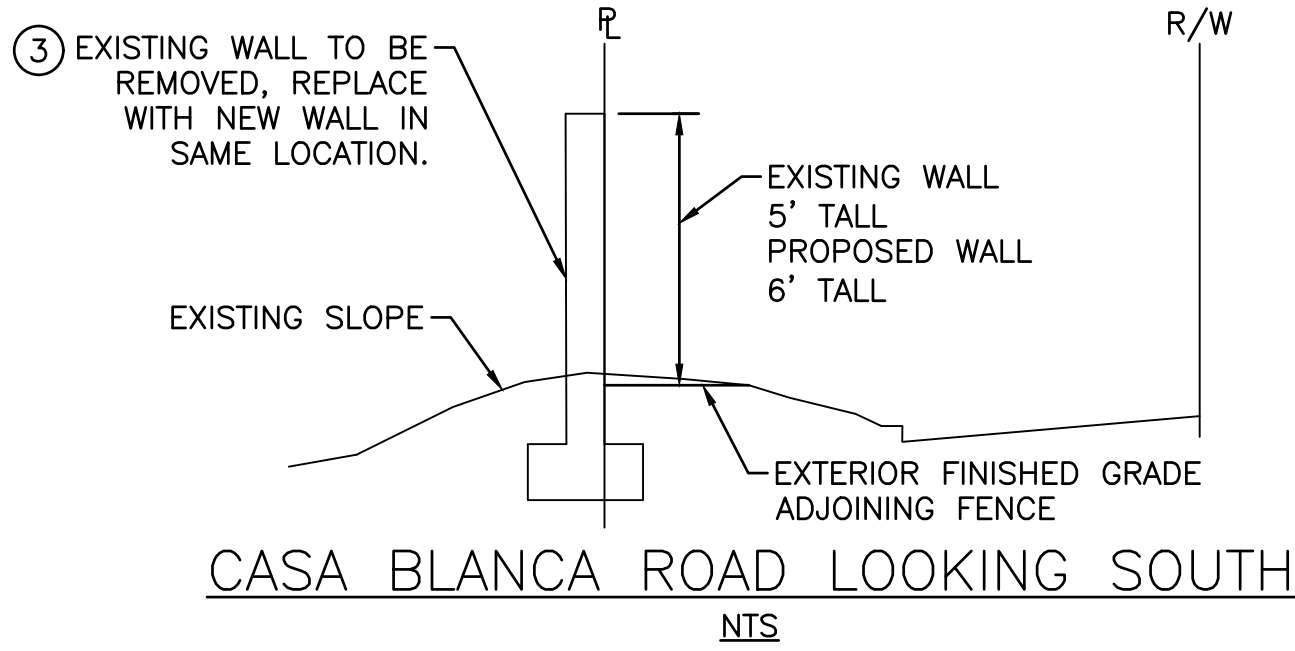
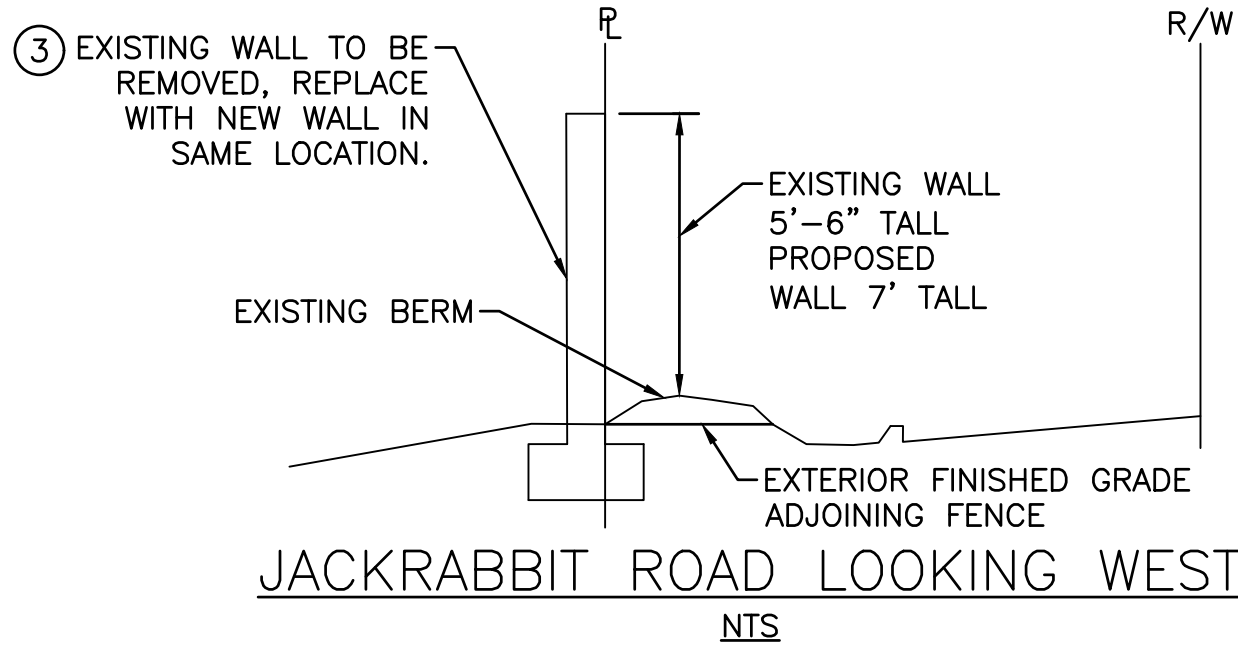
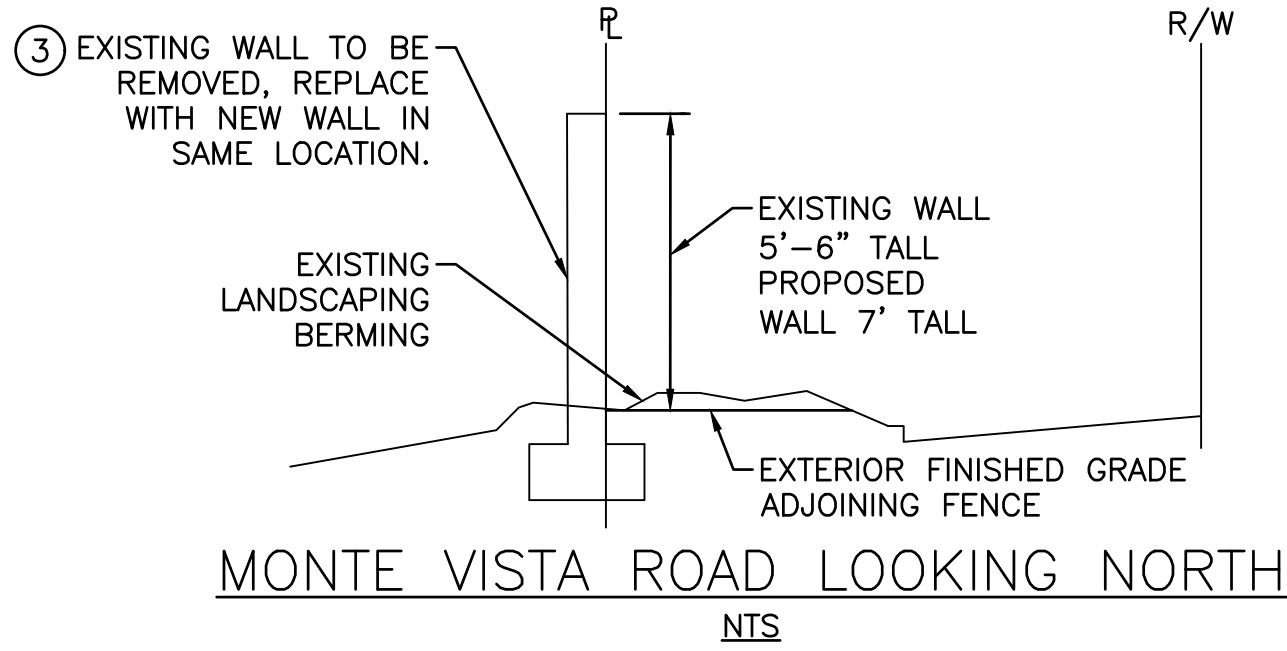
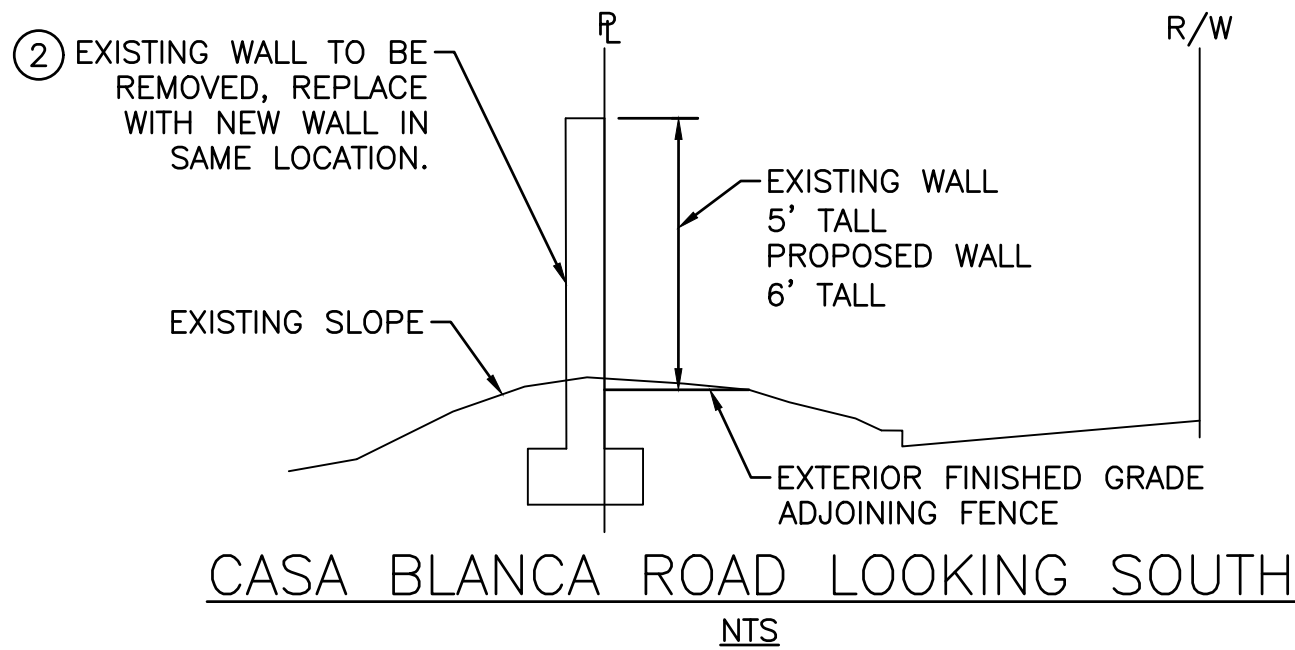
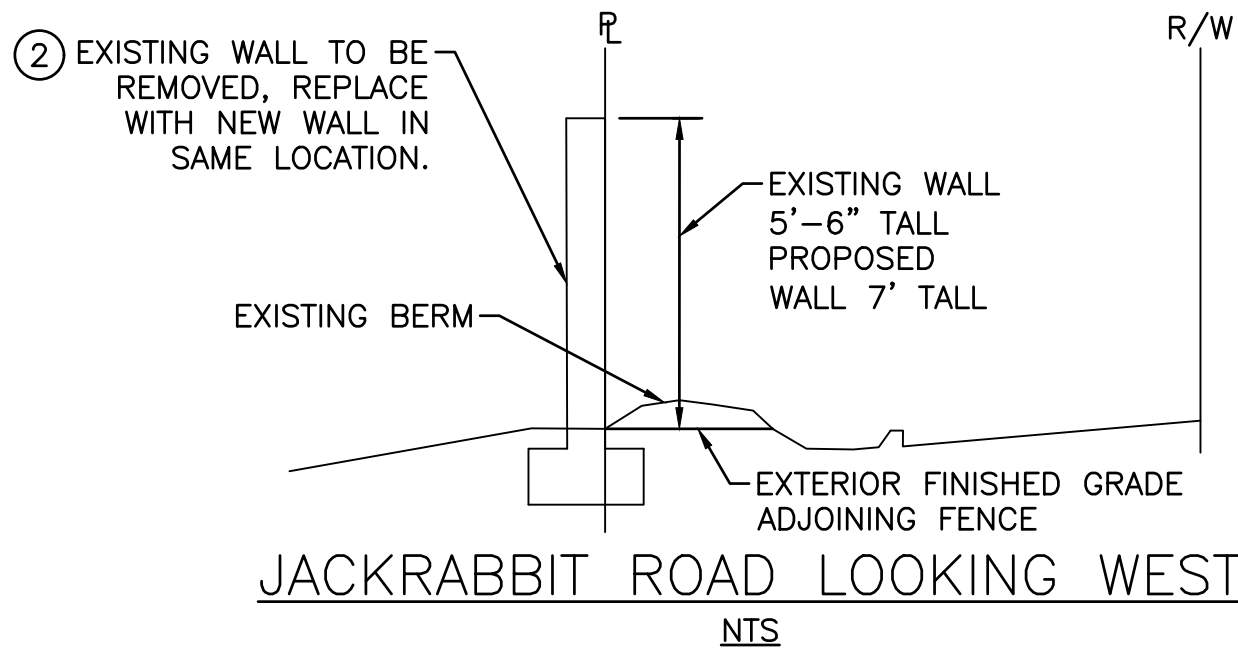
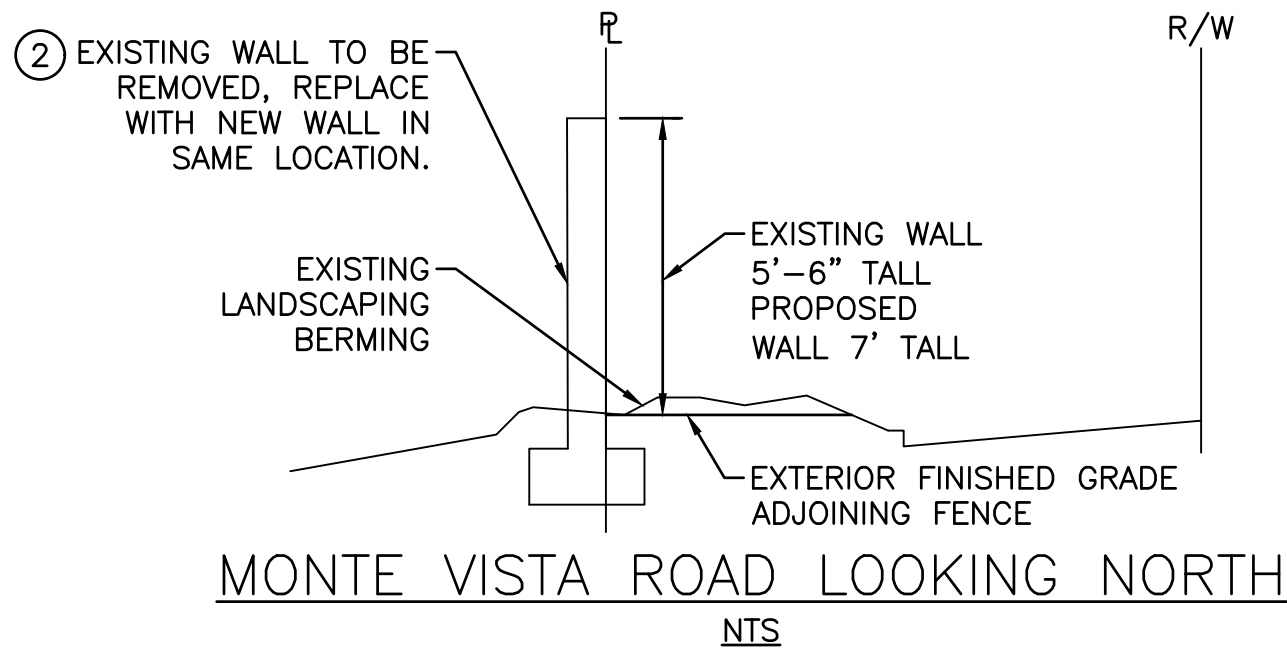
TOTAL WALL TO BE REMOVED	5,648 LF
TOTAL NEW WALL TO BE BUILT	5,648 LF

MATCH SHEET W2



LEGEND

- INDICATES PROPERTY LINE
- INDICATES EXISTING FENCE
- INDICATES NEW FENCE (LENGHT & HEIGHT PER PLAN)
- R/W INDICATES RIGHT OF WAY
- P INDICATES PROPERTY LINE



NO.	REVISION	DATE

Coe & Van Loo Consultants, Inc.

PARADISE VALLEY
EXISTING BLOCK FENCE

CASA BLANCA
PARADISE VALLEY, ARIZONA

Professional Engineer
Ryan Weed
37325
Ryan Weed
10/01/21
Arizona, U.S.A.

W3 SHEET OF 03

CVL Contact: RYAN WEED
CVL Project #: 1010287302

© 2021 Coe & Van Loo Consultants, Inc.
All rights reserved to reproduction in any format

PROJECT NO. XXXXXX



Google

EXISTING WALL
MONTE VISTA
LOOKING NORTH



EXISTING WALL
CASA BLANCA
LOOKING SOUTH



EXISTING WALL
CHAPARRAL
LOOKING NORTH



EXISTING WALL
JACKRABBIT
LOOKING WEST