



FINAL HILLSIDE REVIEW
REMODEL OF EXISITING GARAGE, REMAINDER OF HOME TO REMAIN THE SAME

STRATTON
ARCHITECTS

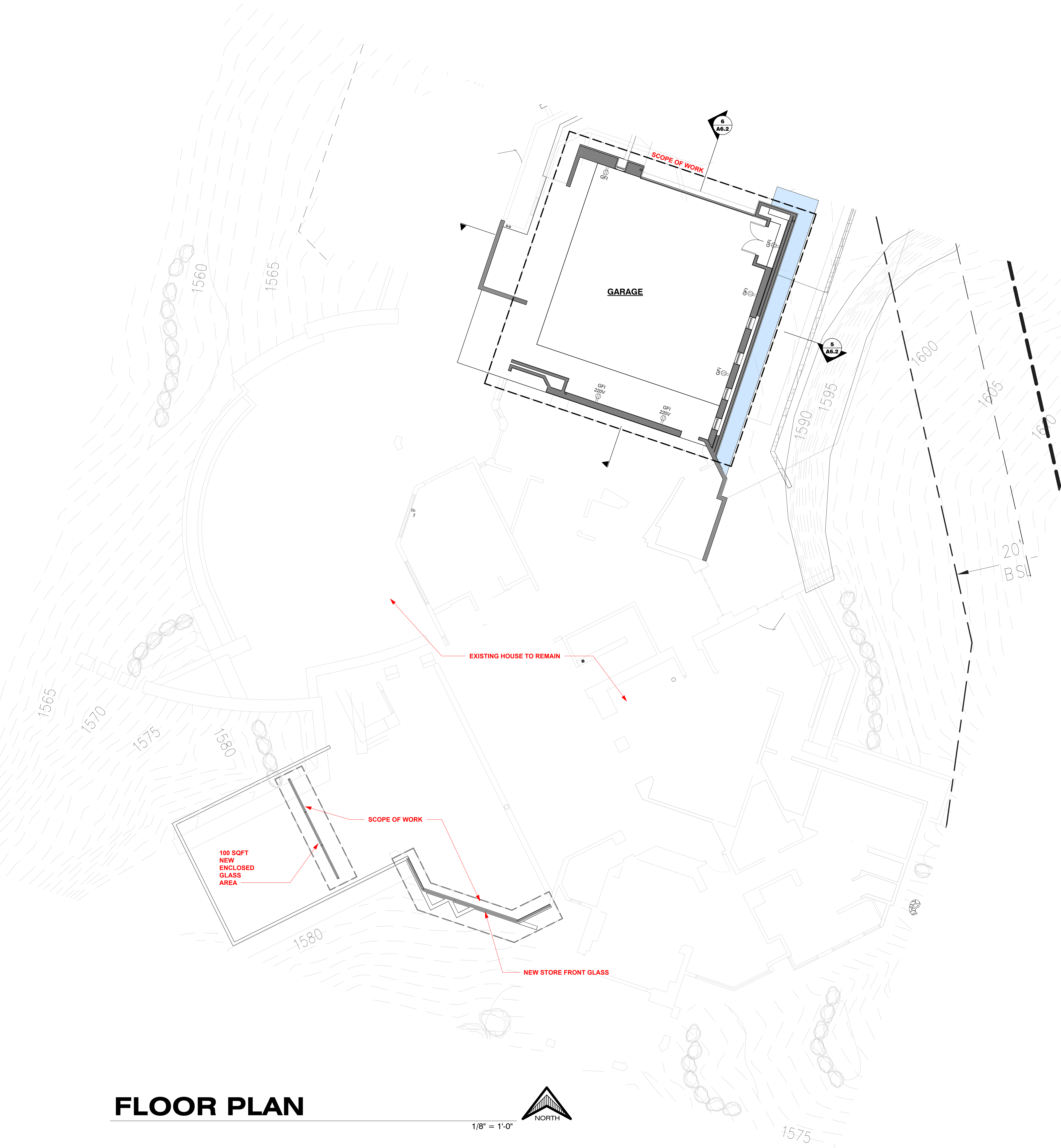
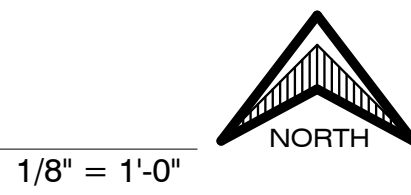
A. 5203 East Lincoln Drive Paradise Valley, Arizona 85253
P. (860) 331-0701

LAS BRISAS RESIDENCE

7401 N LAS BRISAS
PARADISE VALLEY, AZ 85253
Project No.21-01

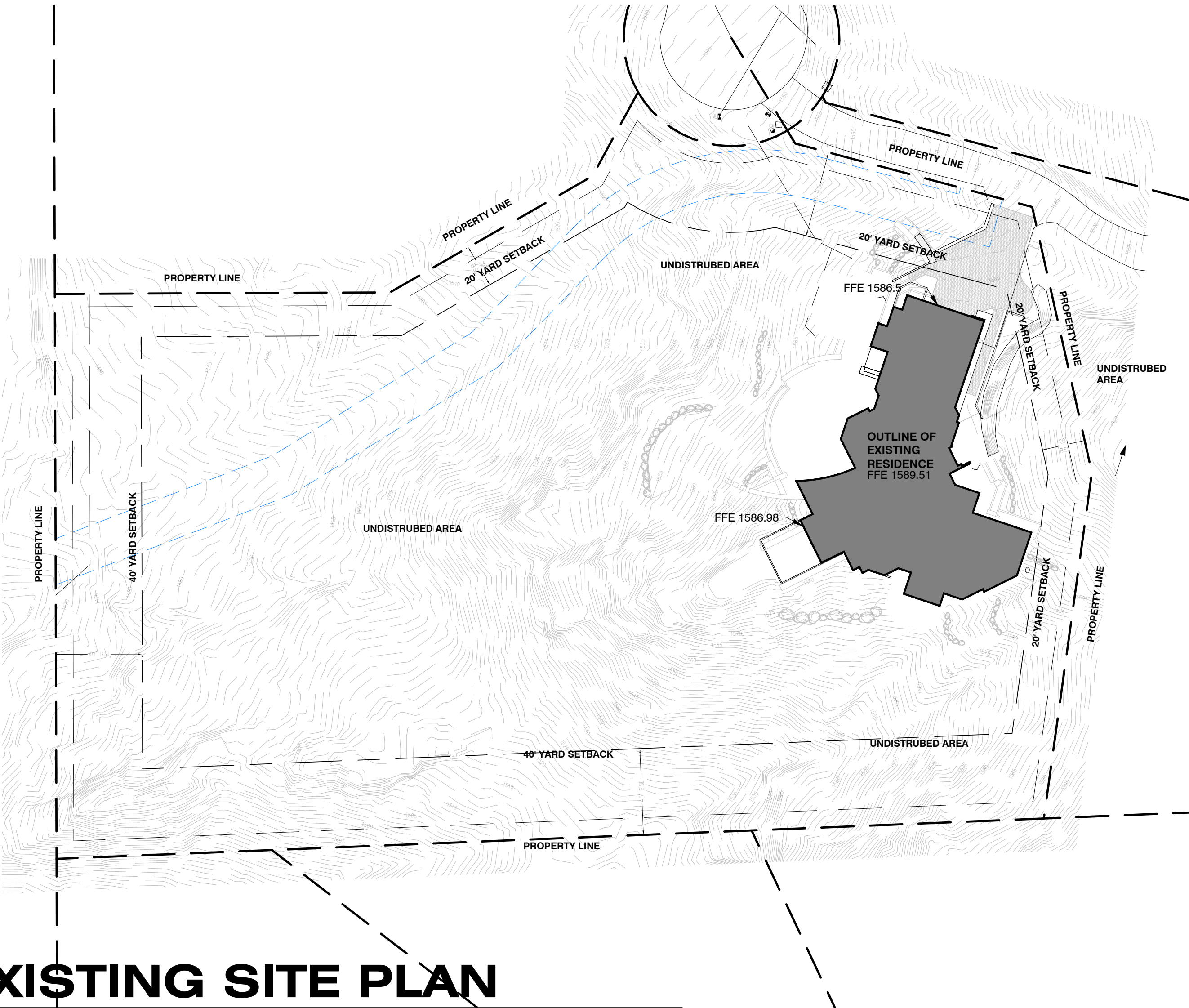
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FLOOR PLAN



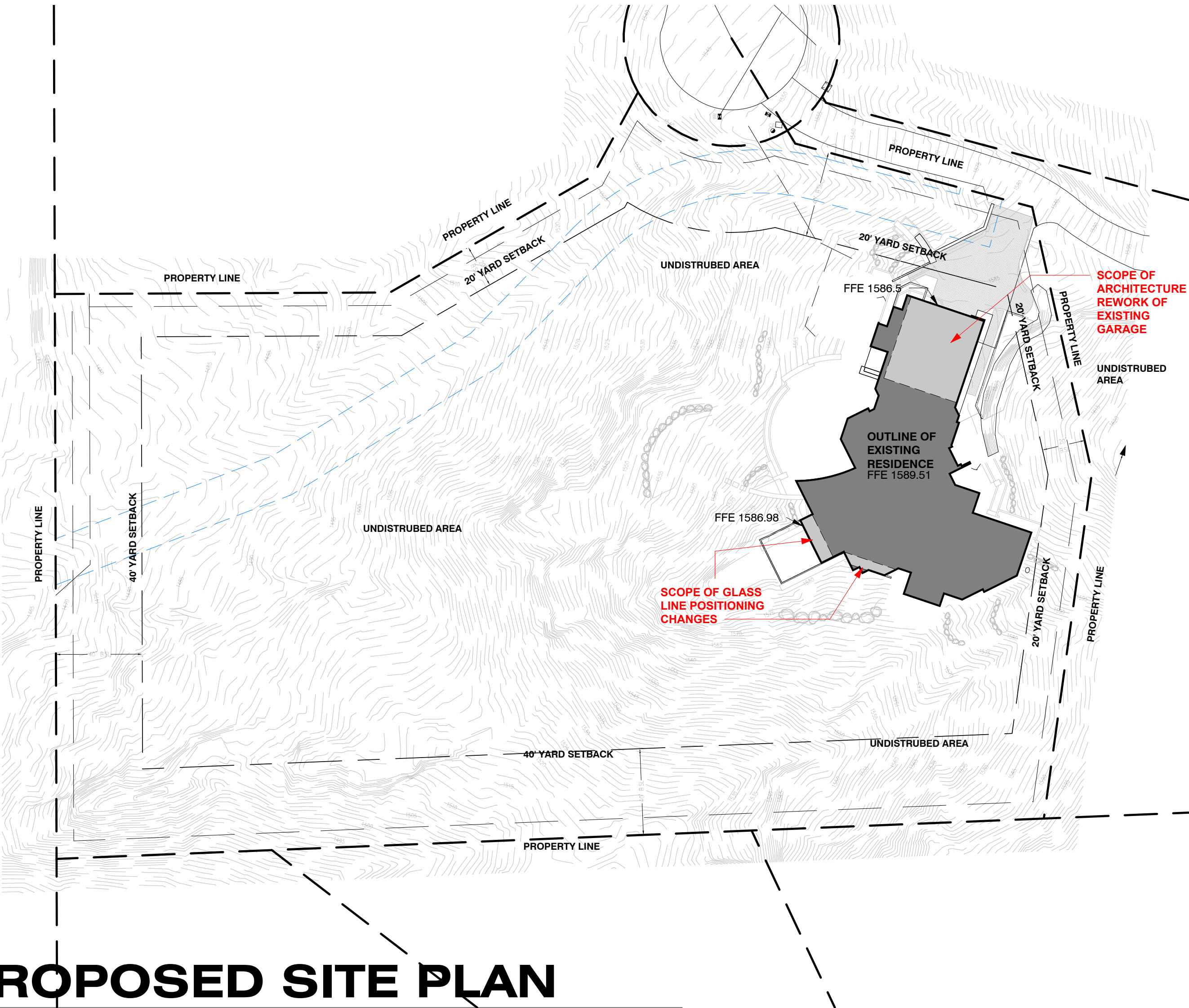
EXISTING SITE PLAN

1" = 40'-0"



PROPOSED SITE PLAN

1" = 40'-0"

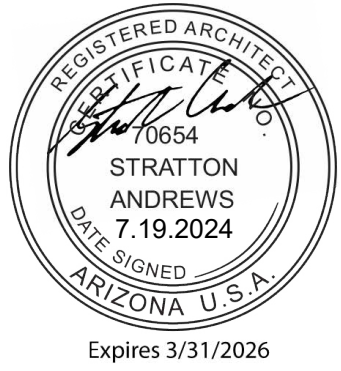


LAS BRISAS
RESIDENCE

7401 N LAS BRISAS
PARADISE VALLEY, AZ 85253
Project No.24-18

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(602) 331-0701



FDR Construction Documents

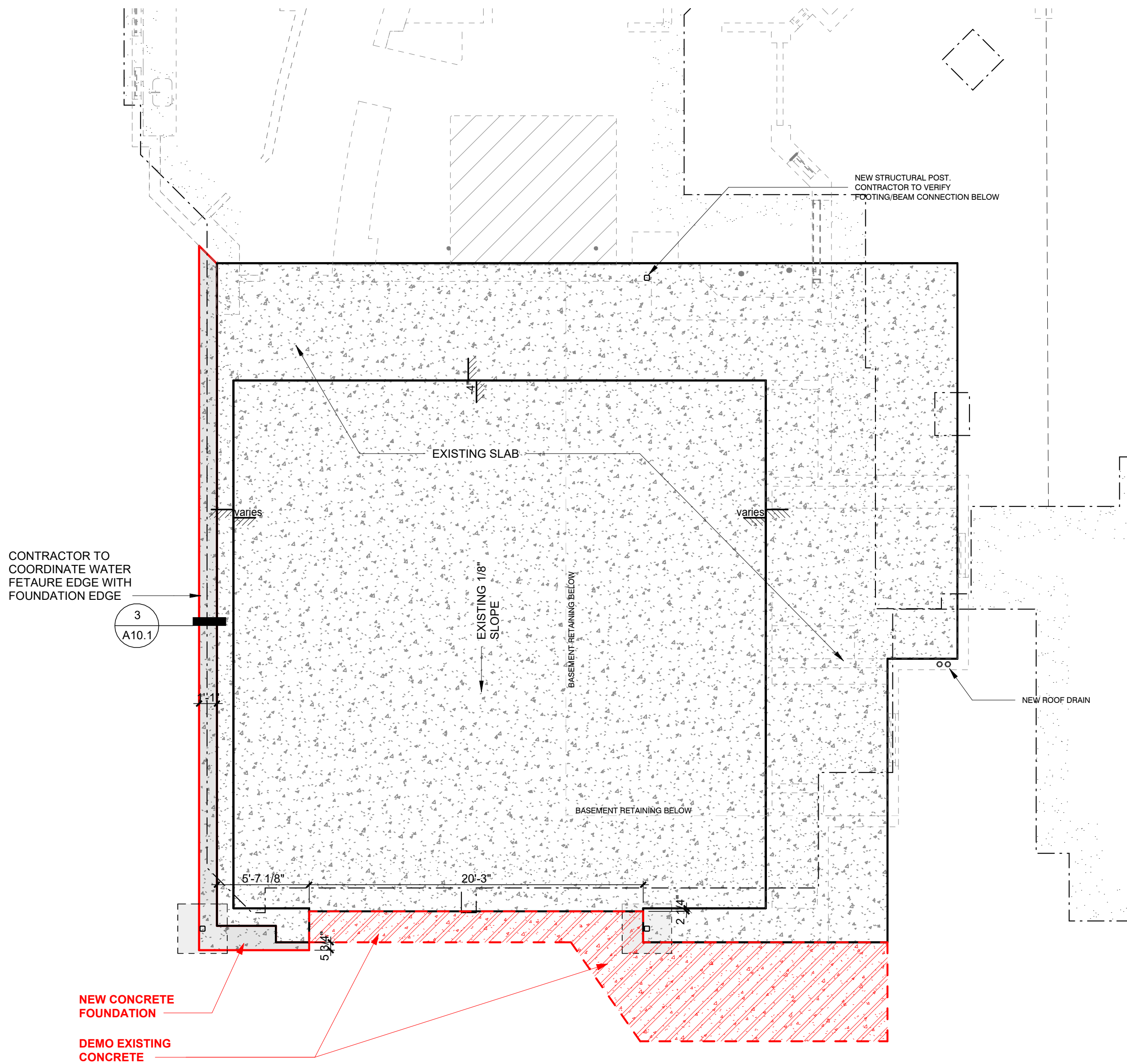
DATE 7.19.2024

REV.

ARCH. SITE PLAN

A1.0

OF SHEETS



ARCHITECTURAL FOUNDATION PLAN

3/16" = 1'-0"

Floor Plan General Notes

- WHERE THE HIGHEST POINT OF A CEILING IN A ROOM THAT OPENS TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE OPENING INTO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. PROVIDE ADD'L S.D.'S AS APPLICABLE.
- ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- PERP. DISTANCE FROM THE FIREPLACE OPENING TO COMBUSTIBLE WALLS SHALL CONFORM TO THE I.C.C. N.E.R. REPORT.
- HEARTH EXTENSIONS: DECORATIVE NONCOMBUSTIBLE COMBUSTIBLE MATERIAL SHALL BE INSTALLED OVER A THERMAL RESISTIVE BARRIER WHICH COMPLIES WITH THE EVALUATION REPORT AND MFR'S WRITTEN INSTALLATION MANUAL.
- ALL PRODUCTS LISTED BY I.C.C. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MFR'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR ITEM(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONAL TESTED AGENCIES.
- ALL GLASS IN HAZARDOUS LOCATIONS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANEES WITH 9 S.F. OR ESS AREA SHALL BE SAFETY GLASS (SECT. 5409).
- GAS LINES:
A. NOT ALLOWED UNDER STRUCT(S).
B. NOT ALLOWED UNDER SLABS.
C. SHALL CONFORM TO ALL CURRENT CODES PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ALL WALLS' AND CEILING OF GARAGE & MECHANICAL ROOMS UNLESS SPECIFICALLY OTHERWISE PERMITTED BY LOCAL BUILDING OFFICIAL.
- PROVIDE WATERPROOF COUNTERTOPS AT KITCHEN, LAUNDRY, AND ALL BATHROOMS. AT OUT-SWINGING DOORS, PROVIDE LANDING NOT LOWER THAN - 4 INCHES BELOW TOP OF DOOR THRESHOLD, PER R311.4.3 AMENDED. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.
- ATTIC ACCESS OPENINGS SHALL NOT BE LESS THAN 22"x30" AND SHALL PROVIDE A MIN. OF 30" HEADROOM AND SHALL BE LOCATED IN A HALLWAY OR READILY ACCESSIBLE SPACE PER IRC R807.
- ALL MECH. EQUIPMENT (AIR COND., POOL EQUIP., ETC.) SHALL BE SCREENED A MIN. OF 1'-0" ABOVE THE HIGHEST PORTION OF THE EQUIP. FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SEE FLOOR PLAN AND SITE PLAN FOR LOCATION OF EQUIP.
- UNLESS SHOWN OTHERWISE, POSITION DOOR JAMBS 6" OFF THE WALL CONSTRUCTION AND/OR DESIGNATED DETAIL.
- WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. ALSO INCLUDES AREA SUBJECT TO CONT. HIGH HUMIDITY. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2)
- RANGES AND COOKTOPS: SHOW NOTE ON PLANS. PROVIDE A LISTED AND APPROVED RANGE AND/OR COOKTOP UNIT INSTALLED IN ACCORDANCE WITH THE LISTING AND WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY AND MAINTAIN REQUIRED HORIZONTAL AND VERTICAL CLEARANCES ABOVE THE FINISHED COUNTERTOP SURFACE BEFORE ORDERING OR INSTALLING CABINETS.

A2 - Symbol Legend

- Stone Veneer
- C.M.U.
- Wood Frame
- WATER CLOSET. 1.5 GALLONS PER FLUSH MAXIMUM
- LAVATORY, LOW FLOW
- Building Section Cut
- WINDOW DESIGNATION
- DOOR DESIGNATION
- WALL TYPE
- ELEVATION DATUM
- KEYNOTE DESIGNATION
- REVISION NOTE
- HEIGHT SYMBOL
- TEMPERED
- SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR

A2 - Interior Finish Notes

Drywall: Unless noted otherwise, all interior wall surfaces shall receive 5/8" gypsum wallboard. All ceiling surfaces shall receive 5/8" gypsum wallboard. Finish exterior corners, jambs, heads and sills with square drywall corner bead.

Interior Doors: 2-1/4" Premium Alder hardwood raised panel solid core wood doors with matching 5/4" jambs kerfed to receive drywall wrap at jamb and head.

Wood Flooring: TBD

Tile Flooring: TBD

Baseboard: 4" Tile base to match flooring



A2 - Exterior Finish Notes

Exterior Walls: 2X Framing with one-coat stucco system in dash finish.

Concrete Block: LIMEWASH PAINT EXISTING VENEER. LRV TO BE COMPLIANT AND VERIFIED ON SITE.

Exterior Metal Fascia: Old Country Millwork (OCM) - Color - PATINA'D BRONZE. Verify with Architect

Exposed Steel Tube and Columns: Metal Clad to match windows

Garage Door: Paint to match window frames

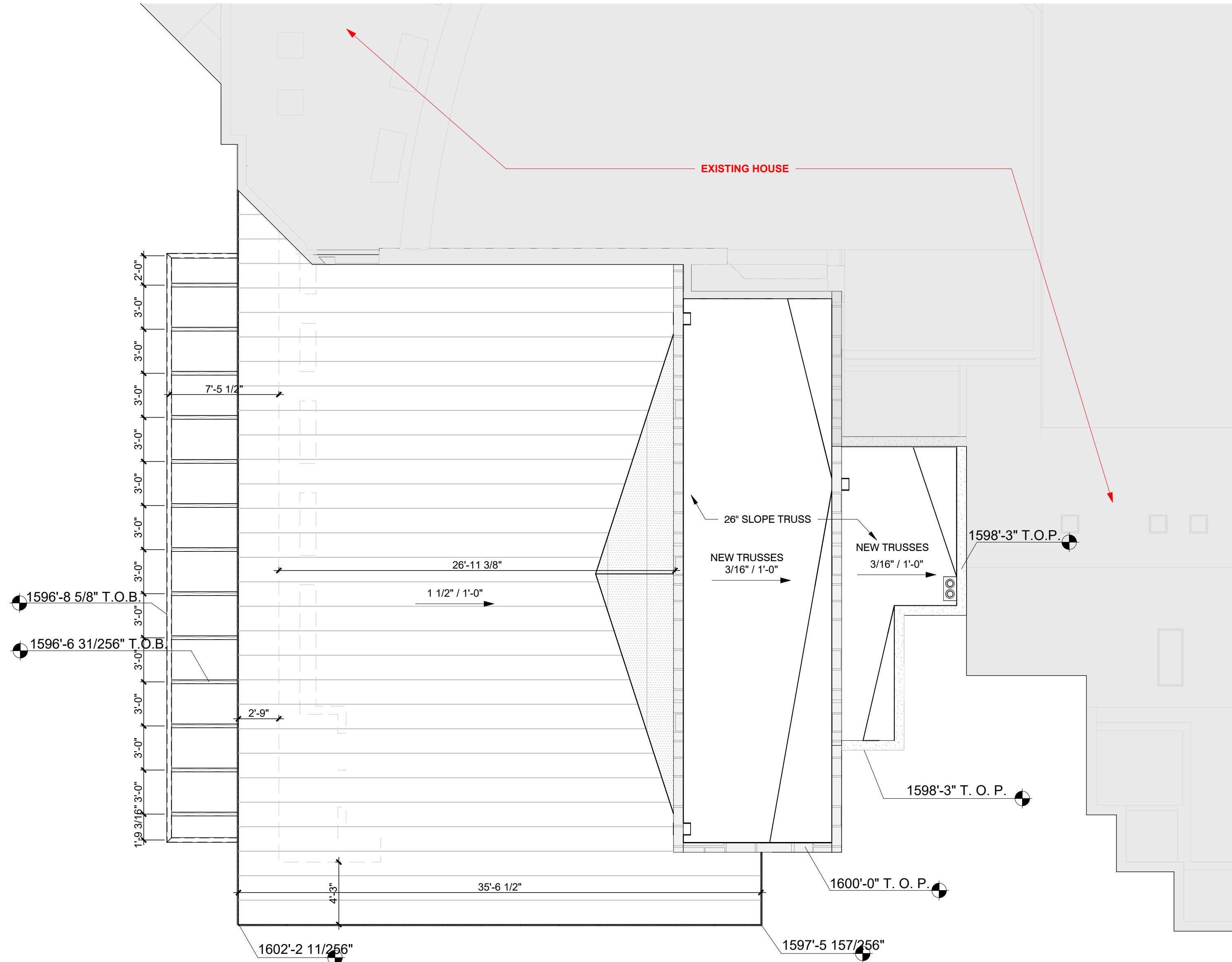
Windows: Aluminum windows with insulated low-E 366 glazing. Color: BLACK anodized.

Driveway: AGGREGATE + COBBLESTONE INLAY ECO OUTDOOR LUCA COBBLESTONE. LRV 26

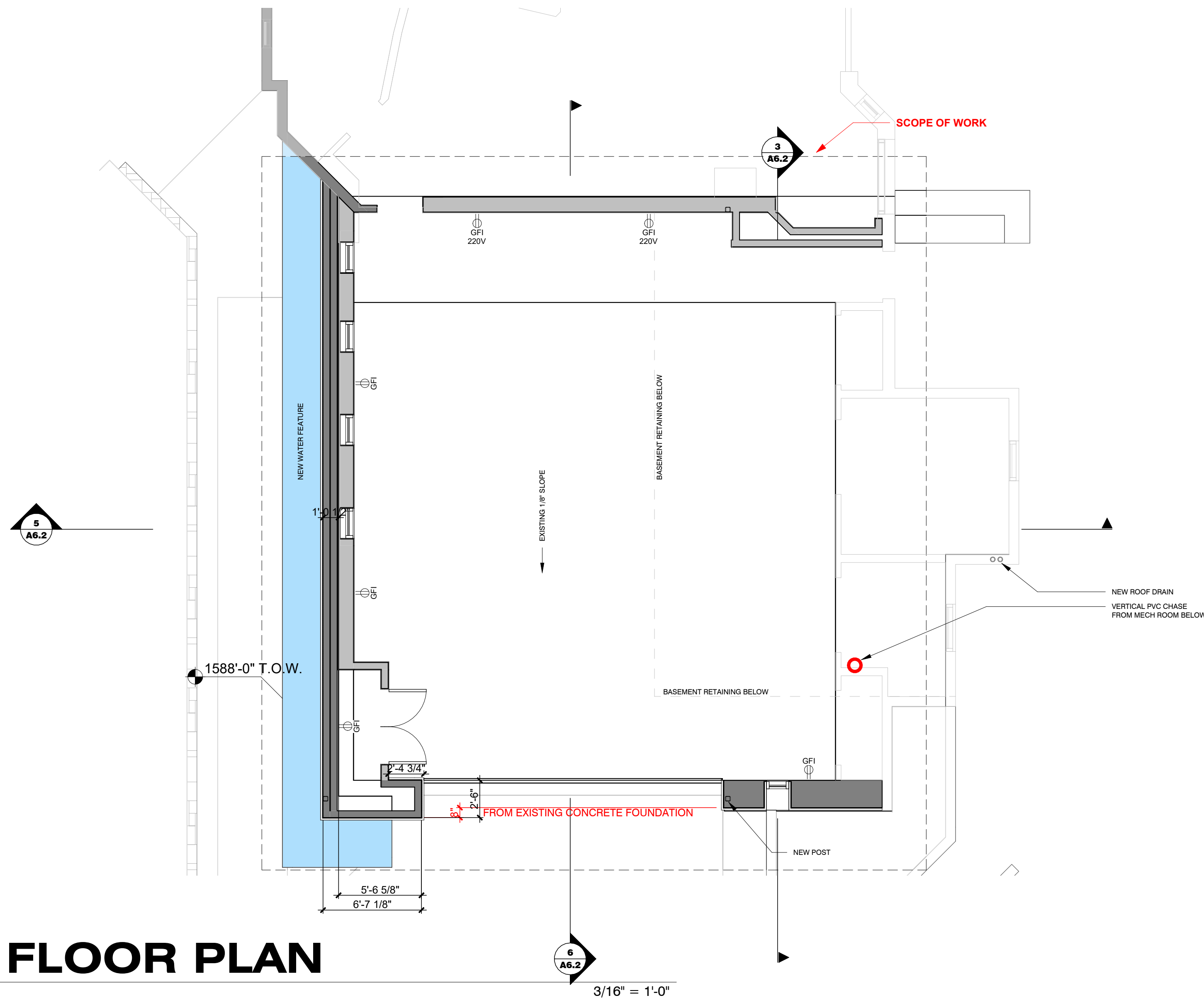
Patios & Walks: LIMESTONE PAV. SOLSTIVE STONE MT SINAI MEQUIN. LRV 37

ROOF PLAN

3/16" = 1'-0"



ROOF PLAN



FLOOR PLAN

3/16" = 1'-0"

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FDR Construction Documents

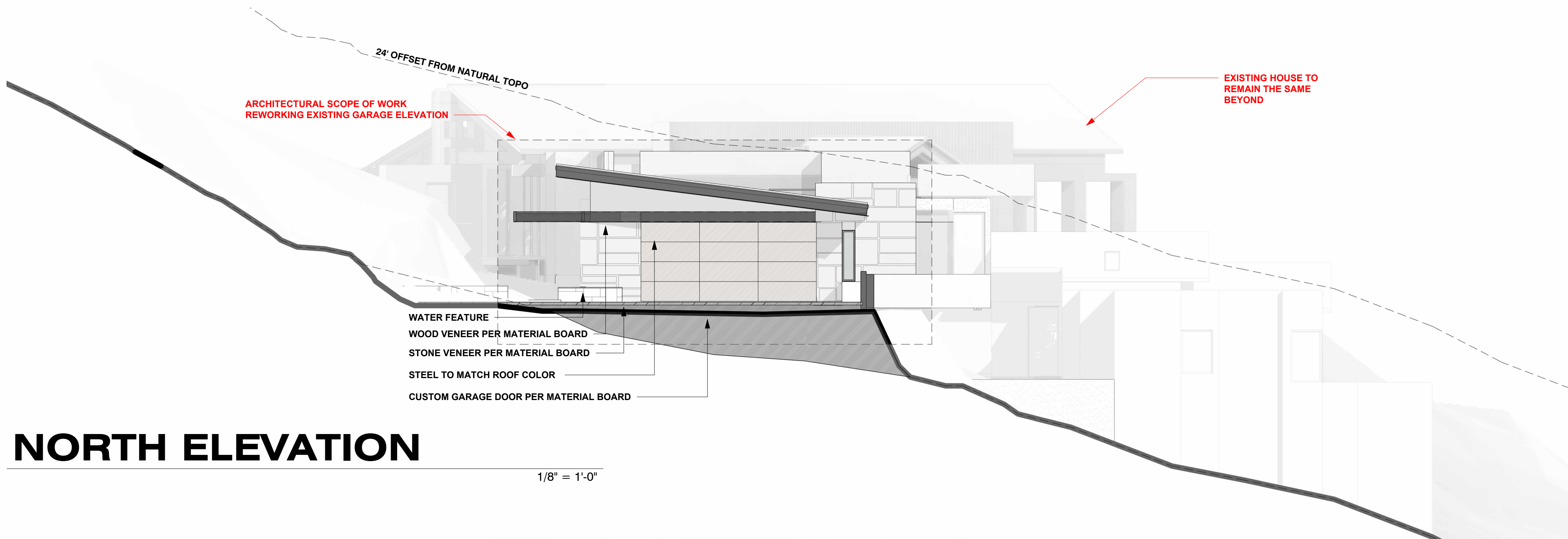
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REV.

GARAGE - NOTED

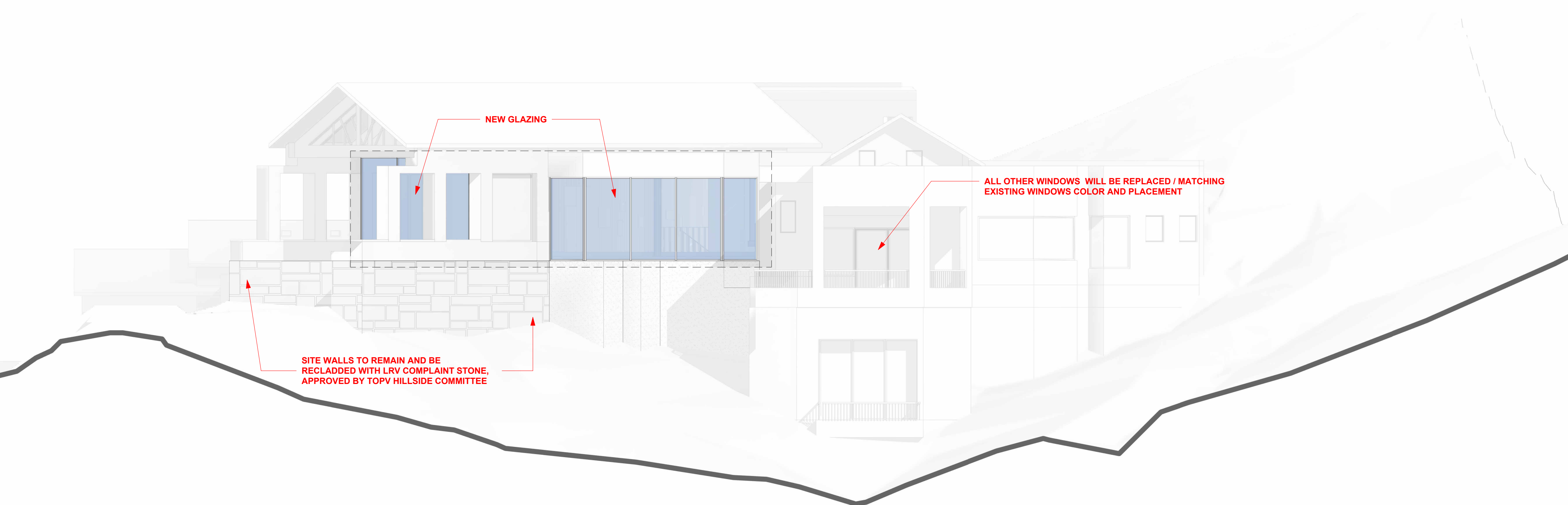
A2.2

OF SHEETS



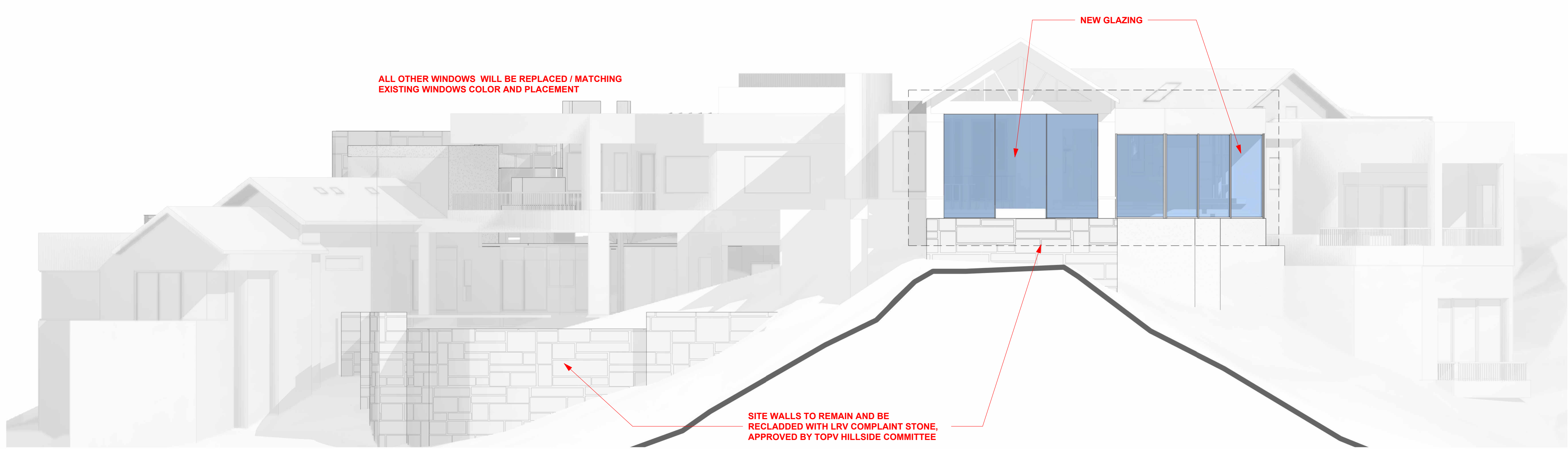
NORTH ELEVATION

1/8" = 1'-0"



SOUTH EAST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

GENERAL NOTES

- G-1 MAG ONE-COAT STUCCO COMPLIANCE PROGRAM: ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MFR. APPROVED INSTALLERS. AN APPROVED WEATHER RESISTIVE BARRIER SHALL BE APPLIED OVER ALL FRAMING AND WOOD BASED SHEATHING. ONE-COAT STUCCO SYSTEM SHALL BE "WESTERN ONE KOTE" STUCCO SYSTEM (ICC ESR #1607). THIS ONE-COAT STUCCO SYSTEM SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER CONFORMING TO IRC R 703.9. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS PER R703.8. PAINT ALL UTILITARIAN METAL TO MATCH STUCCO U.N.O.
2. WEEP SCREED TO BE INSTALLED PER IRC R703.6.2.1
3. STUCCO/PLASTER FINISH MATERIAL TO BE INSTALLED PER IRC R703.6.2.

WINDOW NOTES

1. EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.
2. PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 6" TO FACE OF GLASS.
3. SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4".
4. DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANEES. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

GENERAL CONTRACTOR NOTE

CONTRACTOR TO REVIEW ROOF EDGE DETAILS AND EXTERIOR STONE LAYOUT WITH ARCHITECT. CONTRACTOR TO CREATE FULL SCALE MOCK UP OF ROOF EDGE AND STONE CAP DETAILS.

MATERIAL LEGEND

- HOUSE STUCCO TO MATCH EXISTING STUCCO
- METAL FASCIA - PATINAD BRONZE
- WOOD COMPOSITE
- NEW GLAZING
- HOUSE STONE / RETAINING WALLS LIMEWASH PAINT EXISTING VENEER
- EXISTING GLASS TO BE SWAPPED

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KEYNOTE

FDR Construction Documents

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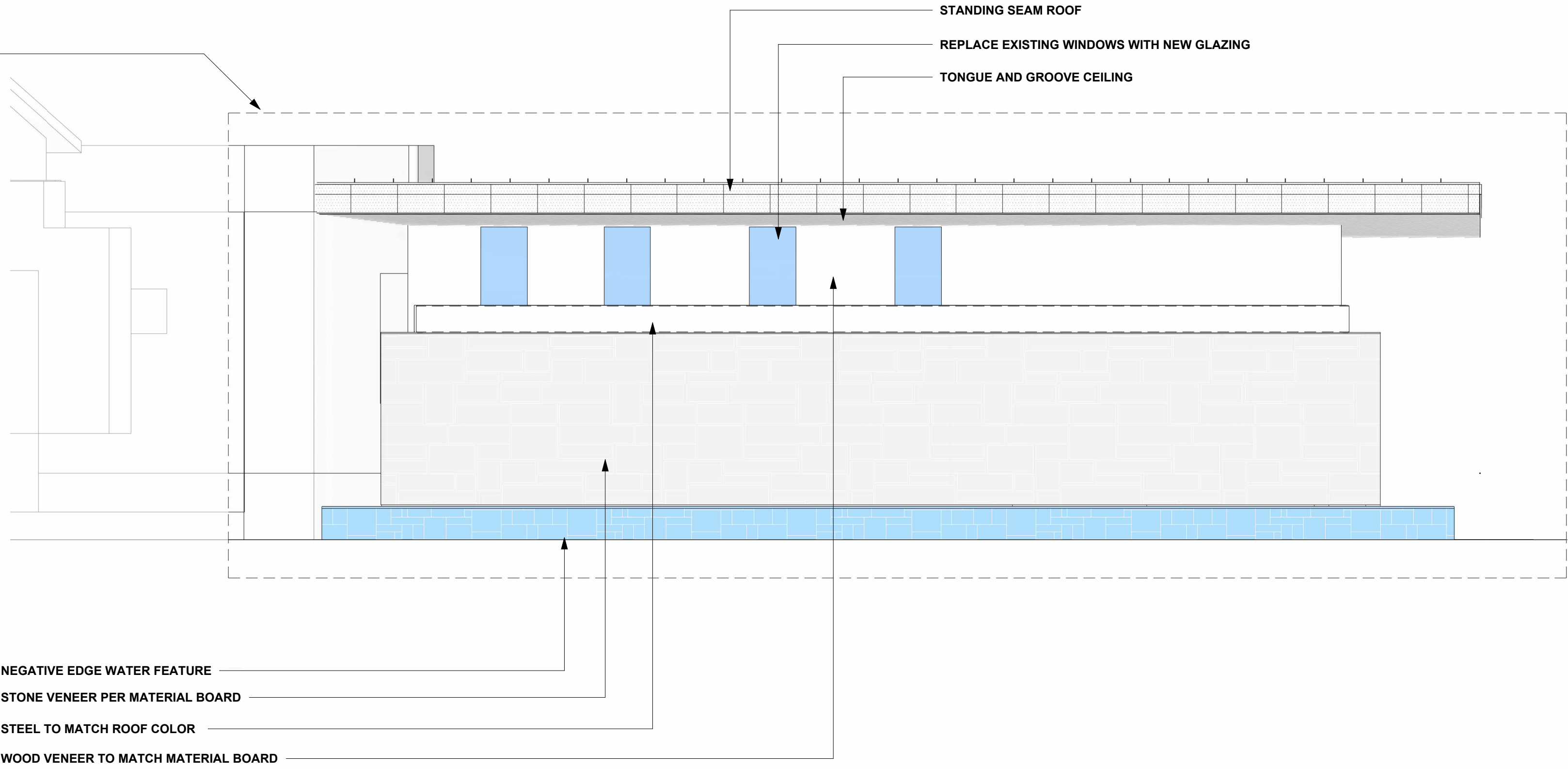
REV.

EXTERIOR ELEVATIONS

A6.1

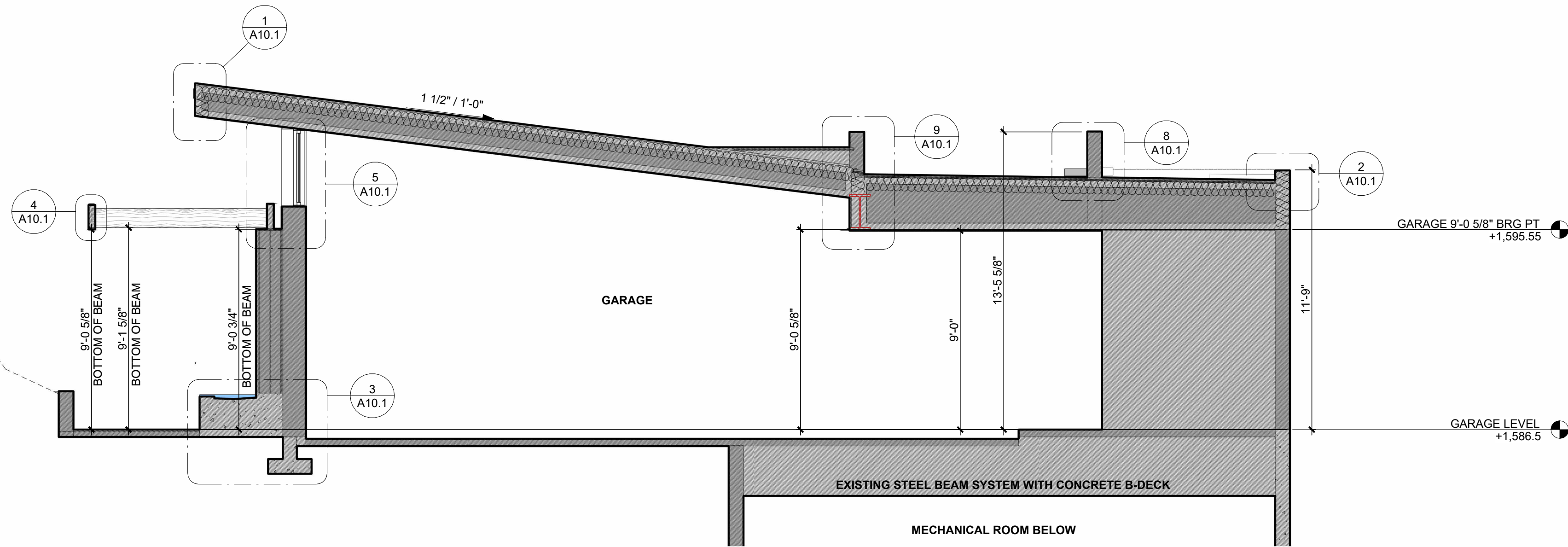
OF SHEETS

ARCHITECTURAL SCOPE
OF WORK
REWORKING EXISTING
GARAGE ELEVATION



GARAGE ELEVATION

1/4" = 1'-0"



Section 1

1/4" = 1'-0"

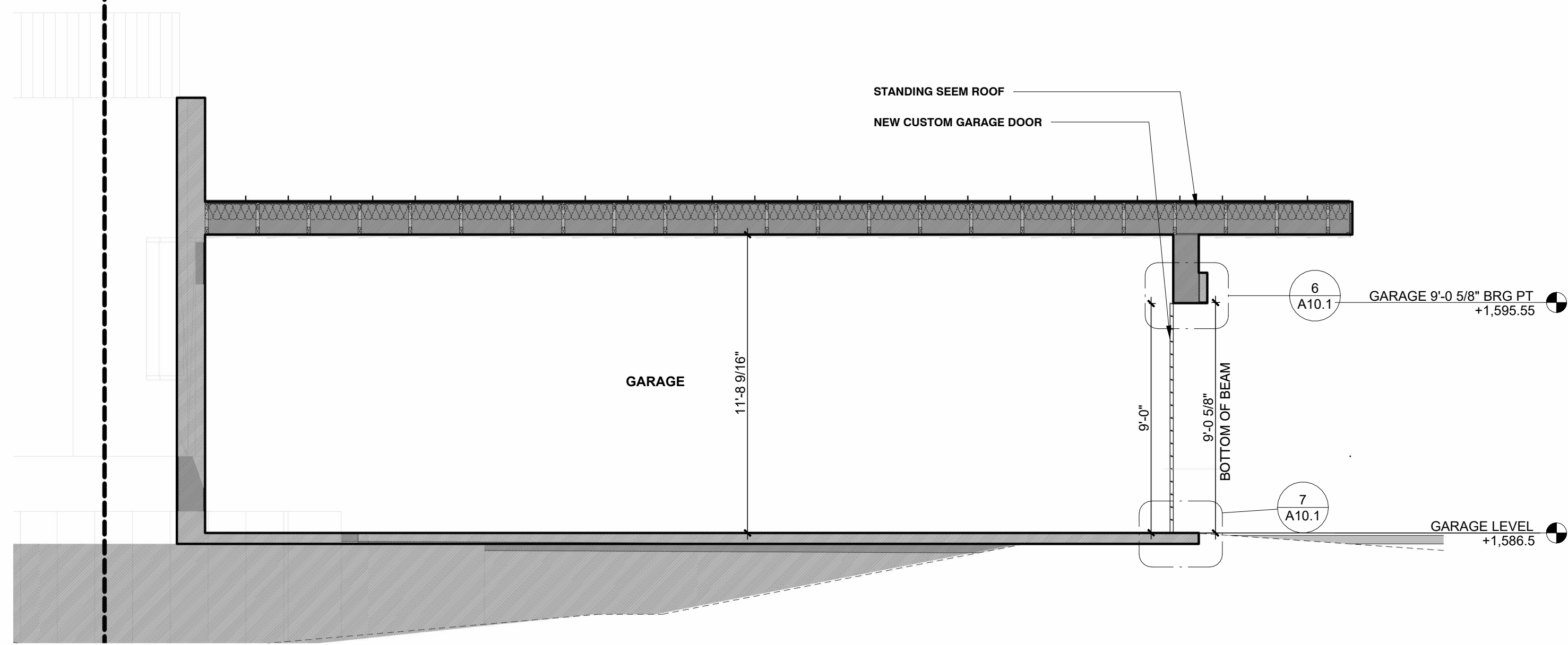
MATERIAL LEGEND

- HOUSE STUCCO TO MATCH EXISTING STUCCO
- METAL FASCIA - PATINA'D BRONZE
- WOOD COMPOSITE
- NEW GLAZING
- HOUSE STONE / RETAINING WALLS
LIMEWASH PAINT EXISTING VENEER
- EXISTING GLASS TO BE SWAPPED

EXISTING HOUSE TO REMAIN THE SAME



NEW GARAGE REMODEL



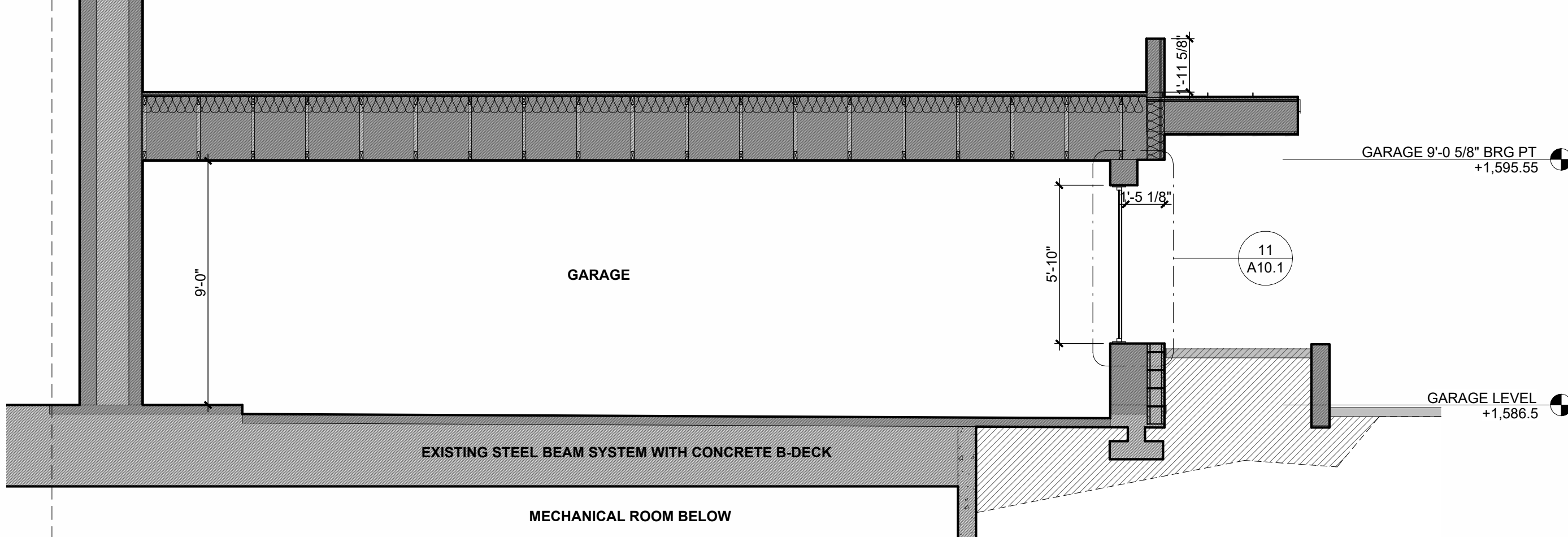
Section 2

1/4" = 1'-0"

EXISTING HOUSE TO REMAIN THE SAME



NEW GARAGE REMODEL



Section 6

1/4" = 1'-0"

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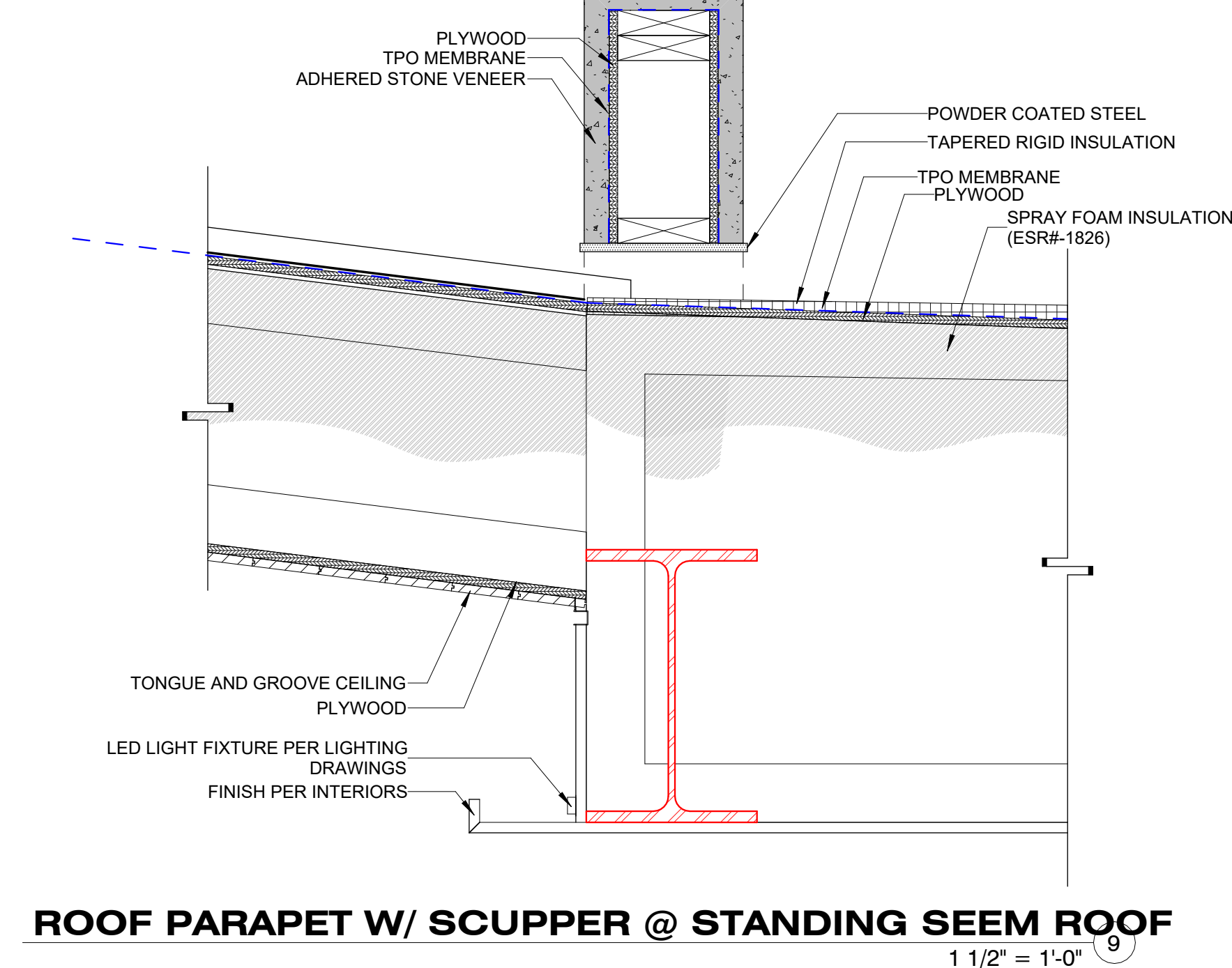
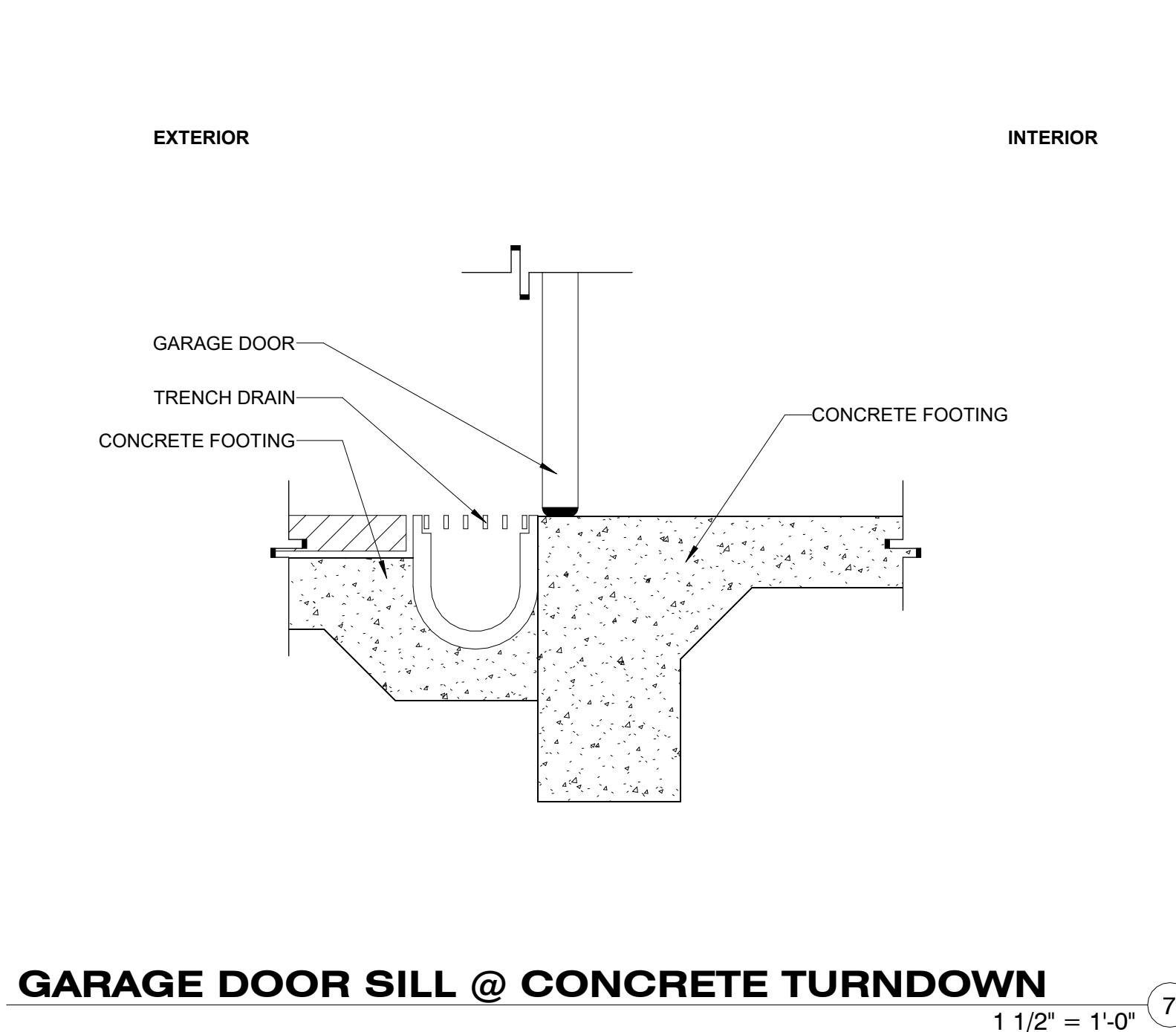
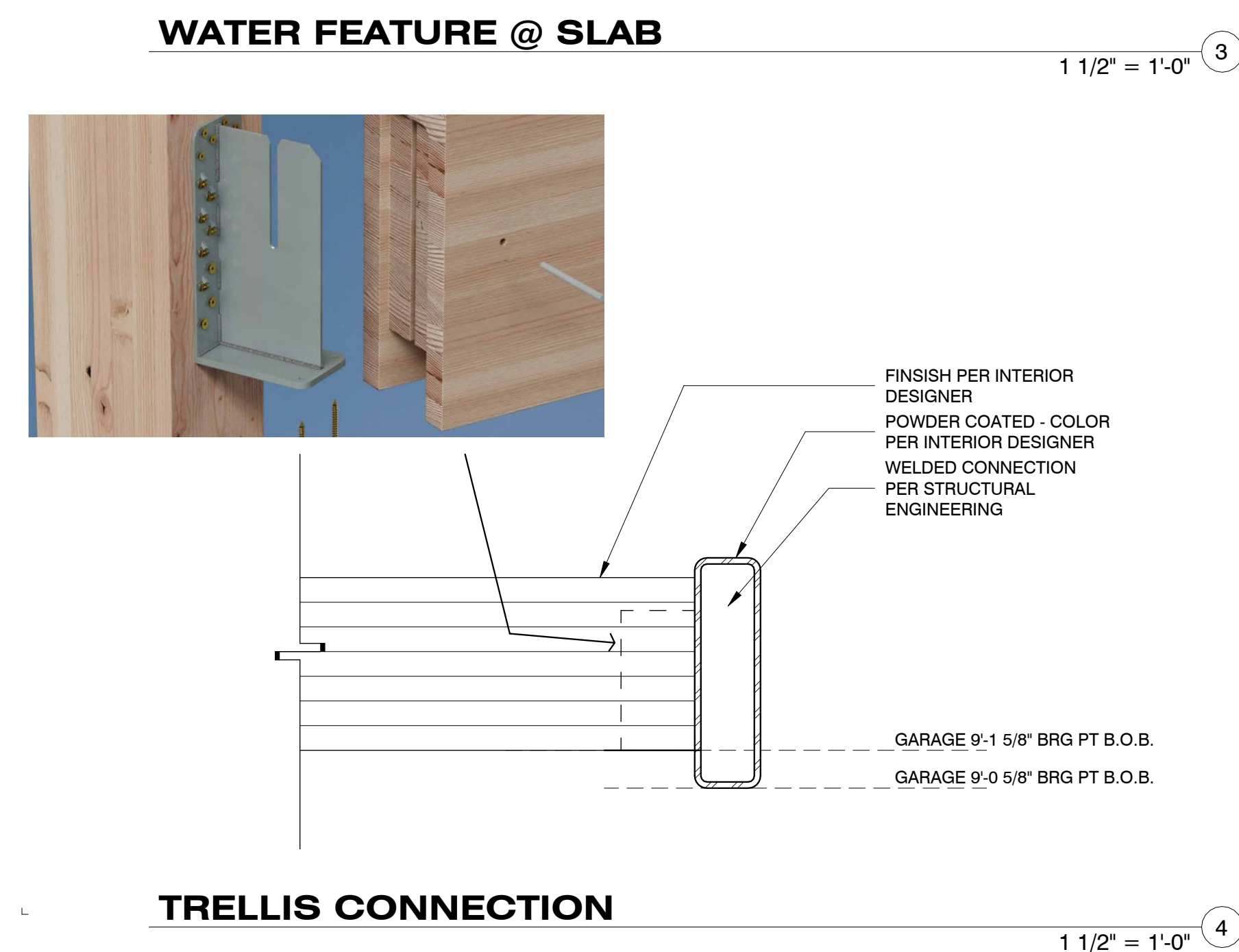
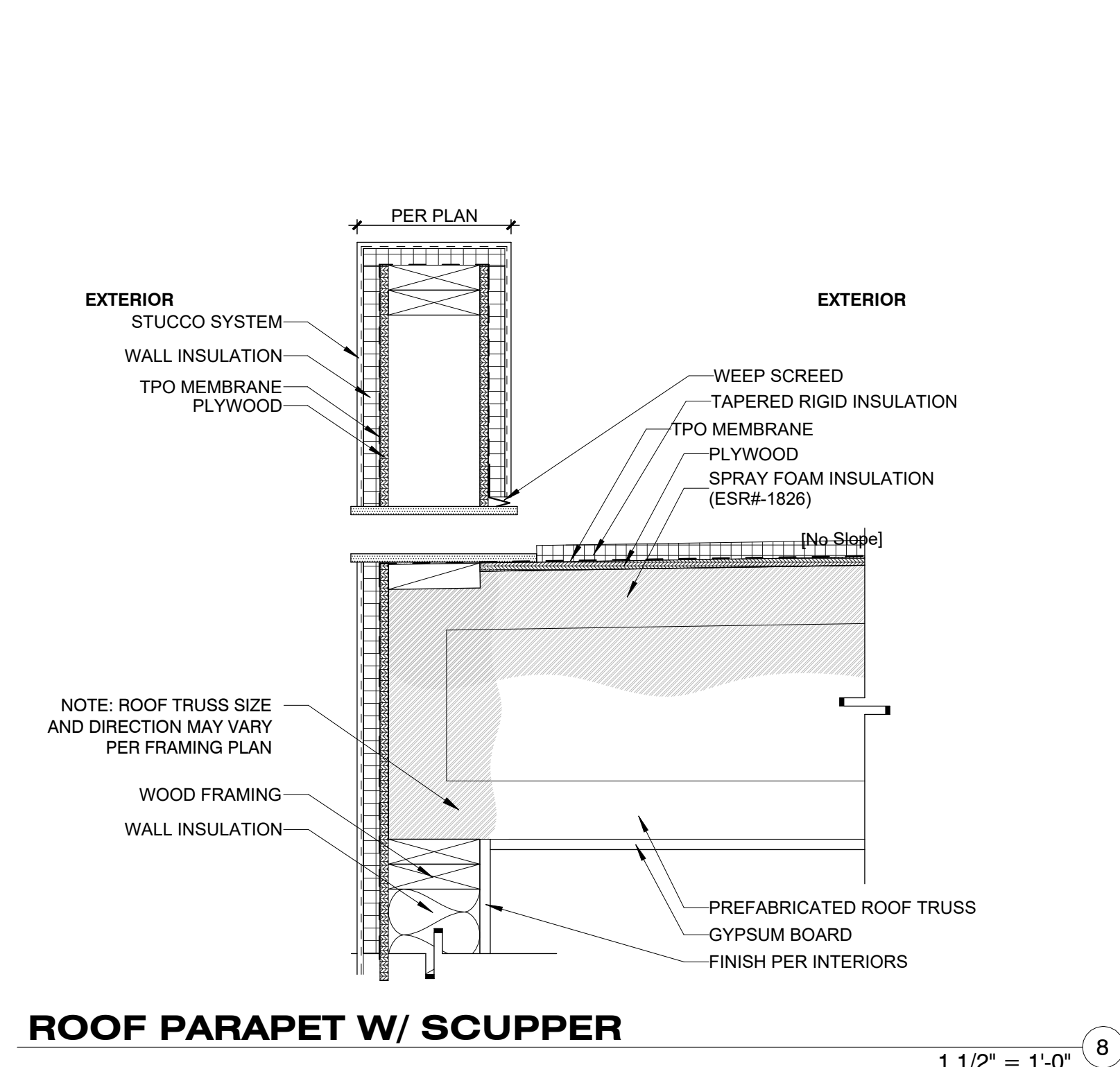
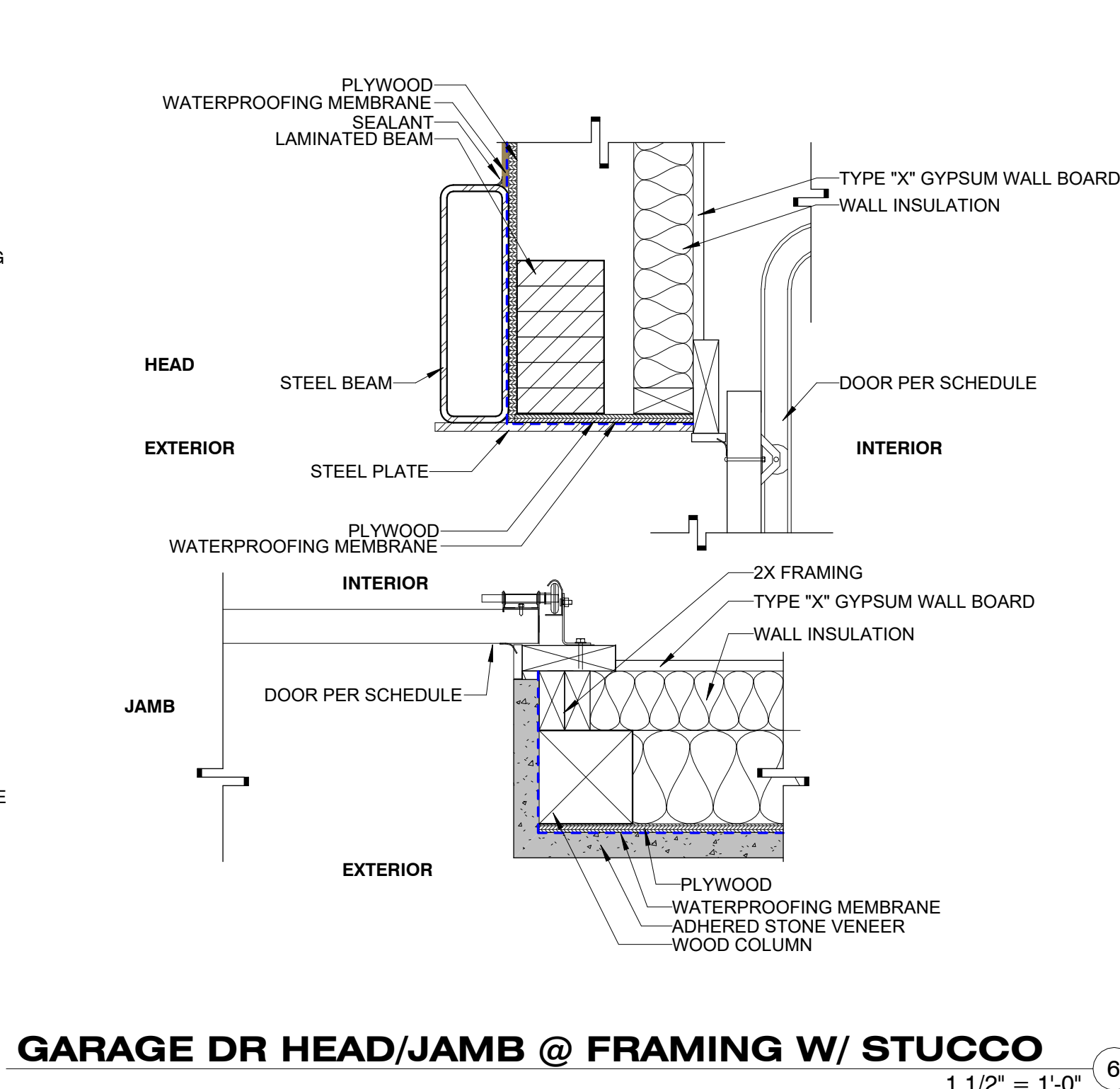
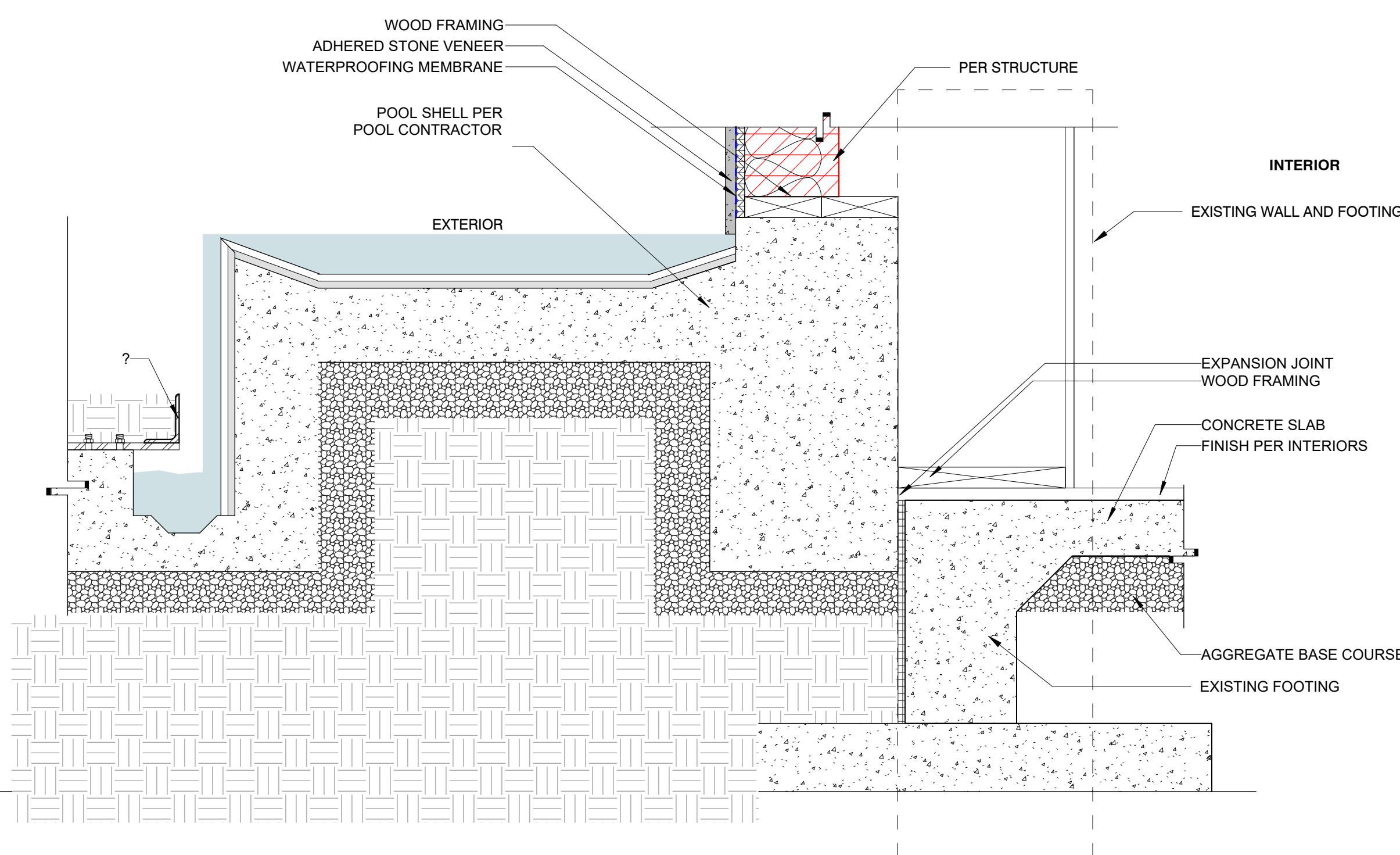
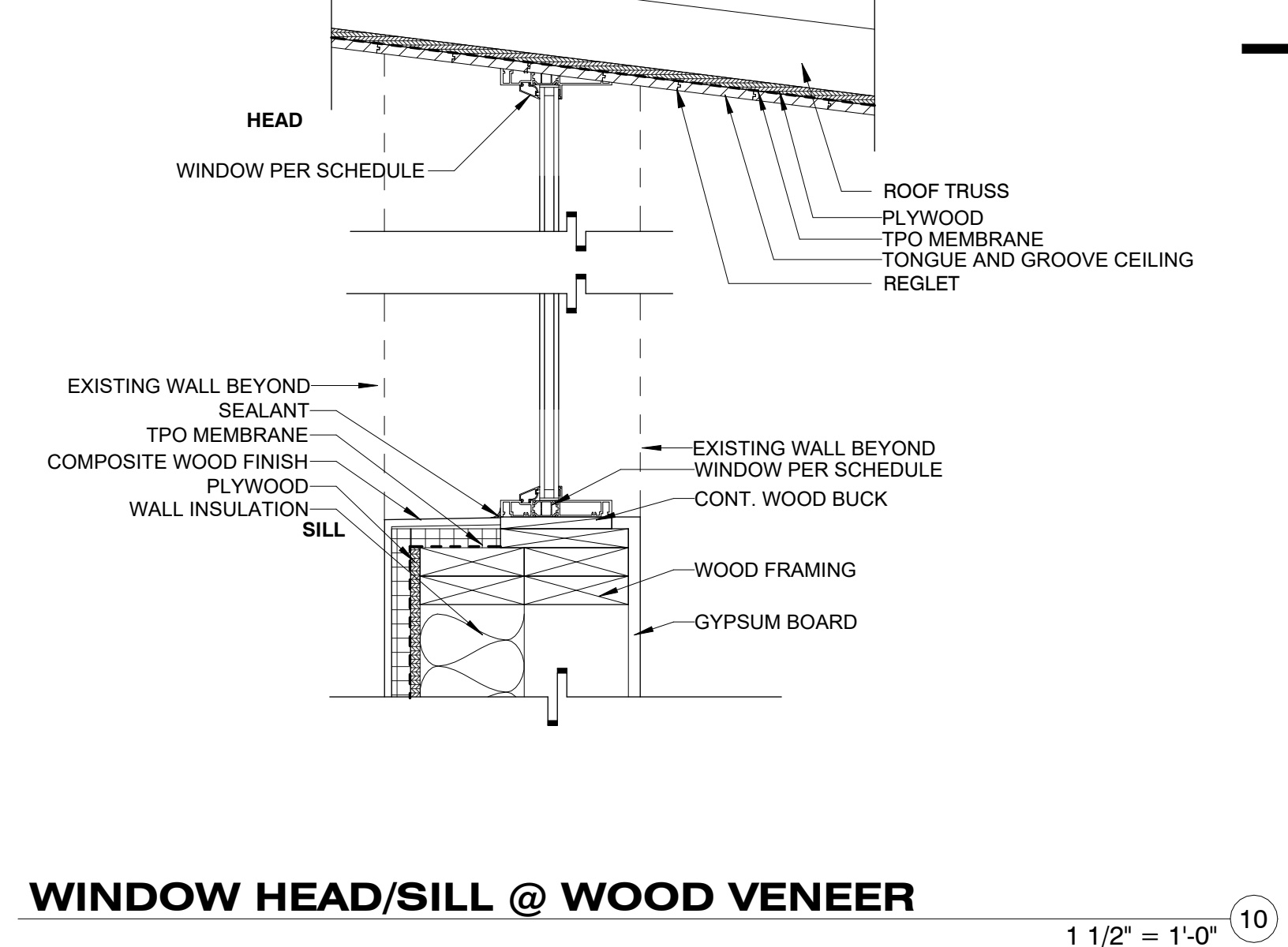
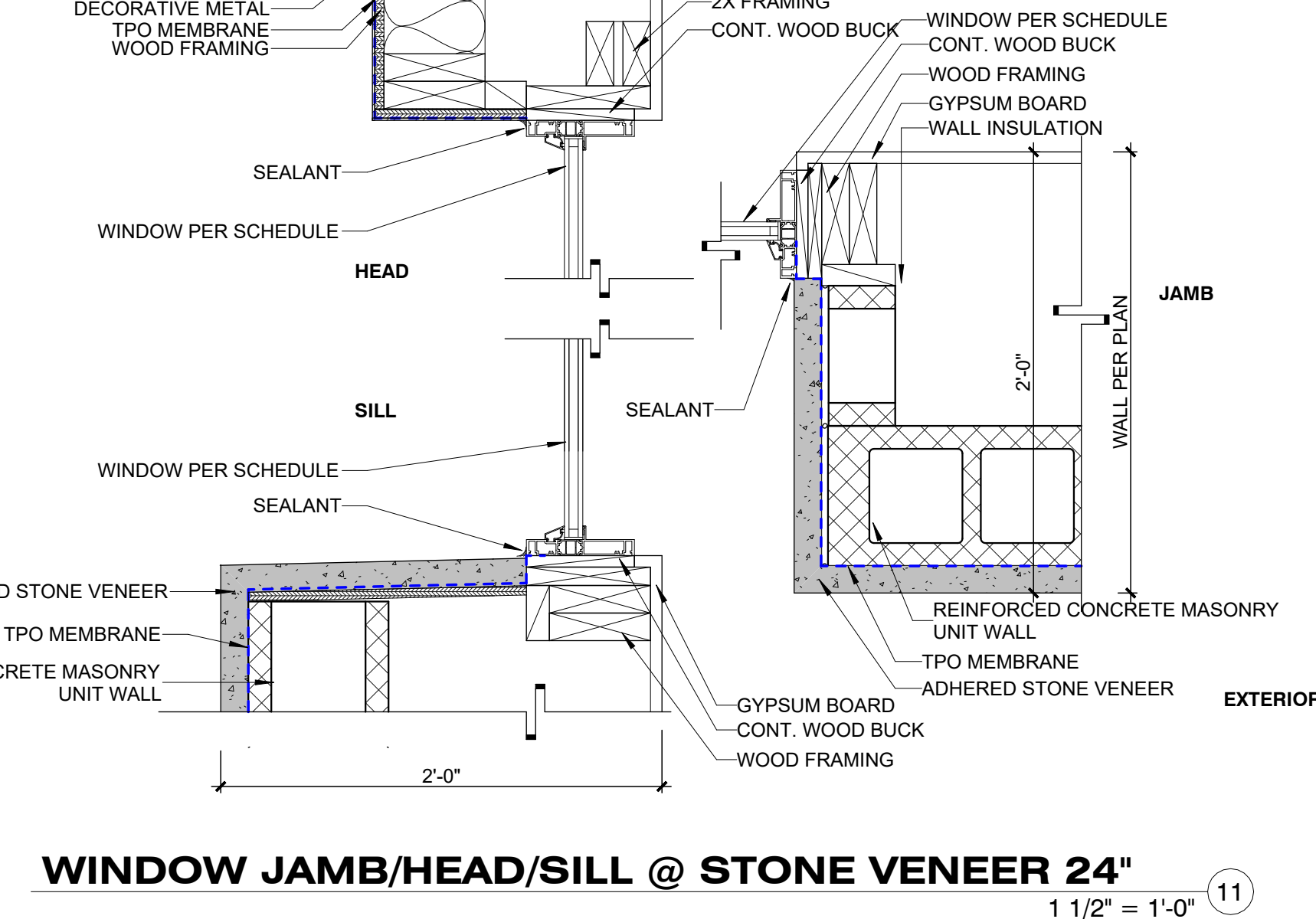
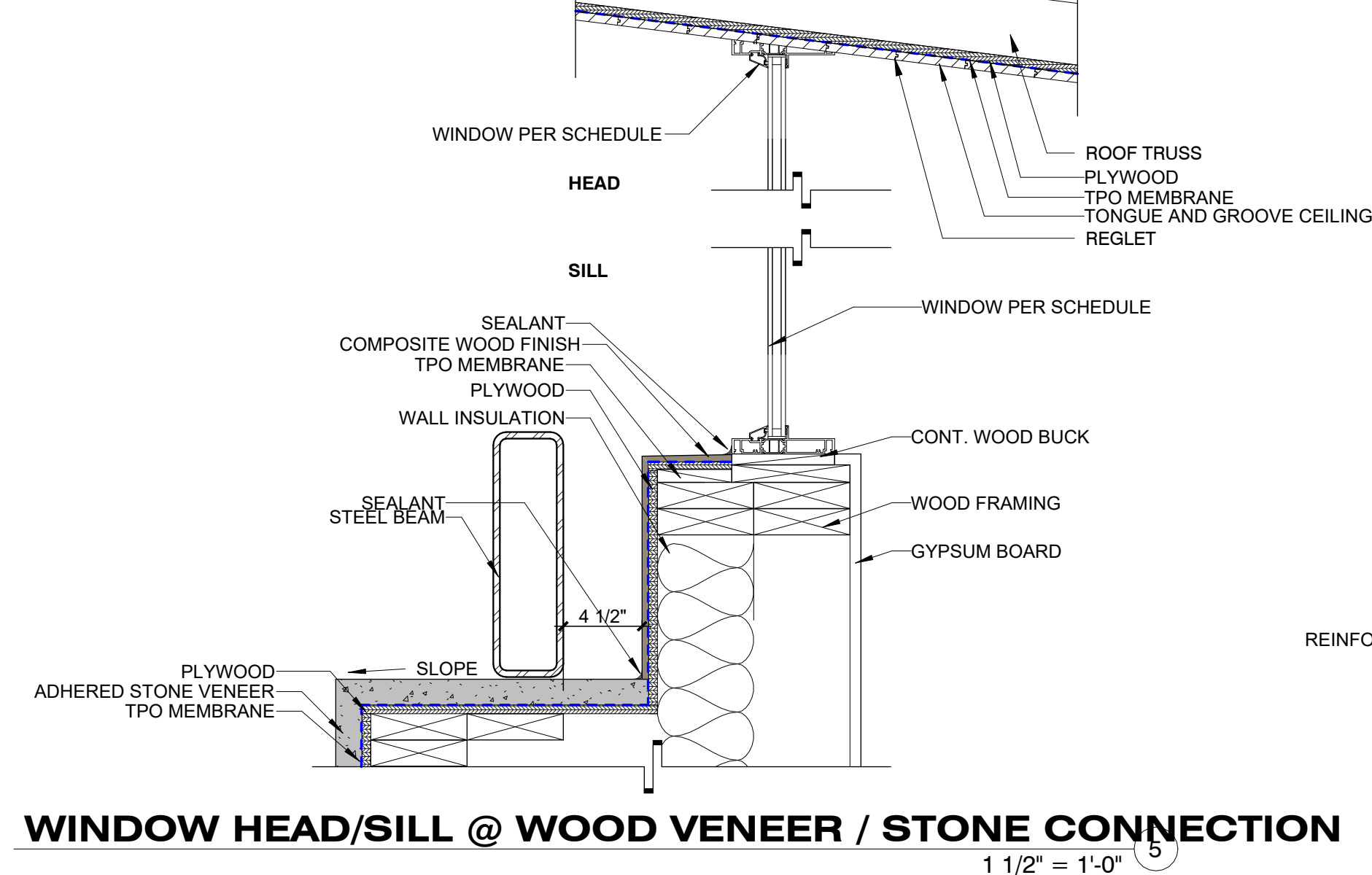
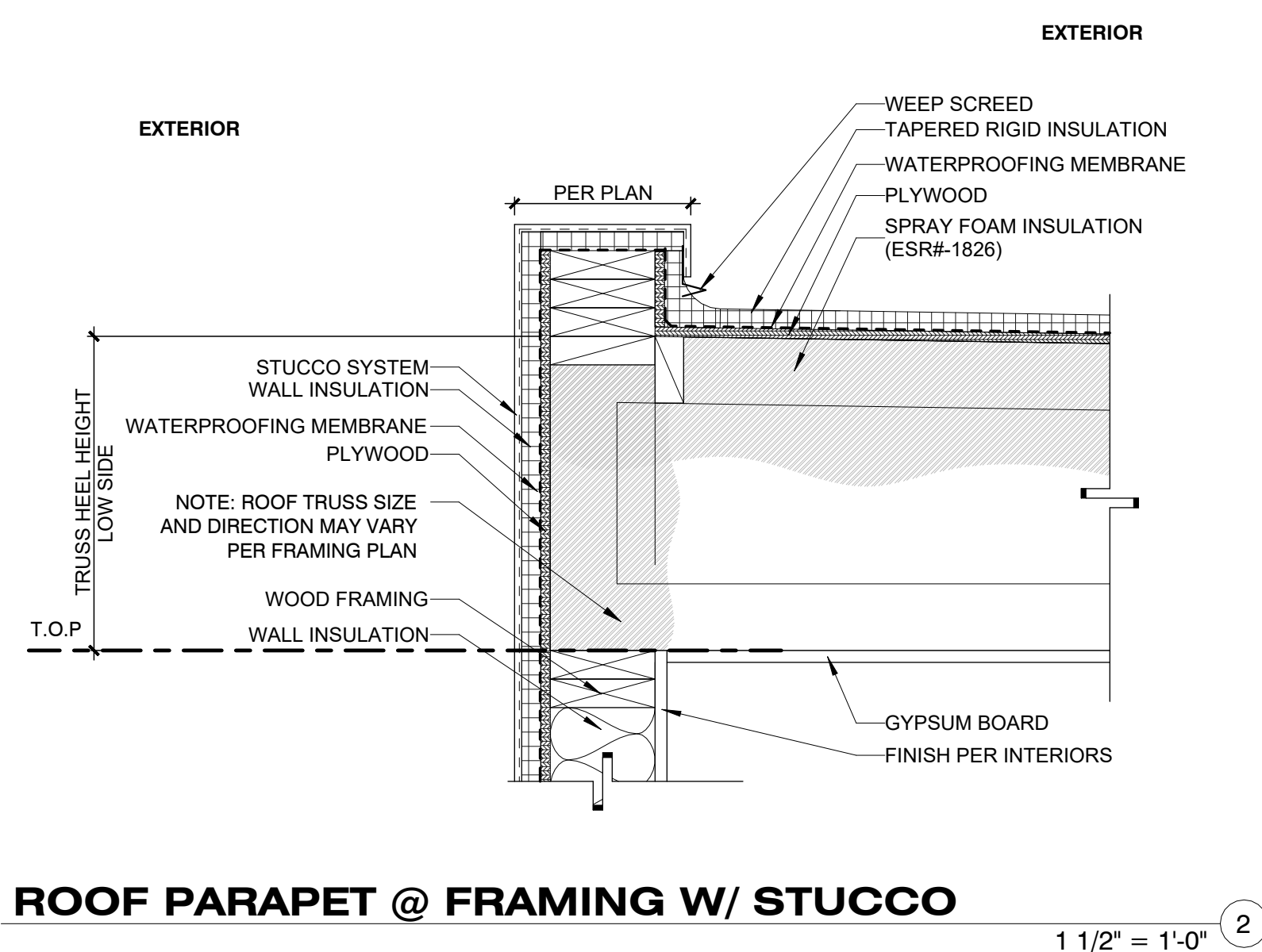
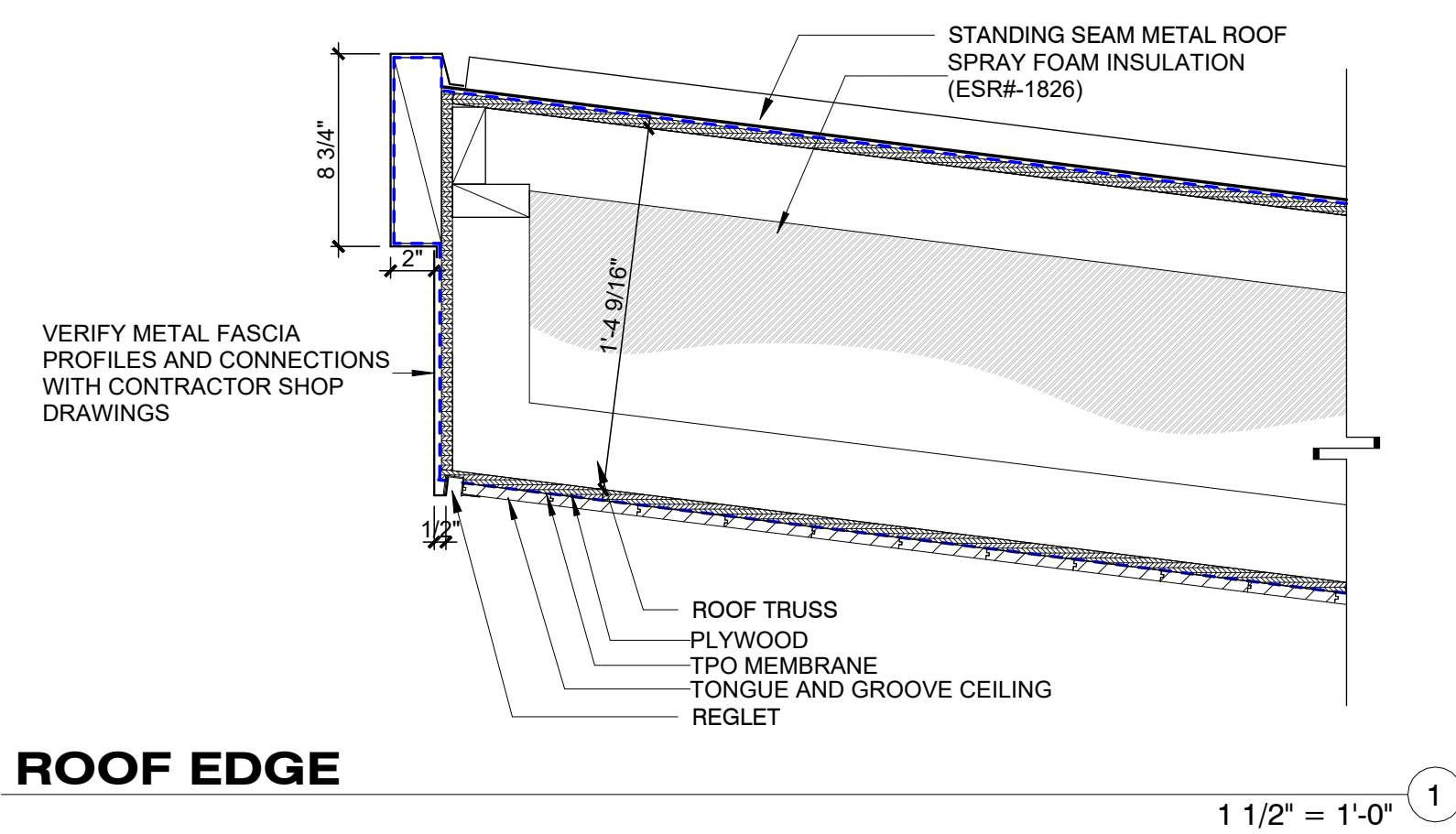
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REV.

ELEVATION -
GARAGE

A6.2

OF SHEETS



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TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO THE TOP OF THE SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAILS OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NIGHT INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-337-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE TOWN HAS PAID A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE IBC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE TOWN ENGINEER'S OFFICE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P), UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC, SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPT DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-11) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEO TECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL BE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS LOWER (TYPICAL).
37. REFER TO STRUCTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRAPE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.52 ACRES < 1 ACRE: NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. EXISTING ROCKING REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES. STABILITY OF EXISTING ROCK PINNING AND NET SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

GRADING & DRAINAGE PLAN

7401 N LAS BRISAS LN., PARADISE VALLEY, AZ 85253

LOT 1 - MONTANA DE BONITAS CASAS 3

A SUBDIVISION PLAT RECORDED IN BOOK 1250 OF MAPS, PAGE 29, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 5, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- A/C UNIT
- ⊗ GAS METER
- ⊗ SEWER CLEANOUT
- CTV CABLE TV RISER
- TELECOMM. PEDISTAL
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- TREE
- SAQUARO
- PALO VERDE
- EXISTING DISTURBED AREA
- H1575
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TB: XX.XX
- TOP OF BOULDER
- ⊗ CATCH BASIN
- STORM DRAIN PIPE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- MCR MARICOPA COUNTY RECORDER
- P, PWMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TOP OF CURB
- TPV TOWN OF PARADISE VALLEY
- WM WATER METER

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

SHEET INDEX

- C-1 - COVER SHEET
- C-2 - IMPROVEMENT PLAN
- C-3 - STORM DRAIN PLAN DETAILS

UTILITIES

WATER: EPOR

SANITARY SEWER: CITY OF PHOENIX

ELECTRIC: APS

TELEPHONE: CENTURY LINK, COX COMM.

NATURAL GAS: SOUTHWEST GAS

CABLE TV: CENTURY LINK, COX COMM.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE ⊗ (602) 263-1100.

DISTURBED AREA CALCULATIONS

EXISTING LOT AREA: 134,275 S.F. (3.083 AC.)

TOTAL AREA UNDER ROOF: 9,943 S.F.

FLOOR AREA RATIO: 7.4 % ≤ 25%

(AREA UNDER ROOF/AREA OF LOT)

BUILDING PAD SLOPE: 34.9%

FIRE HYDRANT: 43.5 FT

HORIZONTAL: 124.5 FT

ALLOWABLE NET DISTURBED AREA: 10.04%

ALLOWABLE NET DISTURBED AREA: 13,481 S.F.

EXISTING GROSS DISTURBED AREA: 20.92%

EXISTING GROSS DISTURBED AREA: 28,090 S.F.

PROPOSED GROSS DISTURBED AREA: 28,090 S.F. (20.92%)*

LESS TEMPORARY AREAS OF DISTURBANCE

TOTAL LIVABLE FOOTPRINT: 8,187 S.F.

DRIVEWAY CREDIT 50%: 0 S.F.

RETENTION BASIN CREDIT: 1,874x50%= 937 S.F.

RESTORED AREAS: 0 S.F.

NET PROPOSED DISTURBED AREA: 18,966 S.F.

NET PROPOSED DISTURBED AREA: 14.12%

LIMITS OF DISTURBED AREA CLEARLY SHOWN ON PLANS.

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.): 0 S.F. (0%)

VOLUME OF CUT: 93 C.Y.

VOLUME OF FILL: 50 C.Y.

TOTAL OUTFILL: 143 C.Y.

HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. GRADING PERMIT FEE: \$264

(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY).

ASSURANCE AMOUNT: \$9,240

* PROPOSED DISTURBED AREA IS WITHIN THE EXISTING DISTURBANCE. NO NEW AREA OF DISTURBANCE IS PROPOSED WITH THIS PLAN.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 48TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1419.80 NAVD 88 DATUM, GDACS# 24521-02.

RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12 D - RAINFALL DEPTH = 2.23" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
Vf=(DfxAxCw,post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.				S.F.	FT	C.F.	C.F.
A	28,090	0.00	0	995	A1	HW	99.00	62	0.50	16	
						BOT	98.50	1			
					A2	HW	95.00	53	0.50	14	
						BOT	94.50	4			
					A3	HW	80.00	50	0.50	14	
						BOT	79.50	5			
					A4	HW	74.00	92	0.75	36	
						BOT	73.25	4			
					A5	HW	77.00	388	1.00	235	
						BOT	76.00	82			
					A6	HW	84.00	326	1.00	204	
						BOT	83.00	82			
					A7	HW	55.00	607	1.00	418	
						BOT	54.00	229			
					A8	HW	84.00	38	0.50	10	
						BOT	83.50	1			
					A9	HW	70.00	35	0.50	9	
						BOT	69.50	1			
					A10	HW	59.00	131	0.75	52	
						BOT	58.25	8			
					A11	HW	71.00	39	0.50	10	
						BOT	70.50	1			
					A12	HW	75.00	52	0.50	15	
						BOT	74.50	6			
TOTAL			0	995	1,032						

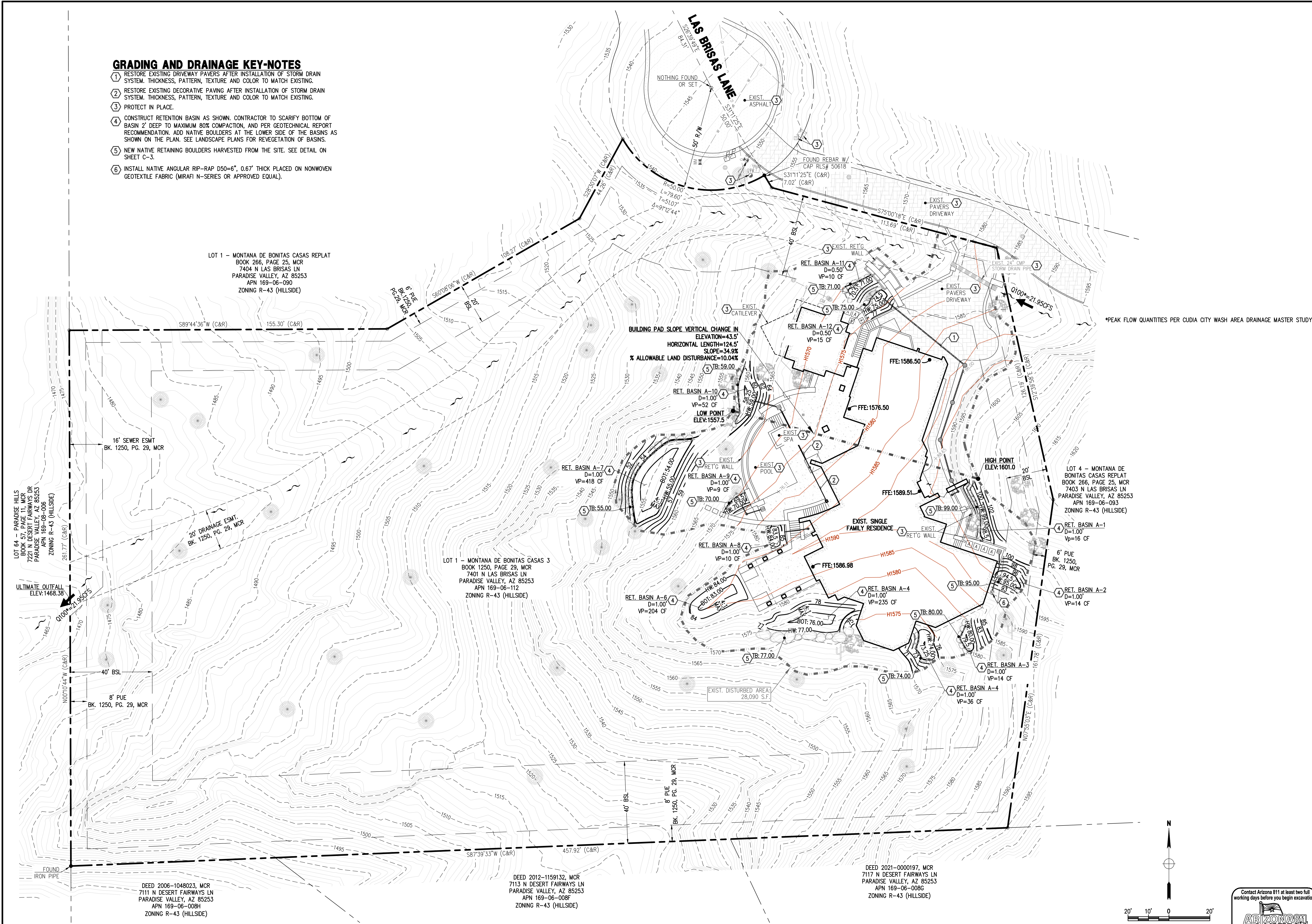
- (1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.
- * RETENTION CALCULATIONS COVER ONLY THE EXISTING LIMITS OF CONSTRUCTION.

WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT & ROOF	0.95	16,358	15,540
NATIVE HILLSIDE	0.70	11,732	8,213
TOTAL		28,090	23,753
$Cw = C * AREA / TOTAL AREA$ 0.85			

WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT & ROOF	0.95	16,358	15,540
NATIVE HILLSIDE	0.70	11,732	8,213
TOTAL		28,090	23,753
$Cw = C * AREA / TOTAL AREA$ 0.85			

GRADING AND DRAINAGE KEY-NOTES

- RESTORE EXISTING DRIVEWAY PAVERS AFTER INSTALLATION OF STORM DRAIN SYSTEM. THICKNESS, PATTERN, TEXTURE AND COLOR TO MATCH EXISTING.
- RESTORE EXISTING DECORATIVE PAVING AFTER INSTALLATION OF STORM DRAIN SYSTEM. THICKNESS, PATTERN, TEXTURE AND COLOR TO MATCH EXISTING.
- PROTECT IN PLACE.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION. ADD NATIVE BOULDERS AT THE LOWER SIDE OF THE BASINS AS SHOWN ON THE PLAN. SEE LANDSCAPE PLANS FOR REVEGETATION OF BASINS.
- NEW NATIVE RETAINING BOULDERS HARVESTED FROM THE SITE. SEE DETAIL ON SHEET C-3.
- INSTALL NATIVE ANGULAR RIP-RAP D50=6", 0.67' THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).

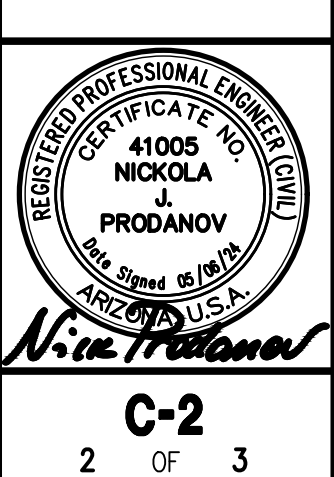
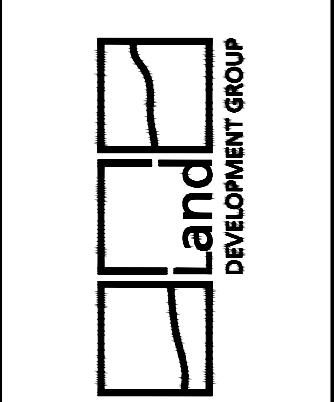


DATE:	05/06/24
SCALE:	1"=20'
DESIGNED BY:	NP
DRAWN BY:	ZA
CHECKED BY:	JF
JOB:	2309292
VERSION:	1.1
PLOT DATE:	05/06/24

GRADING & DRAINAGE
IMPROVEMENT PLAN

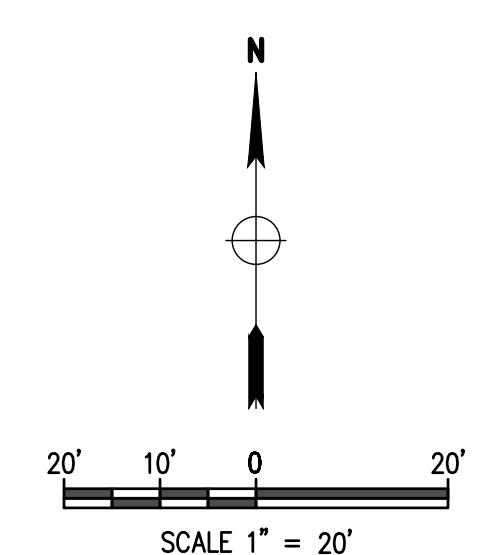
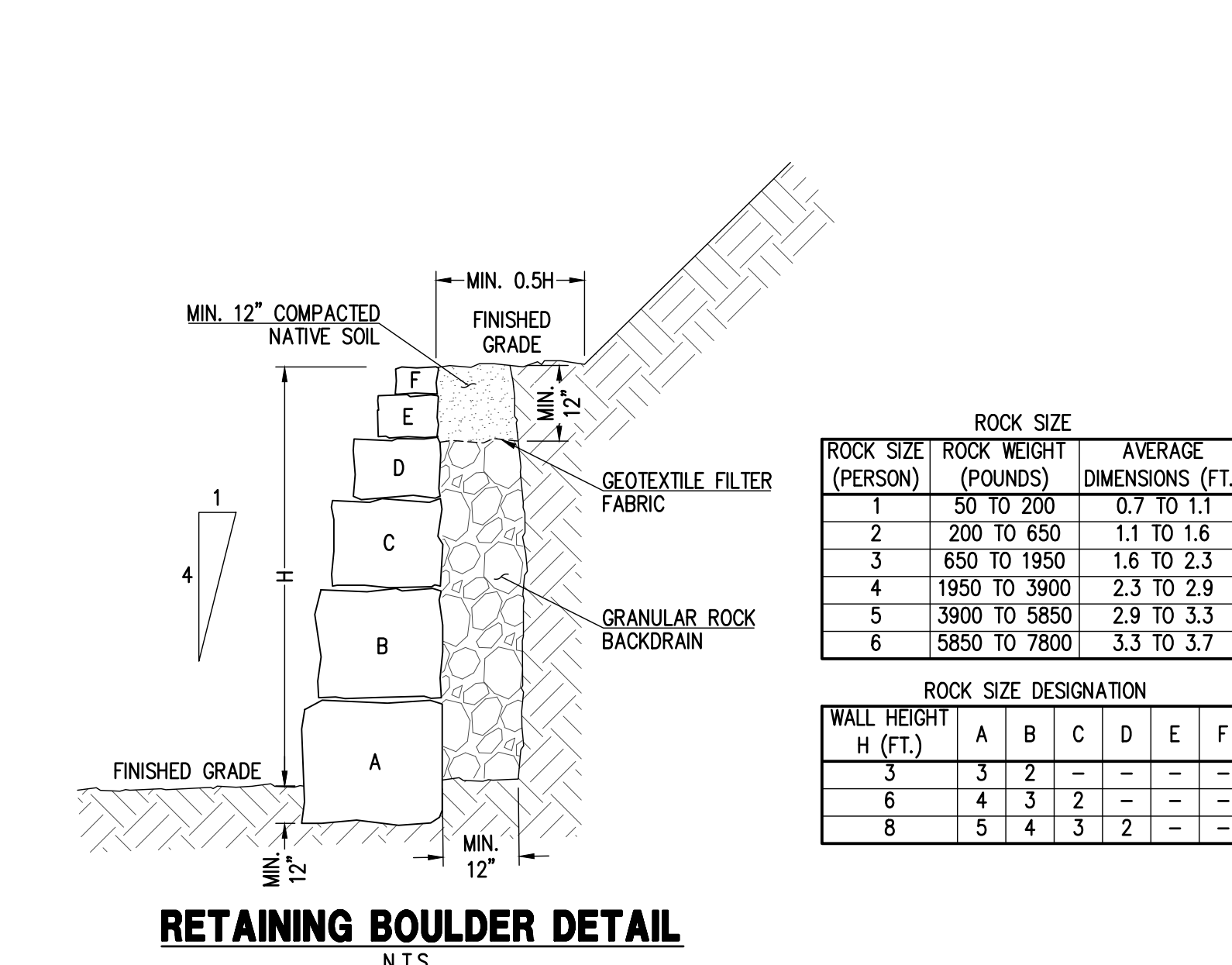
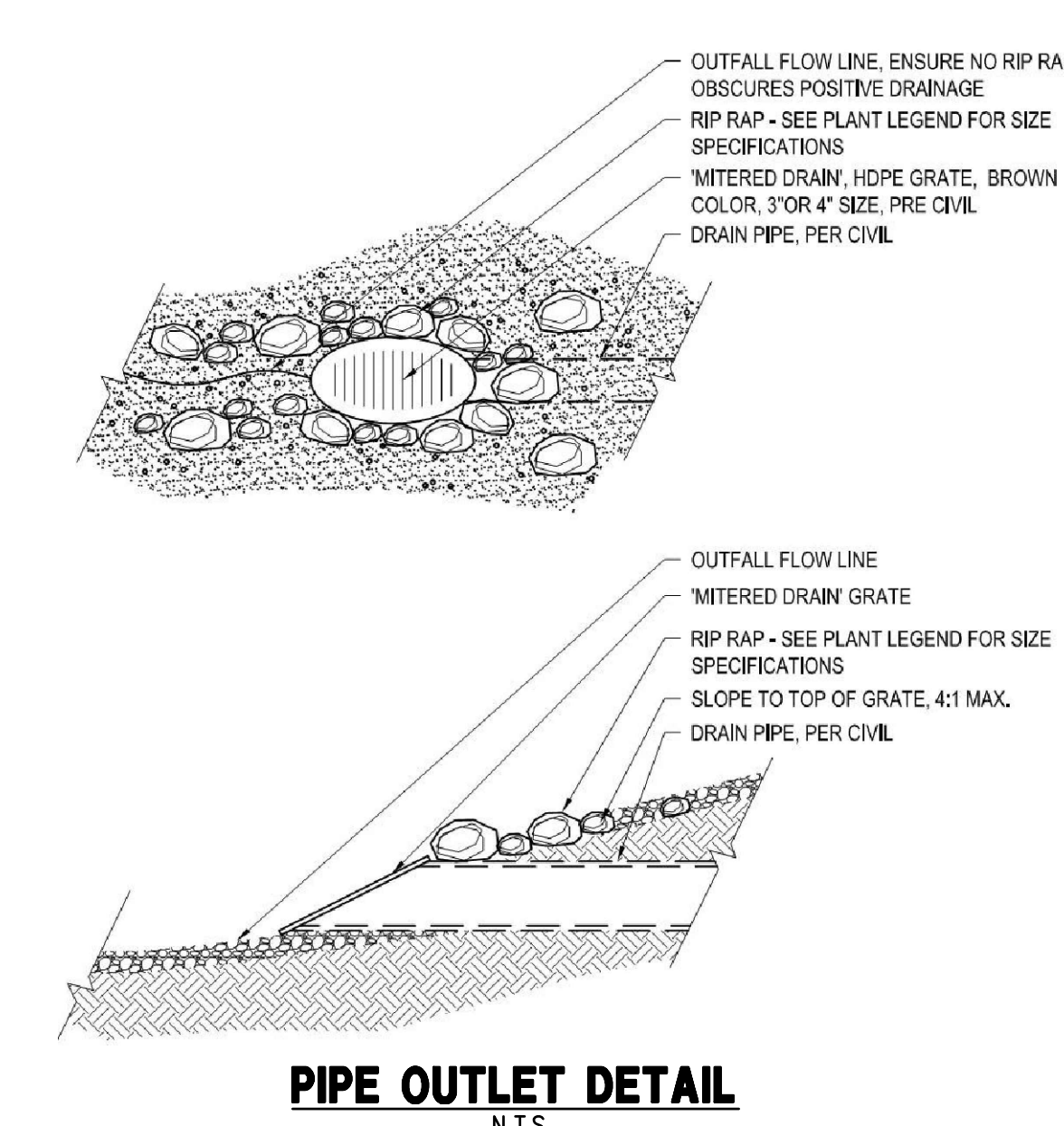
LOT 1 -
MONTANA DE BONITAS CASAS 3
7401 N LAS BRISAS LN
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALDEVELOPMENT.COM





- ### STORM DRAIN KEY-NOTES
- 50 INSTALL 4" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
 - 51 INSTALL 6" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
 - 52 INSTALL NDS 1200NGB 12" CATCH BASIN WITH VERTICAL RISER AND 12" GRATE, OR APPROVED EQUAL.
 - 53 INSTALL NDS 1200NGB 12" CATCH BASIN WITH VERTICAL RISER AND 12" ATRIUM GRATE, OR APPROVED EQUAL.
 - 54 INSTALL NDS SPEE-D 101GRKIT 6" CATCH BASIN WITH 6" DOMED GRATE OR APPROVED EQUAL.
 - 55 INSTALL 7000 SERIES SLOT DRAIN® SYSTEM. CONNECTED TO 6" PVC PIPE UNDERNEATH FOR CONVEYANCE. COMPLETE WITH ALL REQUIRED BOTTOM OUTLETS & FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
 - 56 INSTALL TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
 - 57 STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON THIS SHEET.
 - 58 INSTALL 7000 SERIES SLOT DRAIN® SYSTEM. COMPLETE WITH ALL REQUIRED BOTTOM OUTLETS & FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.



PERCENT PASSING	SIZE	D50 CLASS, INCHES			
		4	6	8	12
100 TO 90	1.5 D50	6	8	12	18
85 TO 70	1.3 D50	5	7	10	16
50 TO 30	1.0 D50	4	6	8	12
15 TO 5	0.67 D50	3	4	6	8
5 TO 0	0.50 D50	2	3	4	6

RIP-RAP GRADATION TABLE

REVISIONS:	DATE:	SCALE: 1"=20'	DESIGNED BY: NP	DATE: 05/06/24
			DRAWN BY: ZA	JOB: 2309292
			CHECKED BY: JF	VERSION: 1.1
				PLOT DATE: 05/06/24

GRADING & DRAINAGE PLAN

STORM DRAIN PLAN

DETAILS

LOT 1 -

MONTANA DE BONITAS CASAS 3

7401 N LAS BRISAS LN

PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482

8808 N CENTRAL AVE., SUITE 288

PHOENIX, AZ 85020

PHOENIXVALDEVELOPMENT.COM

Arizona

Development Group

REGISTERED PROFESSIONAL ENGINEER

CERTIFICATE NO. 41005

NICKOLA J. PRODANOV

Arizona

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811

Call 811 or click Arizona811.com

C-3

3 OF 3

KEVIN J.
FLOWER
LIGHTING DESIGN

20650 N. 29th Place Suite 106
P H O E N I X , A Z 8 5 0 5 0
WWW.KVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
JOHNNY ANGUIZ

DATE : JUNE 14, 2024

SCALE: AS NOTED

REVISIONS:

- 1
2
3

GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
- THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
- ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
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LIGHT CONTROL SYMBOL
LEGEND

- ⌚ SINGLE POLE SWITCH
⌚ SINGLE POLE JAMB SWITCH
⌚ SINGLE POLE MOTION SWITCH
⌚ SINGLE POLE TIMER SWITCH
⌚ SINGLE POLE DIMMER
⌚ 1/2 SWITCHED DUPLEX RECEPTACLE
⌚ SWITCHED RECESSED CLOCK RECEPTACLE
⌚ 1/2 SWITCHED FLOOR PLUG RECEPTACLE
⌚ REMOTE LOW VOLTAGE TRANSFORMER
⌚ CEILING MOUNTED EXHAUST FAN
⌚ ELECTRIC FIREPLACE IGNITOR
⌚ LIGHTING CONTROL KEYPAD
⌚ LIGHTING CONTROL SWITCH/LEG
⌚ LIGHTING CONTROL ENCLOSURE

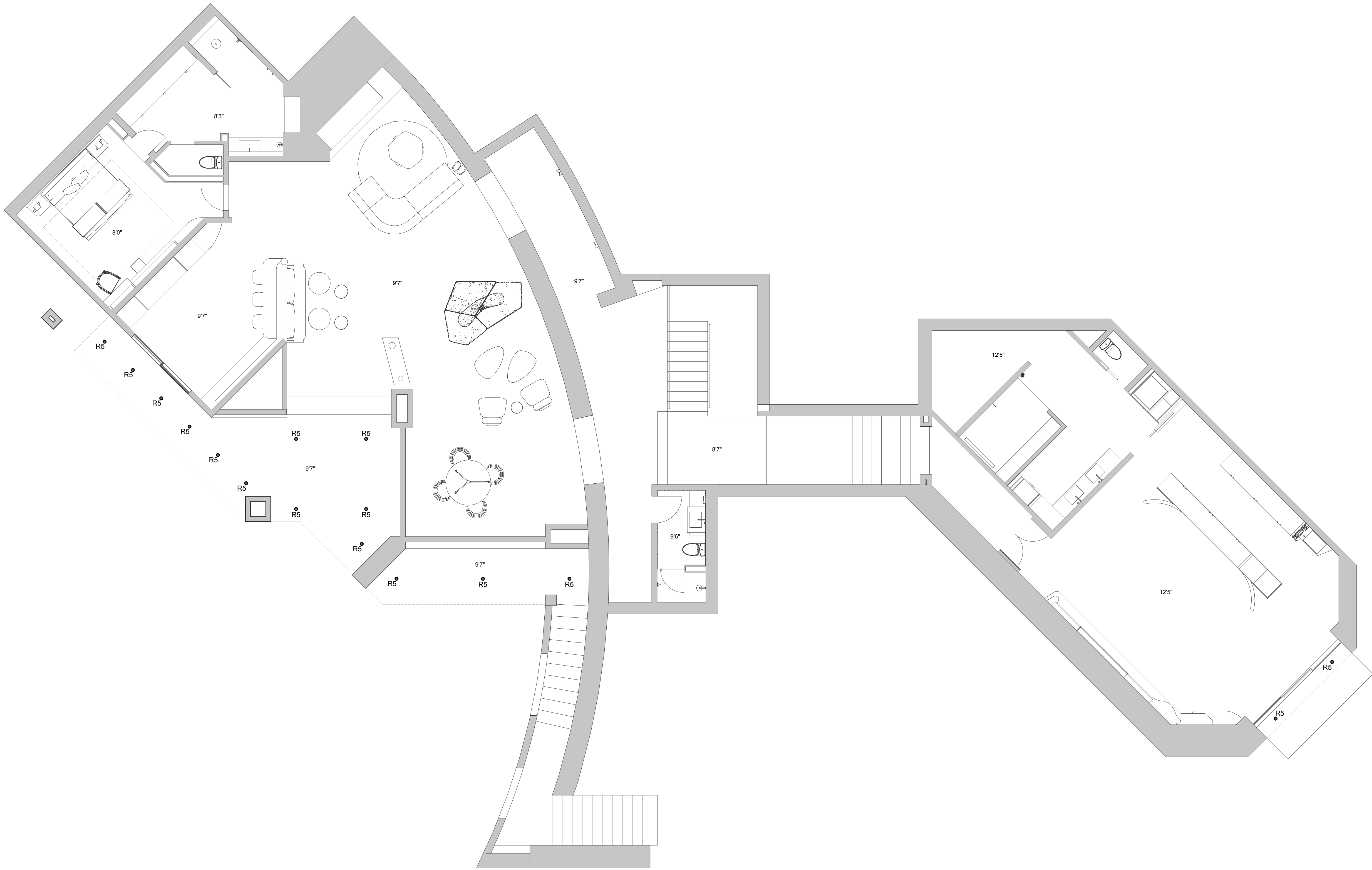
LAS BRISAS
7401 NORTH BRISAS LANE
PARADISE VALLEY, AZ 85253

SHEET NUMBER:

EL 1

1 UPPER FLOOR PLAN
LIGHTING PLAN

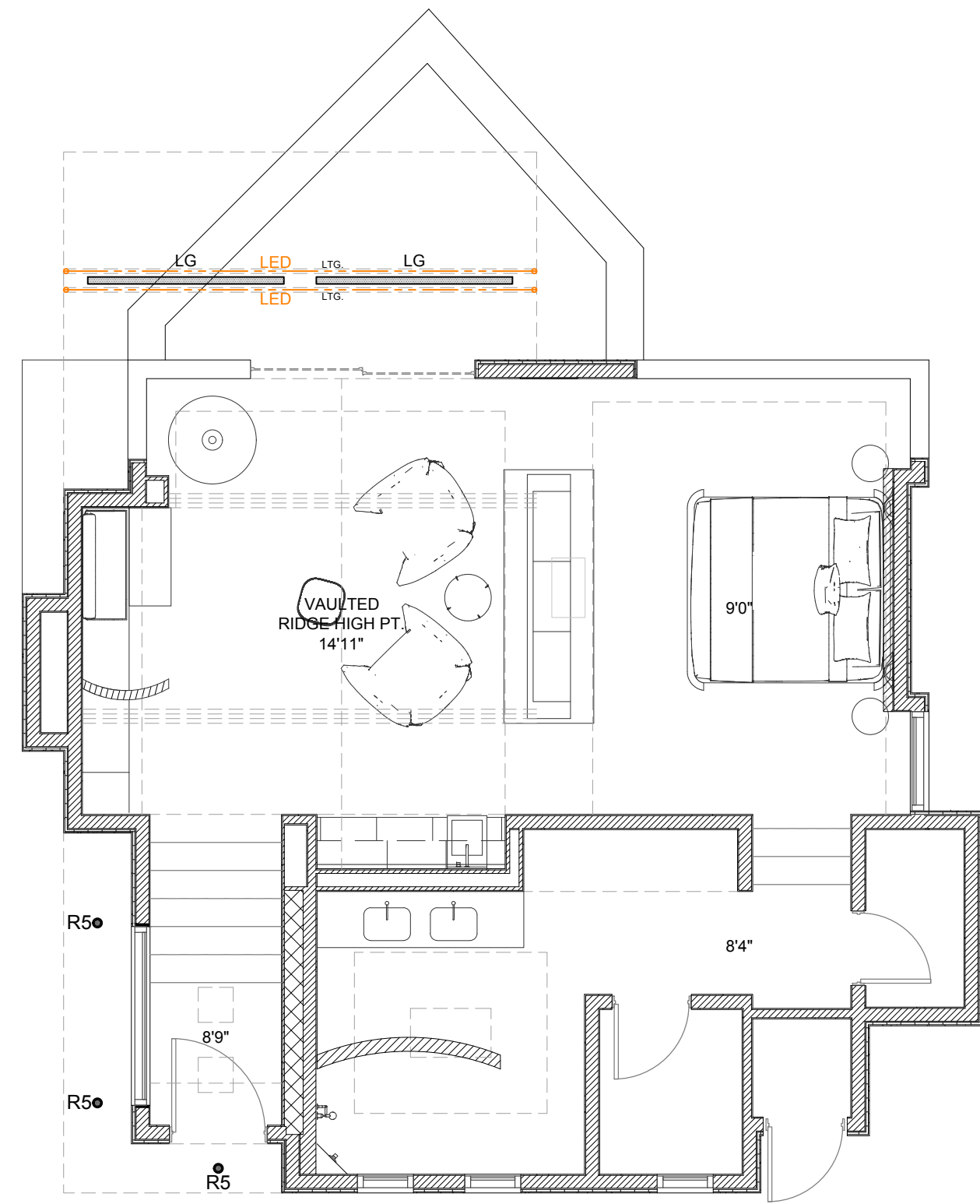
SCALE: 3/16"=1'-0"



2 LOWER FLOOR PLAN
LIGHTING PLAN

SCALE: 3/16"=1'-0"

KEVIN J. FLOWER LIGHTING DESIGN				Lighting Fixture Schedule			
20650 N.29th Place Suite 106 Phoenix, AZ 85050 602.448.5007				Project: Las Brisas Exterior			
Quantity	Type	Manufacturer	Model Number / Description	Volts	Lamp Type	Watts	
9	BM	HEVI-LITE	HL-360-BZ-SORAA LAMP-12 2-1/4" Round Downlight Attached to Side of Beam Aimed Downward	120V AC	SORAA WARM DIM LAMP	8	
18 Custom	LG	CORONET	RUSH SHARP - X'-X" - ZTK - LOW - UNV - DALI - BLK - SM - WFL - NA - NA - BLACK - WET 9" Wide Linear LED Downlight Mounted in Between Beams	120V AC	Integral LED lamp	4w / ft	
1 SYSTEM	LED# EXTERIOR	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) - VERIFY CCT WITH HOME OWNER CONTRACTOR TO DETERMINE BILL OF MATERIALS USING WP-2700K-CL-10-B-5m - 1'-16'-4" 2700K TAPE LIGHT CS179 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK POWER SUPPLIES UNV-24-XX - ENVIRONMENTAL UL LISTED POWER SUPPLIES	24V DC	Integral LED lamp	5w / ft	
39	R5	SPECIALTY LIGHTING	SCW3D-R-F-AT-C9-27-36-E2-V02-A01 3" Recessed Downlight with Low Glare Optics	120V AC	Integral LED lamp	9	
38	SL	MP LIGHTING	1300-2-W27H-SH-N-C-[1]-0-MK1-S-B 2.5" Recessed Wall Step Light	24V DC	Integral LED lamp	2	
*** ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED. *** ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING. *** ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING. *** ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING. *** ALL TRIM COLORS TO BE VERIFIED WITH HOME OWNER BEFORE ORDERING.							



3 GUEST HOUSE
LIGHTING PLAN

SCALE: 3/16"=1'-0"

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KEVIN J. FLOWER LIGHTING DESIGN

20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
JOHNNY ANGUIZ

DATE: JUNE 14, 2024

SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

LAS BRISAS
7401 NORTH BRISAS LANE
PARADISE VALLEY, AZ 85253

SHEET NUMBER:

EL 2

Type: R5
Model: SCW3D-R-F-AT-C9-27-36-E2-V02-A01

Scope W 3" Round Downlight (70mm)
Fixed Recessed Accent Light



Photometric Table All data below are delivered lumens based on gonimeter measurements of production representative product. All lumen values can vary +/- 10% from LED manufacturer rated lumen range.

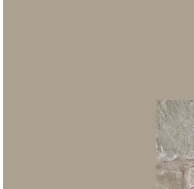
ROUND Downlight										20°		24°		30°			
Source	System Voltage (V)	Delivered Lumens (lm)	Lumens / sq ft	UGL	Peak FC	20°		24°		30°							
						Delivered Lumens (lm)	Peak FC	Delivered Lumens (lm)	Peak FC	Delivered Lumens (lm)	Peak FC						
CHROMA C14	16	1398	86	15	2287	42°	1146	82	6031	44°	1176	88	33	3952	30°		
CHROMA C24	21	1664	79	10	10166	42°	1083	75	121	3646	44°	1093	76	12	4796	30°	
CHROMA C30	28	1930	71	9	9169	42°	969	67	102	3029	44°	1029	68	10	2924	30°	
Unlabeled	120V	15	1398	86	15	2287	38°	1083	53	128	4807	44°	1176	82	33	3952	30°
Unlabeled	120V	10	934	58	10	1247	42°	928	56	11	2638	44°	1295	55	10	1563	30°
Unlabeled	120V	10	934	58	10	4937	40°	937	79	128	3688	44°	1093	75	33	1992	30°

CCT & Beam Angle	
CCT (K)	Beam angle
2700	20.3°
3000	20.3°
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EXTERIOR MATERIALS



HOUSE STUCCO
EXISTING COLOR



HOUSE STONE / RETAINING WALLS
LIMEWASH PAINT EXISTING VENEER
LRV TO BE SITE TESTED



CONCRETE NATURAL

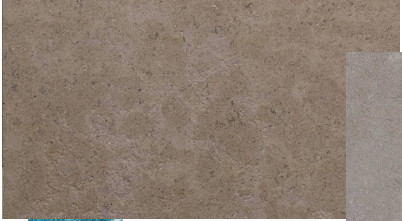


TRUSSES
NATURAL OAK

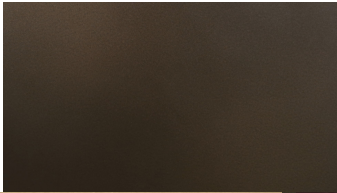
TOUNGE + GROOVE
NATURAL OAK



LIMESTONE TILE - FLOORING
SOLSTICE STONE MT SINAI BRUSHED
LRV: 39



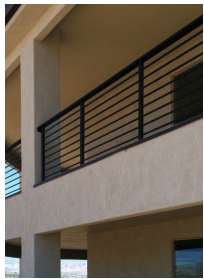
PATINA'D BRONZE



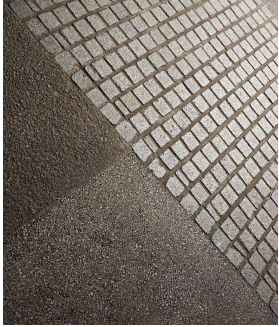
STAIR WALL NEAR POOL
EXISTING COLOR



LIMESTONE PAVER
SOLSTICE STONE MT SINAI MEQUIM
LRV: 37



BLACK METAL RAILING
USE EXISTING



DRIVEWAY- AGGREGATE + COBBLESTONE INLAY
ECO OUTDOOR LUCA COBBLESTONE
LRV: 26



POOL WATERLINE TILE
FIRECLAY - QUARTZITE

WINDOW + DOOR FRAMES
BLACK ANODIZED



GLASS
CARDINAL LOW E
ON SURFACE 2,
CLEAR



POOL FINISH
PEBBLESHEEN - FRENCH GREY



STRATTON
ARCHITECTS

A. 5203 East Lincoln Drive Paradise Valley, Arizona 85253
P. (860) 331-0701

LAS BRISAS RESIDENCE

7401 N LAS BRISAS
PARADISE VALLEY, AZ 85253
Project No.21-01

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